

**Town of Pittsford Design Review & Historic Preservation Board  
AGENDA  
February 27, 2025**

*This agenda is subject to change.*

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on February 27, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

**HISTORIC PRESERVATION DISCUSSION**

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**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**526 Pittsford Henrietta Townline Road**

Applicant is requesting design review for a 616 square foot addition and a wrap around porch.

**38 Shelwood Drive**

Applicant is requesting design review to remove existing access door to flat roof to replace with a window that matches the other existing windows.

**29 Kimberly Road**

Applicant is requesting design review for a 768 square foot addition off the rear of the home.

**44 Crestline Road**

Applicant is requesting design review to add a front entry way.

**14 Pheasant Hollow**

Applicant is requesting design review to add a an attached pavilion off the rear of the home.

**RESIDENTIAL APPLICATIONS: NEW HOMES**

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**17 Bridleridge Farms**

Applicant is requesting design review for a 3,067 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

**18 Bridleridge Farms**

Applicant is requesting design review for a 3,174 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

**20 Bridleridge Farms**

Applicant is requesting design review for a 3,343 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

**CERTIFICATES OF APPROPRIATENESS**

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**192 Knickerbocker Road**

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the expansion of a detached garage, the addition of a screened porch, the addition of a main entry porch and a kitchen expansion at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**COMMERCIAL APPLICATIONS**

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**2851 Clover Street (300 Tobey Road) – Pittsford Oaks**

Applicant is requesting the review of design changes to date, the current design material, confirm the overall Northeast corner of the building height.

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*The next meeting is scheduled for Thursday, March 13, 2025, at 6PM.*



**DESIGN REVIEW & HISTORIC PRESERVATION BOARD  
MINUTES  
JANUARY 23, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, January 23, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Dirk Schneider, Dave Wigg, Paul Whitbeck, Kathleen Cristman, John Mitchell, Jim Vekasy, Bonnie Salem

**ABSENT:**

**ALSO PRESENT:** Bill Zink, Building Inspector; Erik Smegelsky, Assistant Building Inspector; Anna Piazza, Building Department Assistant; Robert Koegel, Town Attorney; Doug DeRue, Director of Planning, Zoning, and Development; Cathy Koshykar, Town Board Liaison

**ATTENDANCE:** There were 16 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

**HISTORIC PRESERVATION DISCUSSION**

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The Board discussed a memo drafted by Board Member Salem that requests an amendment to the Zoning Code in relation to Certificates of Appropriateness. The Board unanimously stated their agreement to send the memo to the Town Board.

Board Member Salem motioned to approve sending the memo to Supervisor Smith and members of the Town Board requesting an amendment of Chapter 185, Article 85 of the Zoning Code. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the action was approved, none opposed.

**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**83 Kilbourn Road**

*Applicant is requesting design review for an approximately 480 square-foot addition off the rear of the home.*

Chuck Smith, Design Works Architecture, P.C., introduced the application. Mr. Smith is requesting design review for an approximately 480 square-foot addition off the rear of the home. He stated that all proposed materials will match the existing materials on the home. He noted that the addition will be slightly taller than the existing height of the home but will be at a lower grade so that you will not notice a difference at the roofline.

Board Member Salem motioned to approve the addition off the rear of the home, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

**20 Kilbourn Road**

*Applicant is requesting design review for an approximately 467 square-foot renovation and addition to the home.*

Agostino Mineo, of 20 Kilbourn Road, introduced the application. Mr. Mineo is requesting design review for a renovation and addition to the side of the home. He stated that the proposed rooflines and siding of the addition will match those of the existing house. The existing front door which faces East Avenue will be

## DRAFT MINUTES 012325

removed and relocated to face Kilbourn Road. Chairman Schneider noted that the front door change will allow the average person to see the home. Board Member Salem inquired about the specific changes that will be made to the front door, and the applicant stated that two sidelines will be added to the front door.

Chairman Schneider motioned to approve the renovation and addition to the home with the condition that two sidelines are added to the front entrance door of the home. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

## **CERTIFICATES OF APPROPRIATENESS**

---

### **192 Knickerbocker Road**

*Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the expansion of a detached garage, the addition of a screened porch, the addition of a main entry porch and a kitchen expansion at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).*

Chairman Schneider stated this is a continued public hearing.

Mark Bayer, of Bayer Landscape Architecture PLLC., re-introduced the application. Mr. Bayer stated that the application was presented at the December 5th meeting to give a comprehensive overview of the project, which will be split into multiple phases. The application had recently appeared before the Zoning Board and all variances were approved.

Mr. Bayer stated that all proposed materials are materials that can be found on the existing house. He pointed out the new columns and three new dormers at the front entry in the rendering. Chairman Schneider asked the applicant what the reason was for changing and unifying the dormers instead of leaving the quirkiness of the existing dormers. Mr. Bayer stated that the reason was to better connect the front entry to other parts of the house. The material of the dormers will be slate to match those of the existing home.

Board Member Salem asked the applicant to explain the proposed window changes. Mr. Bayer stated that the plan is to replace all windows on the home and noted that the existing white windows will be changed to bronze windows. The existing window pattern will not be changed. In comparison to the rendering which shows the bronze window change, Chairman Schneider stated that he prefers the appearance of the existing white windows because it adds character to the home, to which Board Member Cristman agreed. Additionally, he stated that the bronze windows create an overly monochromatic look and Board Member Cristman agreed. Board Member Vekasy and Board Member Salem stated that they prefer the appearance of the darker windows as it is less intense than the existing white windows. Meaghan Larrabee, homeowner, stated that the reason for the change to darker windows was for the stone on the house to stand out.

Chairman Schneider stated that he needs to see more details about the materials on the drawings and requested that the applicant add notes. Chairman Schneider asked the applicant to provide side by side pictures showing the existing (before) and proposed (after) of a straight-on elevation of the home and requested more labels in the areas of work and the addition of a step-by-step explanation so that it is clear to the Board what is being approved. Board Member Cristman asked the applicant to do the same regarding the proposed window and dormer changes and emphasized the historical significance and lack of replicability of some of the existing windows. Chairman Schneider summarized the Board's request to easily follow the history and stages of the additions with clear labeling of exactly what was changed. In addition, Board Member Vekasy and Board Member Mitchell asked the applicant to provide documentation with an explanation of exactly what will happen in each phase of the project. Chairman Schneider asked the applicant to bring physical samples of the proposed colors to the next meeting.

Chairman Schneider stated that this public hearing will remain open.

## **COMMERCIAL APPLICATIONS**

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**2851 Clover Street (300 Tobey Road) – Pittsford Oaks**

*Applicant is requesting the review of design changes to date, the current design material, confirm the overall Northeast corner of the building height.*

Anthony Daniele, of 2851 Clover Street (300 Tobey Road), introduced the application. Mr. Daniele stated that the application recently received its preliminary site plan approval from the Planning Board. Mr. Daniele presented a rendering of the proposed building with flat roofs to show the Board what it would look like. He stated that the Board had emphasized the northeast corner of the building and explained the changes that were made in response; the roofline was brought down to a lower height and the grade adjusted as well. Mr. Daniele stated that due to economic reasons, this project has been a three-story building since the beginning, adding that he now has the zoning right to that structure. He stated that some people on this Board want a one-story reduction and that will not happen as it is not economically feasible.

Dustin Welch, of Passero Associates discussed a rendering of the project in which the grade was raised to cover the garage level of the building. Robert Koegel, Town Attorney, asked the applicant for clarification on the drawing being discussed versus the drawing that was submitted to be presented on the projector for everyone at this meeting. The applicant did not submit this rendering before the submission deadline and gave the Board/members of Town Staff a handout of the rendering being discussed.

Mr. Welch stated that he pulled the proposed building away from the corner of Clover Street and Jefferson Road to make the building appear smaller. Discussing the right side of the rendering, Chairman Schneider asked Mr. Welch if the parking lot will disappear after the grading alterations, and Mr. Welch responded that it will not. Mr. Welch informed the Board that he has been looking at larger buildings in the area, specifically at their design. Chairman Schneider asked for clarification if the applicant is changing the application. Mr. Daniele stated that the application is not changing but that different options are being presented to the Board to try to get closer to something that they like. Mr. Welch stated that page four of the handout shows the building with various colors in to show how colors can help break up the look of the building. He discussed bringing the grade up at the east facade and clarified that he is not increasing the height of the building, but rather changing the podium level to make it like the west facade. Mr. Welch discussed the landscaping and stated that the landscape architect working on the project has reviewed planting selections and the proposed grading plan and has confirmed that it will work.

Mr. Welch stated that updated site sections have been included that show the grading. Comparing this project to the Cloverwood project approved in 2019, he stated that Cloverwood's base level was very different. Mr. Welch discussed the cut fill analysis that was done on the soil on the site of the project. He stated that he has decreased the overall height of the building significantly and is working on decreasing the overall mass of the building as well.

Chairman Schneider stated that while altering the grading is a long-requested approach, the building itself remains very large. He noted that the grading plan would help to hide the garage level of the building.

Doug DeRue, Director of Planning, Zoning, and Development stated that the issue with the grading plan presented is that the fire department will likely be concerned with the steeper slope. Both the Pittsford Fire Department and the Town of Pittsford Fire Marshal first need to review this grading plan. Mr. DeRue stated that each individual apartment unit needs to be reached with a ladder in the case of a fire and explained that this is typically left up to the fire department's discretion as opposed to being laid out in a code.

Chairman Schneider asked for the Board's opinion whether the height and length of the building is 'significantly' reduced by the proposed grading change. Board Member Vekasy stated that while it would be steep, it does help the building visually. Board Member Mitchell agreed and asked the applicant to present a site plan with contours. Mr. Daniele stated that he first needs to discuss the proposed grading plan with the fire department. Board Member Salem stated that while the altered grading is an effective way of hiding the mass of the building, it does not reduce it, and Chairman Schneider agreed.

## DRAFT MINUTES 012325

Mr. Welch discussed the site containing unsuitable soils and stated that it is unsuitable for a certain depth. He stated that the left side is fully below grade.

Board Member Salem stated that she would like to see a different look where the ends of the building are lower and it is taller in the middle of the building, adding that this is something the Board has previously asked to see. Chairman Schneider agreed.

Board Member Vekasy discussed the alternate design with flat roofs on page two of the handout stating that the elevation is more simple and easier to distinguish proportionally. In the rendering presented at the November 18th meeting as well as some of the others, there are a bunch of 'skinny' buildings. In comparison, the newly presented flat roof rendering remedies that a lot and makes it look cleaner. Chairman Schneider stated that he appreciates the recesses on the third floor of the building seen on page three of the handout.

Mr. Daniele asked for clarification regarding if the Board preferred the building to have flat roofs. Board Member Vekasy clarified that the Board is not working toward having a building with flat roofs, but rather that there are other elements in the flat roof rendering that they appreciate.

Mr. Welch stated that he will focus on the design of the east facade of the building and will look at the southeast corner as well.

Chairman Schneider stated that adding color to the drawing added too much noise and explained that the grey drawing tells us exactly what we are getting. Mr. Welch stated that he presented a brick elevation and a stone elevation and asked the Board if they preferred one over the other. Chairman Schneider stated that he does not want to discuss colors yet. Mr. Welch informed the Board that he will have a stone sample to present at the next meeting. Mr. DeRue asked if the applicant could bring material samples from a larger building stating that it would be helpful as the stone on a smaller building compared to the stone on a larger building is very different.

Mr. Koegel reminded the applicant that the grading plan presented today is entirely dependent on the Pittsford Fire Department and Fire Marshal's answer to the concerns raised regarding the steepness of the slope and the ability of a ladder to reach all apartment units in the building. Mr. Daniele stated that he will speak to the Fire Marshal about this.

### **MEETING MINUTES REVIEW**

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The minutes of January 9, 2025 were approved following a motion by Chairman Schneider. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the minutes were approved, none opposed.

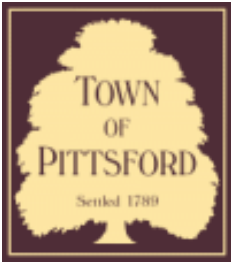
Chairman Dirk Schneider closed the meeting at 9:29PM.

Respectfully submitted,

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Anna Piazza  
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B25-000019**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 526 Pittsford Henrietta Town Line Road PITTSFORD, NY 14534

**Tax ID Number:** 177.03-2-38

**Zoning District:** RN Residential Neighborhood

**Owner:** Keenan, Matthew R

**Applicant:** Keenan, Matthew R

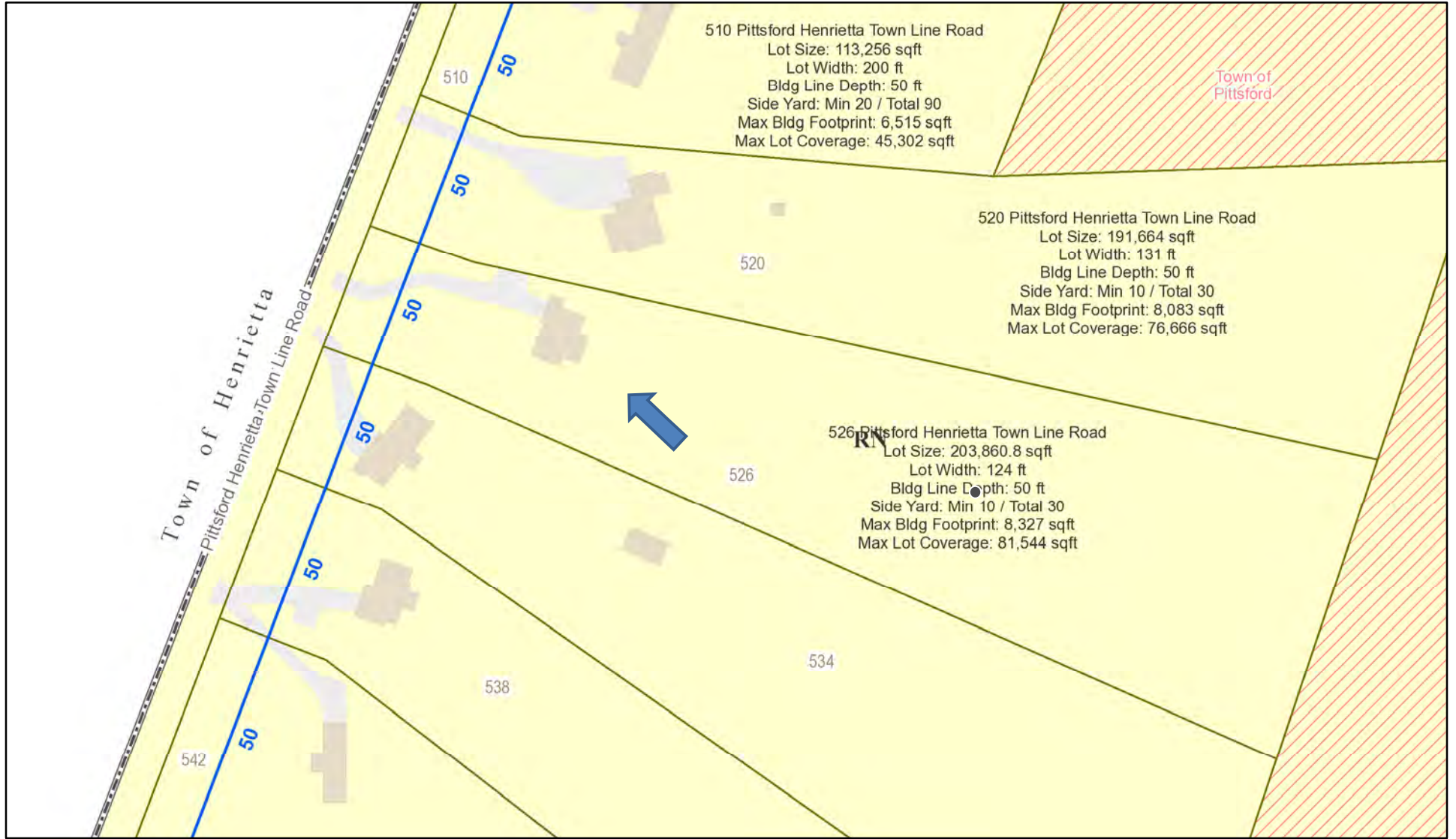
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

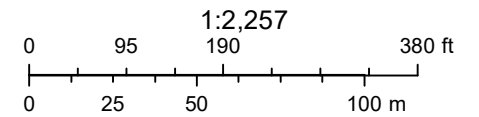
**Project Description:** Applicant is requesting design review for a 616 square foot addition and a wrap around porch.

**Meeting Date:** February 27, 2025

# 526 Pittsford Henrietta TL Road



Printed January 20, 2025



Town of Pittsford GIS

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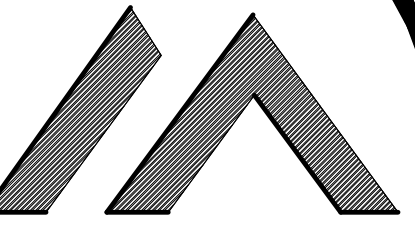
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Imagery © 2025 Nearmap, HERE

50 ft

Nearmap





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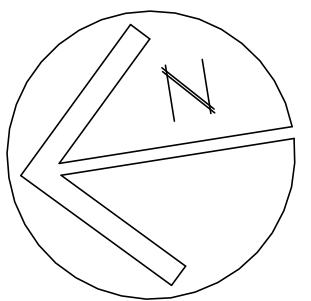
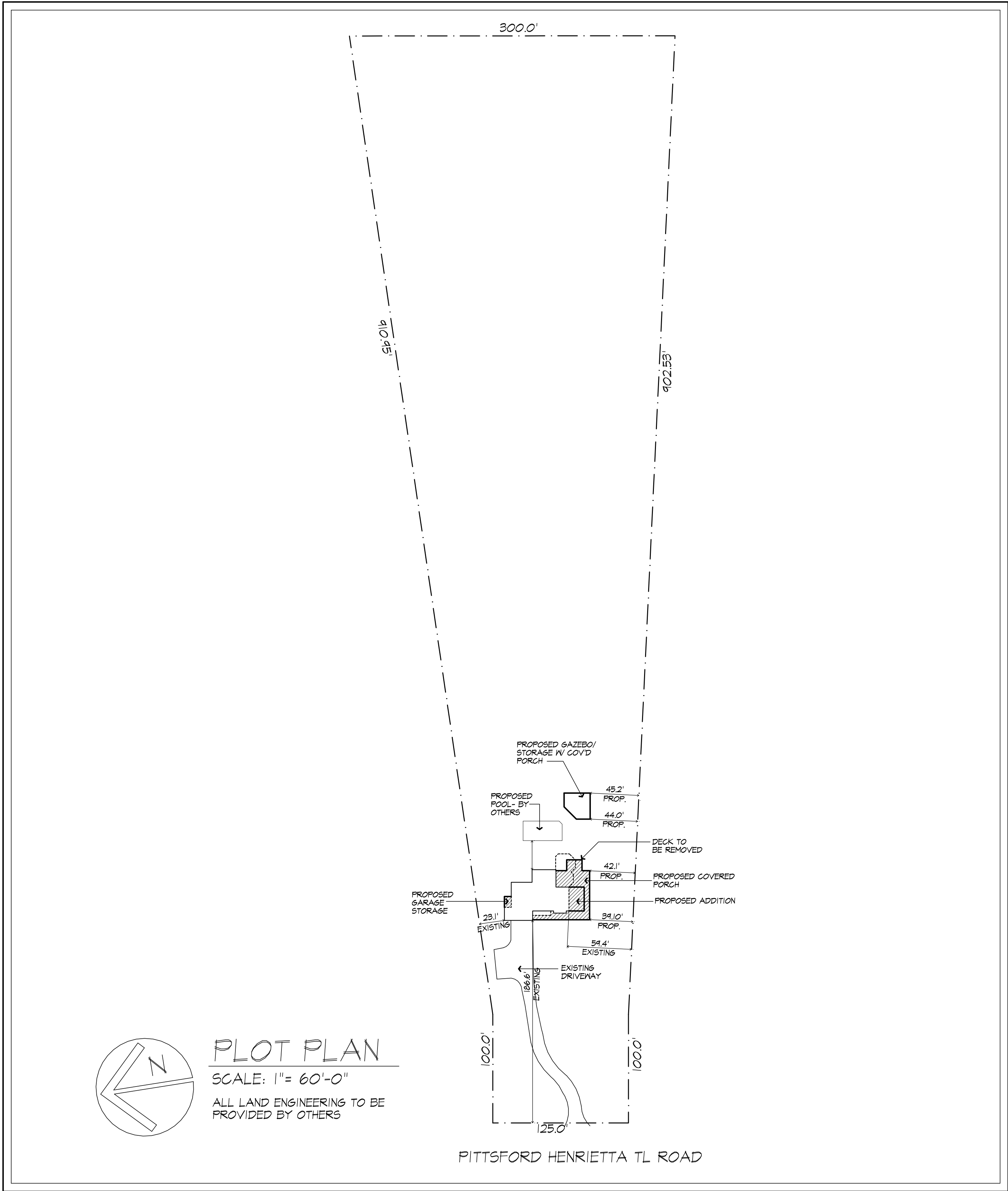
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**PLOT PLAN**  
SCALE: 1" = 60'-0"  
ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

PITTSFORD HENRIETTA TL ROAD

**PROPOSED ADDITION**  
**MATT & JAMIE KEENAN**  
**526 PITTSFORD HENRIETTA TL ROAD**

**PROJECT:**  
PROPOSED ADDITION  
KEENAN RESIDENCE  
526 PITTSFORD HENRIETTA TL RD  
PITTSFORD, NY

**CLIENT:**  
MATT & JAMIE KEENAN

**DRAWING:**  
TITLE PAGE

**DRAWN:**  
MSM/FM

**DATE:** FEB 2025

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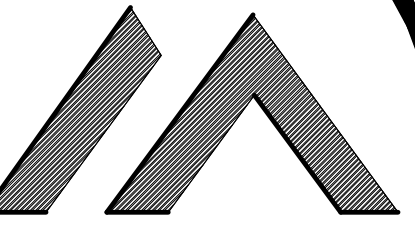
**JOB NO.:** 24M4466

**SHEET:**

**1**  
OF **5** SHEETS







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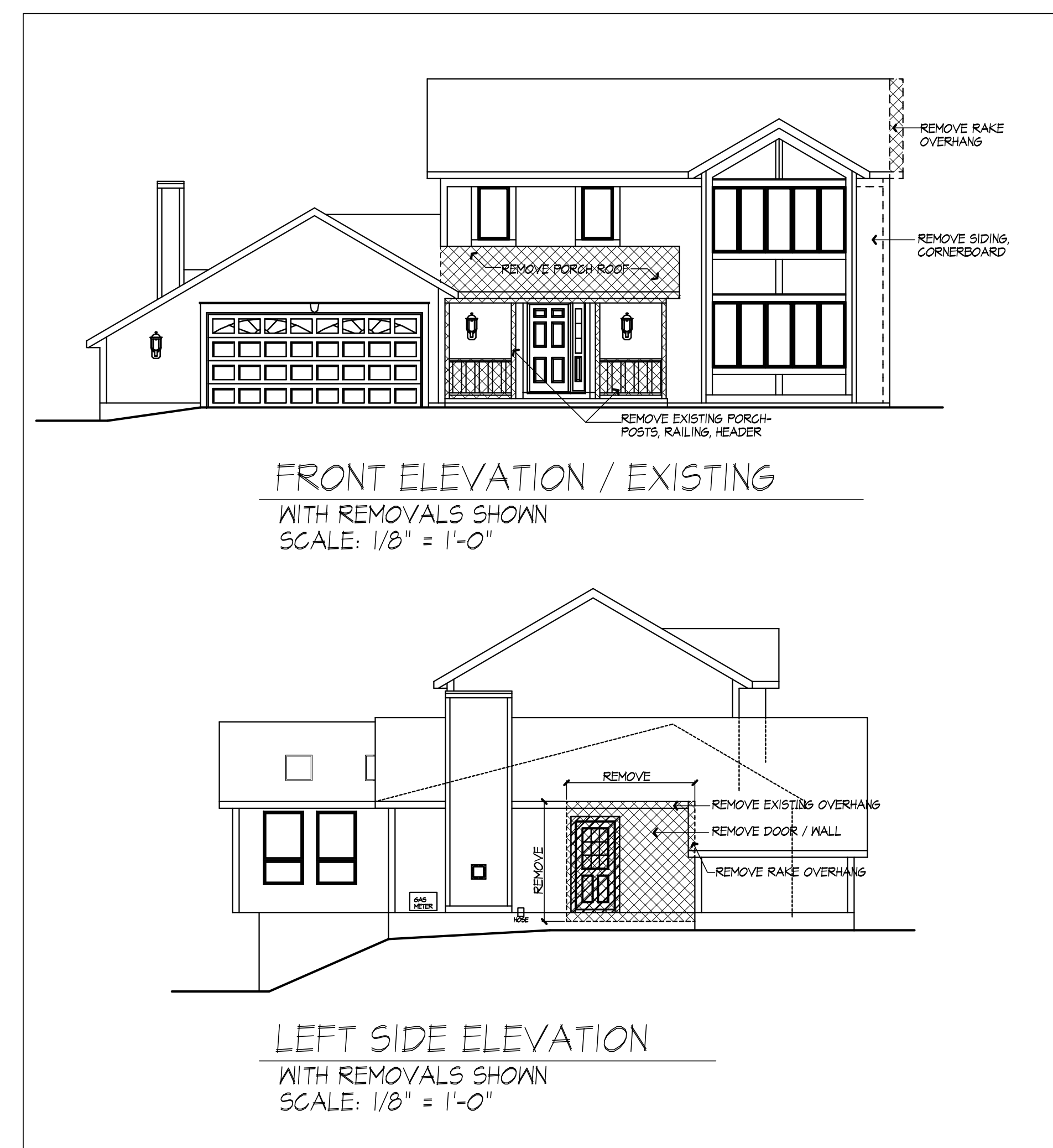
UNLESS OTHERWISE NOTED  
ALL EXTERIOR TO MATCH EXISTING

ROOFING: MATCH EXISTING  
ROOF VENTING: MATCH EXISTING  
FASCIAS: MATCH EXISTING  
FRIEZEBDS: MATCH EXISTING  
CORNERBDS: MATCH EXISTING  
CASINGS: MATCH EXISTING  
SIDING: MATCH EXISTING  
OVERHANGS: 12"  
RAKE OVERHANGS: 12"  
MIN FTG. DEPTH: 4'-0" BELOW GRADE  
WINDOW MFR: MATCH EXISTING



**FRONT ELEVATION / PROPOSED**

EXISTING AREA: 2133 S.F.  
PROPOSED ADDITION: 616 S.F.



**LEFT SIDE ELEVATION / PROPOSED**

**PROJECT:**  
PROPOSED ADDITION  
KEENAN RESIDENCE  
526 PITTSFORD HENRIETTA TL RD  
PITTSFORD, NY

**CLIENT:**  
MATT & JAMIE KEENAN

**DRAWING:**  
ELEVATIONS I

**DRAWN:**  
MSM/PM

**DATE:** FEB 2025

**SCALE:** 1/4" = 1'-0"

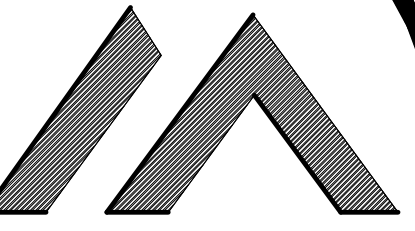
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**2**

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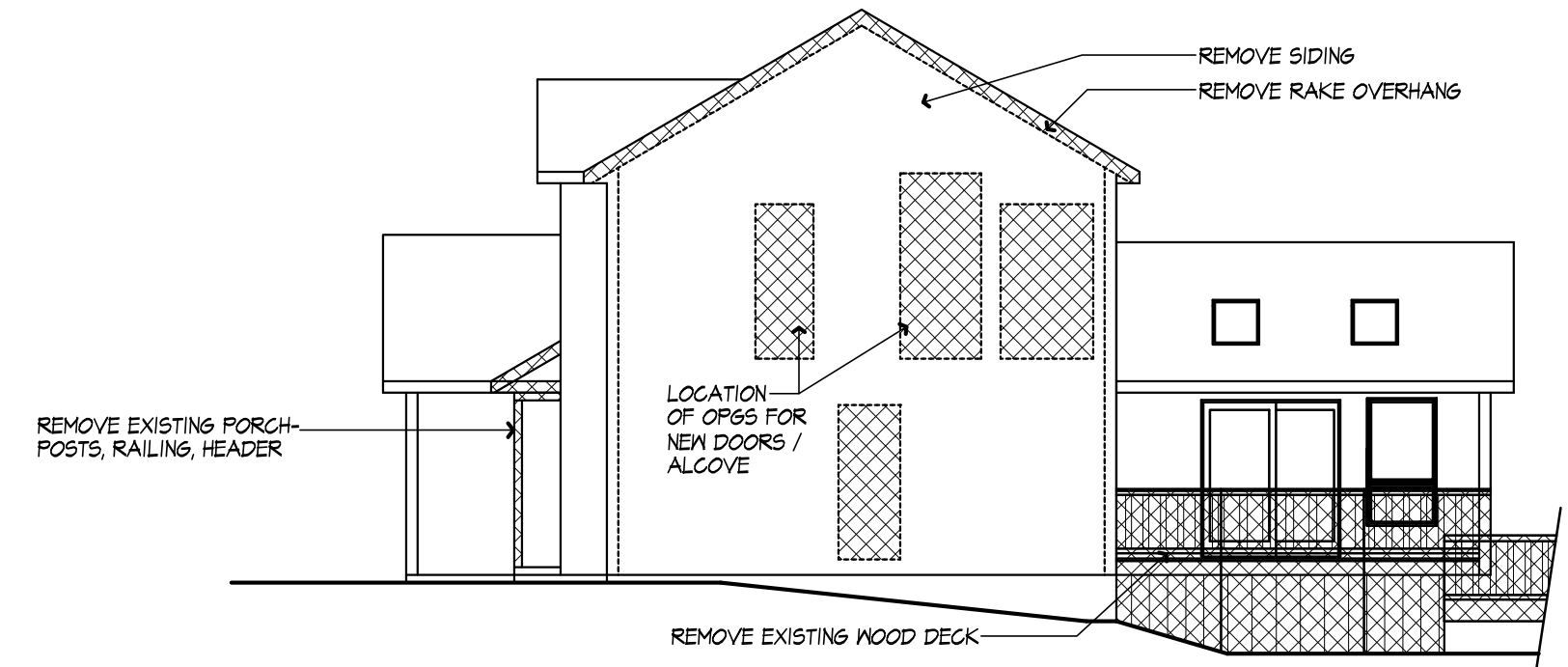
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ROOF VENTING: MATCH EXISTING  
FASCIAS: MATCH EXISTING  
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CASINGS: MATCH EXISTING  
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OVERHANGS: 12"  
RAKE OVERHANGS: 12"  
MIN FTG. DEPTH: 4'-0" BELOW GRADE  
WINDOW MFR: MATCH EXISTING



REAR ELEVATION / PROPOSED



REAR ELEVATION / EXISTING  
WITH REMOVALS SHOWN  
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
WITH REMOVALS SHOWN  
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION / PROPOSED

**PROJECT:**  
PROPOSED ADDITION  
KEENAN RESIDENCE  
526 PITTSFORD HENRIETTA TL RD  
PITTSFORD, NY

**CLIENT:**  
MATT & JAMIE KEENAN

**DRAWING:**  
ELEVATIONS 2

**DRAWN:**  
MSM/PM

**DATE:** FEB 2025

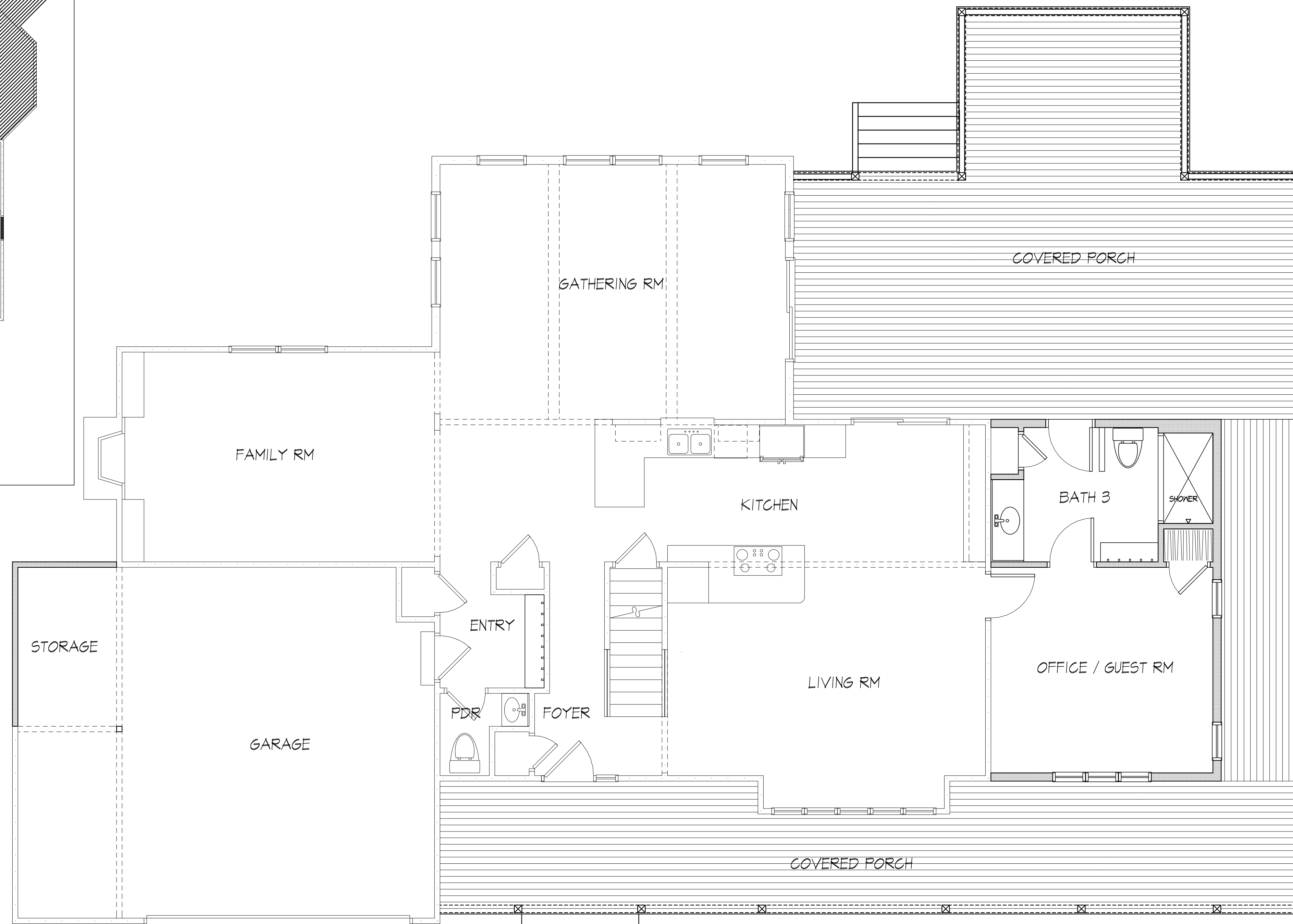
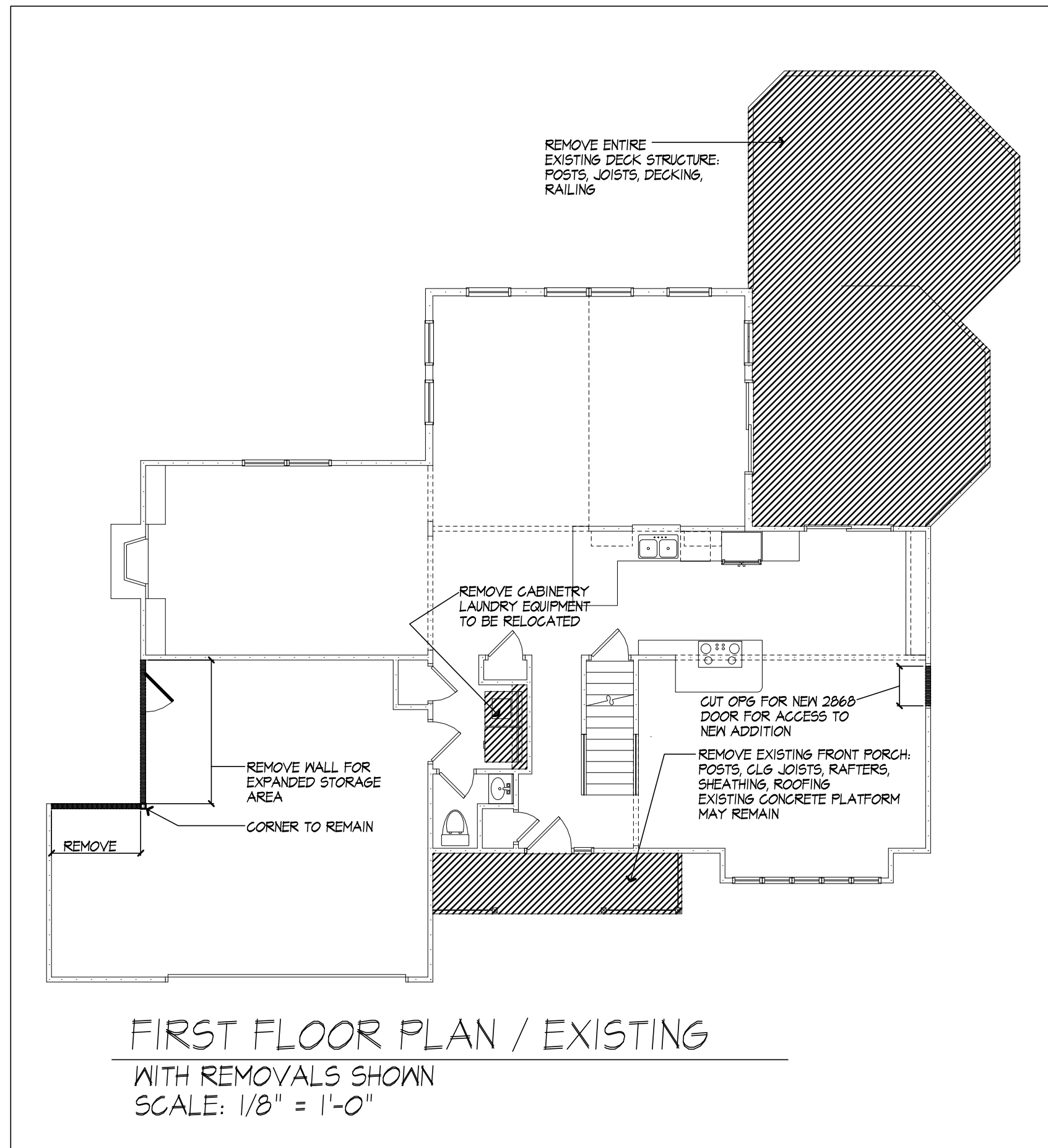
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**JOB NO.:** 24M4466

**SHEET:**

3  
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PROPOSED ADDITION  
KEENAN RESIDENCE  
526 PITTSFORD HENRIETTA TL RD  
PITTSFORD, NY

**CLIENT:**  
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**DRAWING:**  
FIRST FLOOR PLAN - PROPOSED

**DRAWN:**  
MSM/FM

**DATE:** FEB 2025

**SCALE:** 1/4" = 1'-0"

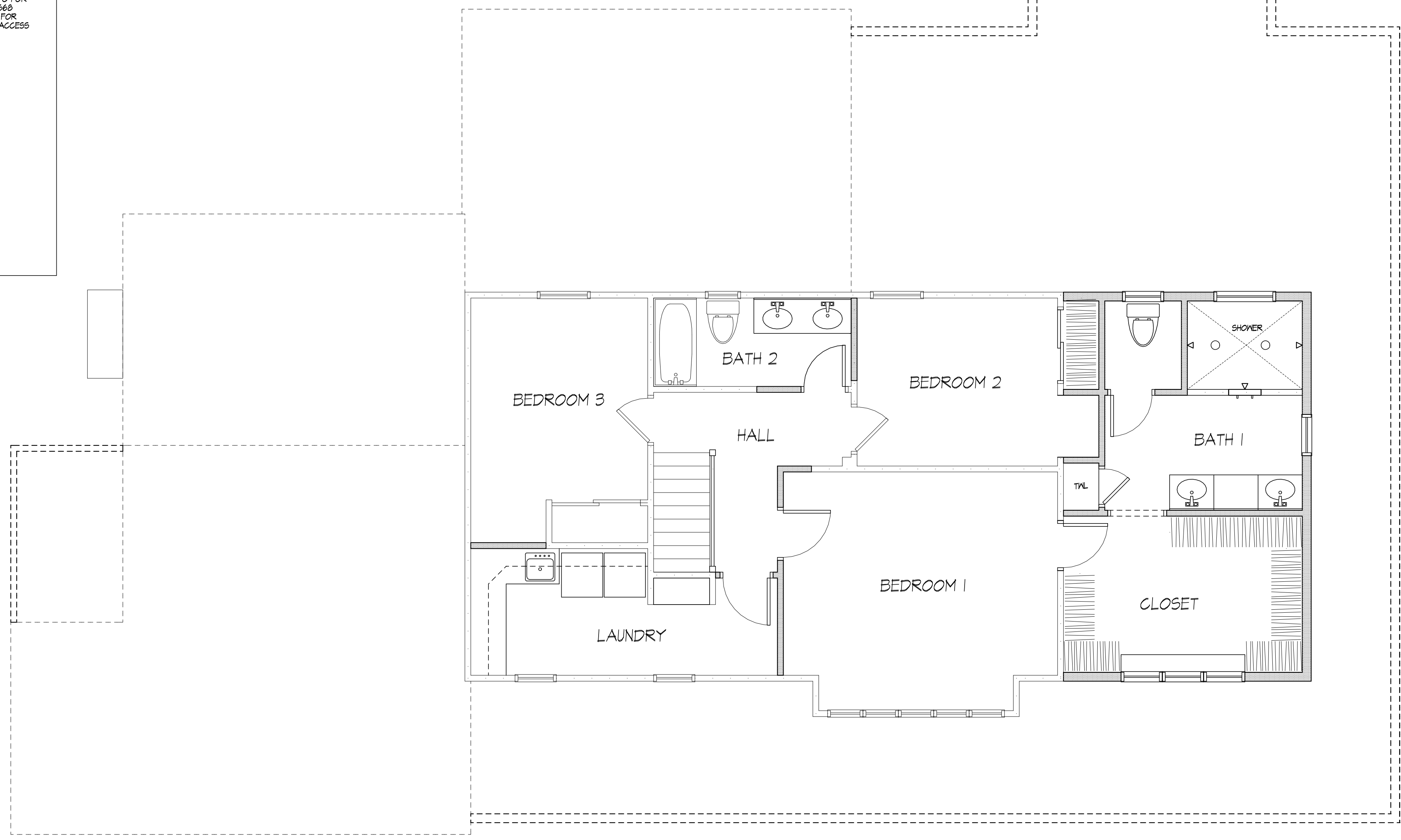
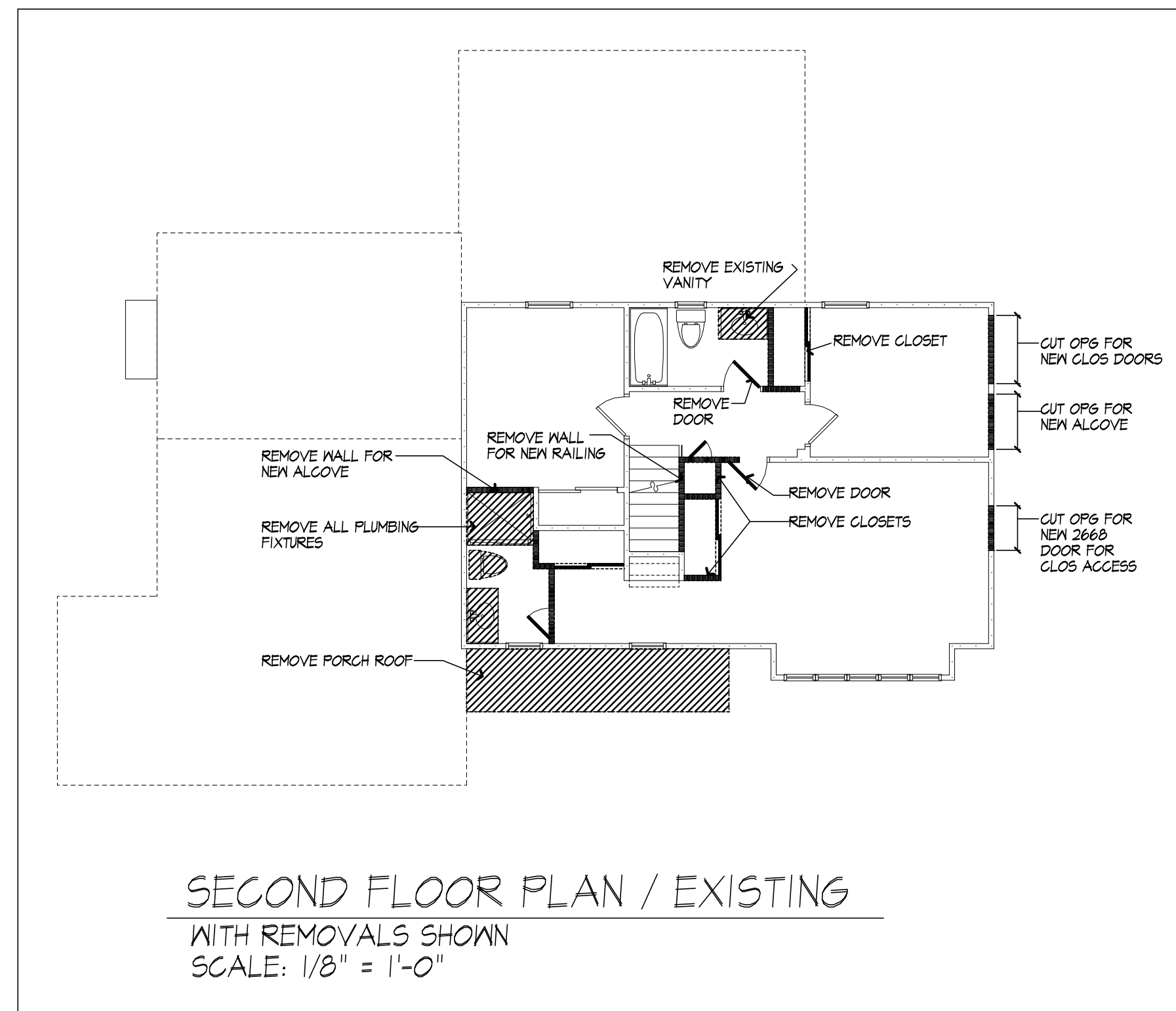
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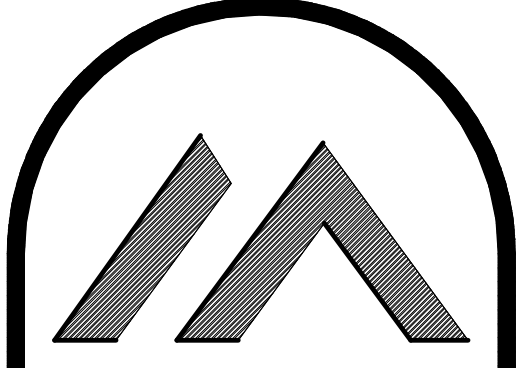
4

OF 5 SHEETS





**SECOND FLOOR PLAN- PROPOSED**  
EXISTING AREA: 743 S.F.  
PROPOSED ADDITION: 308 S.F.



**MORABITO ARCHITECTS**

LICENSED IN CO, MA, ME, NY, NY, PA, SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.MorabitoArchitects.com

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**PROJECT:**  
PROPOSED ADDITION  
KEENAN RESIDENCE  
526 PITTSFORD HENRIETTA TL RD  
PITTSFORD, NY

**CLIENT:**  
MATT & JAMIE KEENAN

**DRAWING:**  
2ND FLOOR PLAN

**DRAWN:**  
MSM/FM

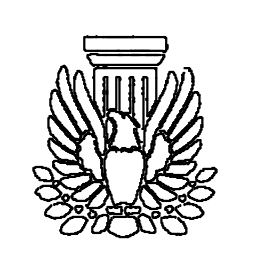
**DATE:** FEB 2025

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 24M4466

**SHEET:**

**5**  
OF 5 SHEETS

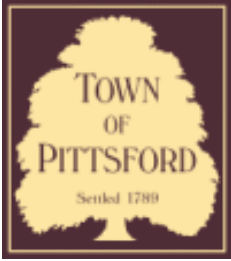












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B25-000014**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 38 Shelwood Drive ROCHESTER, NY 14618

**Tax ID Number:** 138.18-2-63

**Zoning District:** RN Residential Neighborhood

**Owner:** Smith, Jo Anne

**Applicant:** Smith, Jo Anne

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review to remove existing access door to flat roof to replace with a window that matches the other existing windows.

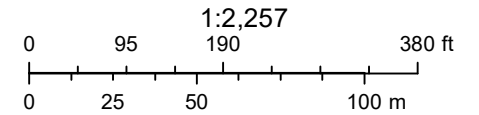
**Meeting Date:** February 27, 2025



# RN Residential Neighborhood Zoning



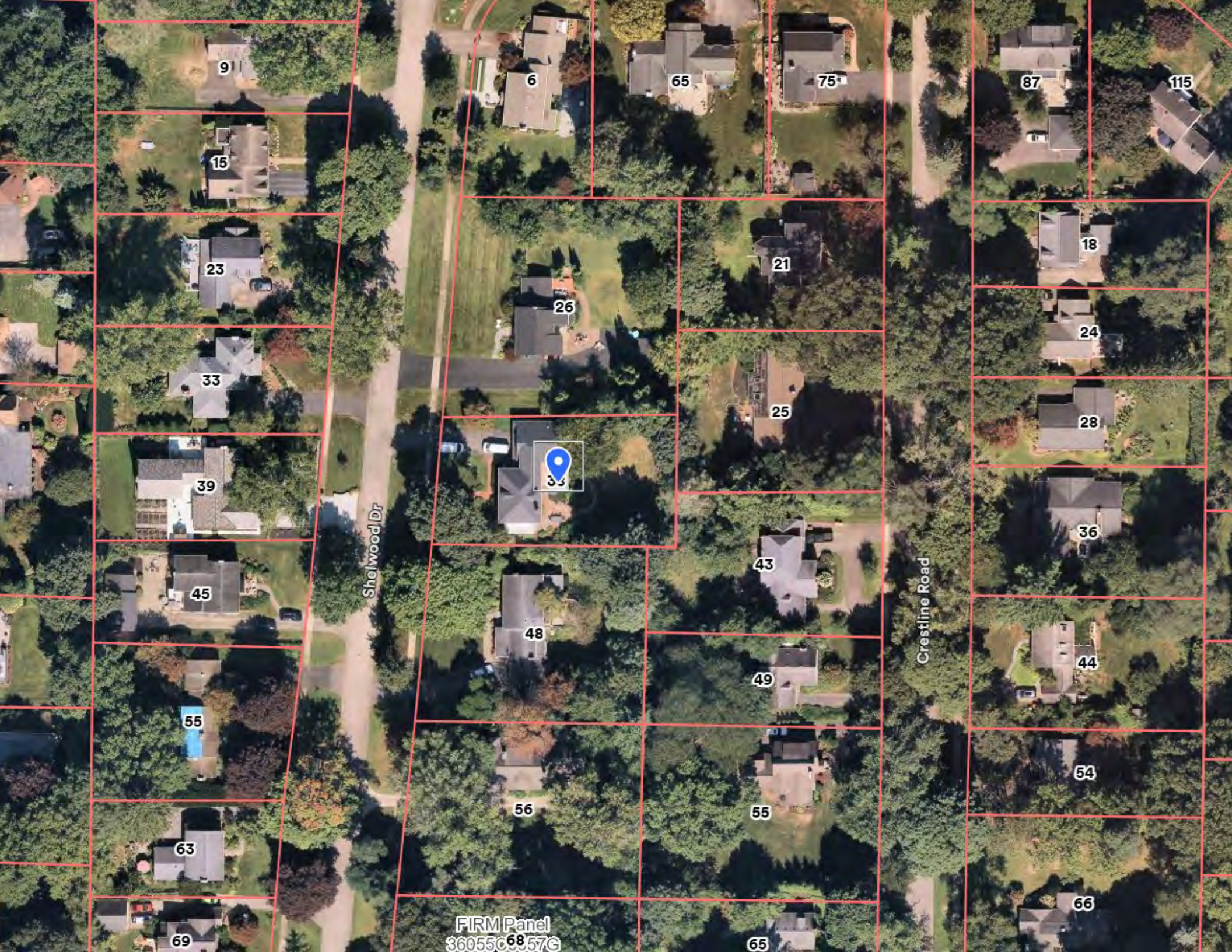
Printed January 31, 2025



Town of Pittsford GIS

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Shelwood Dr

Crestline Road

FIRM Panel  
36055C6857G





## 38 Shelwood Drive Rochester, NY 14618

*Owners seek to replace second story door with window, thereby eliminate access to the flat roof over the study. Owners then seek to eliminate railing in conjunction with the installation of a new flat roof.*







**Series**  
**Model**  
**Make**  
**Other Location**  
**Interior Color**  
**Exterior Color**

**Wonder Window Triple Pane**  
**Super Deluxe - Triple Pane**  
**Starmark-EVO**  
 Sons rm  
 White  
 White

**Window Type**  
**Performance Values**  
**Location**  
**Size**  
**Screen**

**Double Hung**  
**U: 0.18 AL: 0.03**  
 Bedroom 1  
 As Measured  
 Half

**SDL**  
 SDL Grids  
**Alum Trim Color**  
 White  
**Special Upcharge**

**Special Instructions**

Son's bedroom has a in swing entry door to the roof. Customer would like to remove the door and install a window. Installers will reuse existing opening with and header height and frame in knee wall roughly 40 wide by 30 tall and complete with 9 inch wood clapboard on the exterior and drywall with one coat of mud on the interior. Can reuse interior casing will need to add a 5/4 stool and apron. Add baseboard to match existing which is standard one by eight with shoe molding and cove moulding.  
 Customer responsible for priming and painting, exterior clapboard and finish interior sanding/ painting of new interior wall board and trims.

**Installation Options**

Full Frame R & R

Shutter R & R



**Construction Pricing**  
**Fill in Wall Opening Fill in Wall Opening**  
**Other Location**

**Item Location**

Bedroom 1

**Special Instructions**

See window line item this charge is to fill in wall underneath window



**Construction Pricing**  
**Other Location**

**Misc Item Misc Item**

**Item Location**

Bedroom 1

**Misc Description**

Additional materials, including: exterior wood, clapboard, exterior trim, framing, studs, insulation, vapor barrier, insulation, interior wall, board, and interior trims

**Special Instructions**

Same

**Retail Price**

\$7,591

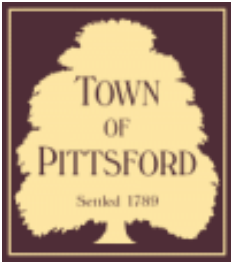
**Promo Discount Amt. (\$)**

\$1,746

**Wonder Price**

**\$5,845**

*This price includes another window.*



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B25-000023**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 29 Kimberly Road PITTSFORD, NY 14534

**Tax ID Number:** 151.16-1-9

**Zoning District:** RN Residential Neighborhood

**Owner:** Smolensky, Scott F

**Applicant:** H + L Design Build, LLC

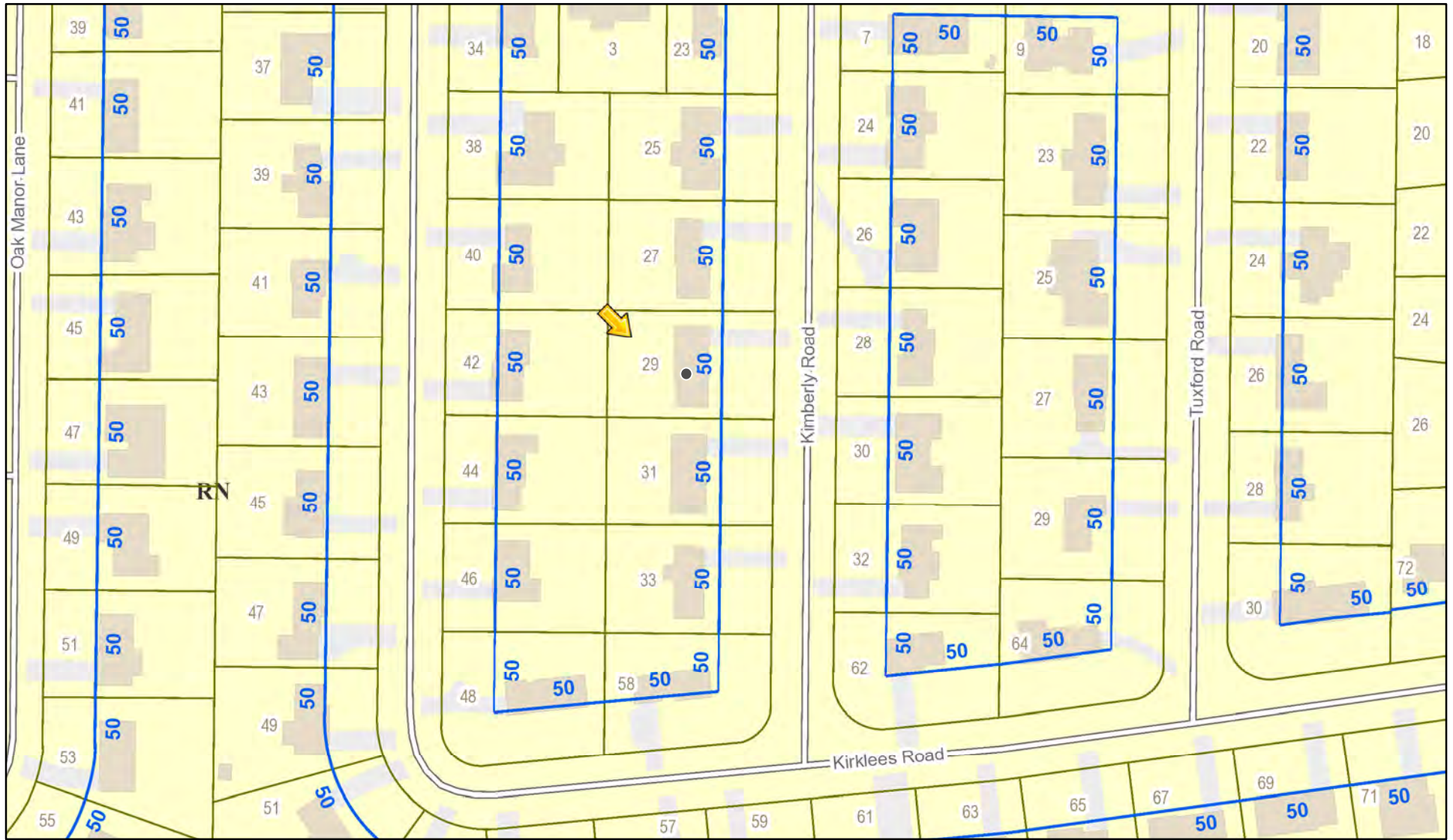
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

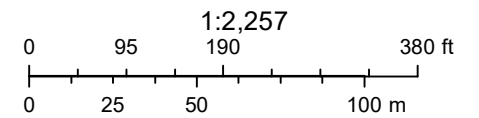
**Project Description:** Applicant is requesting design review for a 768 square foot addition off the rear of the home.

**Meeting Date:** February 27, 2025

# RN Residential Neighborhood Zoning



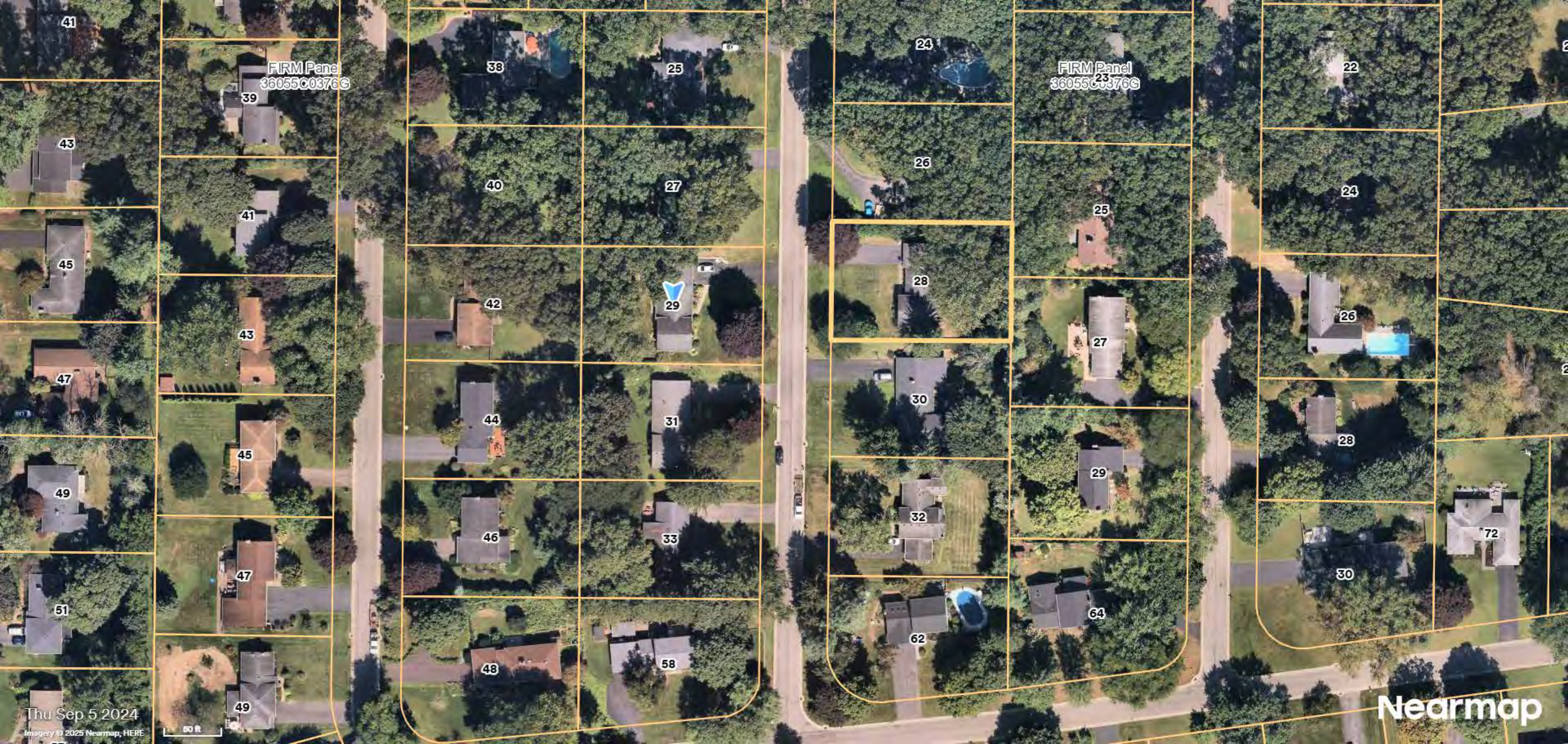
Printed February 17, 2025



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FIRM Panel  
36055C0376G

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FIRM Panel  
36055C0376G

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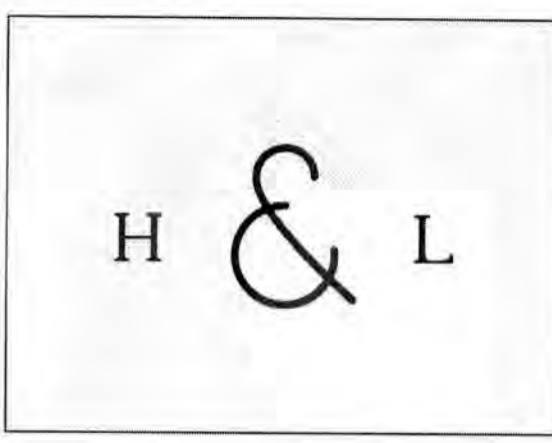
Thu Sep 5 2024

Imagery © 2025 Nearmap, HERE

50 ft

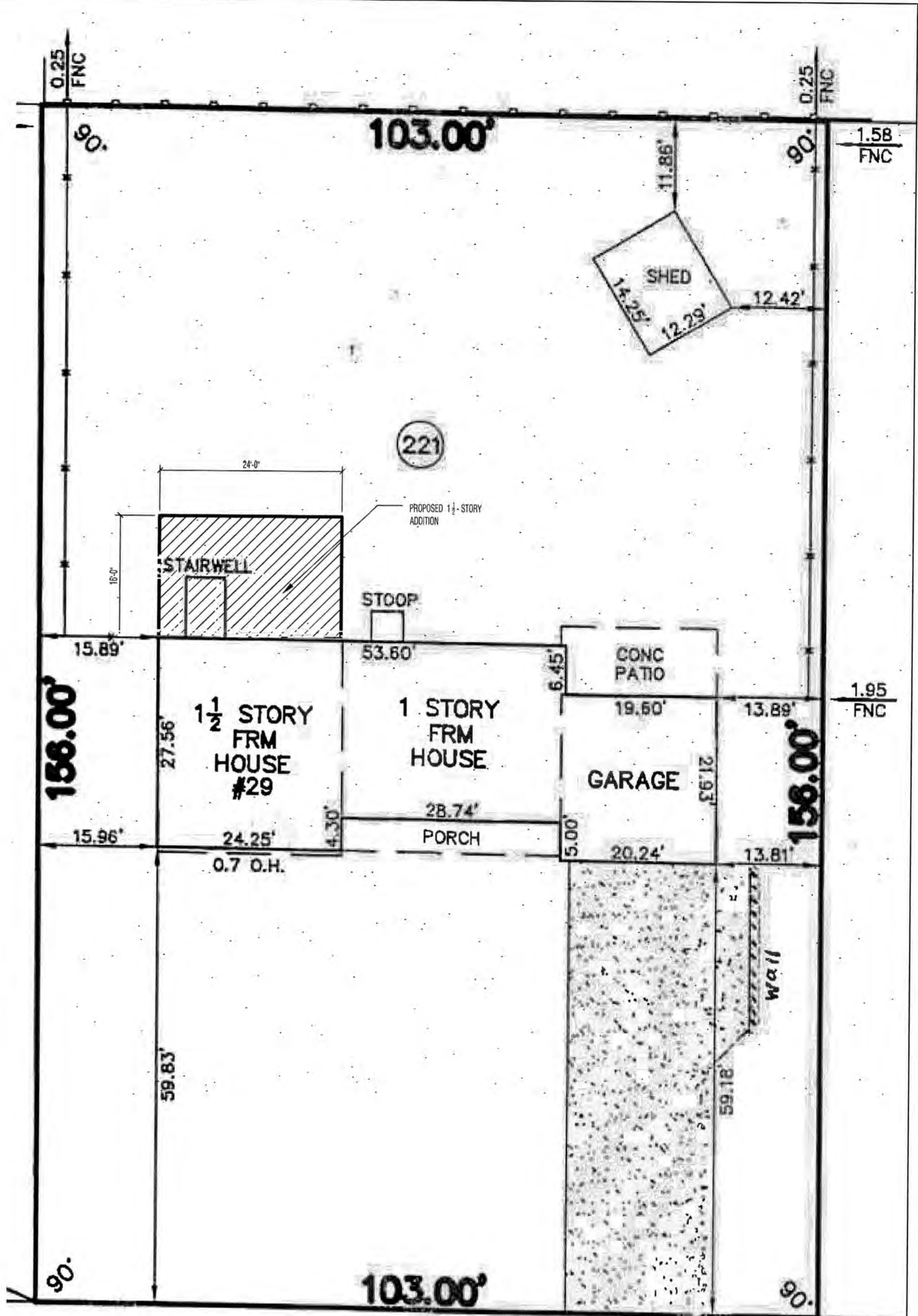
Nearmap





OWNER:  
**SCOTT AND JENNIFER SMOLENSKY**  
29 KIMBERLY ROAD  
PITTSFORD N.Y. 14534

PROJECT:  
**1 1/2 STORY ADDITION**  
29 KIMBERLY ROAD  
PITTSFORD N.Y. 14534



- GENERAL NOTES:**
- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ANY OTHER CODE GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
  - THE OCCUPANCY AND USAGE OF THIS BUILDING IS A SINGLE FAMILY DWELLING AND SHALL MEET THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE REQUIREMENTS FOR CLIMATE ZONE-5. REFER TO TABLE R402.1.2 (INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT) FOR REFERENCE LOCATED ON THIS DRAWING.
  - THESE DRAWINGS DO NOT INCLUDE HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK. IF REQUIRED, ALL HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DESIGN WORK, CALCULATIONS, AND/OR DRAWINGS SHALL BE PROVIDED BY OTHERS AT THE OWNERS EXPENSE. HVAC, PLUMBING, AND ELECTRICAL WORK SHALL MEET OR EXCEED ALL LOCAL AND NATIONAL CODES, AND SHALL BE INSPECTED DURING CONSTRUCTION.
  - OWNER AND / OR CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO CONFIRM THAT ANY OVERHEAD OR UNDERGROUND UTILITY LINES ARE NOT IN INTERFERENCE WITH PROPOSED CONSTRUCTION WORK. OWNER SHALL BE RESPONSIBLE FOR ANY REQUIRED RELOCATIONS.
  - OWNER SHALL BE RESPONSIBLE FOR OBTAINING FOR ALL PERMITS ASSOCIATED WITH THIS WORK.
  - CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, CONSTRUCTION MEANS & METHODS, AND CRAFTSMANSHIP.
  - ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF THE DESIGN INTENT AND GENERAL SCOPE OF WORK. INSTALL WORK SUBSTANTIALLY AS INDICATED AND VERIFY EXACT LOCATIONS AND ELEVATIONS ON SITE. DO NOT DIRECTLY SCALE PLANS. CONTACT ARCHITECT/ENGINEER IF ADDITIONAL DIMENSIONS OR INFORMATION IS REQUIRED.
  - CONTRACTOR SHALL REVIEW ALL DRAWINGS AND ANY OTHER APPLICABLE CONTRACT DOCUMENTS, INCLUDING NOTES, DIMENSIONS, DETAILS, AND CODE REQUIREMENTS AND SHALL NOTIFY THE ARCHITECT IF CONDITIONS VARY FROM WHAT IS SHOWN ON SUCH DOCUMENTS.
  - CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND COMPLETION OF COMPLAINT WORK.
  - CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY ARCHITECT / OWNER IF CONDITIONS VARY FROM THOSE SHOWN ON THE DRAWINGS OR ANY OTHER APPLICABLE CONTRACT DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
  - ALL DETAILS ARE SUBJECT TO CHANGE DUE TO POTENTIAL UNKNOWN, EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY THE ARCHITECT AND OWNER OF SUCH ENCOUNTERED CONDITIONS AND RECEIVE APPROVAL PRIOR TO MODIFICATION OF WORK.
  - CONTRACTORS ARE RESPONSIBLE TO THOROUGHLY COORDINATE WORK WITH OTHER TRADES. WHERE WORK OVERLAPS, DETERMINE EXACT ROUTE AND LOCATION OF UTILITIES, MATERIALS, AND EQUIPMENT PRIOR TO INSTALLATION OF ANY OVERLAPPING WORK.
  - CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT OF FOUNDATION WALLS, LOAD BEARING WALLS, BEAMS, AND PARTITIONS DURING CONSTRUCTION.
  - ALL WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND TO MAKE FIT ALL EXISTING TO NEW WORK (IF APPLICABLE).
  - CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY WEATHERPROOFING, DUST CONTROL, CLEANING OF WORK AREAS, AND SAFETY DURING CONSTRUCTION UNTIL WORK IS SUBSTANTIALLY COMPLETE.
  - UNLESS OTHERWISE NOTED, ALL MASONRY DIMENSIONING IS NOMINAL TO FACE OF MASONRY. ALL NON-MASONRY DIMENSIONING IS TO NOMINAL TO FACE OF PARTITIONS OR WALLS, AND ALL CONCRETE DIMENSIONING IS TO FACE OF WALL.
  - WOOD USED FOR BLOCKING OR OTHER PURPOSES OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED LUMBER OR PLYWOOD.
  - SCALANT SHALL BE PROVIDED AT THE EXTERIOR PERIMETER OF ALL WINDOWS, DOOR FRAMES, LOUVERS OR OTHER ITEMS INSERTED IN AN EXTERIOR WALLS.
  - ALL INTERIOR FINISH AND TRIM SELECTIONS SHALL BE SELECTED BY OWNER AND CONTRACTOR.

- EARTHWORK / FOUNDATION NOTES:**
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 1500 P.S.F.
  - ALL FOOTINGS TO EXTEND BELOW THE FROST LINE A MINIMUM OF 4'-0" BELOW GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
  - THE BACKFILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, AND WELL DRAINED MATERIAL.
  - ALL COMPACTED SOIL SHALL BE IN 6" LIFTS.

- CONCRETE NOTES:**
- CONCRETE PROPERTIES:  
FOOTINGS - MINIMUM COMPRESSIVE STRENGTH: 3500 PSI  
SLABS - MINIMUM COMPRESSIVE STRENGTH: 3500 PSI
  - CONCRETE SUBJECT TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AND AIR ENTRAINMENT PER TABLE R402.2 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

- WOOD CONSTRUCTION AND FRAMING NOTES:**
- STRUCTURAL DESIGN LOADS:**  
FLOOR FRAMING: 40 PSF LIVE LOAD, 15 PSF DEAD LOAD (TOTAL 55 PSF)  
ROOF: 40 PSF GROUND SNOW LOAD, 15 PSF DEAD LOAD (TOTAL 55 PSF), 115 MPH WIND LOAD (ULTIMATE)
  - STRUCTURAL LUMBER SHALL BE NO. 2 HEM-FIR OR BETTER UNLESS NOTED OTHERWISE:  
HEM-FIR: F<sub>b</sub> = 1100 PSI, F<sub>v</sub> = 75 PSI, E = 1,300,000  
DOUGLAS FIR: F<sub>b</sub> = 1400 PSI, F<sub>v</sub> = 95 PSI, E = 1,400,000  
LVL'S: F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 285 PSI, E = 1,900,000
  - WALL AND ROOF SHEATHING SHALL BE EXTERIOR GRADE, APA RATED. SUBFLOOR SHALL BE EXTERIOR GRADE, APA RATED.
  - WALL FRAMING:  
2x6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE PRESSURE TREATED WOOD PLATES WHERE IN CONTACT WITH CONCRETE OR MASONRY.
  - HEADERS FOR EXISTING 2x6 WOOD STUD BEARING WALLS, UNLESS NOTED OTHERWISE:  
OPENING WIDTH:  
UP TO 5'-0" WIDE: (3) 2x8 W (1) 1/2" RIGID PLYWOOD GUSSETS AND 1 1/2" RIGID INSULATION ON INTERIOR SIDE  
UP TO 7'-0" WIDE: (3) 2x10 W (1) 1/2" RIGID PLYWOOD GUSSETS AND 1 1/2" RIGID INSULATION ON INTERIOR SIDE  
UP TO 8'-0" WIDE: (3) 2x12 W (1) 1/2" RIGID PLYWOOD GUSSETS AND 1 1/2" RIGID INSULATION ON INTERIOR SIDE
  - PROVIDE NUMBER OF STUDS EQUAL TO NUMBER OF TRUSS/BEAM PILES UNDER ALL BEARING POINTS, UNLESS NOTED OTHERWISE.
  - WOOD IN CONTACT WITH MASONRY, CONCRETE, EARTH, OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE PRESERVATIVE TREATED.
  - ALL EXTERIOR CONVENTIONAL LUMBER SHOULD BE LABELED AS PRESSURE-TREATED. EXTERIOR PARALLEL PSL LUMBER SHALL BE LABELED AS WOLMANIZED (PRESSURE TREATED).
  - FRAMING ANCHORS, JOIST HANGARS, AND MISCELLANEOUS METAL CONNECTING DEVICES FOR WOOD FRAMING SHALL BE GALVANNEED STEEL, AT LEAST 30 MIL THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND USE NAILS SUPPLIED BY OR RECOMMENDED BY MANUFACTURER.
  - WOOD CONSTRUCTION HANGER SCHEDULE:**  
2x10 SIMPSON STRONG-TIE LUC210  
(3) 2x10 SIMPSON STRONG-TIE HUC210-2  
(3) 2x10 SIMPSON STRONG-TIE HUC210-3  
3 1/2" x 1/2" PARALLAM PSL SIMPSON STRONG-TIE HUC410  
5 1/2" x 1/2" PARALLAM PSL SIMPSON STRONG-TIE HUC610

- ROOF FRAMING NOTES:**
- ENGINEERED WOOD ROOF TRUSS OPTION: FINAL DESIGN BY ROOF TRUSS MANUFACTURER AND APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER. ALL PRE-ENGINEERED ROOF SYSTEM COMPONENTS INCLUDING BLOCKING AND BRACING TO BE CERTIFIED BY THE MANUFACTURER.
  - ALL RAKES AND OVERHANGS SHALL MATCH EXISTING UNLESS NOTED OTHERWISE.
- ROOF NOTES:**
- PROVIDE REQUIRED FLASHINGS TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, HORIZONTAL ABUTMENTS, PROJECTIONS, VALLEYS, OPENINGS, AND EDGES.
  - SLOPE: ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1 OF THE 2020 INTERNATIONAL RESIDENTIAL CODE.

**SPECIAL ROOF FRAMING AND ROOF NOTES:**  
ROOF DESIGN OPTION #2 - VENTILATED ATTIC  
PROVIDE THE FOLLOWING:  
• ROOF TRUSSES WITH 15° HEEL. FINAL DESIGN BY TRUSS MANUFACTURER  
• R-49 BATT INSULATION LOCATED AT BOTTOM CHORD OF TRUSS  
• 4'-0" BAFFLES AT EAVES  
• VENTED SOFFIT AT EAVES  
• CONTINUOUS RIDGE VENT

NOTE: THIS OPTION WILL RESULT AN AN OVERALL HIGHER EAVE AND RIDGE BASED ON THE RAISED HEEL HEIGHT OF THE TRUSS FOR R-49 BATT INSULATION REQUIREMENTS

- FLOOR PLAN NOTES:**
- NEW EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
  - NEW INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE.
  - HARD-WIRED CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS REQUIRED BY THE 2020 RESIDENTIAL CODE OF NYS IN THE FOLLOWING LOCATIONS: - ON ANY STORY HAVING A SLEEPING AREA, WITHIN 10 FEET OF SLEEPING AREA. ALARMS SHALL BE INTERCONNECTED SUCH THAT IF ONE ACTIVATES, ALL WILL ACTIVATE. ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2004. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS MAY BE USED.
  - HARD-WIRED SMOKE DETECTORS SHALL BE INSTALLED AS REQUIRED BY THE 2020 RESIDENTIAL CODE OF NYS IN THE FOLLOWING LOCATIONS: - IN EACH SLEEPING ROOM, - IN HALLWAYS ADJACENT TO SLEEPING ROOMS, - AT LEAST ONE ON EACH STORY INCLUDING BASEMENT. DETECTORS SHALL BE INTERCONNECTED SUCH THAT IF ONE ACTIVATES, ALL WILL ACTIVATE. DETECTORS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH NFPA-72 AND APPENDIX J OF THE RESIDENTIAL CODE. LISTED COMBINATION SMOKE/CARBON MONOXIDE ALARM MAY BE USED.
  - SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED ELSEWHERE.

- WINDOW NOTES:**
- EXTERIOR WINDOW LOCATIONS ARE SHOWN IN LOCATIONS FOR THE PURPOSE OF INTENT OF USE AND BASED ON ANDERSON TILT-WASH-DRY-CLIMB-TILT FRAME WINDOWS (SERIES 400). ALL WINDOWS TO BE HIGH PERFORMANCE LOW-E GLAZING AND MEET MINIMUM REQUIREMENTS FOR CODE REQUIRED "U" VALUE, NATURAL LIGHT, VENTILATION, EGRESS, AND SAFETY GLAZING. LOCATIONS AND SIZES MAY BE ALTERED DURING CONSTRUCTION BY THE OWNER AND CONTRACTOR EXCEPT THAT REQUIREMENTS PER HABITABLE ROOM MUST MEET REQUIREMENTS OF THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE AS FOLLOWS:  
• MINIMUM AGGREGATE GLAZING AREA FOR DAYLIGHT SHALL NOT BE LESS THAN 8% OF THE ROOM FLOOR AREA.  
• MINIMUM OPERABLE AREA TO THE OUTDOORS FOR VENTILATION SHALL NOT BE LESS THAN 4% OF THE ROOM BEING VENTILATED FLOOR AREA.  
• A MINIMUM OF ONE EGRESS WINDOW MUST BE PROVIDED IN EACH BEDROOM WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET. MINIMUM CLEAR OPENING HEIGHT SHALL BE 20 INCHES AND THE MINIMUM CLEAR OPENING WIDTH SHALL BE 20 INCHES.  
• MAINTAIN A L/A-FACTOR OF 30 OR LESS TO MEET THE INSULATION AND FENESTRATION REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (TABLE R02.1.4). REFER TO GENERAL NOTE #2.

- GUARDS AND WINDOW FALL PROTECTION:**
- GUARDS:  
GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING BALCONIES, STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED A GUARD.  
HEIGHT - REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.  
OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
  - R312.2 WINDOW FALL PROTECTION: WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

- R312.2.1 WINDOW SILLS - IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
- OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
  - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
  - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.
- R312.2.2 WINDOW OPENING CONTROL DEVICES: WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICES, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW. NOT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

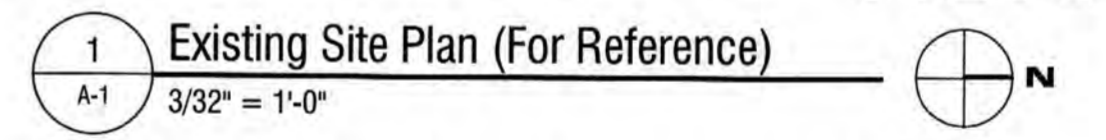
- EMERGENCY ESCAPE AND RESCUE OPENINGS:**
- R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EXCEPTION: STORM SHELTERS AND BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL FLOOR AREA OF 200 SQUARE FEET.
- R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING.
- R310.2 EMERGENCY ESCAPE AND RESCUE OPENINGS. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.
- R310.2.1 MINIMUM OPENING AREA. EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM). EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQUARE FEET.
- R310.2.2 WINDOW SILL HEIGHT. WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.
- R310.2.3 WINDOW WELLS. THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN 9 SQUARE FEET WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. EXCEPTION: THE LADDER OR STEPS REQUIRED BY SECTION R310.2.3.1 SHALL BE PERMITTED TO ENCRATCH NOT MORE THAN 6 INCHES INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.
- R310.2.3.1 LADDER AND STEPS. WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS R311.7 AND R311.8. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES. SHALL PROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.
- R310.2.3.2 DRAINAGE. WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R405.1 OR BY AN APPROVED ALTERNATIVE METHOD. EXCEPTION: A DRAINAGE SYSTEM FOR WINDOW WELLS IS NOT REQUIRED WHERE THE FOUNDATION IS ON WELL-DRAINED SOIL OR SAND-GRAVEL MIXTURE SOILS IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1.

- ATTIC ACCESS:**
- R807.1 ATTIC ACCESS. BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.
- THE ROUGH-FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER LOCATION WITH READY ACCESS. WHERE LOCATED IN A WALL, THE OPENING SHALL BE NOT LESS THAN 22 INCHES WIDE BY 30 INCHES HIGH. WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE SECTION M1305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.

[NY] TABLE R402.1.2  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT\*

CLIMATE ZONE	FENESTRATION U-FACTOR**	SKYLIGHT* U-FACTOR*	GLAZED FENESTRATION SHGC**	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT* WALL R-VALUE	SLAB* R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13+5 <sup>a</sup>	8/13	19	10/13	10, 2 R	10/13
5	0.30	0.55	NR	49	20 or 13+5 <sup>a</sup>	13/17	30 <sup>a</sup>	15/19	10, 4 R	15/19
6 Option 1	0.30	0.55	NR	49	20+5 <sup>a</sup> or 13+10 <sup>a</sup>	15/20	30 <sup>a</sup>	15/19	10, 4 R	15/19
6 Option 2	0.28	0.55	NR	60	23 cavity	19/21	30 <sup>a</sup>	15/19	10, 4 R	15/19

**KIMBERLY (60' WIDE) ROAD**



INFORMATION ON THIS SITE PLAN HAS BEEN PROVIDED BY THE OWNER FROM A MAP MADE APRIL 12, 2021 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON APRIL 9, 2021 BY DAVID M. PAONESSA WITH THE FOLLOWING REFERENCES:

- DEED REFERENCE: LIBER 12154 OF DEEDS AT PAGE 341.
- MAP REFERENCE: SHERWOOD SUBDIVISION SECTION H FILED IN LIVER 143 OF MAPS AT PAGE 72, FEBRUARY 14, 2019.
- NOTE:  
A. TAX ACCOUNT NO. 151 16-0001-009  
B. EASEMENT TO RG&E & RTC PER LIBER 3274 OF DEEDS AT PAGES 85 & 87.

THIS SITE PLAN IS FOR REFERENCE ONLY. OWNER SHALL BE RESPONSIBLE FOR ANY UPDATED SITE INFORMATION OR SURVEY IF REQUIRED FOR ANY LOCAL ZONING AND/OR SITE PLAN APPROVALS.

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2408		
ISSUED FOR: PERMIT AND CONSTRUCTION		
DATE: 1/23/2025		
SHEET NAME:		
SHEET NUMBER:		

**Site Plan (for reference) and Notes**



OWNER:

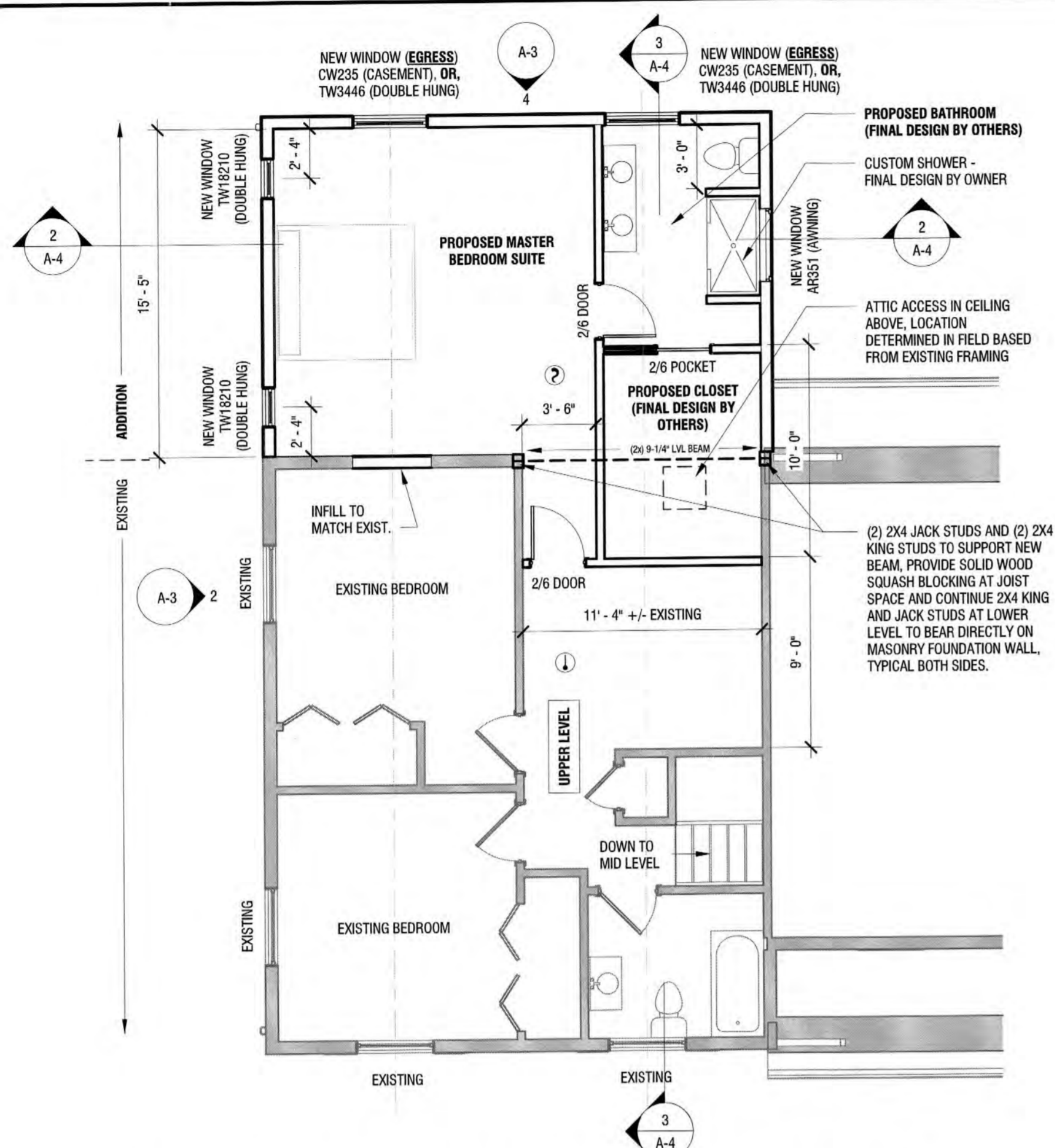
**SCOTT AND JENNIFER SMOLENSKY**

29 KIMBERLY ROAD  
PITTSFORD, NY 14534

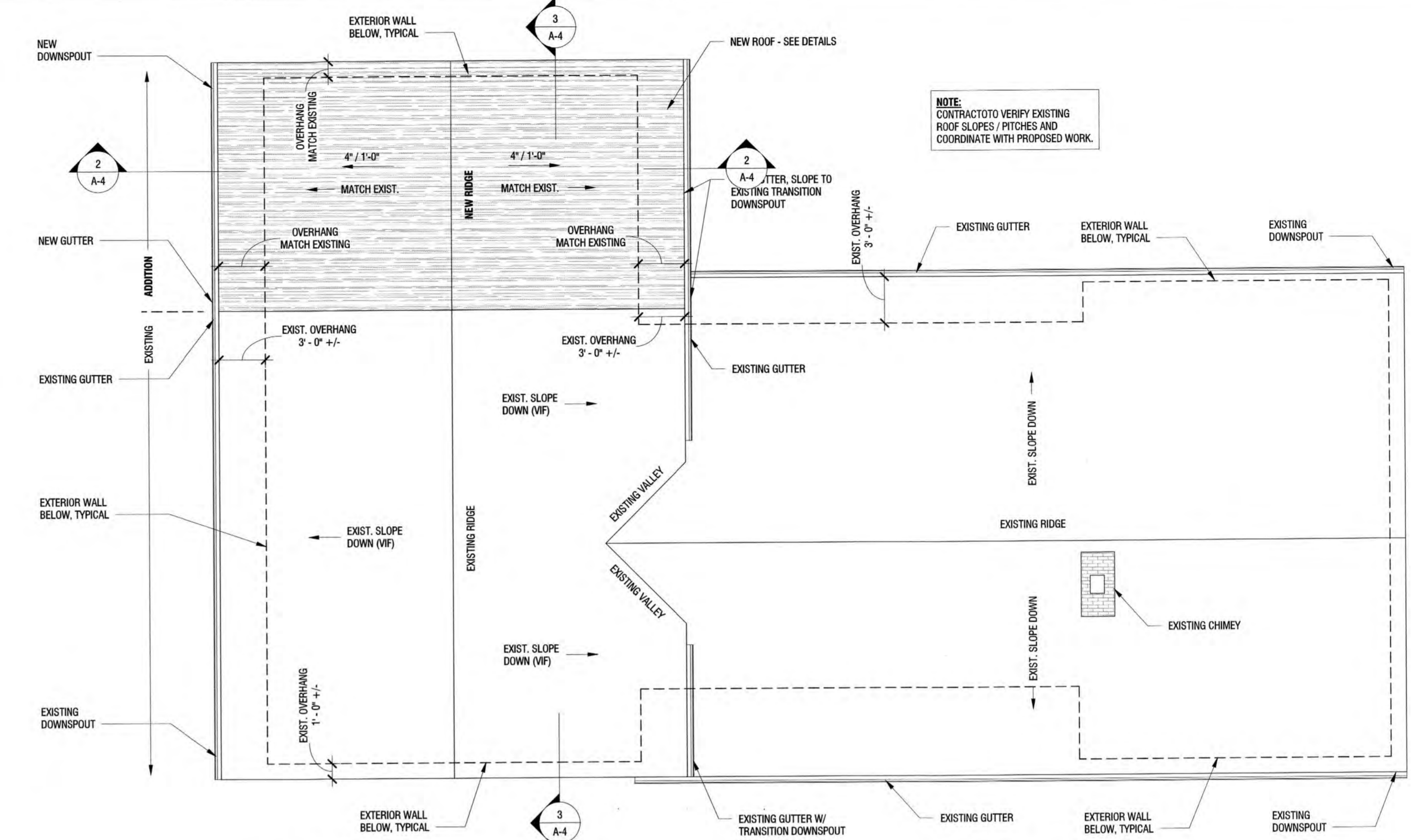
PROJECT:

**1-1/2 STORY ADDITION**

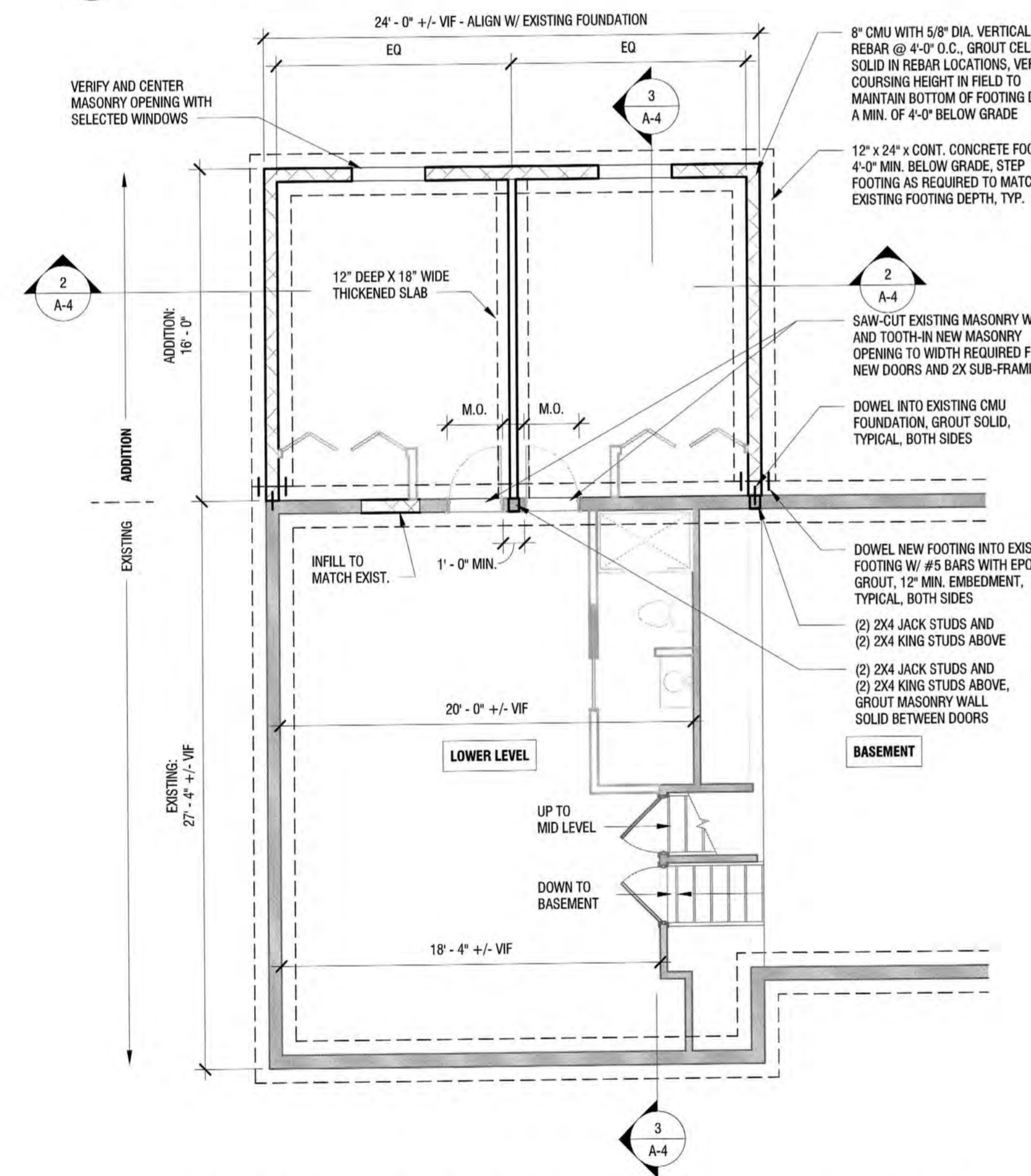
29 KIMBERLY ROAD  
PITTSFORD, NY 14534



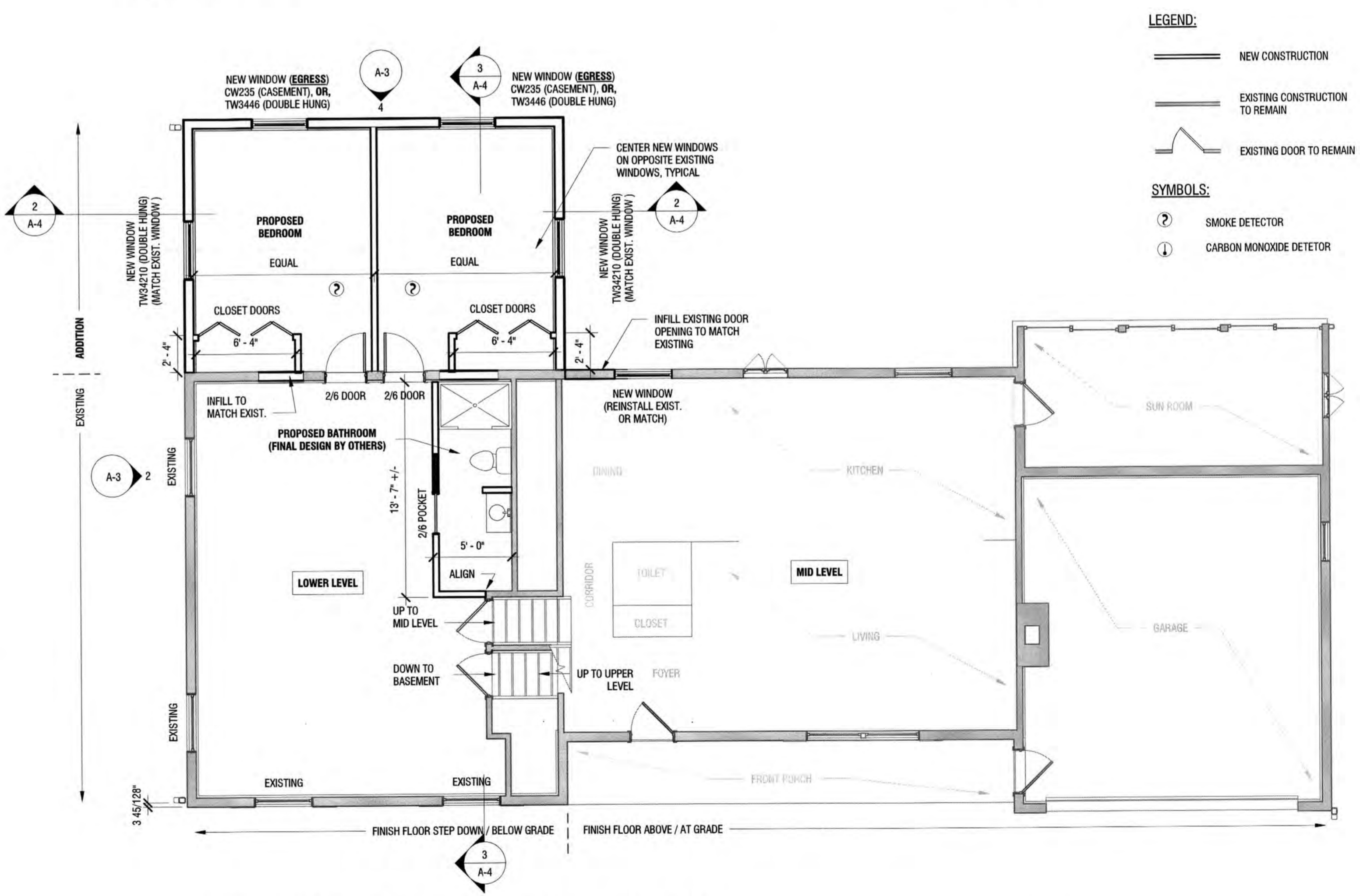
**02 UPPER LEVEL FLOOR PLAN (PARTIAL) - PROPOSED**  
SCALE: 3/16" = 1'-0"



**ROOF PLAN**  
SCALE: 3/16" = 1'-0"



**FOUNDATION / BASEMENT PLAN (PARTIAL) - PROPOSED**  
SCALE: 3/16" = 1'-0"



**LOWER & MID LEVEL FLOOR PLAN - PROPOSED**  
SCALE: 3/16" = 1'-0"

- LEGEND:**
- NEW CONSTRUCTION
  - EXISTING CONSTRUCTION TO REMAIN
  - EXISTING DOOR TO REMAIN
- SYMBOLS:**
- ⊙ SMOKE DETECTOR
  - Ⓛ CARBON MONOXIDE DETECTOR

NO.	DATE	DESCRIPTION
Revisions		

PROJECT: 2408

ISSUED FOR: PERMIT AND CONSTRUCTION

DATE: 1/23/2025

SHEET NAME:

**FLOOR PLANS AND ROOF PLAN**

SHEET NUMBER:



OWNER:

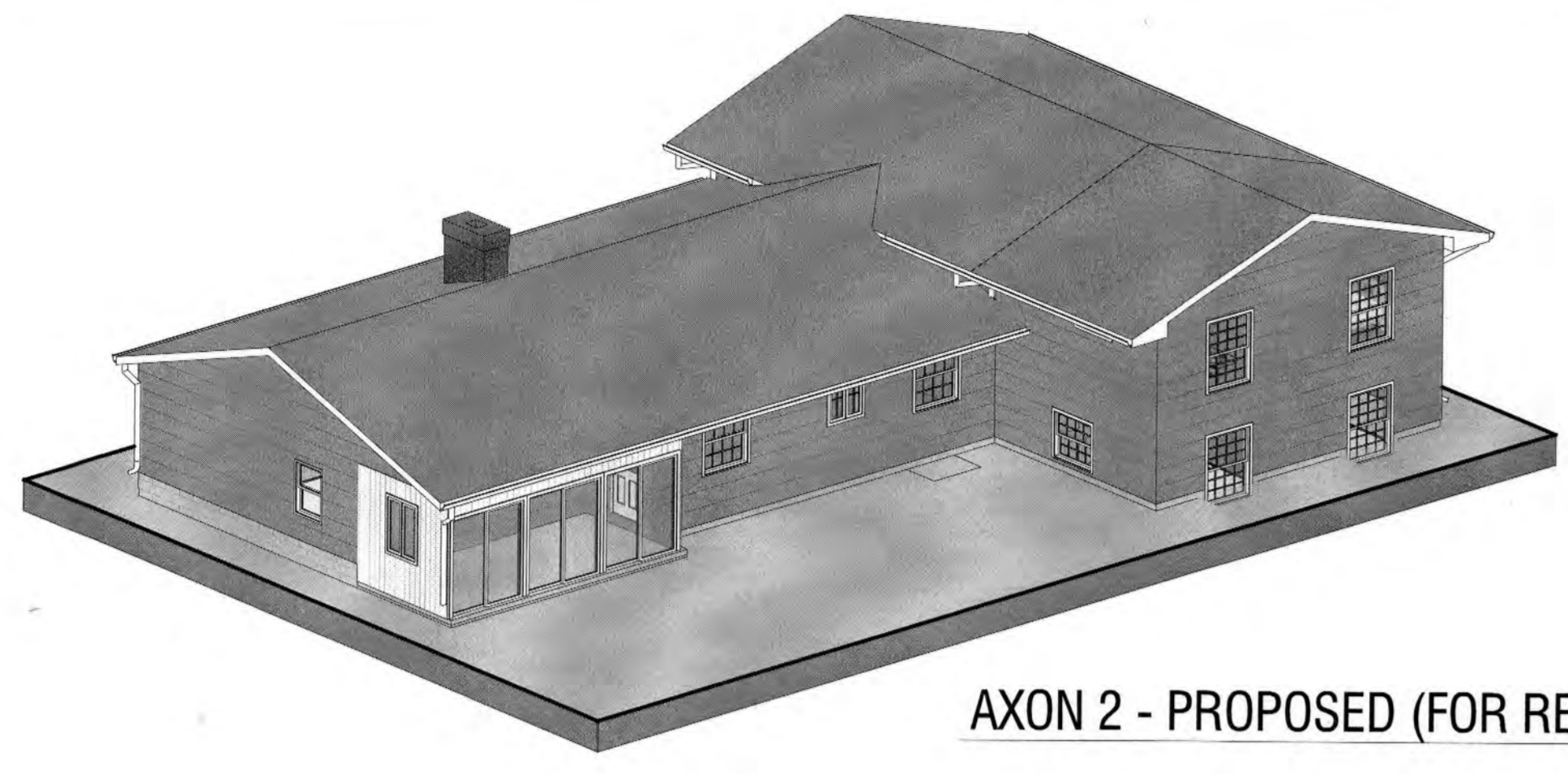
**SCOTT AND JENNIFER SMOLENSKY**

238 SUSQUEHANNA ROAD  
ROCHESTER, NY 14618

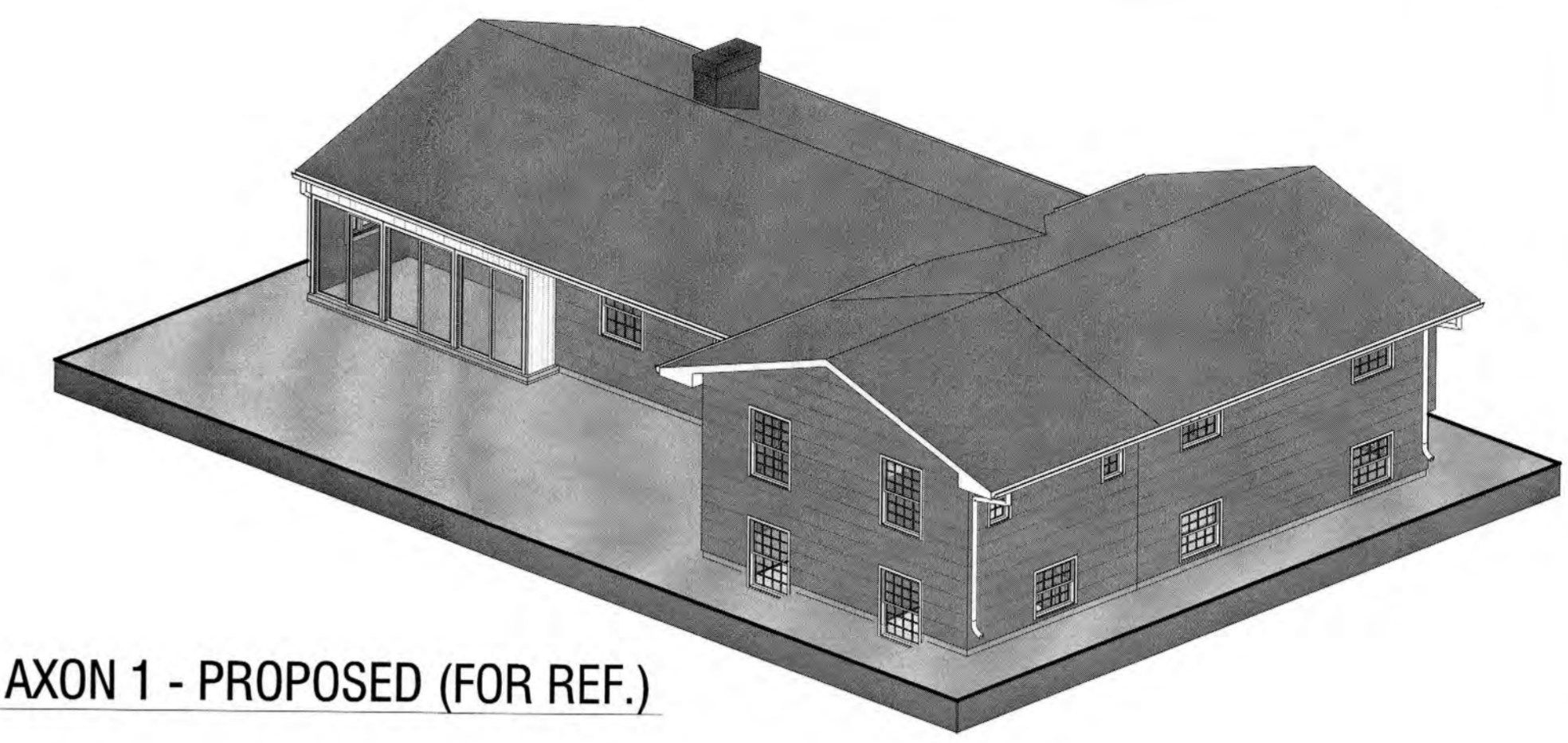
PROJECT:

**1-1/2 STORY ADDITION**

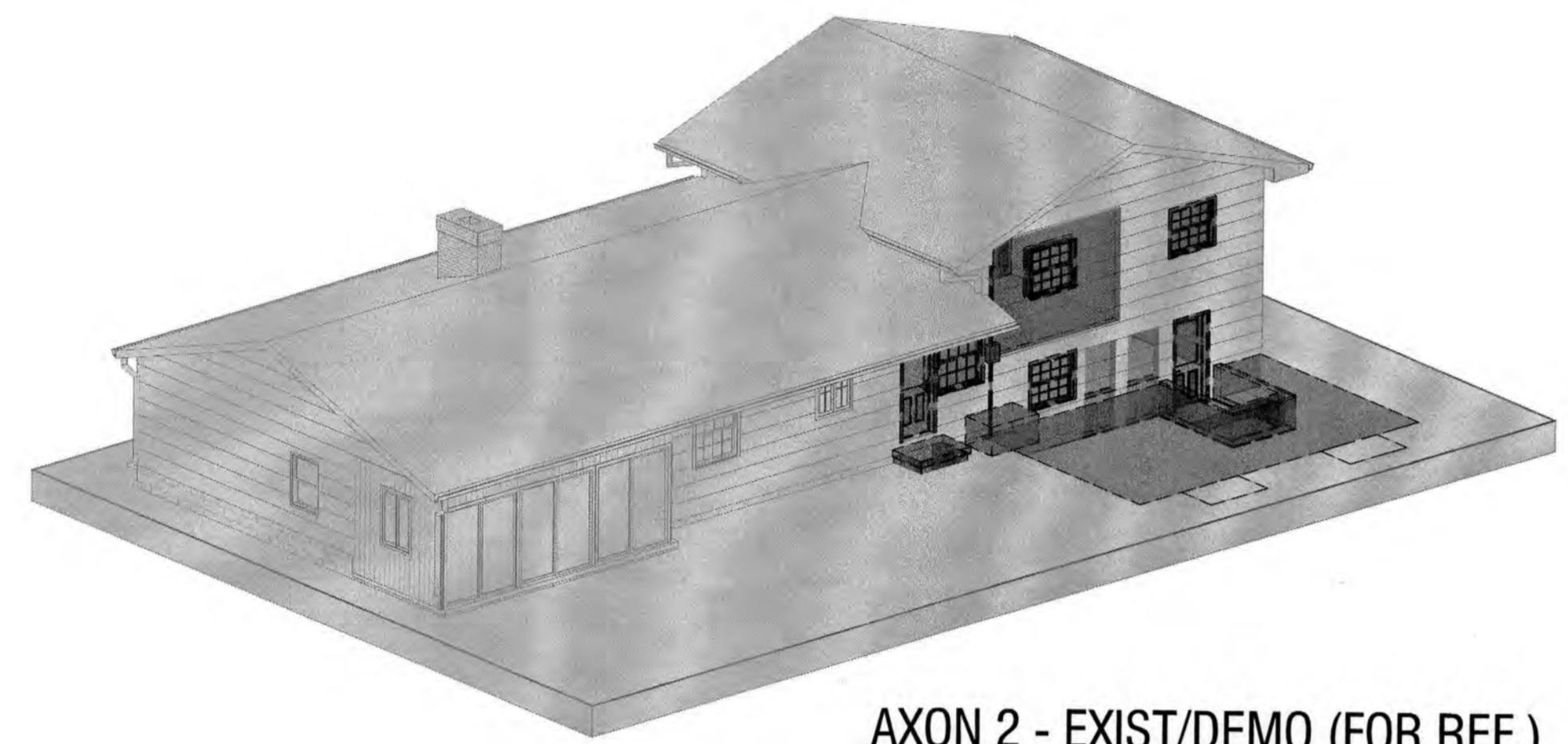
29 KIMBERLY ROAD  
PITTSFORD, NY 14534



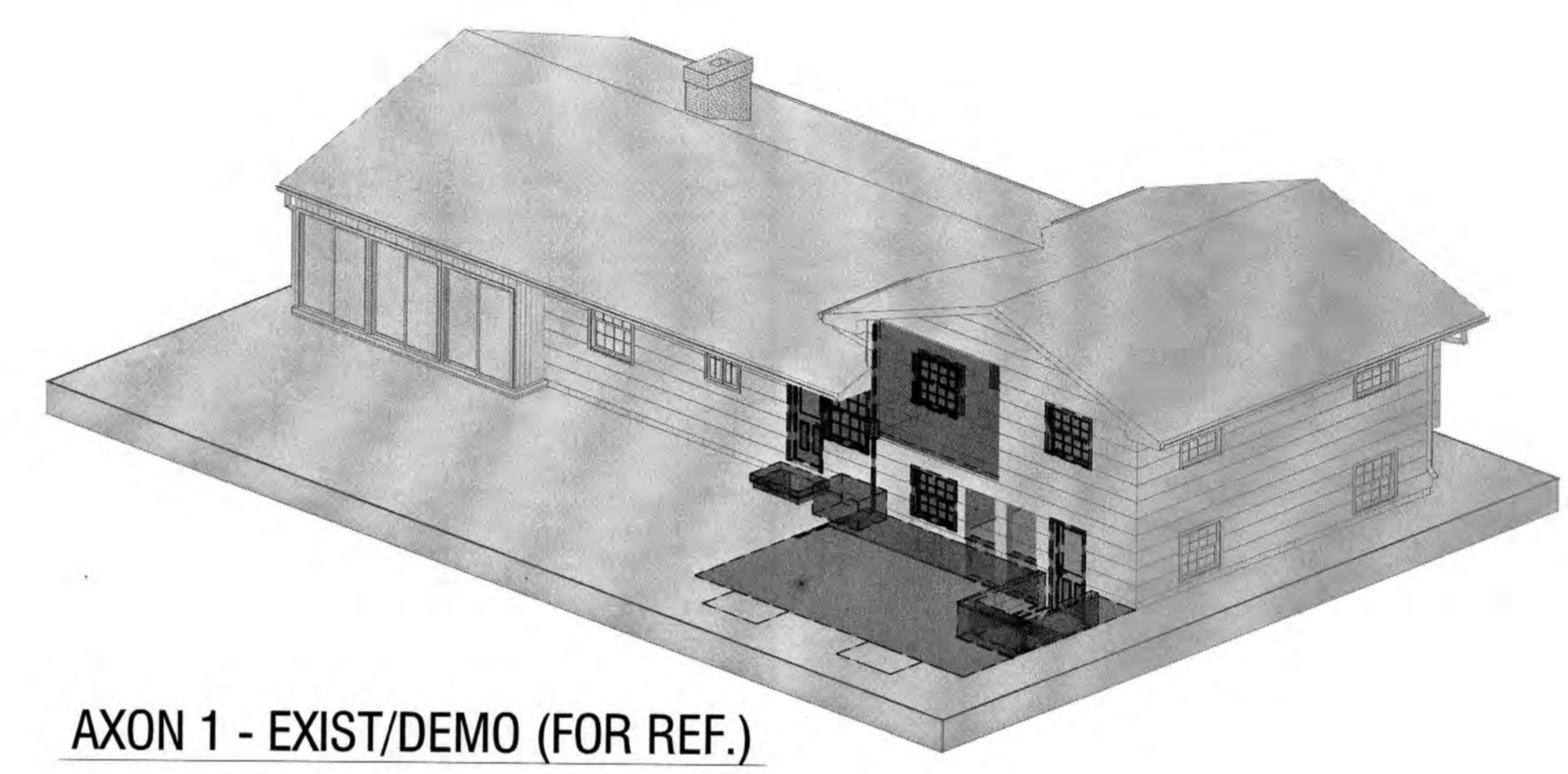
**AXON 2 - PROPOSED (FOR REF.)**



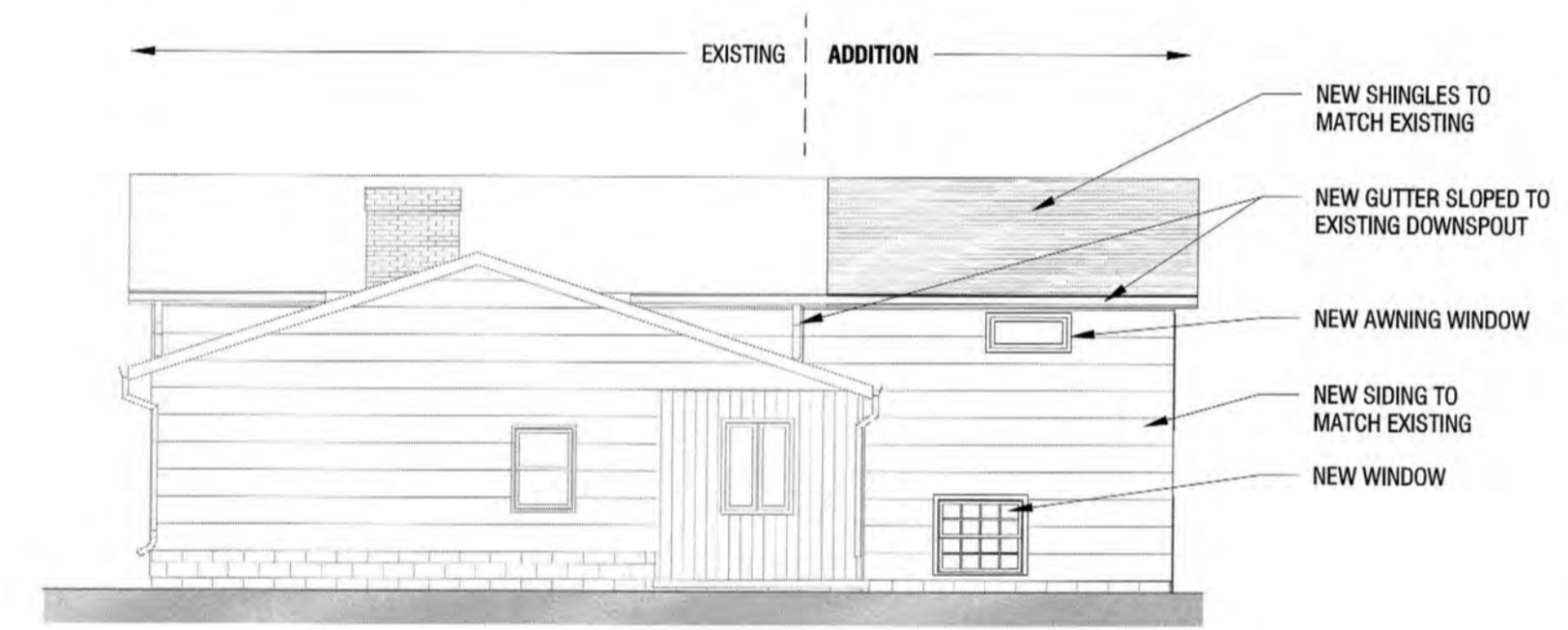
**AXON 1 - PROPOSED (FOR REF.)**



**AXON 2 - EXIST/DEMO (FOR REF.)**



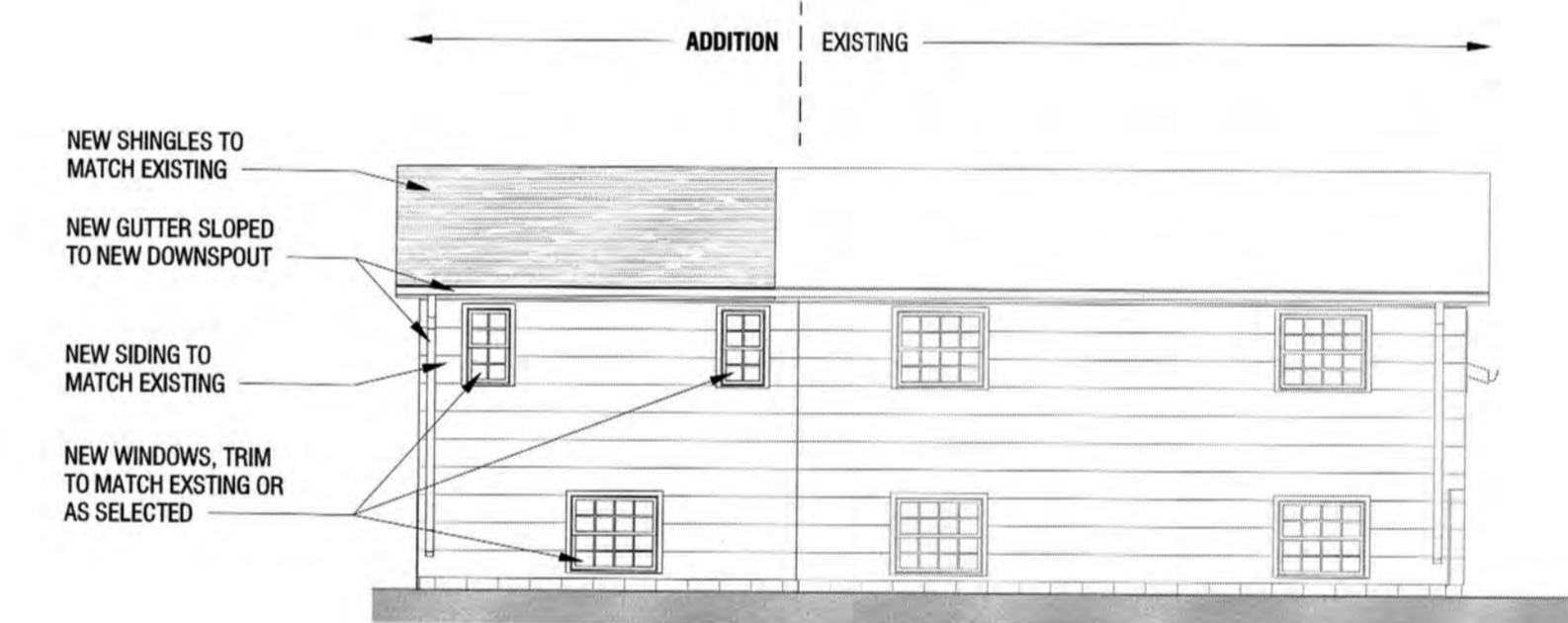
**AXON 1 - EXIST/DEMO (FOR REF.)**



**6 RIGHT ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

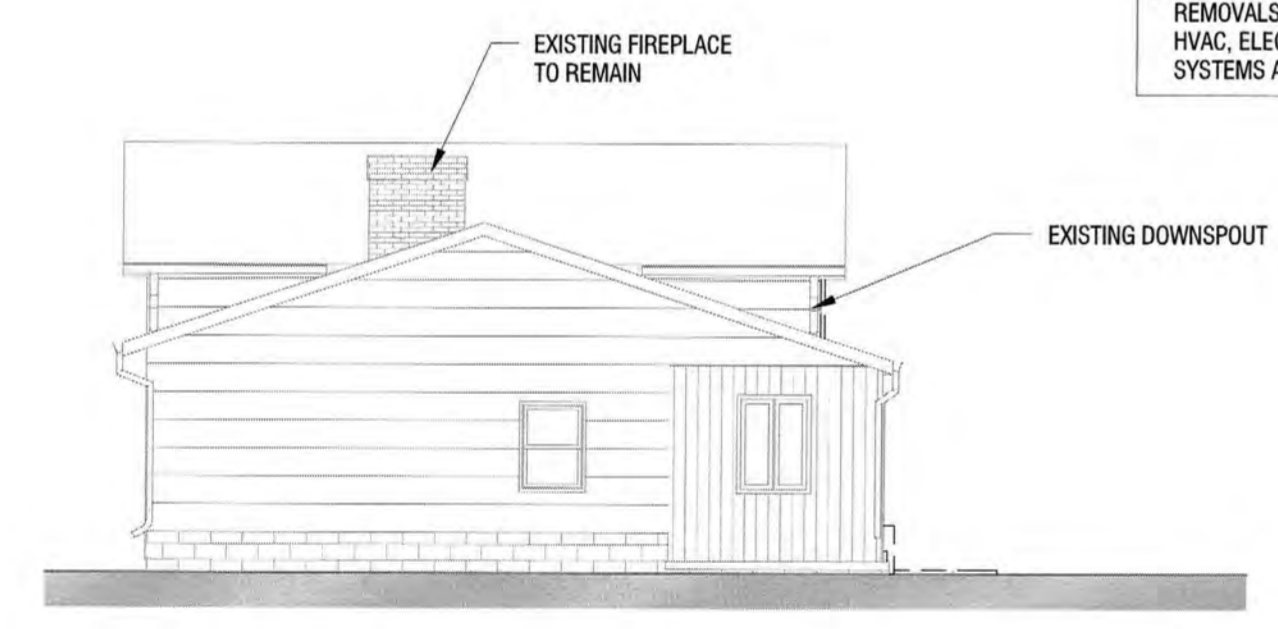


**4 REAR ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

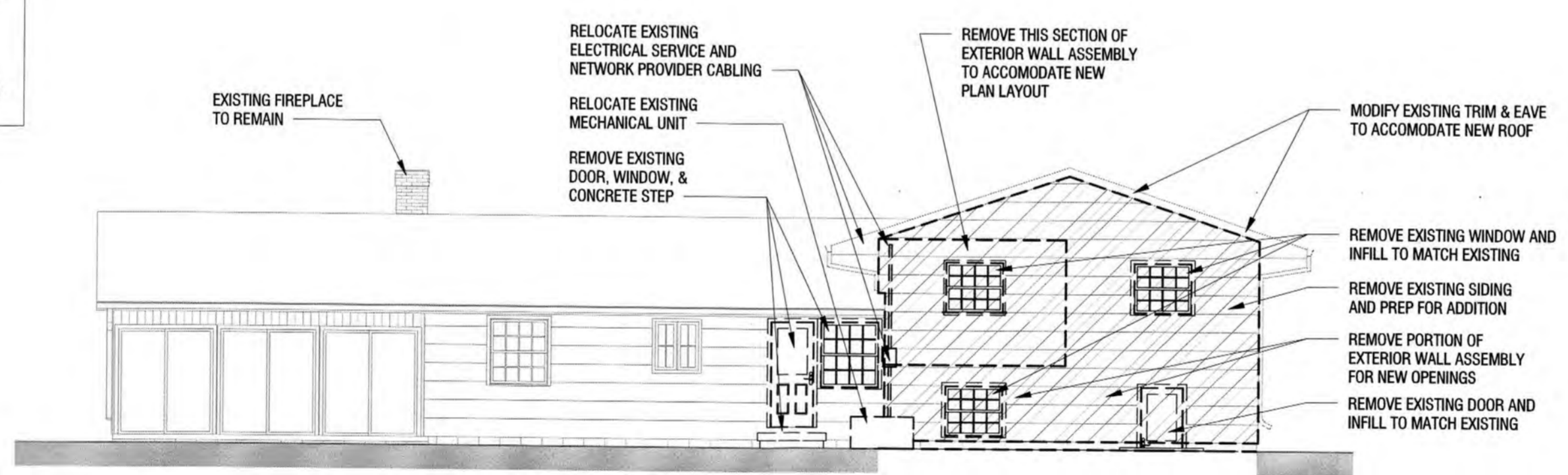


**2 LEFT ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

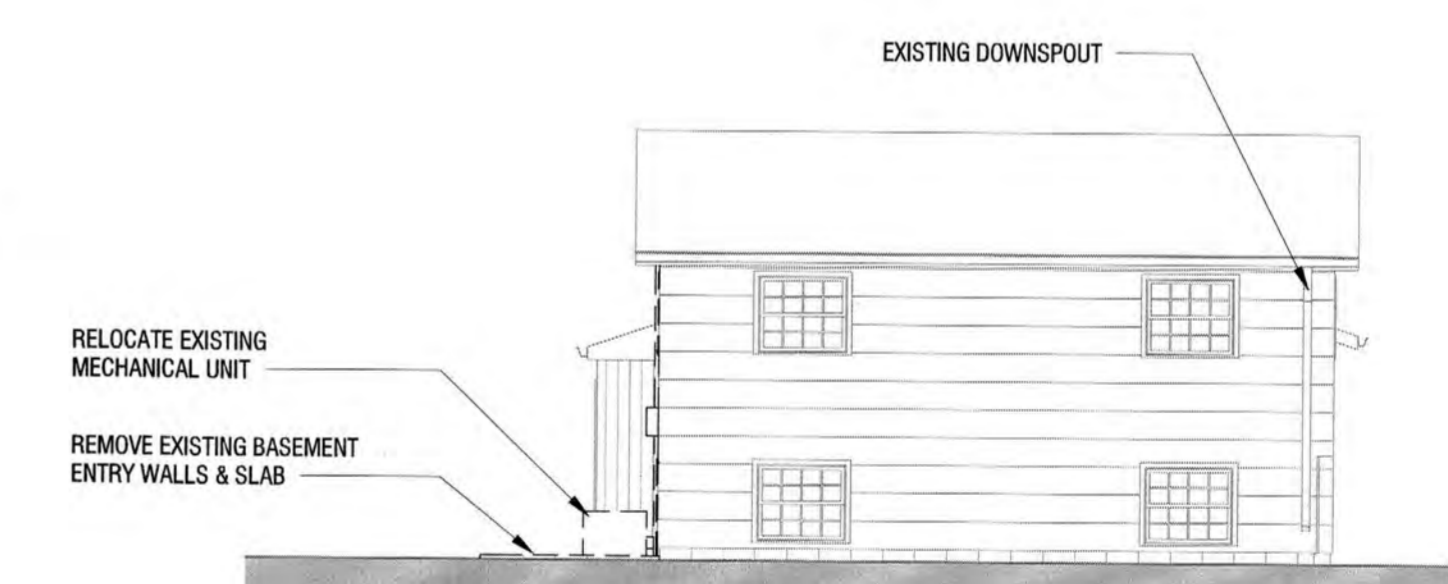
**GENERAL DEMOLITION NOTES:**  
1. PROVIDE ADEQUATE SUPPORT OF FOUNDATION WALLS, LOAD BEARING WALLS, BEAMS, ROOF SYSTEMS, AND PARTITIONS DURING CONSTRUCTION.  
2. COORDINATE TEMPORARY SHUT-OFFS, REMOVALS, AND/OR REPLACEMENT OF ALL HVAC, ELECTRICAL, LIGHTING, AND PLUMBING SYSTEMS AND COMPONENTS IN FIELD.



**5 RIGHT ELEVATION - EXIST/DEMO**  
SCALE: 1/8" = 1'-0"



**3 REAR ELEVATION - EXIST/DEMO**  
SCALE: 1/8" = 1'-0"



**1 LEFT ELEVATION - EXIST/DEMO**  
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
Revisions		

PROJECT: 2408

ISSUED FOR: PERMIT AND CONSTRUCTION

DATE: 1/23/2025

SHEET NAME:

**EXTERIOR ELEVATIONS AND AXONOMETRICS**

SHEET NUMBER:



OWNER:

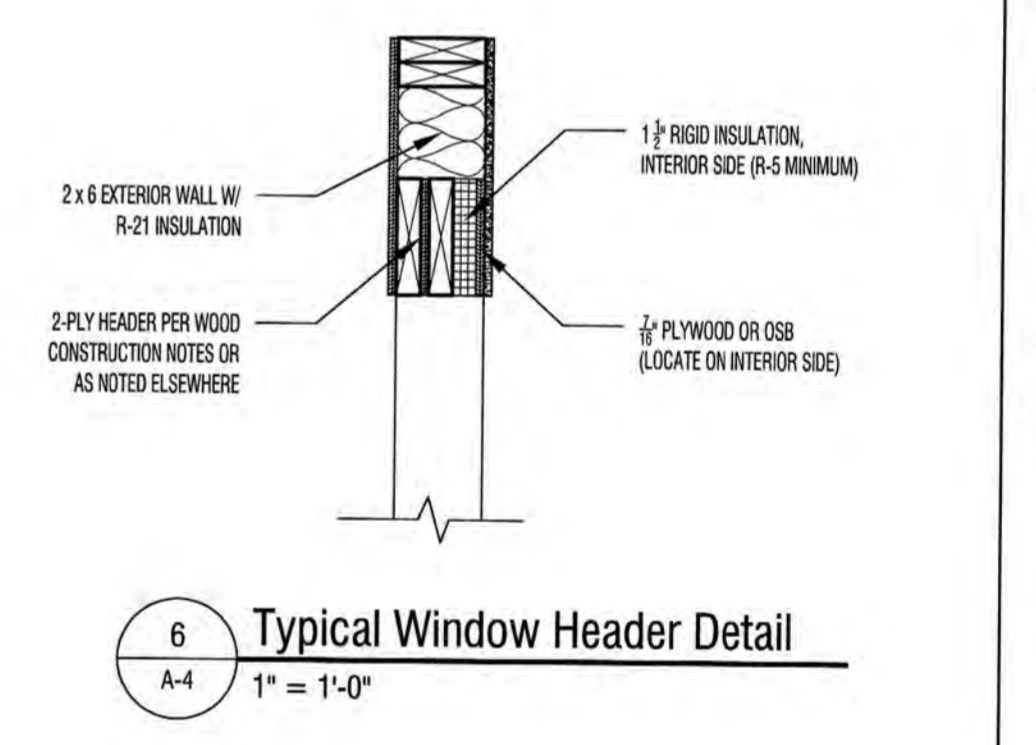
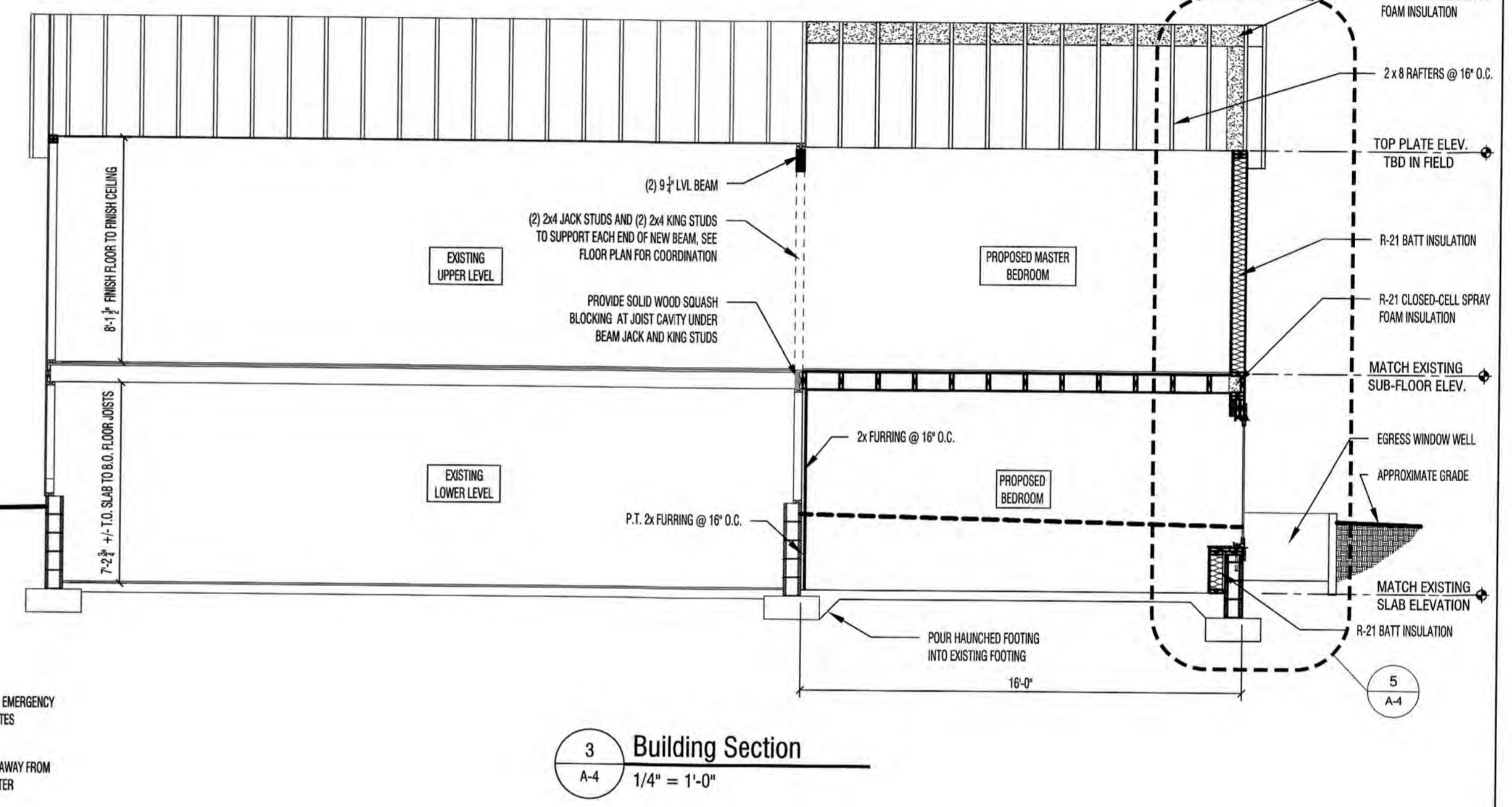
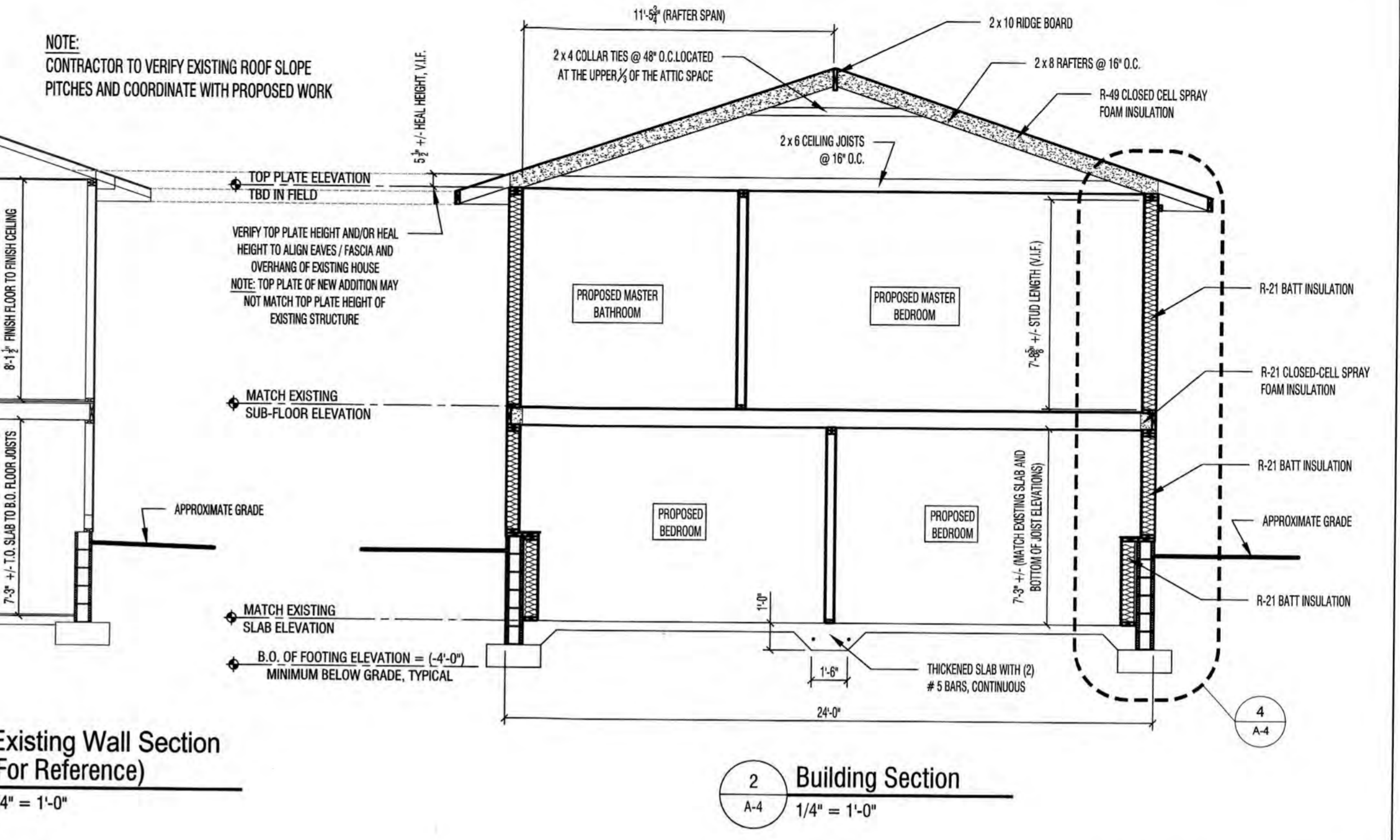
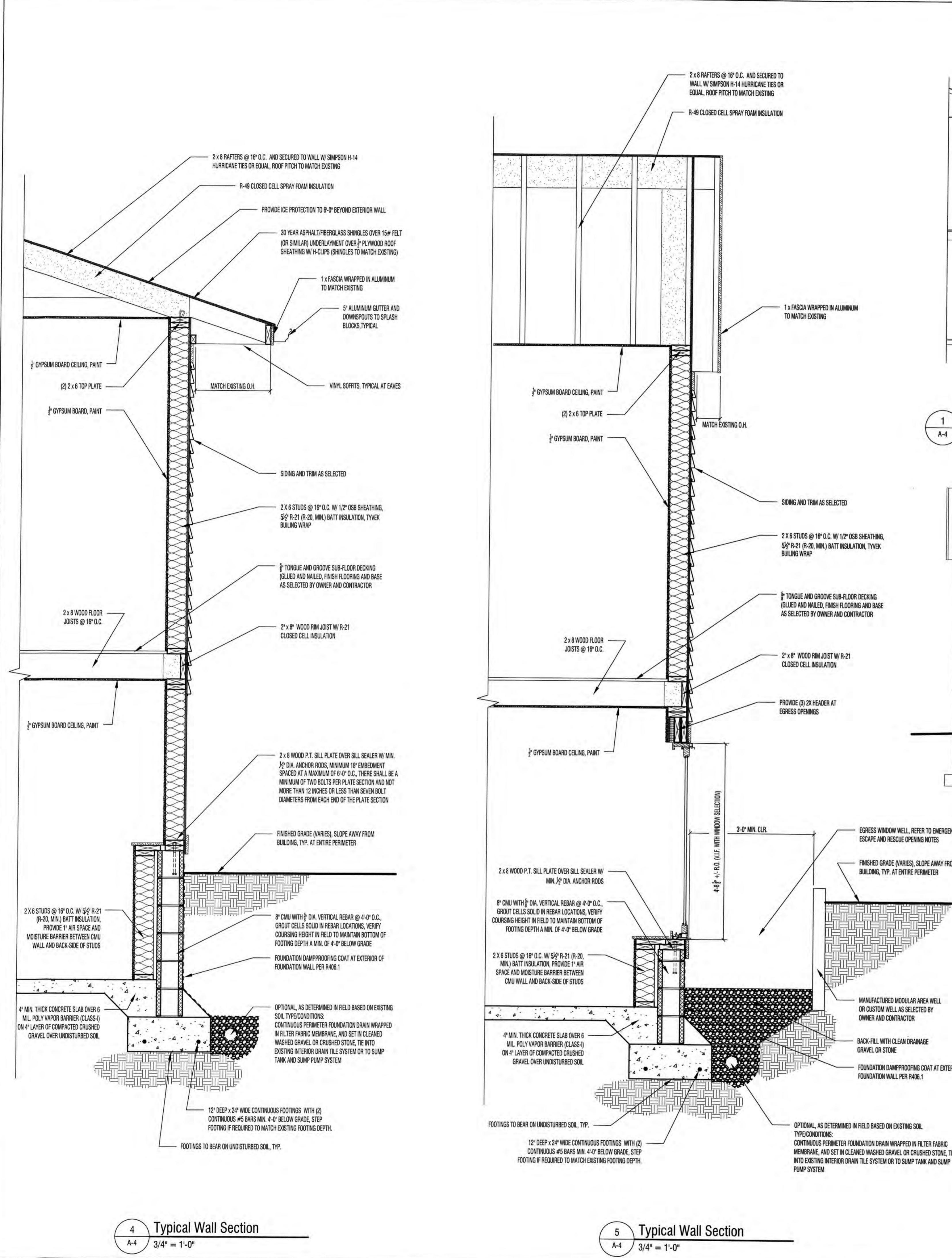
**SCOTT AND JENNIFER SMOLENSKY**

29 KIMBERLY ROAD  
PITTSFORD N.Y. 14534

PROJECT:

**1 1/2 STORY ADDITION**

29 KIMBERLY ROAD  
PITTSFORD N.Y. 14534



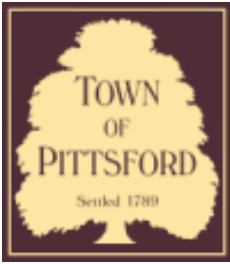
NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2408		
ISSUED FOR: PERMIT AND CONSTRUCTION		
DATE: 1/23/2025		
SHEET NAME:		
BUILDING SECTIONS AND TYPICAL WALL SECTION		
SHEET NUMBER:		











# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B24-000106**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 44 Crestline Road ROCHESTER, NY 14618

**Tax ID Number:** 138.18-2-76

**Zoning District:** RN Residential Neighborhood

**Owner:** Glenz, Susan E

**Applicant:** CKH Architecture P.C.

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review to add a front entry way.

**Meeting Date:** February 27, 2025



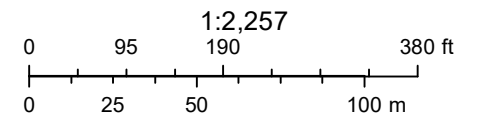




# RN Residential Neighborhood Zoning



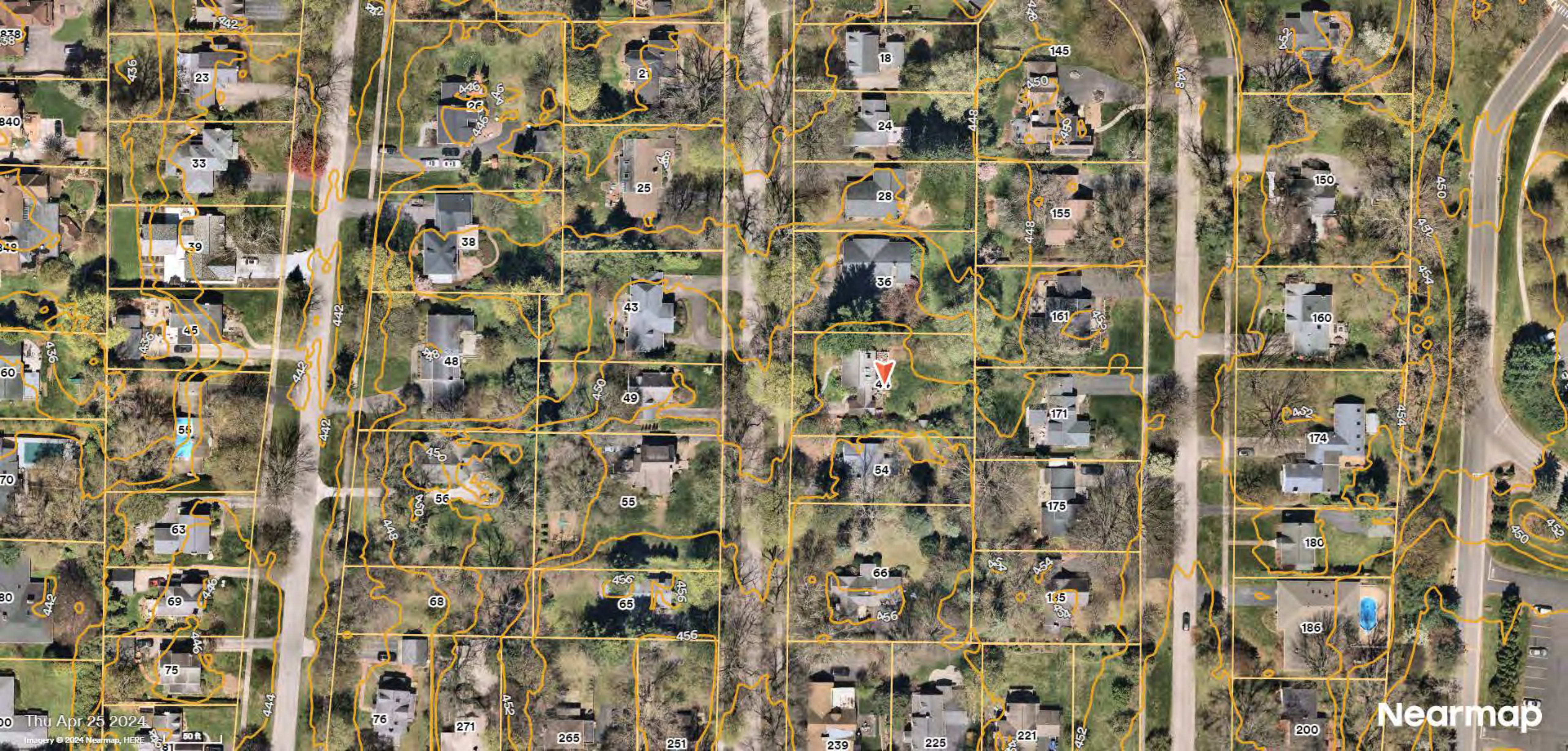
Printed August 7, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

50 ft

Nearmap

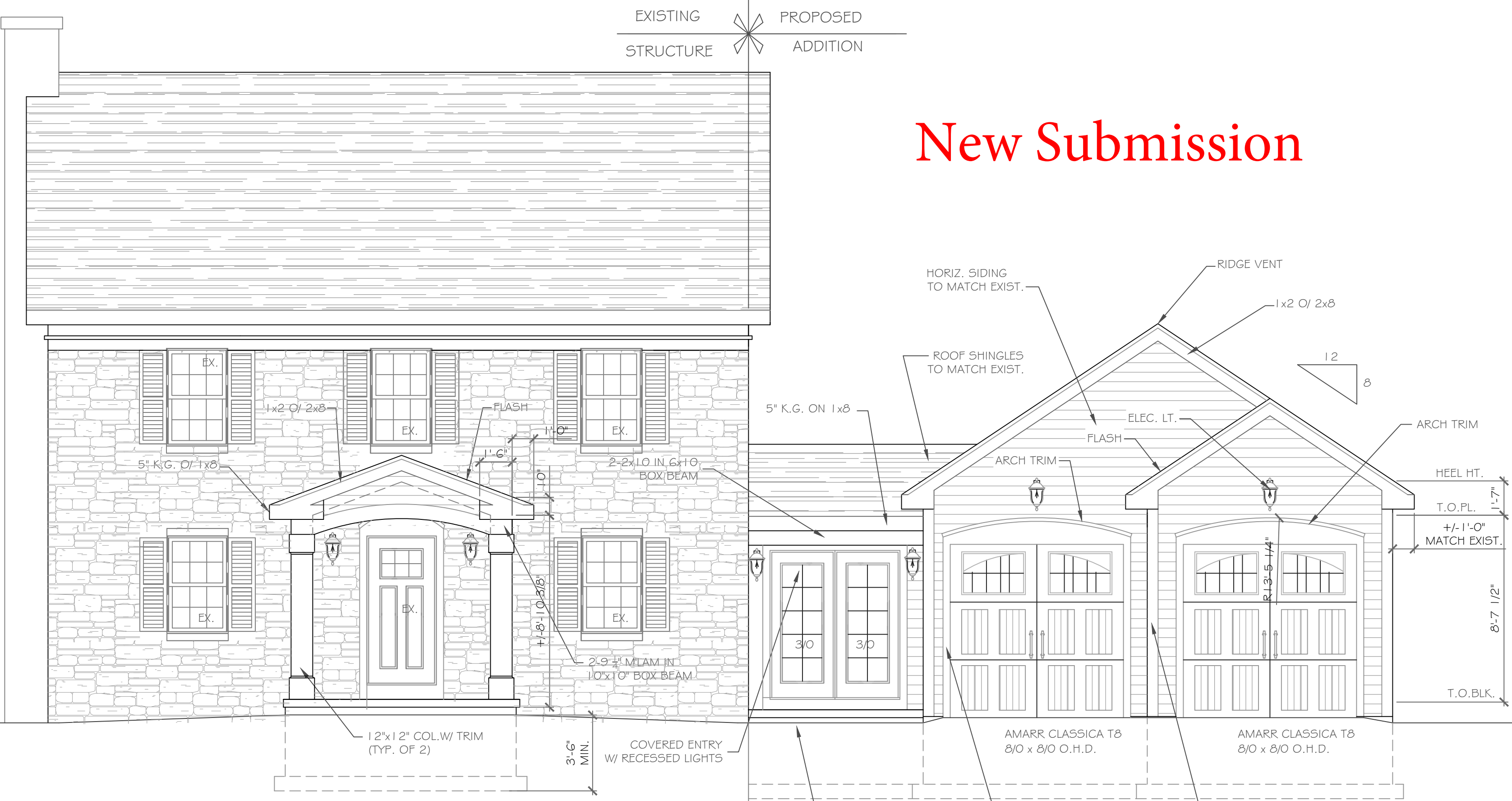


New Submission



Left Side Elevation

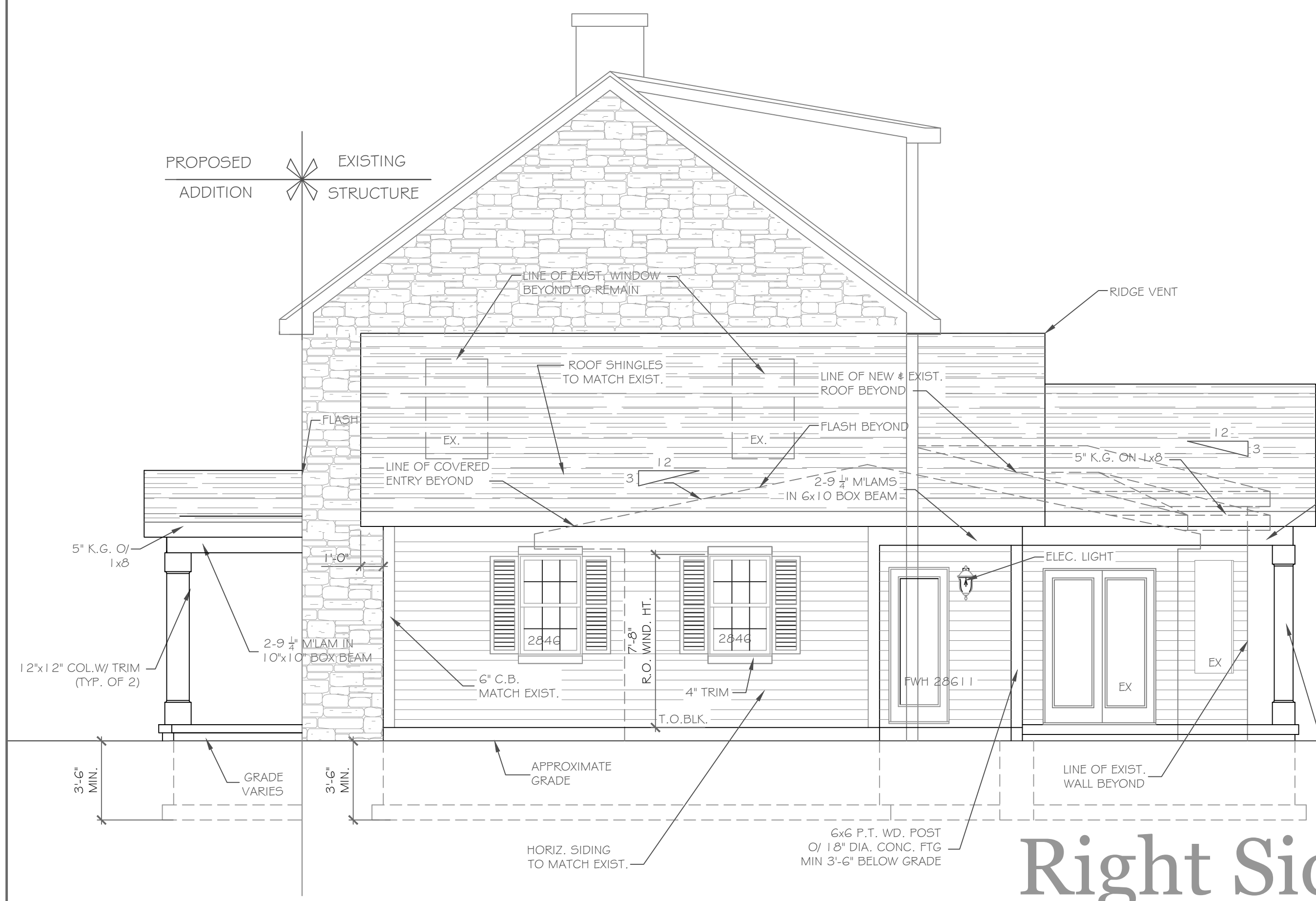
1/4" = 1'-0"



Front Elevation

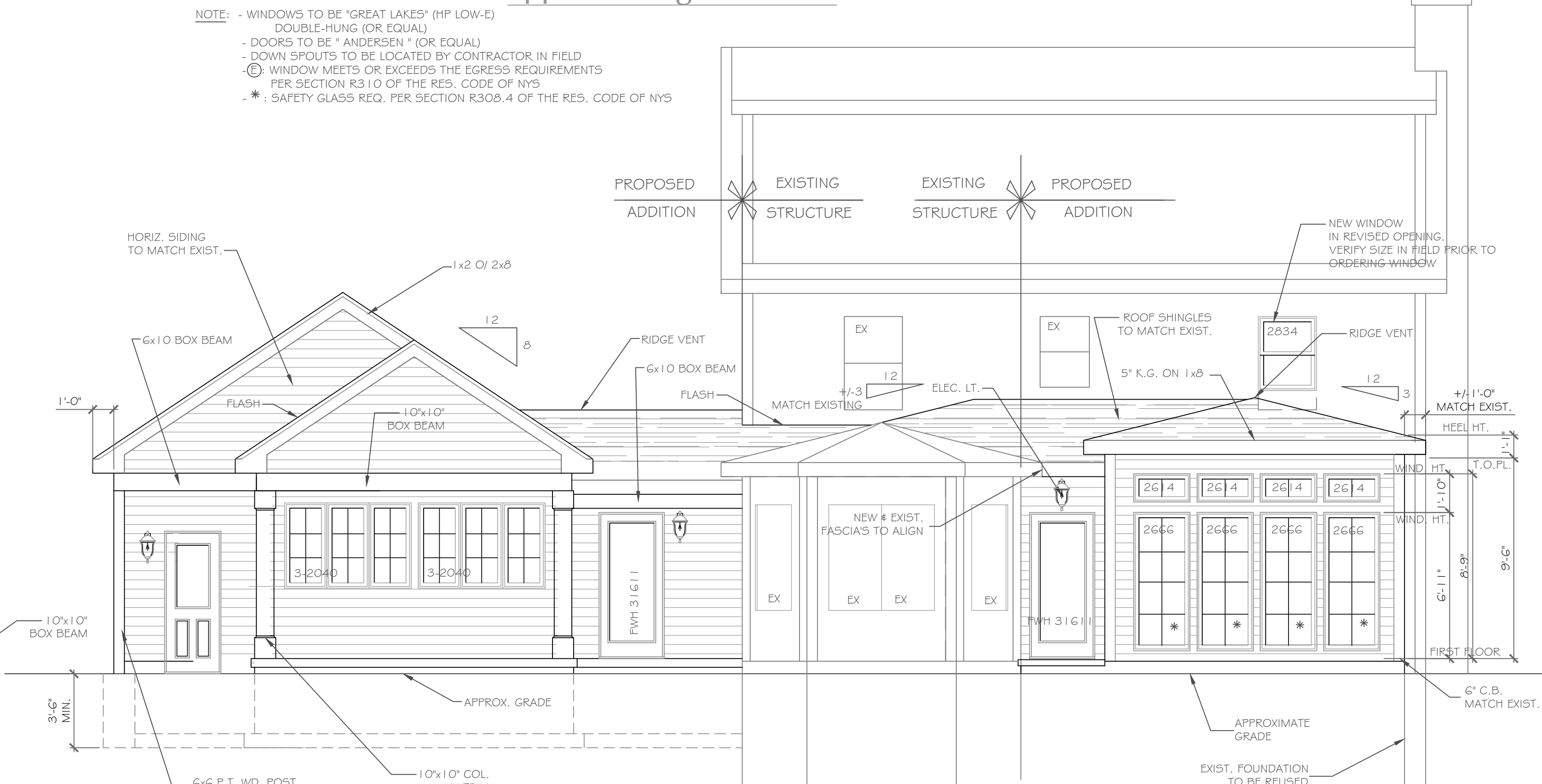
501 sf Addition  
448 sf Garage Addition

- NOTE: - WINDOWS TO BE "GREAT LAKES" (HP LOW-E) DOUBLE-HUNG (OR EQUAL)  
 - DOORS TO BE "ANDERSEN" (OR EQUAL)  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



Right Side Elevation

1/4" = 1'-0"



Rear Elevation

1/4" = 1'-0"

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NO.	DATE	DESCRIPTION

PROJECT: Additions and Renovations to:  
 44 Crestline Rd, Rochester, N.Y.

CLIENT: Susan Glenz

DATE: February 2025

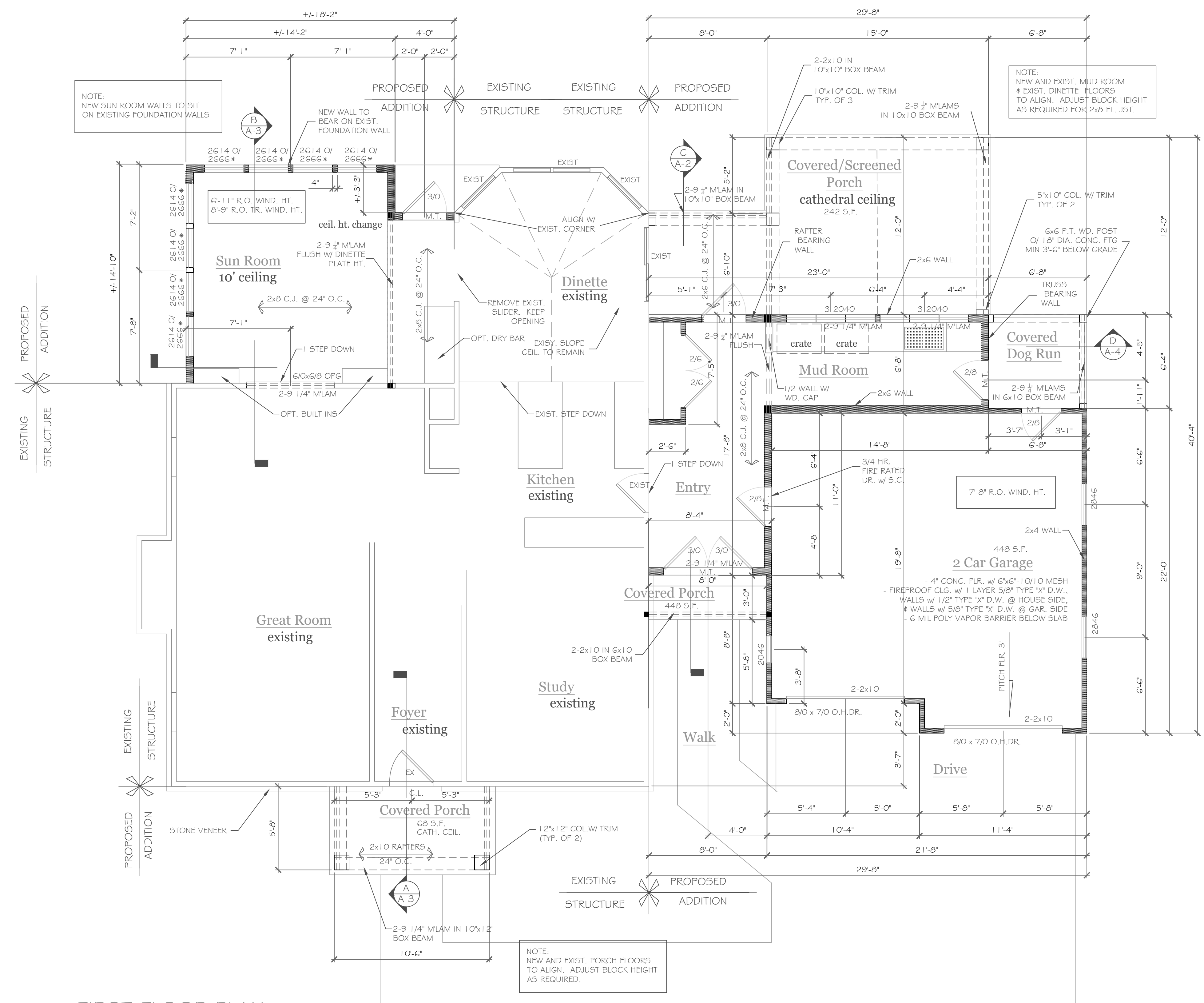
PHASE: Construction Documents

**CKH**  
 architecture  
 6605 Pinetford Palmyra Road  
 Suite W5  
 Fairport, New York 14450  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontmet.net

DRAWING NO. -  
 A-1



# New Submission



## FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

### WALL KEY & NOTES

- EXIST. 2 x FRAME WALL
- NEW 2 x STUDS @ 16" O.C.
- ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■ WINDOW R.O. HTS. TO BE +/- 6'-10 1/2" (U.O.N.) CLG. HTS. TO BE +/- 8'-0" (NEW & EXIST. FLOORS & CEILINGS TO ALIGN) ALL ANGLES TO BE 1/2 U.O.N. REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS. (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

**501 sf Addition**  
**448 sf Garage Addition**

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NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
First Floor Plan & Section

**PHASE:**  
Construction Documents

**PROJECT:**  
Additions and Renovations to:  
44 Crestline Rd, Rochester, N.Y.

**CLIENT:**  
Susan Glenz

**DATE:**  
February 2025

**JOB NO.:**  
A23-057

**CKH**  
architecture  
6605 Pittsford Palmyra Road  
Suite W5  
Fairport, New York 14450  
phone: (585) 249-1334  
e-mail: CKHennessey@frontiernet.net

**DRAWING NO.:**  
A-3



Original Submission



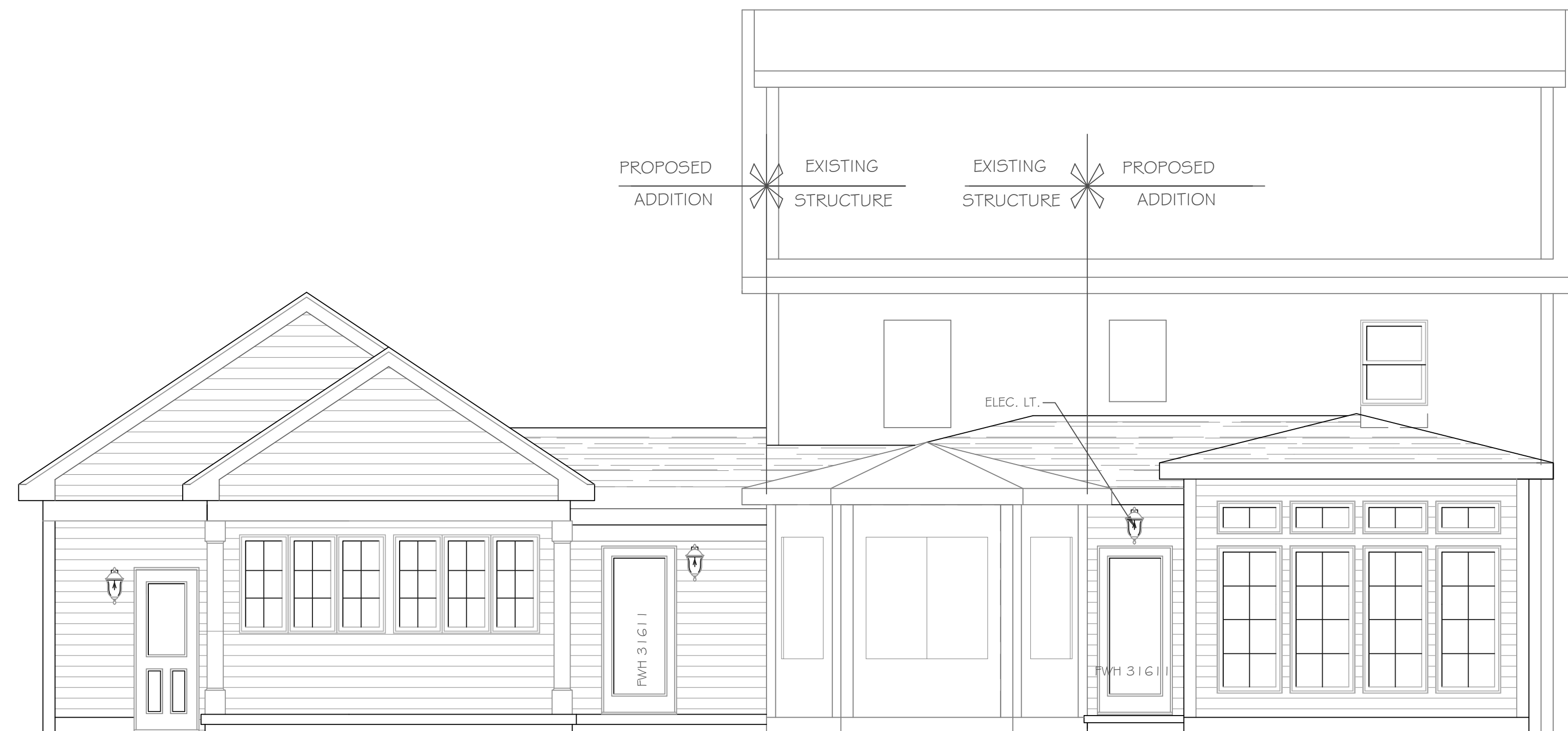
Left Side Elevation



Front Elevation



Right Side Elevation



Rear Elevation

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:  
Existing Floor Plan & Elevations

PROJECT:  
Additions and Renovations to:  
44 Crestline Road, Rochester, N.Y.

CLIENT:  
Susan Glenz

JOB NO. -  
A23-010

DATE -  
June 2024

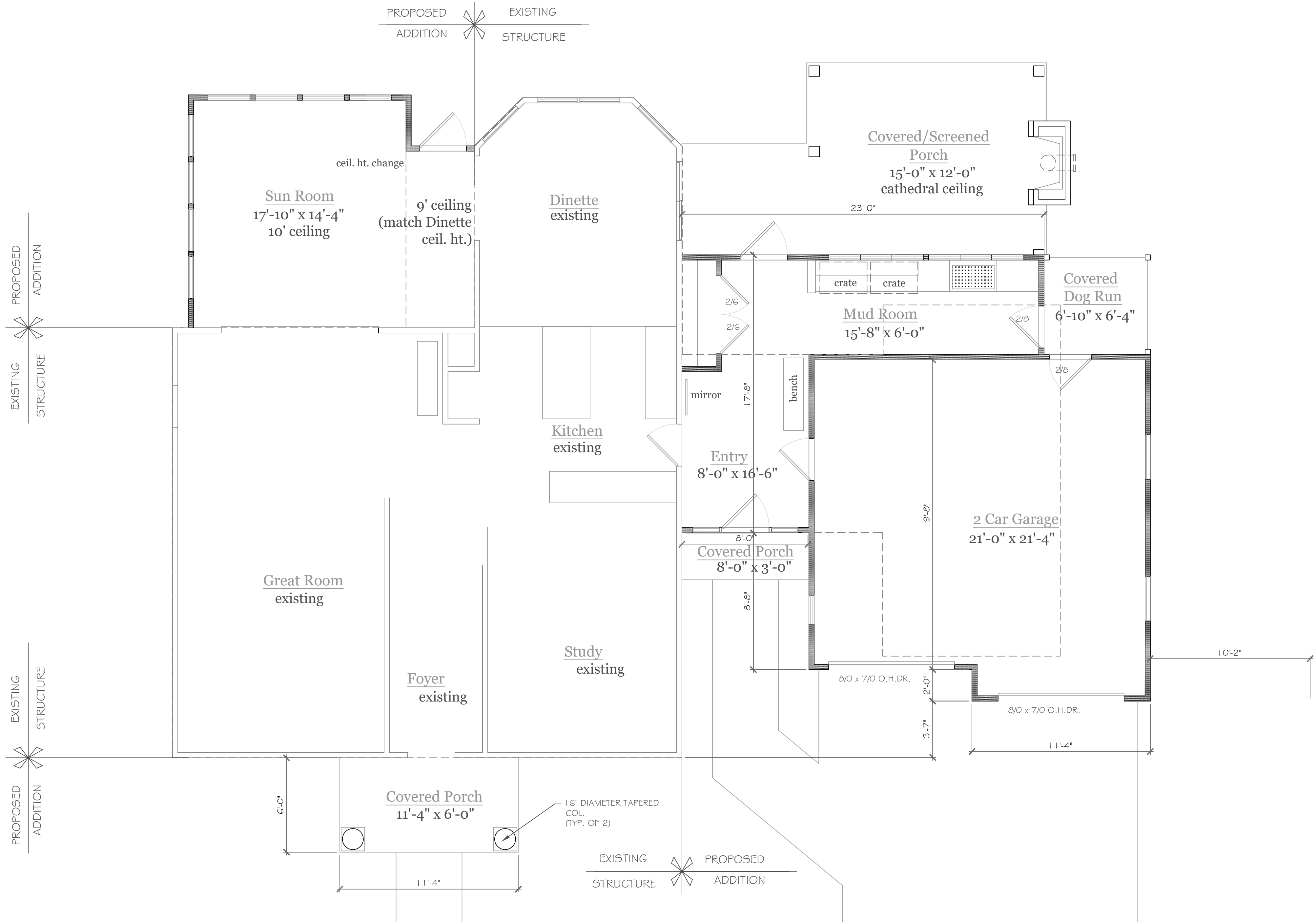
PHASE -  
Construction Documents

PHONE - (585) 249-1334  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
e-mail - CKHennessey@frontstreet.net

**CKH**  
architecture

DRAWING NO. -  
A-1





# First Floor Plan

501 sf Addition  
448 sf Garage Addition

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REVISIONS-	NO.	DATE	DESCRIPTION

<b>PROJECT-</b> Additions and Renovations to: 44 Crestline Road, Rochester, N.Y.	<b>DRAWING TITLE-</b> First Floor Plan	<b>CLIENT-</b> Susan Glenz	<b>PHASE-</b> Construction Documents

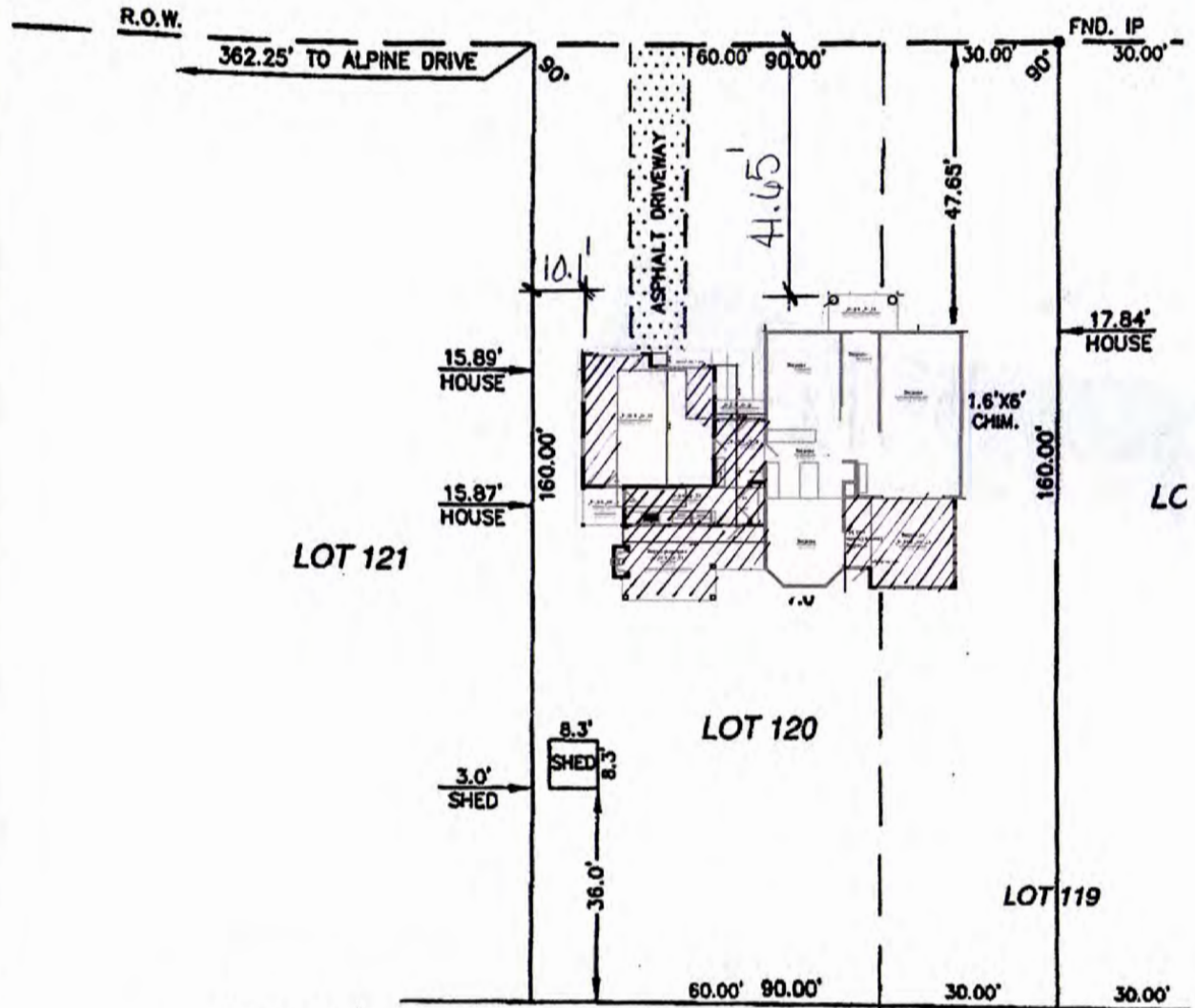
**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net





# CRESTLINE ROAD

(60' ROW)



**EASEMENT  
 ALONG REAR BOUNDARIES TO:  
 ROCHESTER GAS & ELECTRIC CORP.  
 ROCHESTER TELEPHONE CORP.  
 NEW YORK TELEPHONE CO.  
 LIBER 1517, PAGE 409**

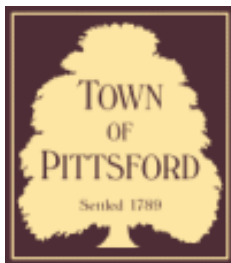
**REFERENCES:**

1. ABSTRACT PROVIDED BY STEWART TITLE INSURANCE COMPANY  
 ABSTRACT No. 199607, DATED DECEMBER 13, 2021
2. DEED; LIBER 10259, PAGE 408
3. EAST AVENUE TRACT, LIBER 49 OF MAPS, PAGE 27

**CERTIFICATION:**







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B25-000026**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 14 Pheasant Hollow PITTSFORD, NY 14534

**Tax ID Number:** 164.08-2-19

**Zoning District:** RN Residential Neighborhood

**Owner:** DeCamella, Ronald

**Applicant:** Highland Contractors of Western New York Inc.

### Application Type:

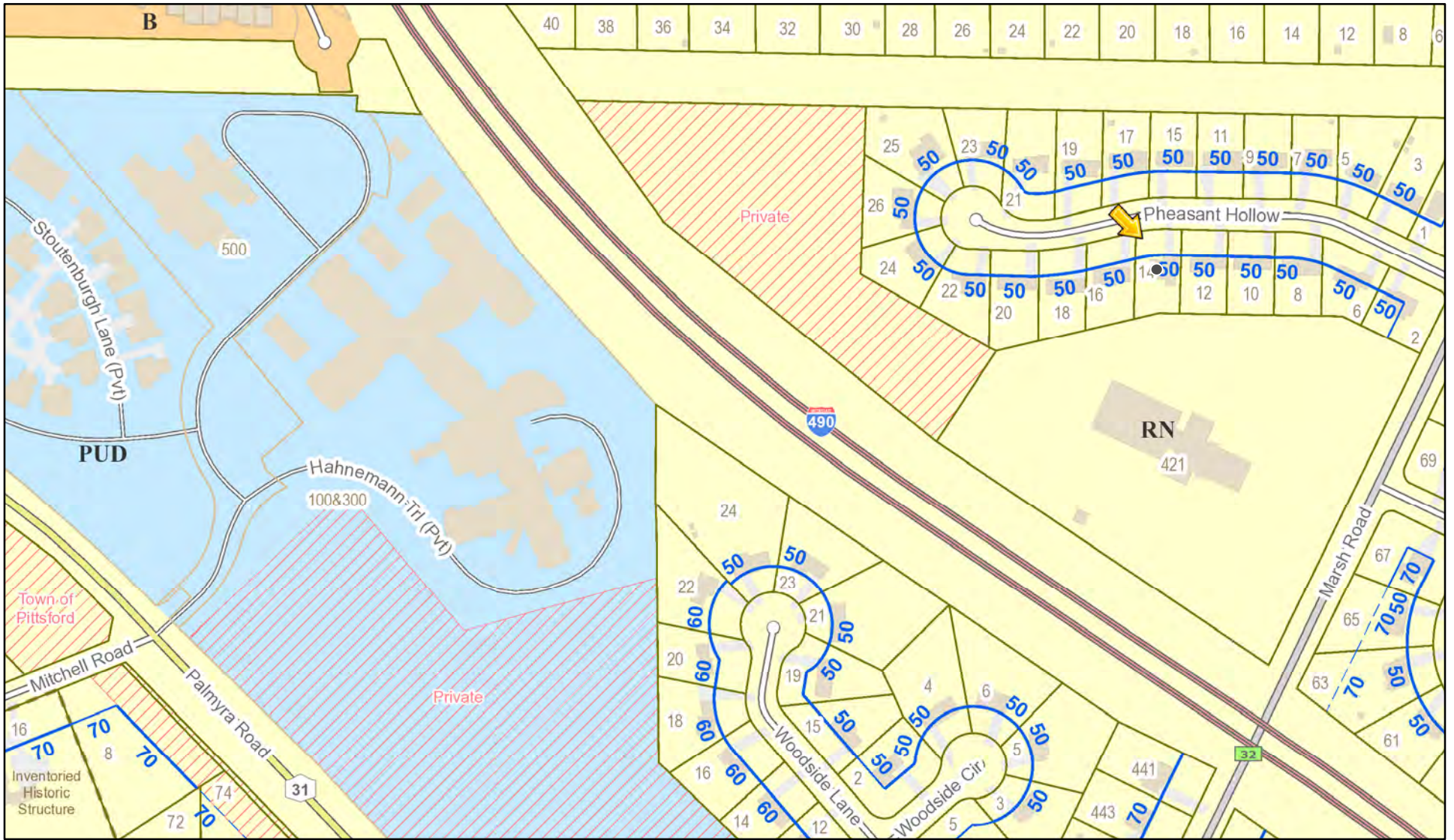
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review to add a an attached pavilion off the rear of the home.

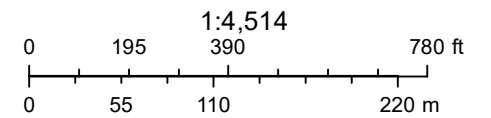
**Meeting Date:** February 27, 2025



# RN Residential Neighborhood Zoning



Printed February 19, 2025



Town of Pittsford GIS

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Thu Sep 5 2024

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20 ft

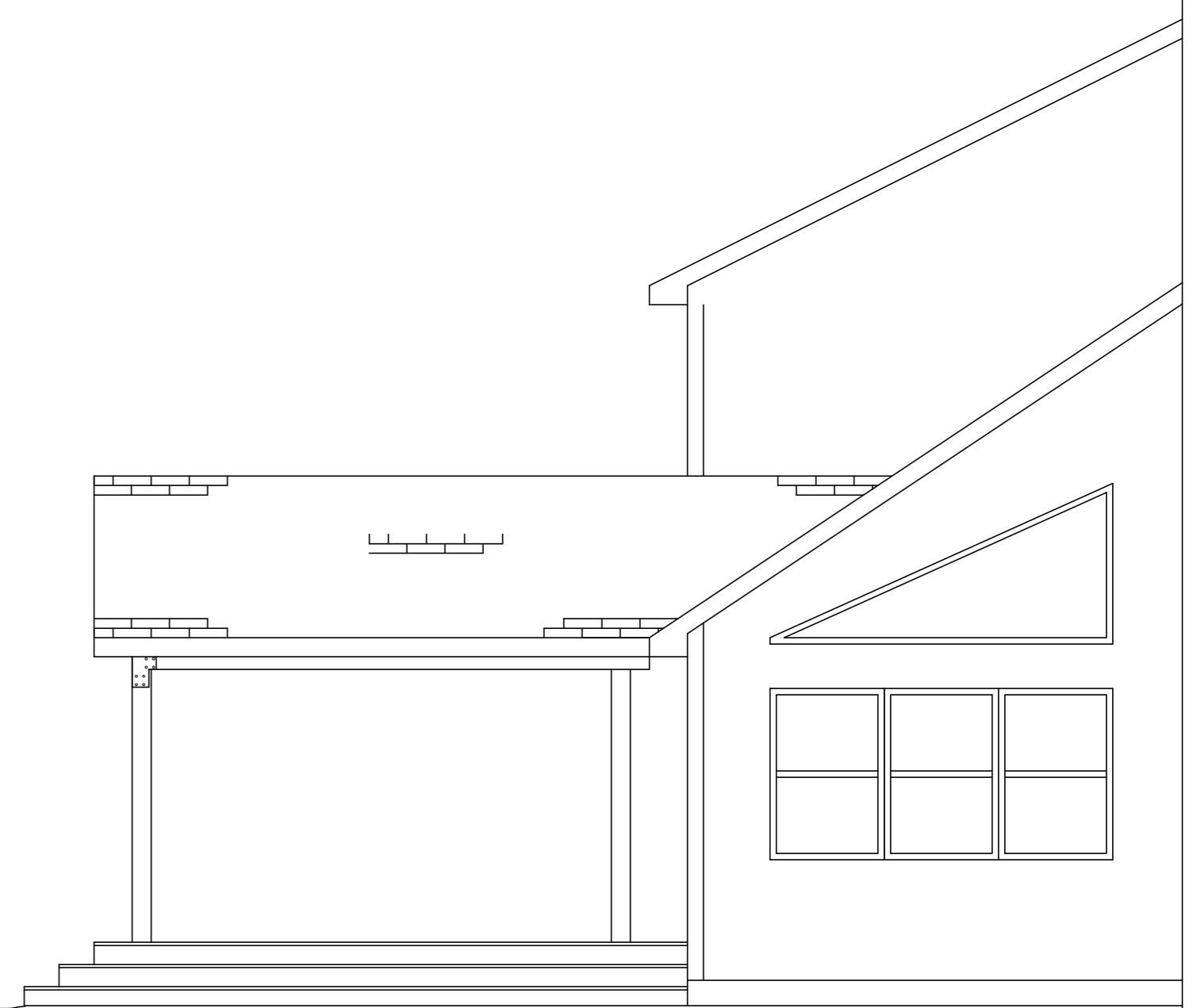
Nearmap



REAR ELEVATION



EAST ELEVATION



**THOMAS M. LANEY, PE**  
304 WASHINGTON ST.  
SPENCERPORT, NY 14559  
(585) 319 - 9032

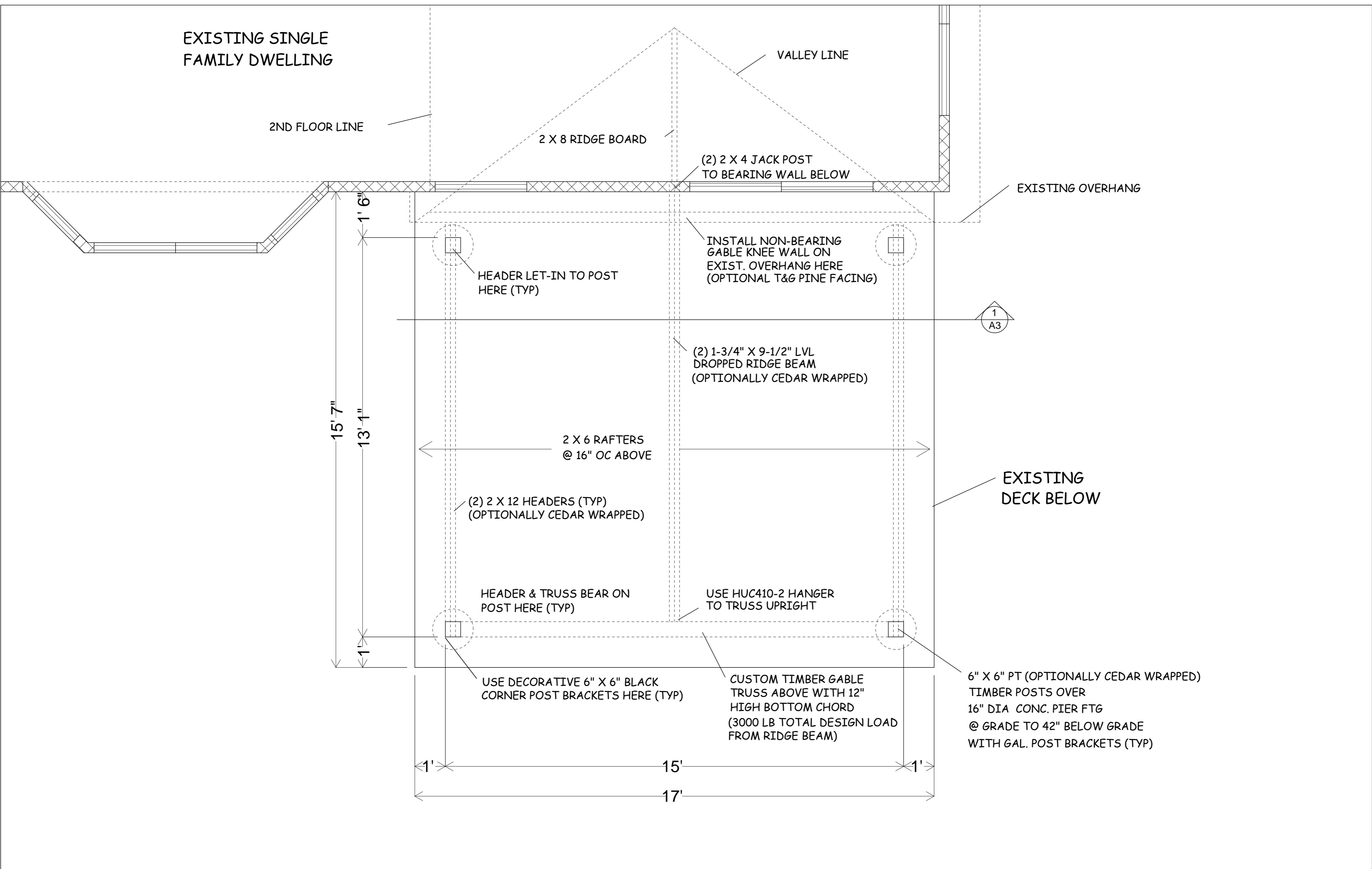
ELEVATION VIEWS

SCALE: 1/4" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 1/11/25		REVISED:

DECK COVER FOR RON DECAMELLA

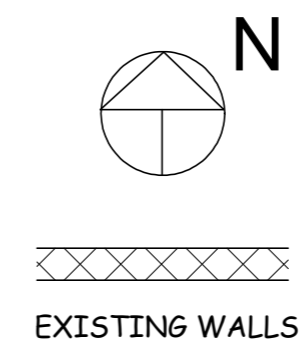
14 PHEASANT HOLLOW, PITTSFORD, NY





**THOMAS M. LANEY, PE**  
 304 WASHINGTON ST.  
 SPENCERPORT, NY 14559  
 (585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED  
 AND REFERENCED FROM EXISTING BUILDING



**FLOOR / FOUNDATION PLAN**

SCALE: 1/2" = 1'	APPROVED: <b>T. M. LANEY</b>	DRAWN BY: <b>T. M. LANEY</b>
DATE: 1/11/25		REVISED:

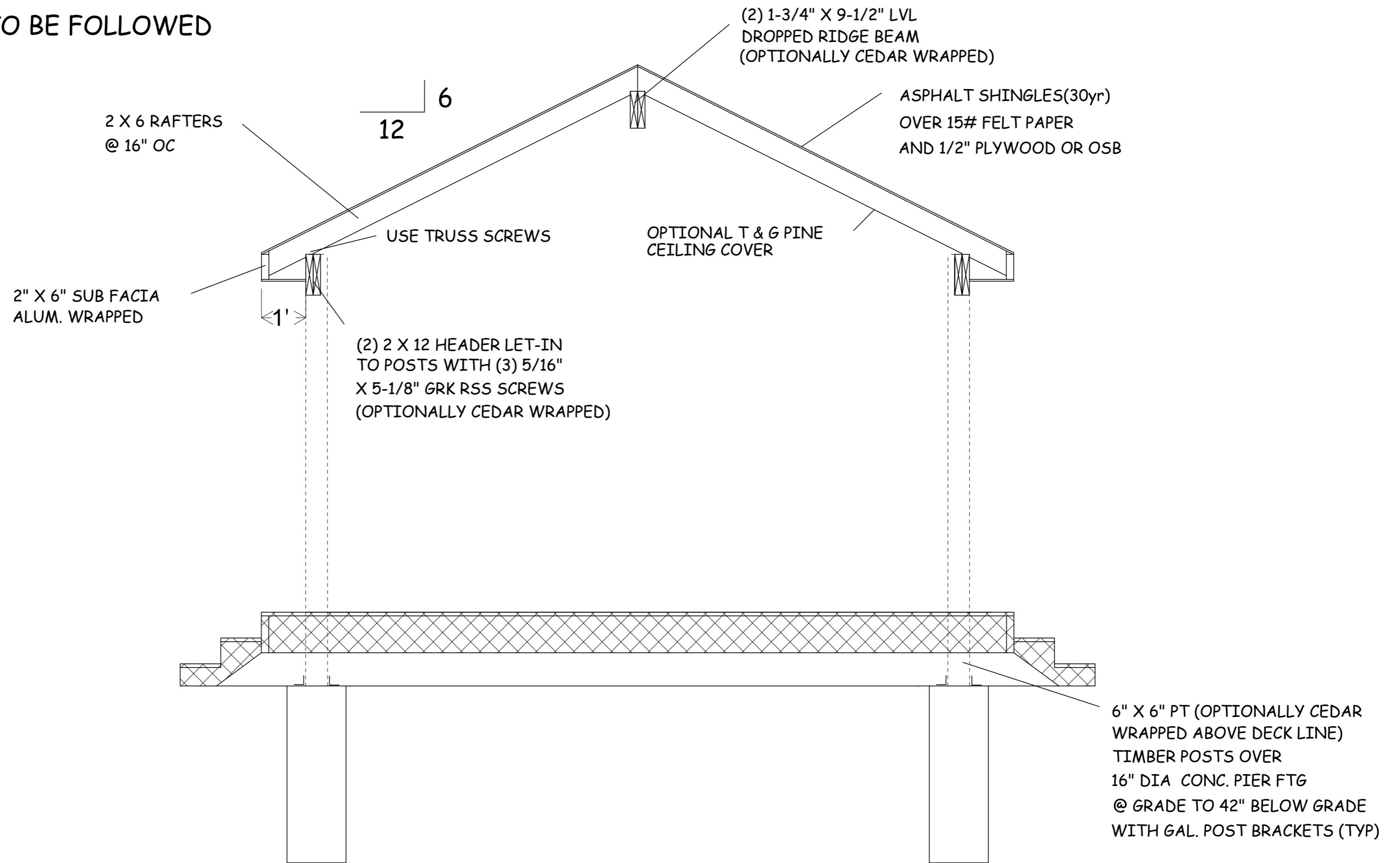
DECK COVER FOR RON DECAMELLA

14 PHEASANT HOLLOW, PITTSFORD, NY

A2  
3

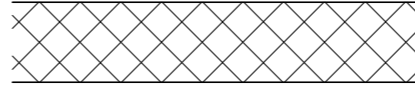


NOTE: ALL LUMBER TO BE 1150 PSI Fb (MIN) NO. 2  
 HEM FIR OR BETTER.  
 DESIGN WIND SPEED- 115 MPH  
 SOIL LOAD CAPACITY - 2500 PSF  
 GROUND SNOW LOAD - 40 PSF  
 ALL STATE CONSTRUCTION CODES TO BE FOLLOWED



1  
A3

**BUILDING SECTION**

  
 EXIST. STRUCTURE

**THOMAS M. LANEY, PE**  
 304 WASHINGTON ST.  
 SPENCERPORT, NY 14559  
 (585) 319 - 9032

**SECTION VIEW**

SCALE: 1/2" = 1'	APPROVED: <b>T. M. LANEY</b>	DRAWN BY: <b>T. M. LANEY</b>
DATE: 1/11/25	REVISI:	

DECK COVER FOR RON DECAMELLA

14 PHEASANT HOLLOW, PITTSFORD, NY

A3  
3

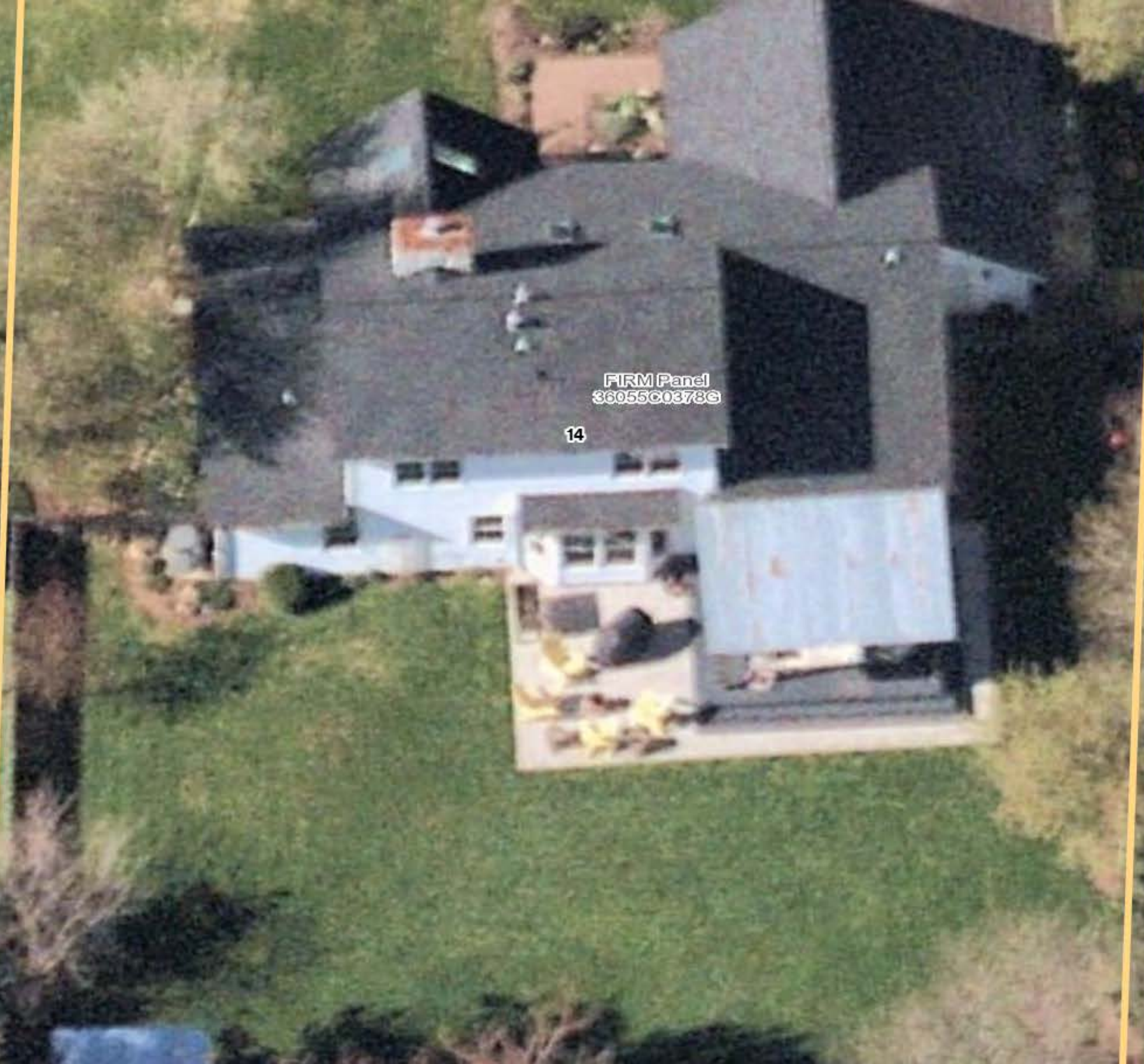
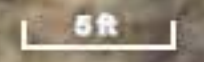




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Thu Apr 25 2024

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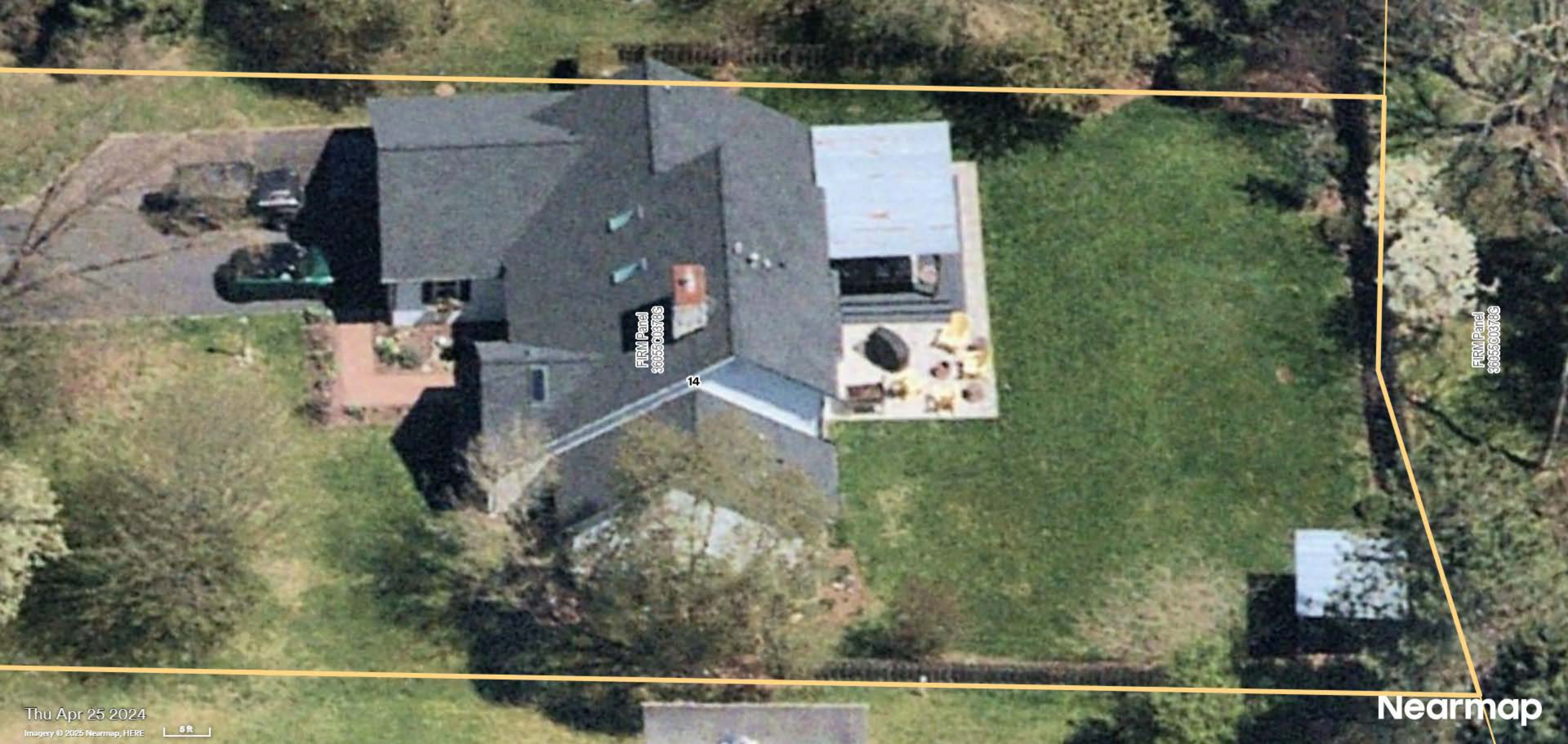
14

FIRM Panel  
36055C0378G



Nearmap





FIRM Panel  
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14

FIRM Panel  
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14

FIRM Panel  
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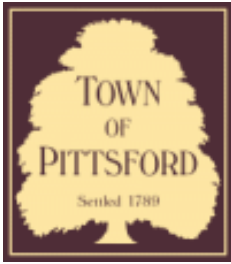
Thu Apr 25 2024

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Nearmap





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B25-000024**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 17 Bridleridge Farms PITTSFORD, NY 14534

**Tax ID Number:** 191.01-1-77

**Zoning District:** RRSP Rural Residential South Pittsford

**Owner:** Bridlebridge Farms LLC

**Applicant:** Bridlebridge Farms LLC

### Application Type:

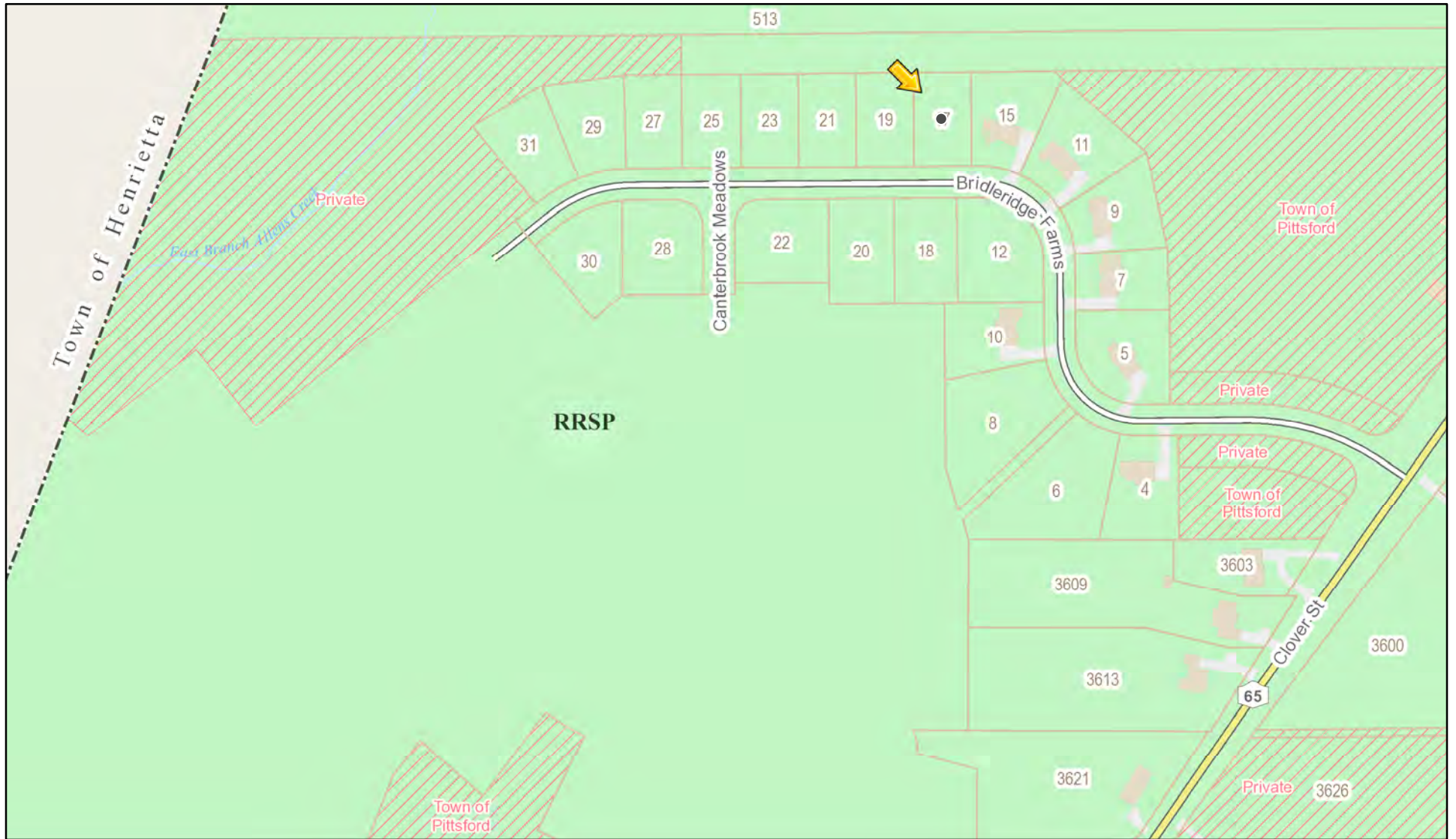
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
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- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a 3,067 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

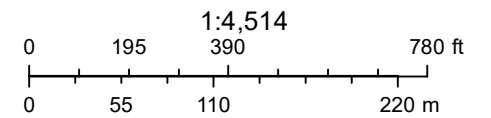
**Meeting Date:** February 27, 2025



# RN Residential Neighborhood Zoning



Printed February 18, 2025



Town of Pittsford GIS

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FIRM Panel  
36055003626

Thu Sep 5 2024

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Nearmap





# SPEC HOUSE - NEWCASTLE

## LOT 6 BRIDLERIDGE

## PITTSFORD, NY

## COVENTRY RIDGE BUILDING CORP.

# PLAN 3067 / PROJECT 15428 E

## SHEET INDEX

C-1 COVER SHEET	4/5 SECOND FLOOR & ROOF PLAN
1/5 ELEVATIONS	5/5 SECTIONS
2/5 FOUNDATION PLAN	N-1 DETAILS
3/5 FIRST FLOOR PLAN	N-2 REINFORCING NOTES

## GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNYs ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE ), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

### SECTION R316 - FOAM PLASTIC:

THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

## ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH  $w.g.$ . (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

### DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0  $c.f.m (0.944 L/s)$  WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57  $p.s.f. (75 Pa)$ . RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYs) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH  $w.g. (25 Pa)$  ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH  $w.g. (25 Pa)$  ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).

HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

## SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

## FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.  
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

## FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEU WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

## FRAMING:

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS)

R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS.

PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAUNING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS. AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIA. STANDARD PIPE OR APPROVED EQUIVALENT.

## STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING. GRIP SIZE TO BE PER SECTION R311.7.8.5 OF 2020 RCNYS.

STAIR ILLUMINATION PER SECTION R311.7.9 OF 2020 RCNYS.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

## GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

## STRUCTURAL MATERIAL SPECIFICATIONS:

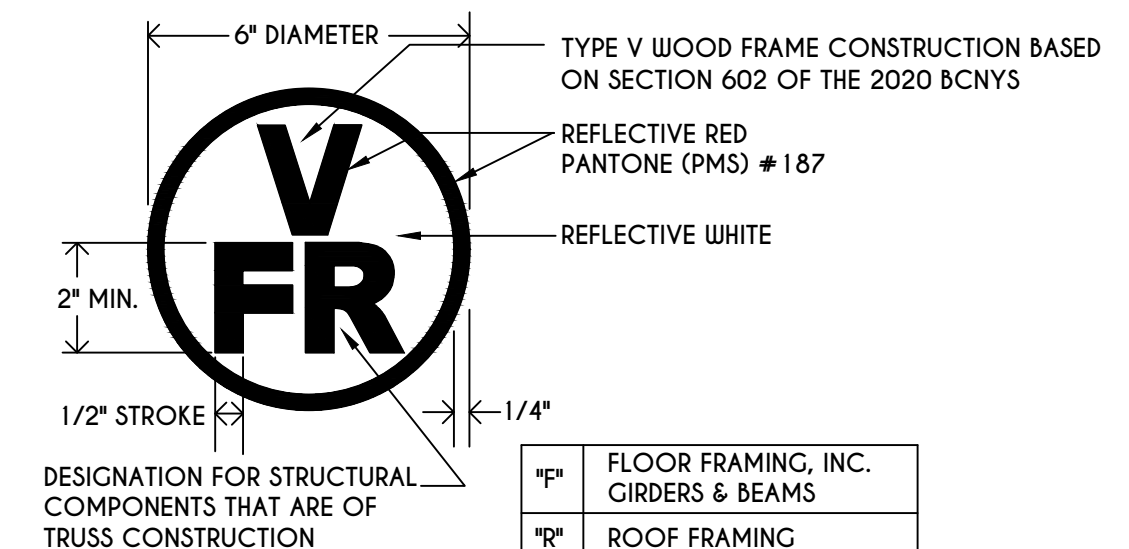
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy - 33 KSI

## DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

## TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH NY 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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### REVISIONS:

DATE	BY	DESCRIPTION

### CLIENT/LOCATION:

SPEC HOUSE - NEWCASTLE  
LOT 6 BRIDLERIDGE  
PITTSFORD, NY

### BUILDER:

COVENTRY RIDGE  
BUILDING CORP.

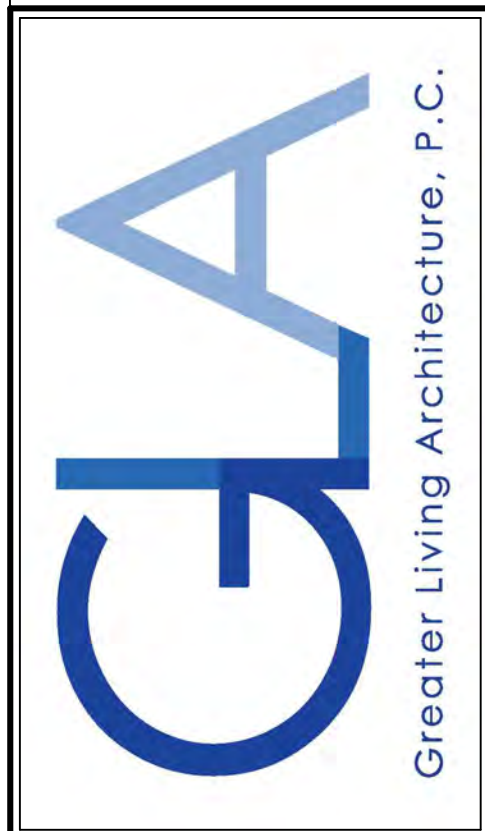
### COVER PAGE

GLA PLAN 3067

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 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 3067**

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**TABLE M1505.4.3 (1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

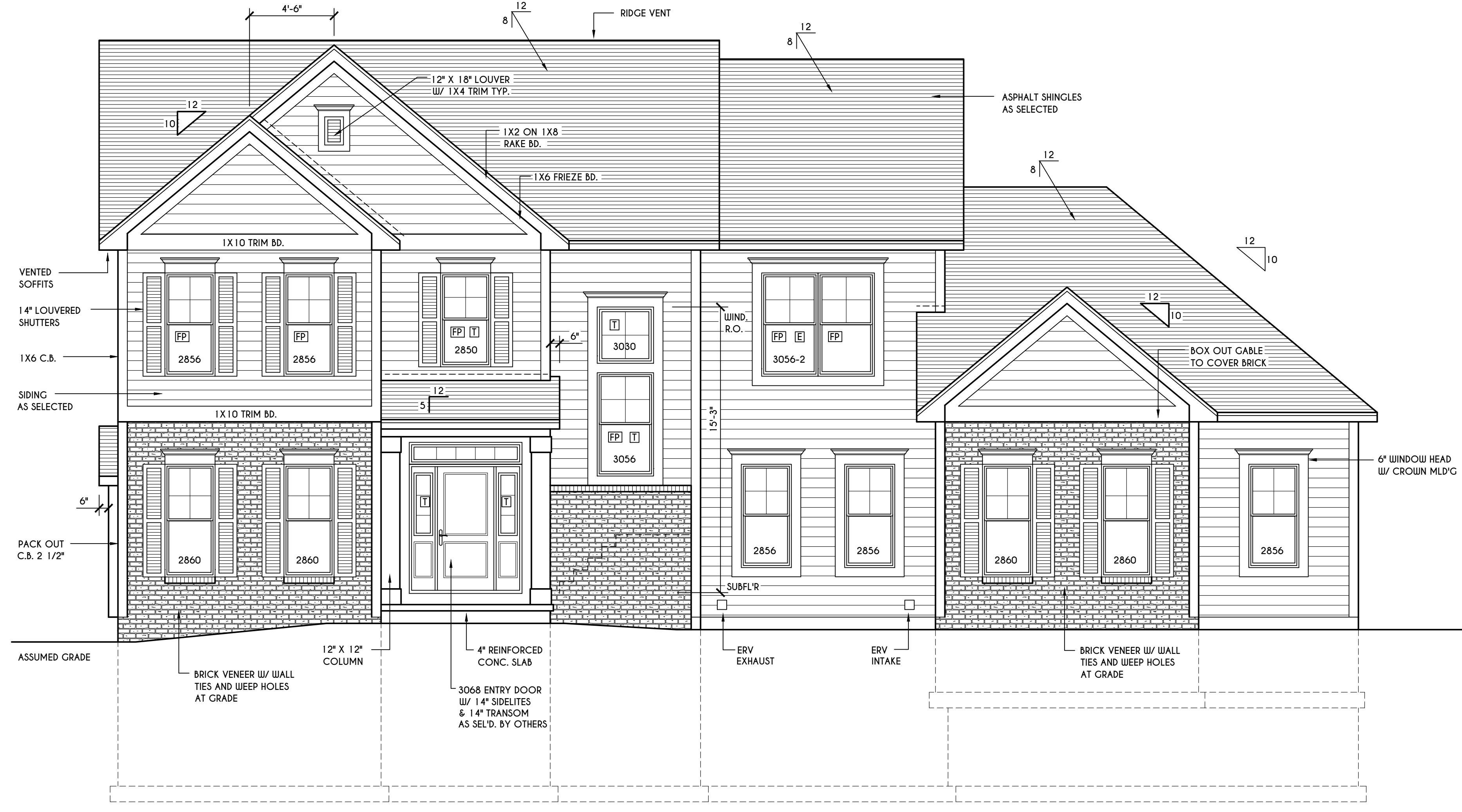
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4**  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 30 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1533 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1534 SQ.FT.  
 TOTAL LIVING AREA = 3067 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 42,000 CU.FT.

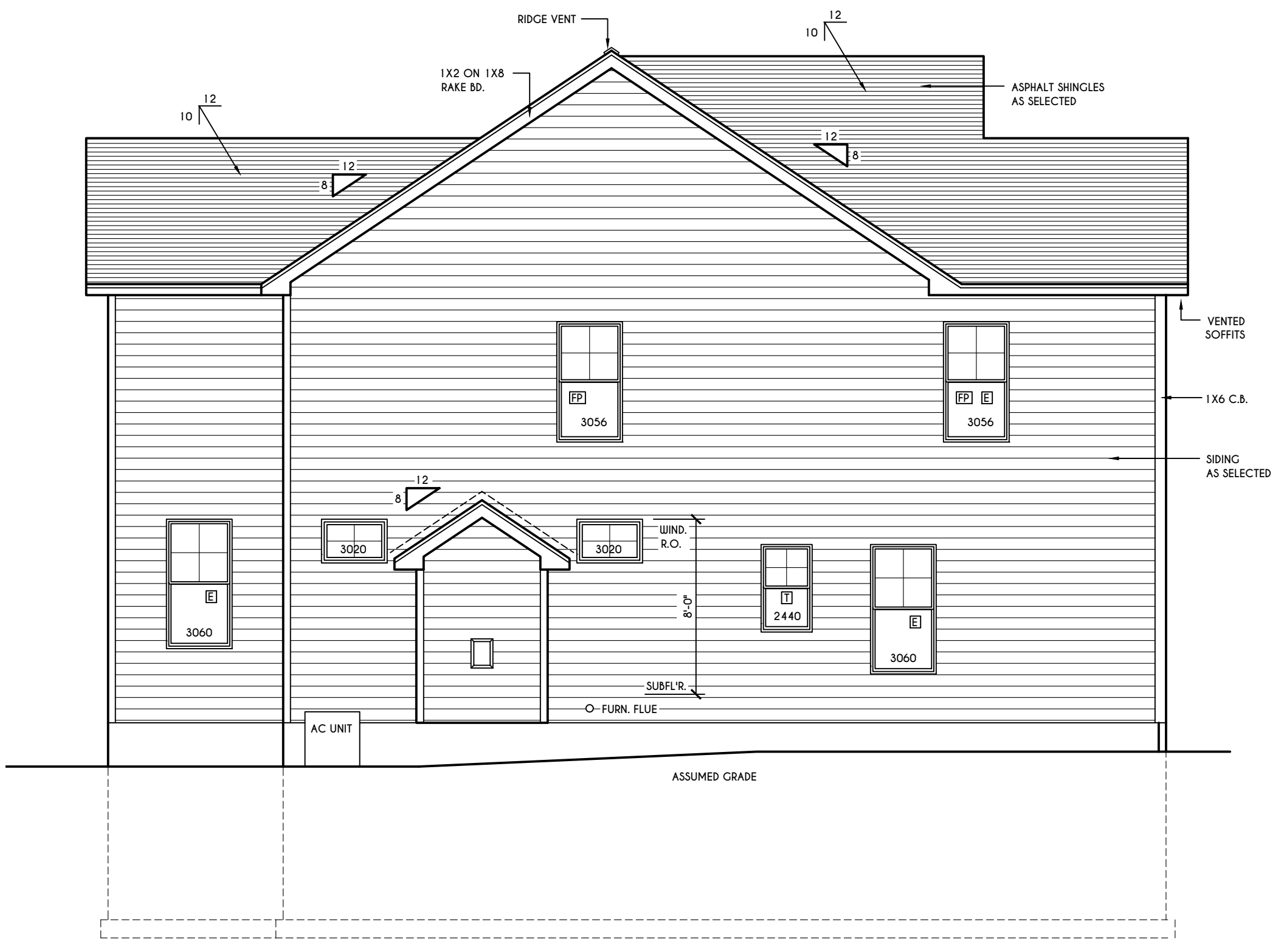
**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.30  
 SHCC ..... 0.27

**DOORS:** SELECTION BY OWNER

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [TI] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



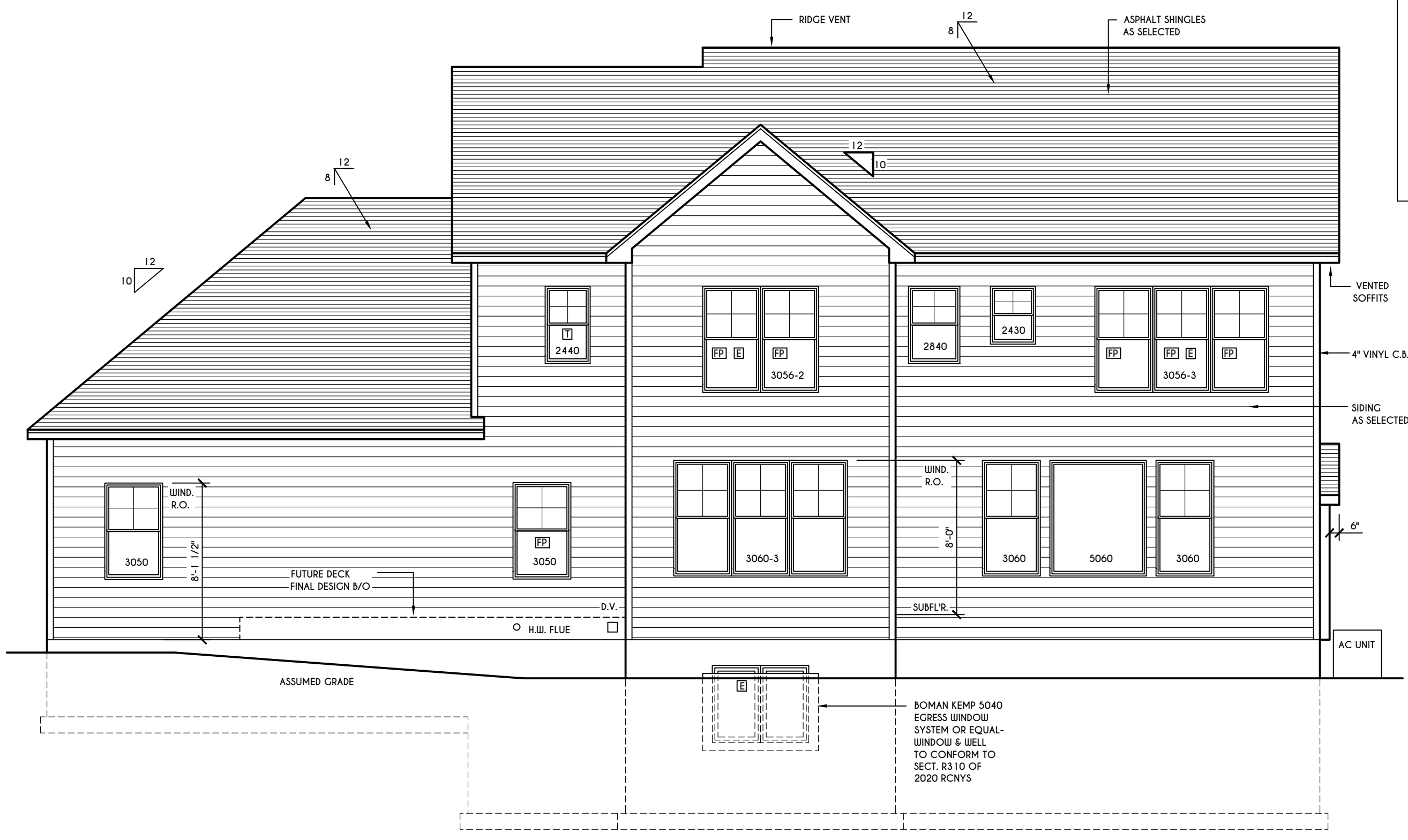
**LEFT ELEVATION**

SCALE: 3/16" = 1'-0"



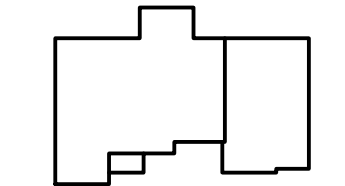
**RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"



**REAR ELEVATION**

SCALE: 3/16" = 1'-0"



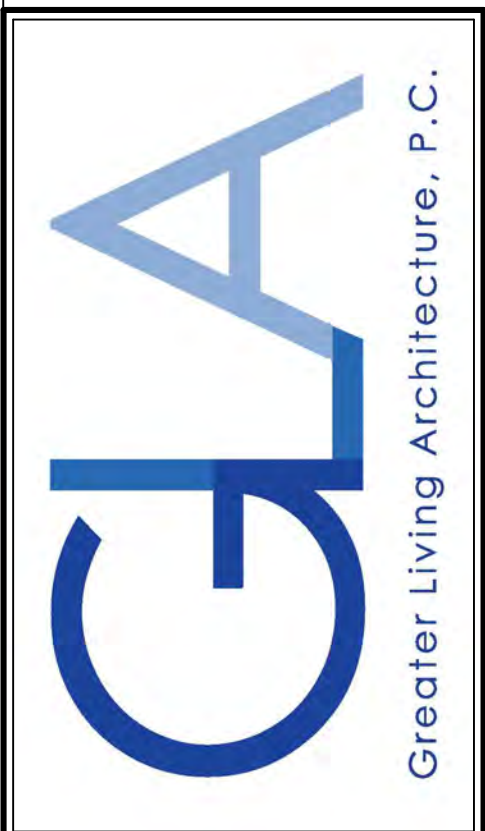
**HOUSE FOOTPRINT**  
 SCALE: 1" = 50'-0"







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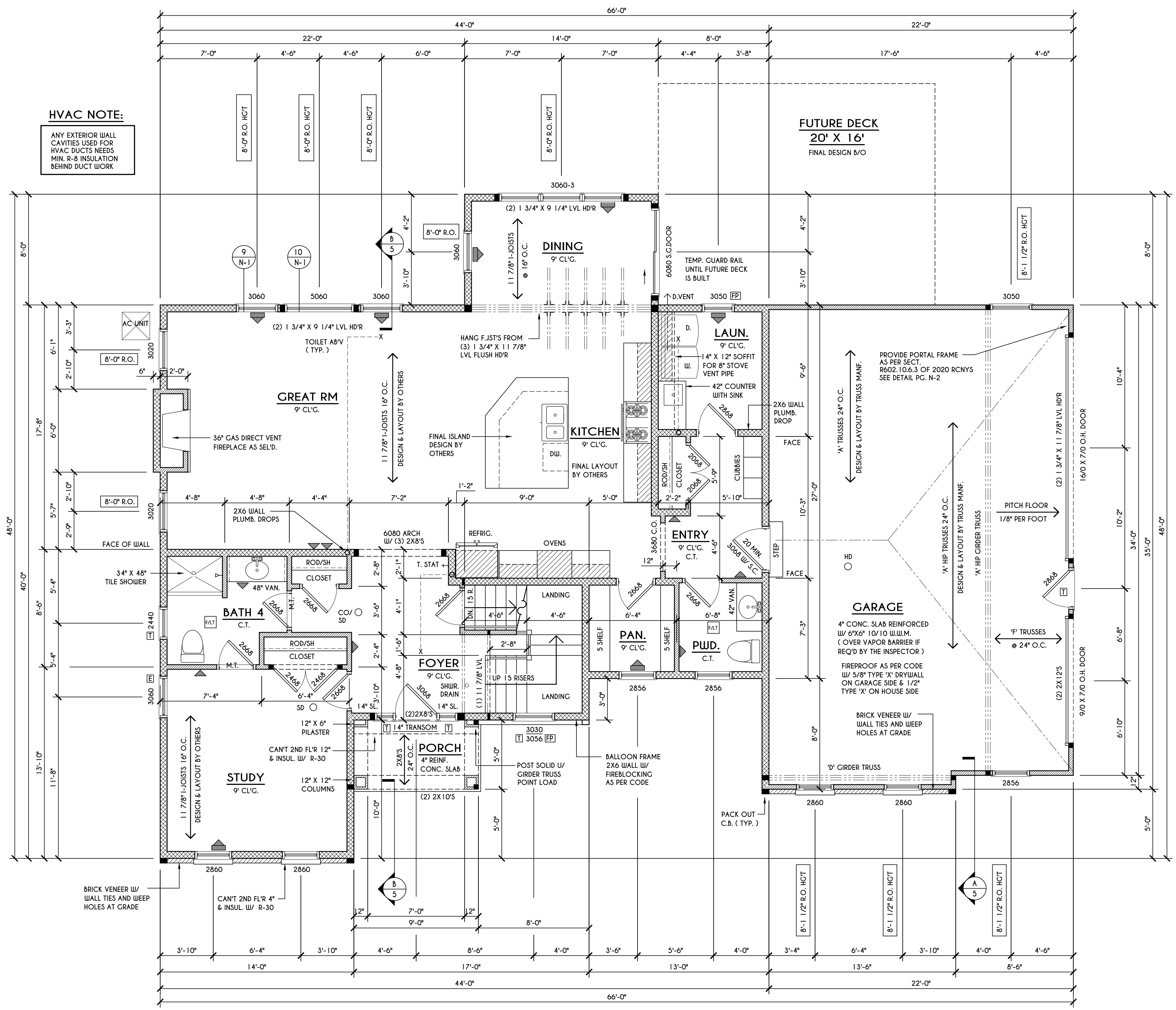
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 SPEC HOUSE - NEWCASTLE  
 LOT 6 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3067

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**HVAC NOTE:**  
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

**FUTURE DECK**  
 20' X 16'  
 FINAL DESIGN B/O

**FIRST FLOOR PLAN**  
 1533 SQ. FT.  
 SCALE: 1/4" = 1'-0"

**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW.  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD.  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**FRAMING LEGEND:**

	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

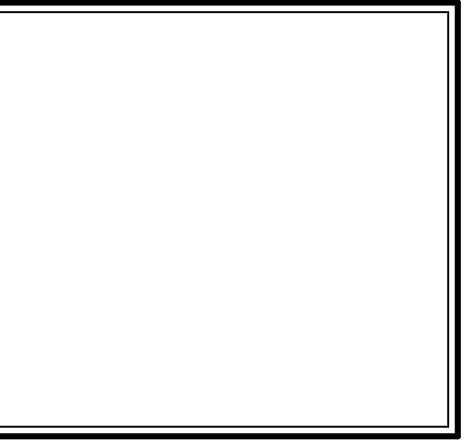
**GENERAL FIRST FLOOR PLAN NOTES:**  
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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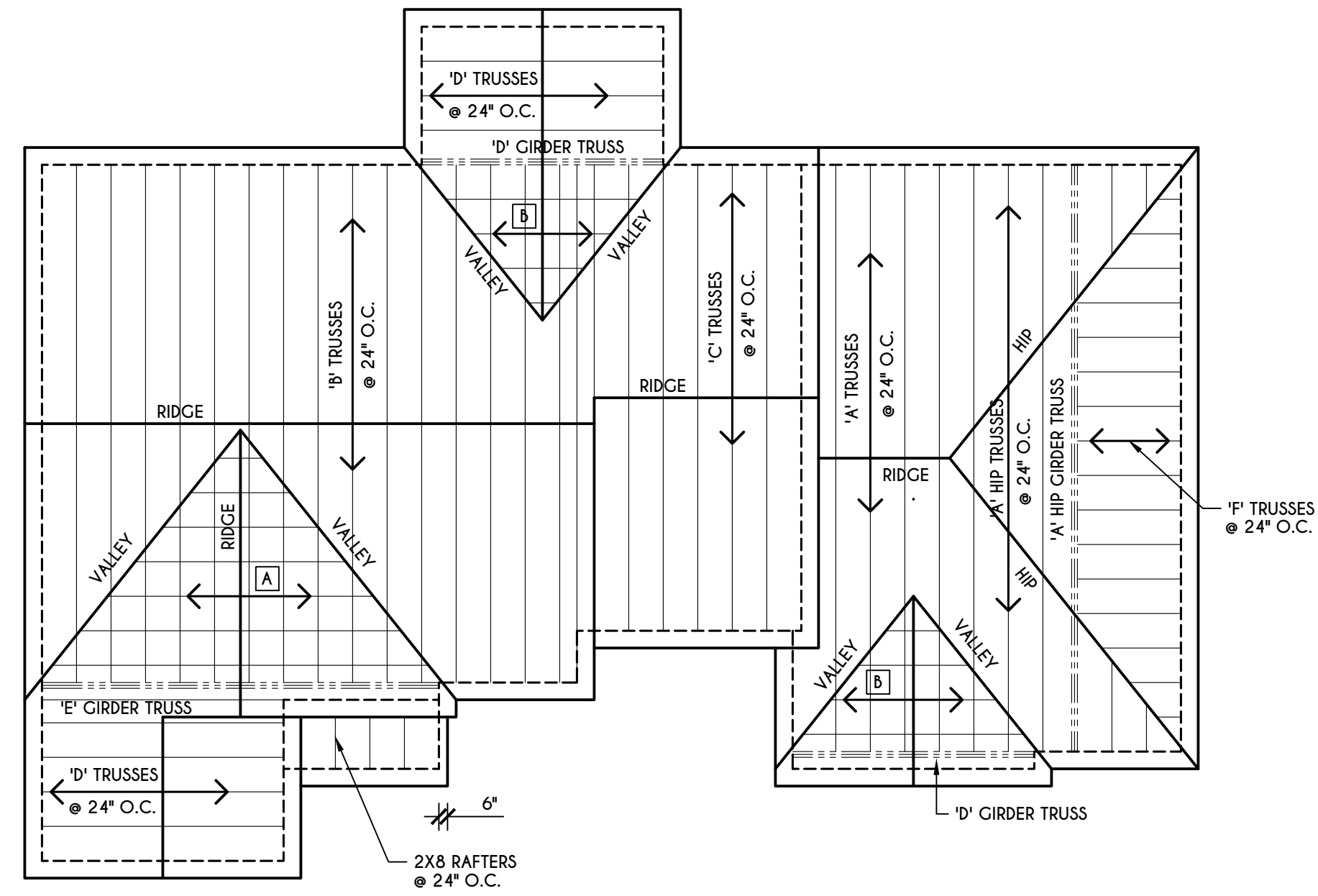
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 LOT 6 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 3067

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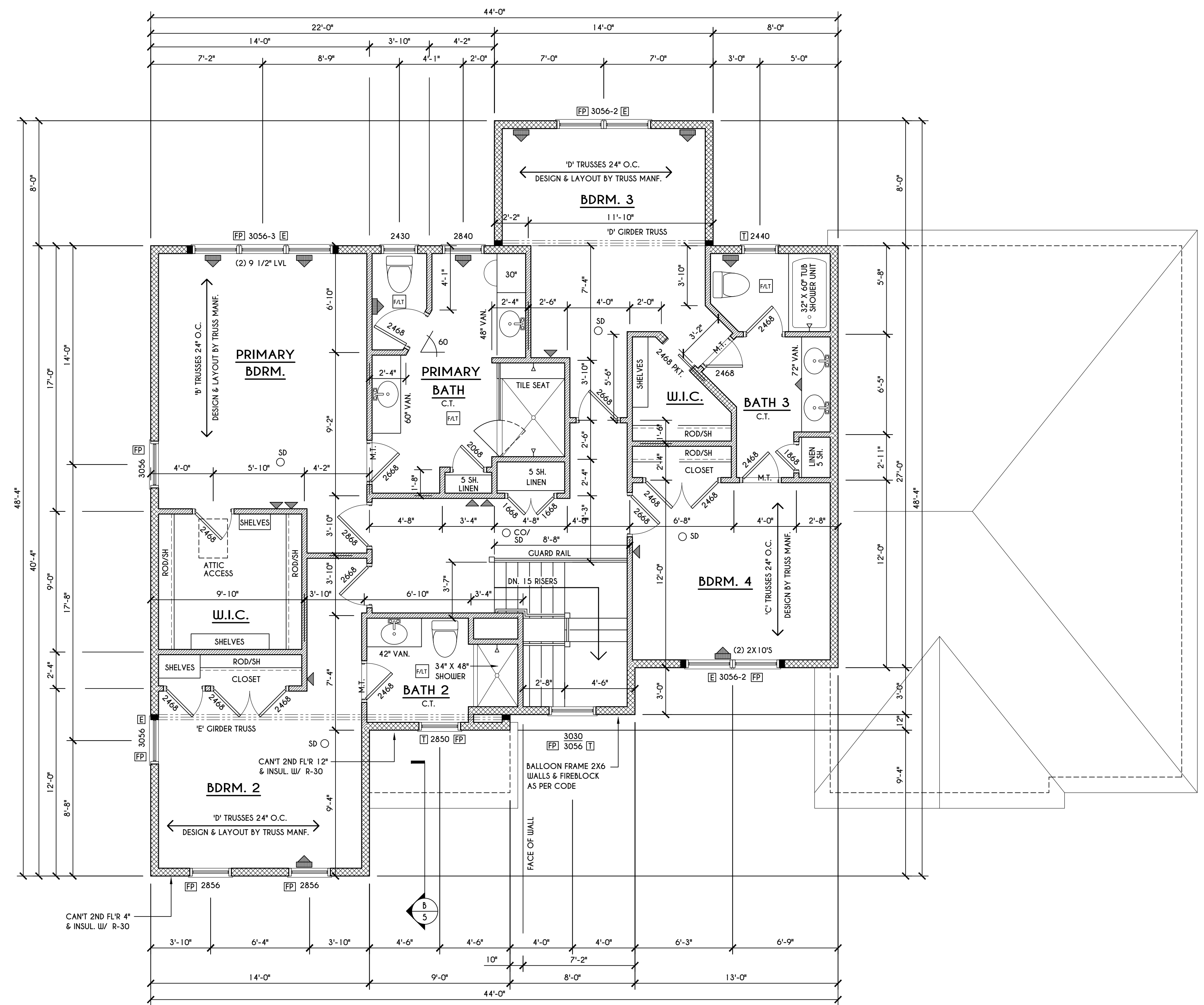
**ROOF PLAN**

SCALE: 1/8" = 1'-0"

- A** - 2X8 LAYOVER RAFTERS 24" O.C.
- B** - 2X6 LAYOVER RAFTERS 24" O.C.

**GENERAL ROOF NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" 1534 SQ.FT.

**FRAMING LEGEND:**

	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

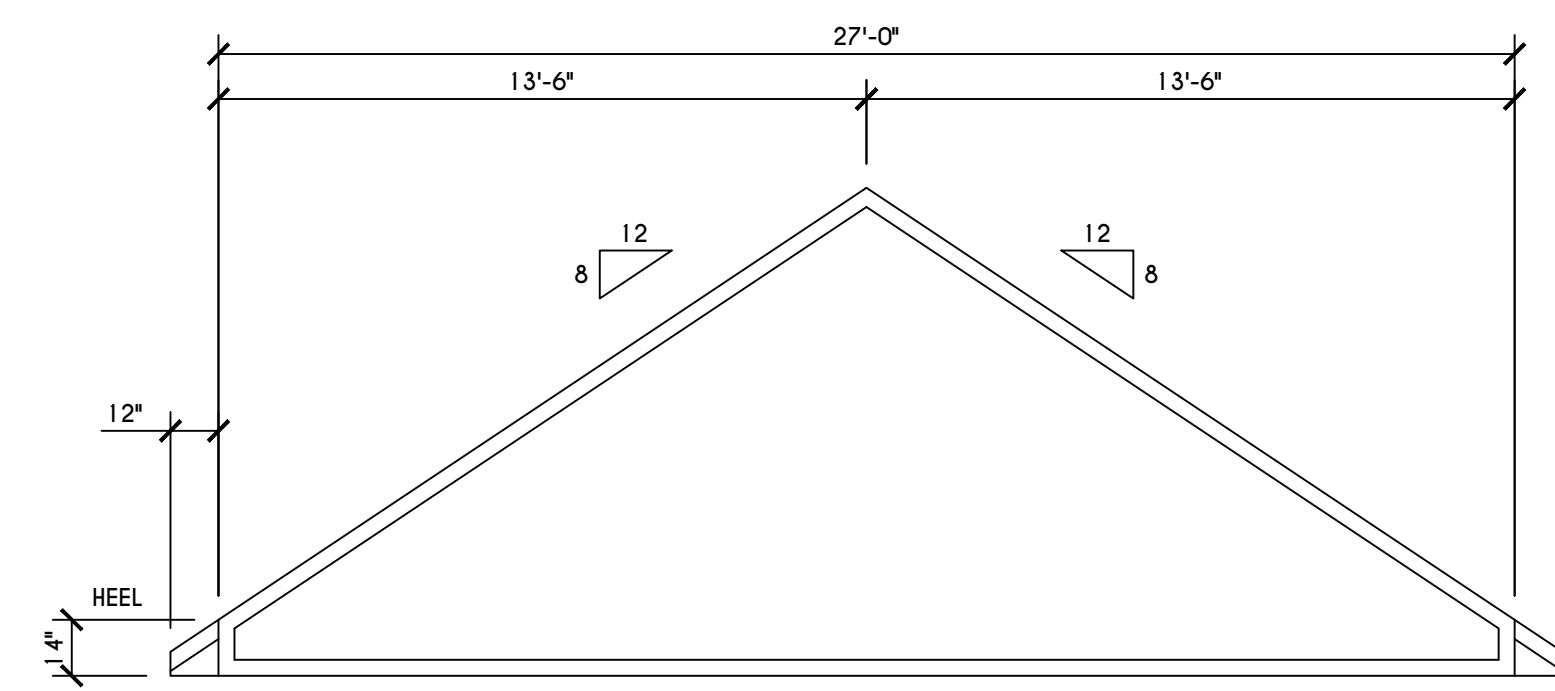
**GENERAL SECOND FLOOR PLAN NOTES:**  
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
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**WINDOW / DOOR LEGEND:**

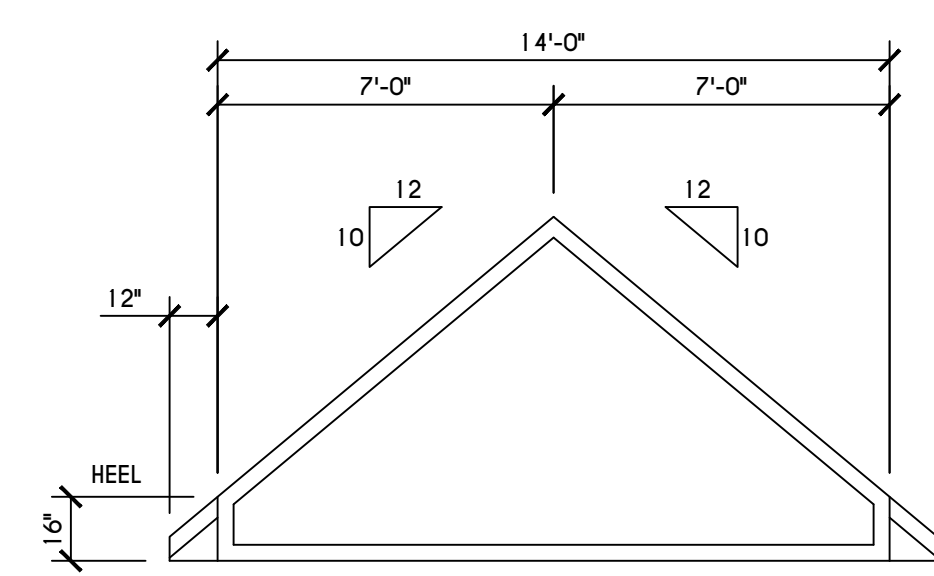
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<b>T</b>	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
<b>FP</b>	= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



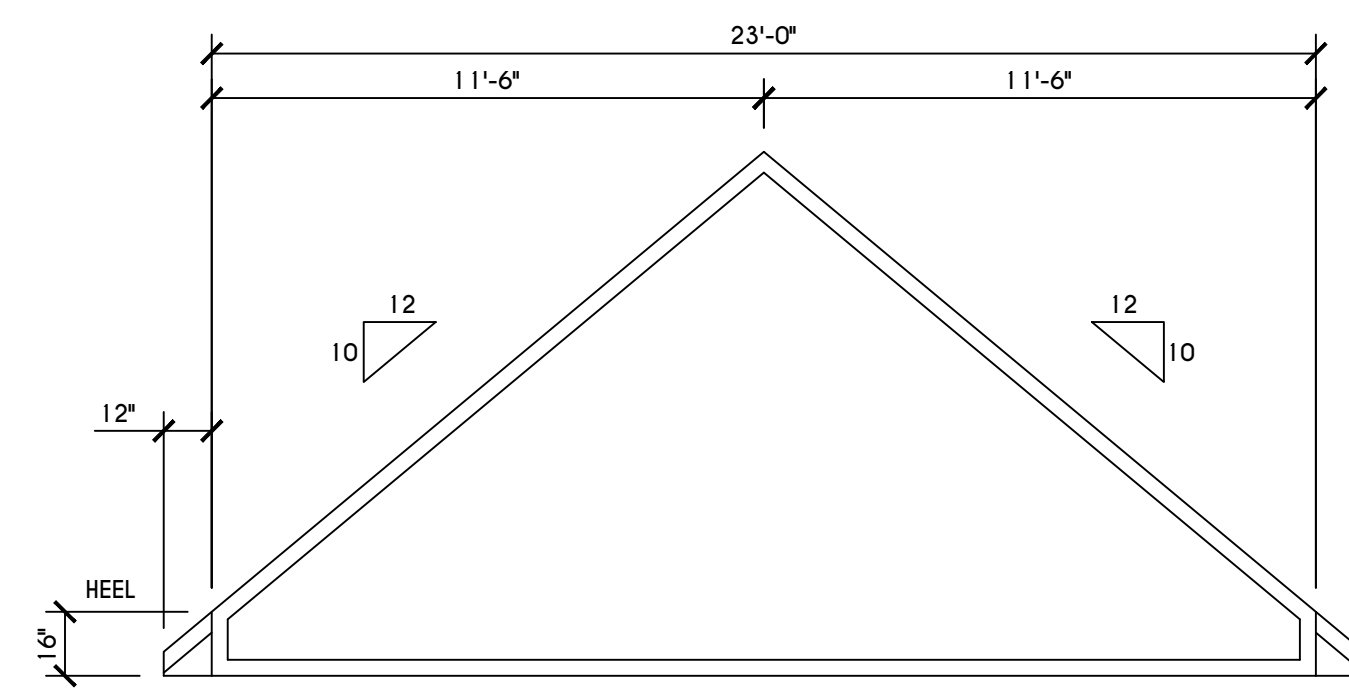
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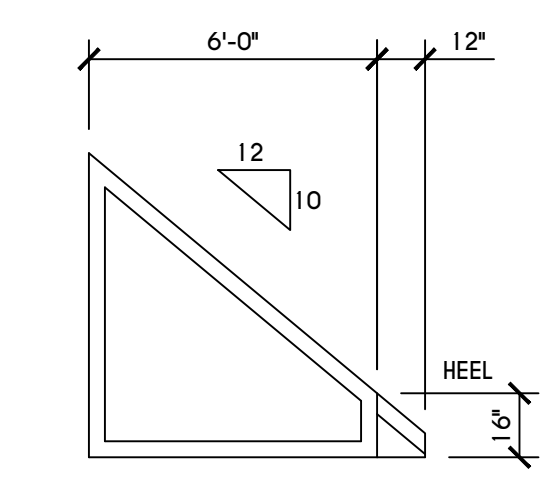
**'C' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"



**'D' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

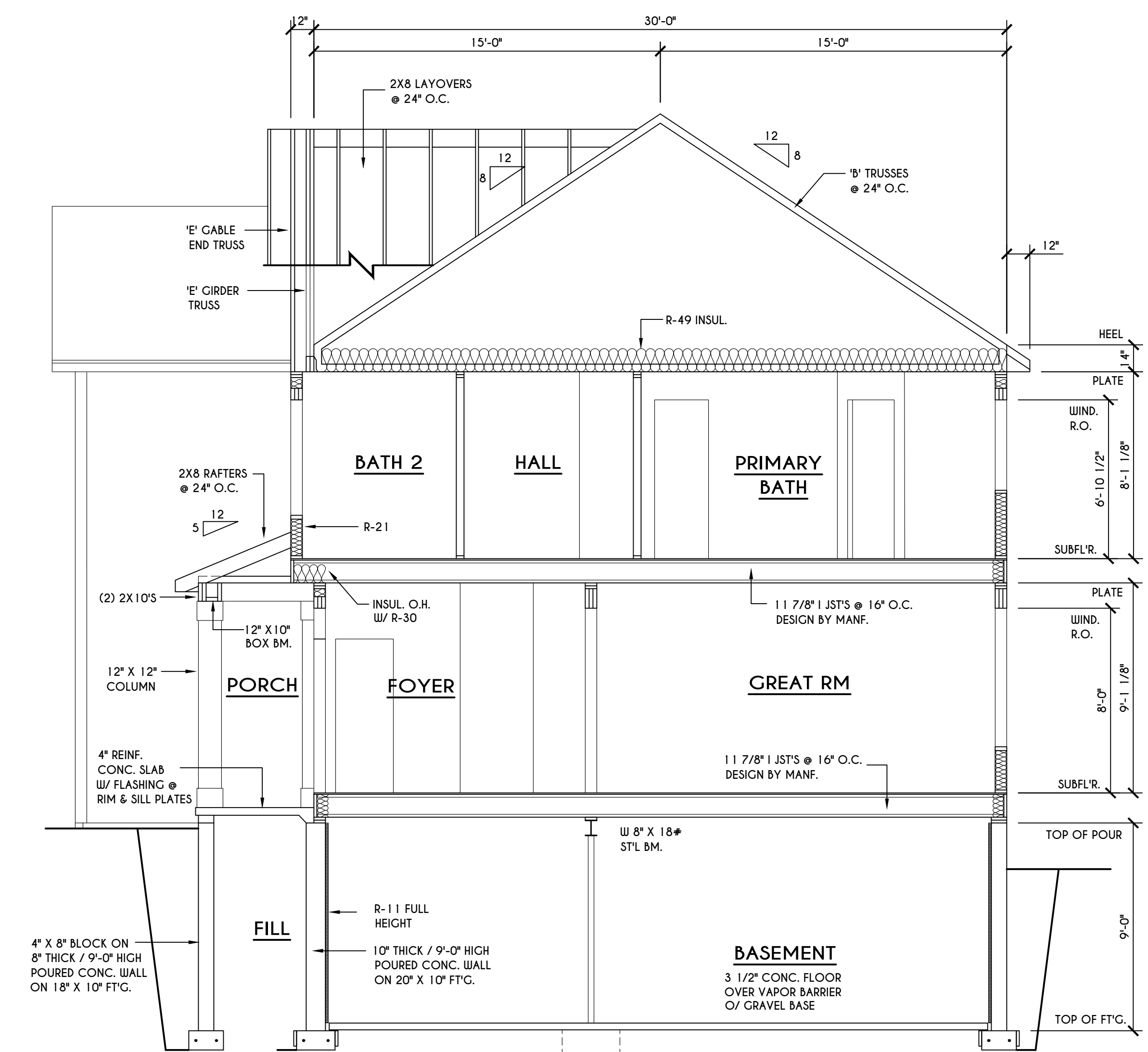


**'E' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

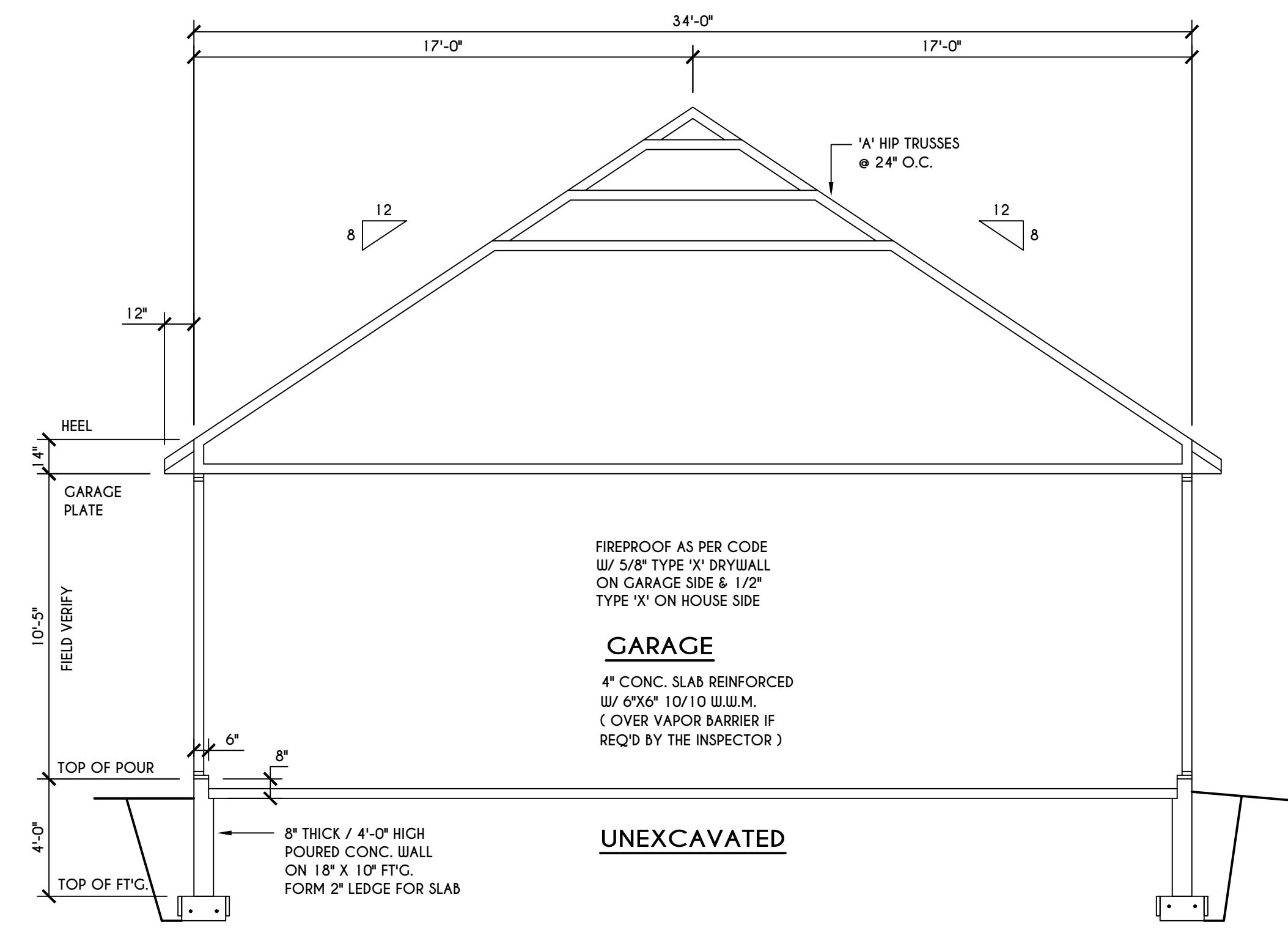


**'F' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

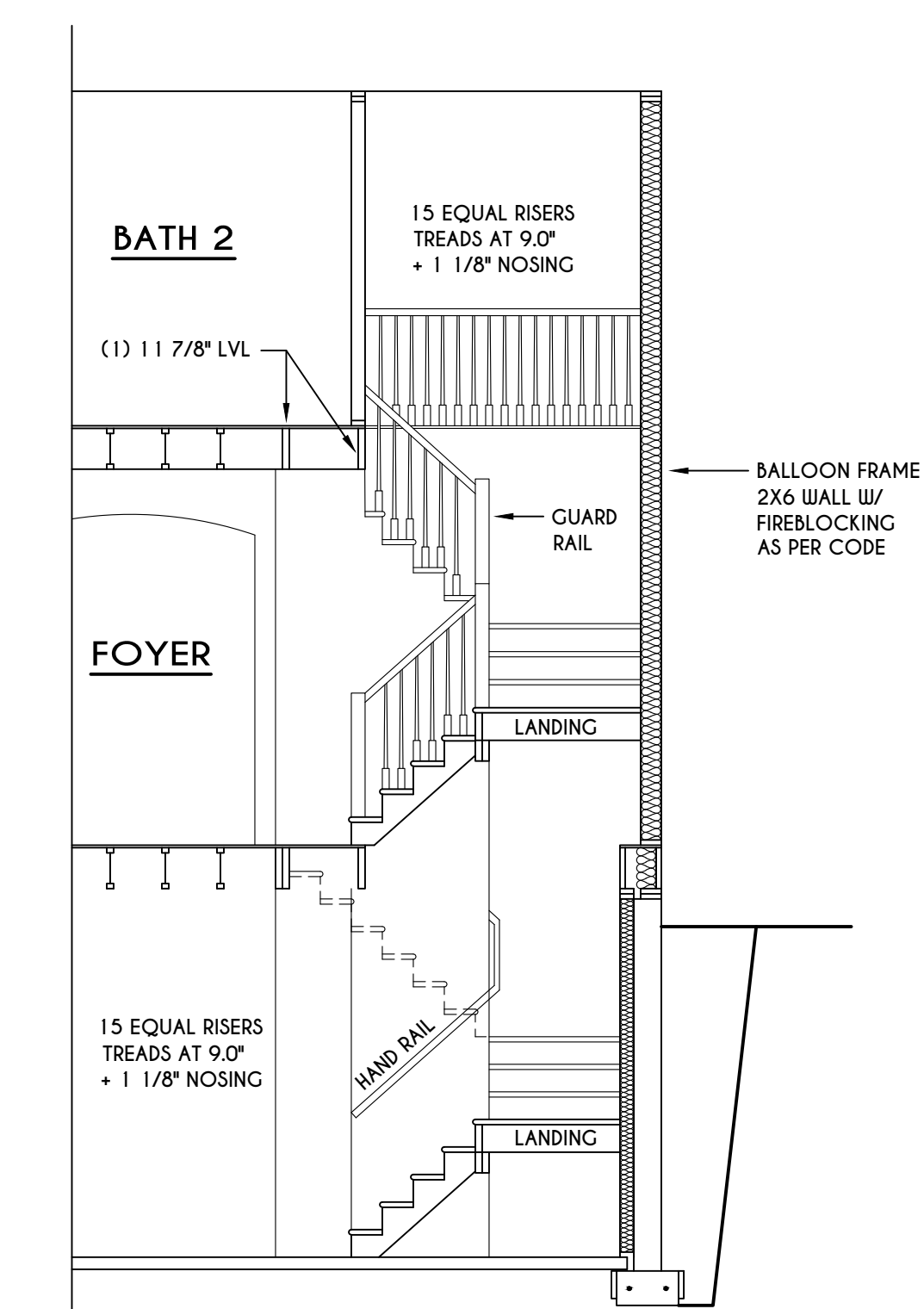
**TRUSS NOTES:**  
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD.  
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD.  
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER.



**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**STAIR SECTION**  
 SCALE: 1/4" = 1'-0"

**REVISIONS:**

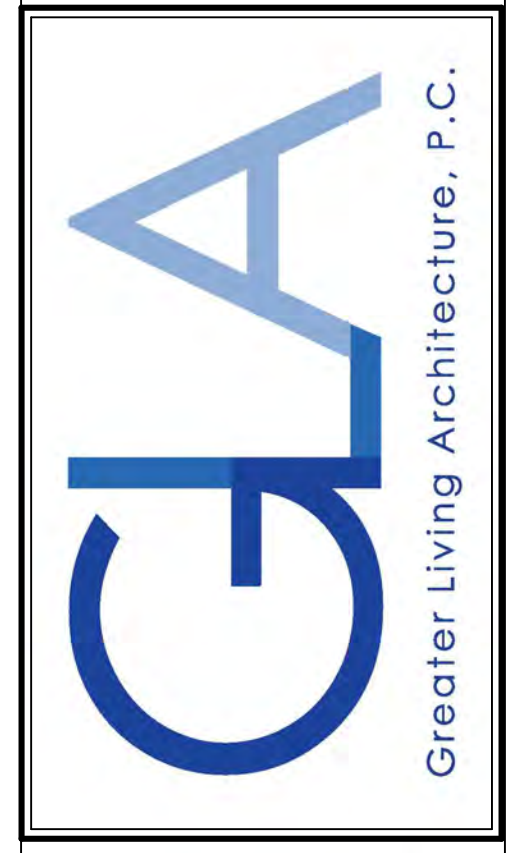
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SPEC HOUSE - NEWCASTLE  
 LOT 6 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECTIONS**  
 GLA PLAN 3067

drawn: CDK	checked: CSB
scale: AS NOTED	date: 2 / 25
PROJECT: 15428E	sheet: 5

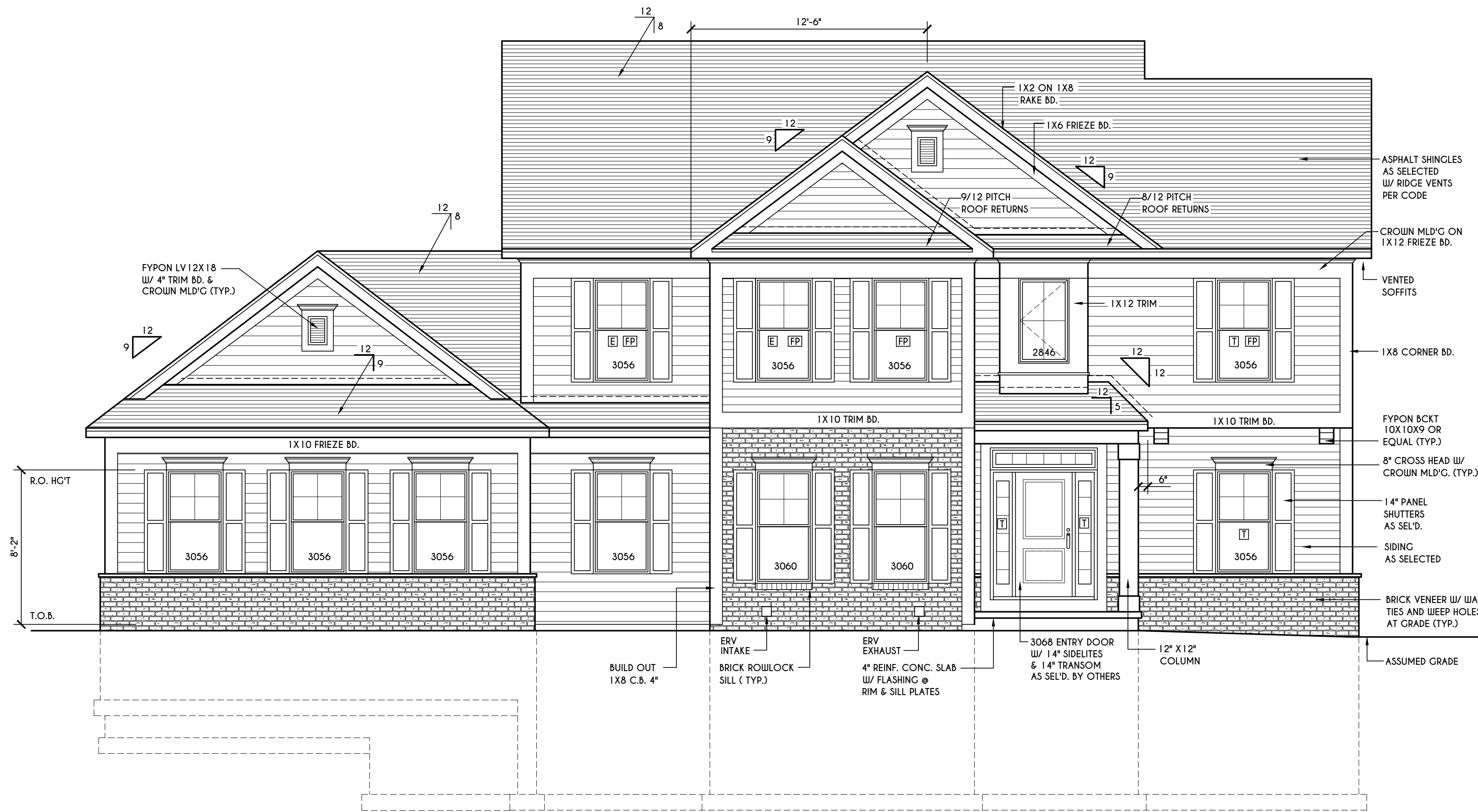


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# 4 Bridleridge

HOUSE FOOTPRINT  
SCALE: 1" = 50'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1444 SQ.FT.  
SECOND FLOOR LIVING AREA = 1482 SQ.FT.  
TOTAL LIVING AREA = 2926 SQ.FT.  
TOTAL CONDITIONED VOLUME = 40,902 CU.FT.

TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS, TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

WINDOWS: VUD 2 LOC DH SOLAR GAIN W/ ARGON

U-FACTOR ..... 0.30  
SHGC ..... 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft<sup>2</sup> & SLIDING DOORS NO MORE THAN 0.5 cfm/ft<sup>2</sup>. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

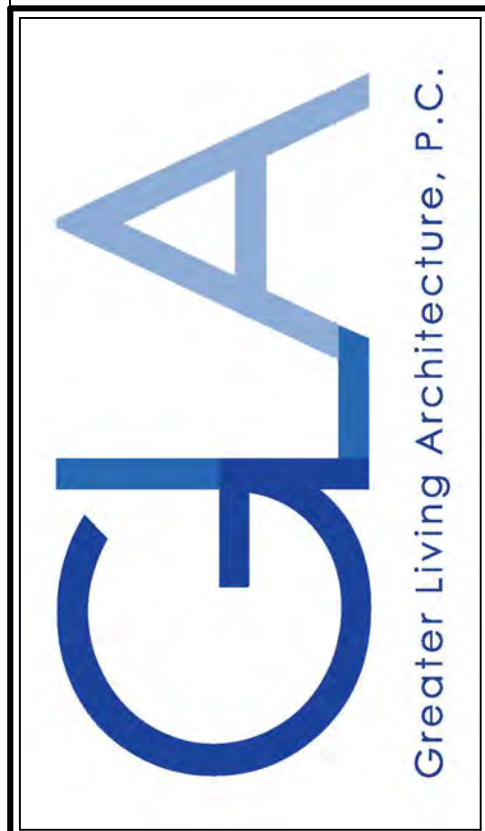
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOUSE  
LOT 67 BRIDLERIDGE FARMS  
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE  
BUILDING CORP.

ELEVATIONS

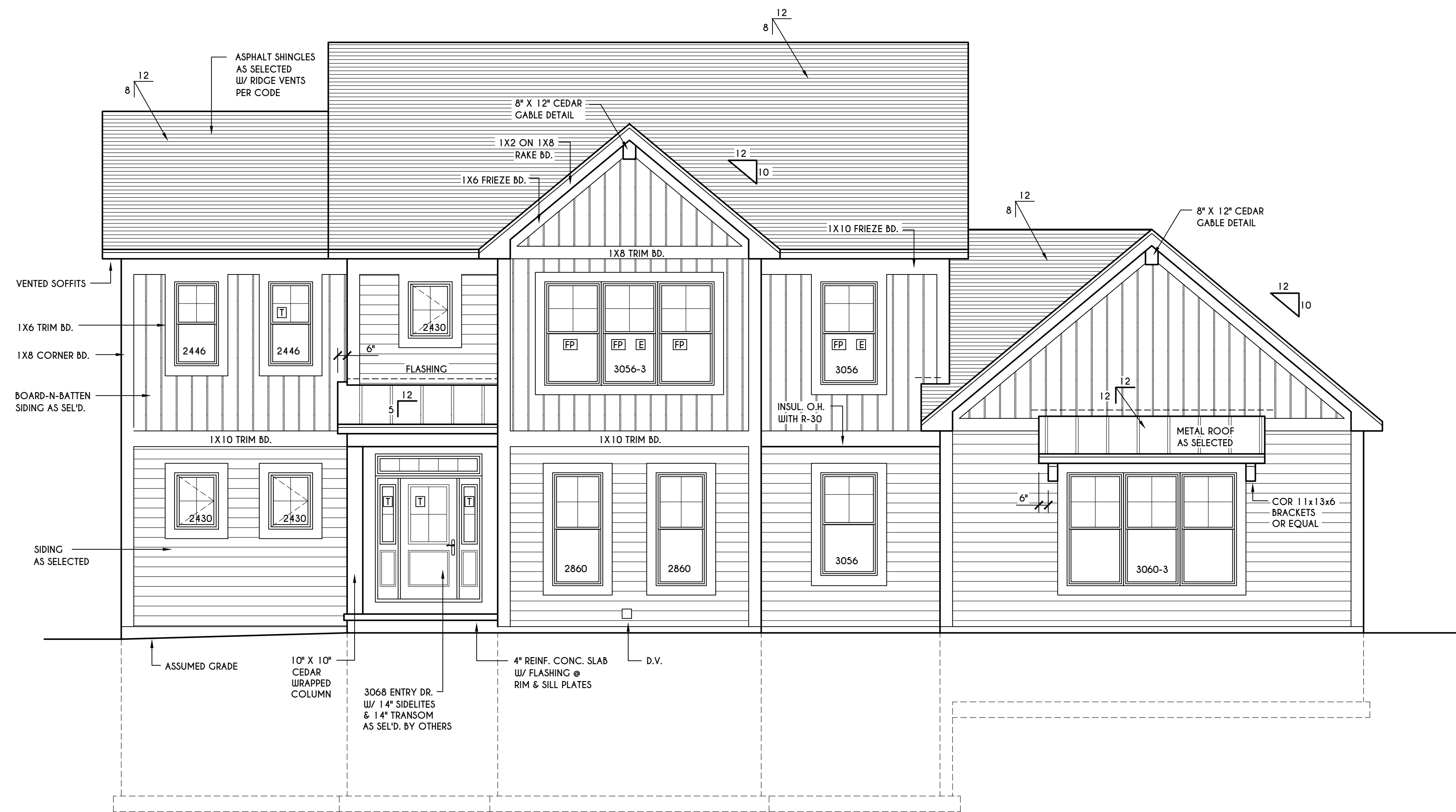
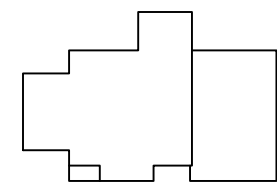
GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 23
PROJECT:	sheet: 1
15420H	6



# 5 Bridleridge

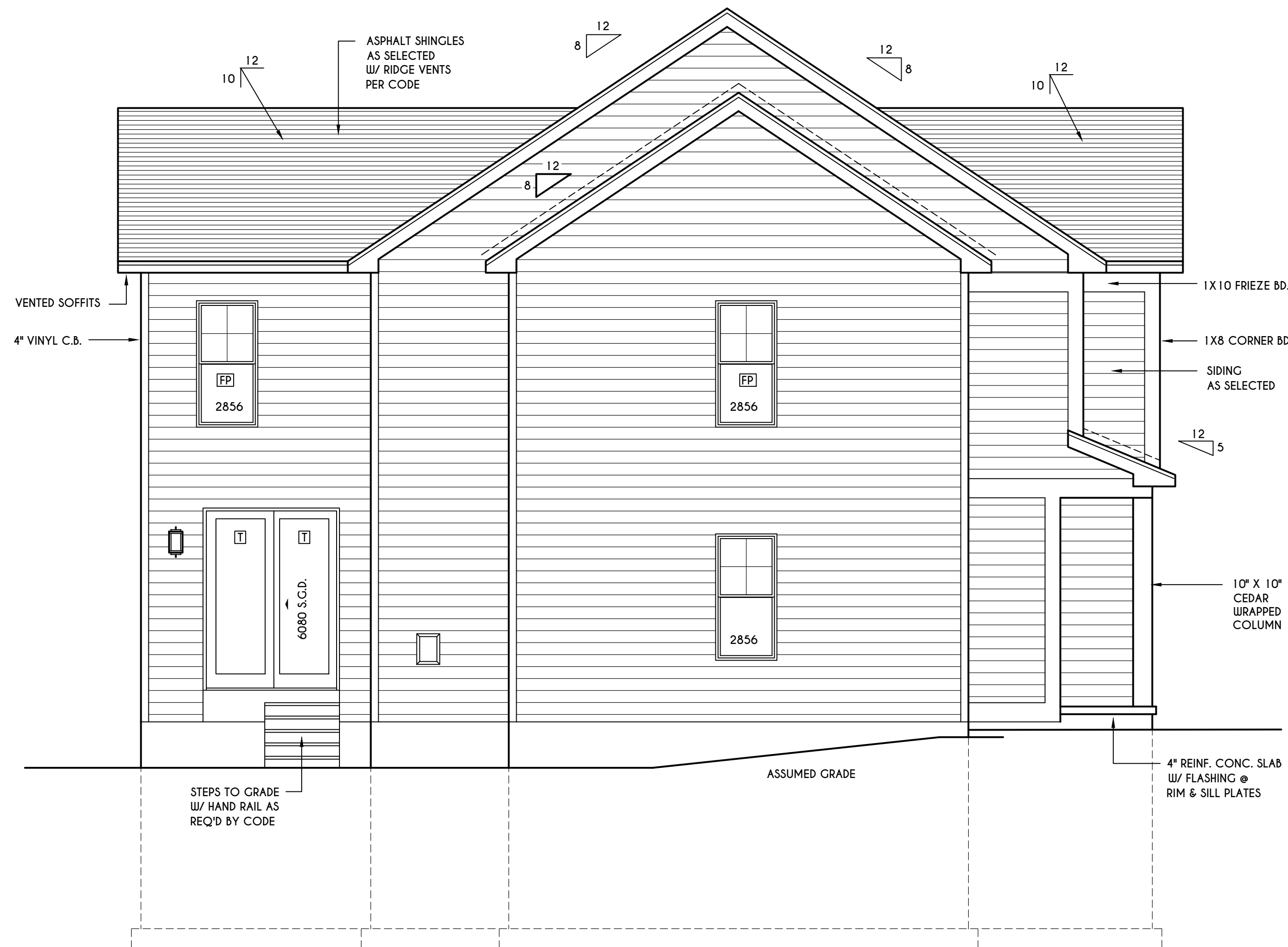
HOUSE FOOTPRINT  
SCALE: 1" = 50'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1396 SQ.FT.  
SECOND FLOOR LIVING AREA = 1414 SQ.FT.  
TOTAL LIVING AREA = 2810 SQ.FT.  
TOTAL CONDITIONED VOLUME = 38,224 CU.FT.



## LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION  
SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

WINDOWS: VUD 210C DH SOLAR GAIN W/ ARGON

U-FACTOR ..... 0.30  
SHGC ..... 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

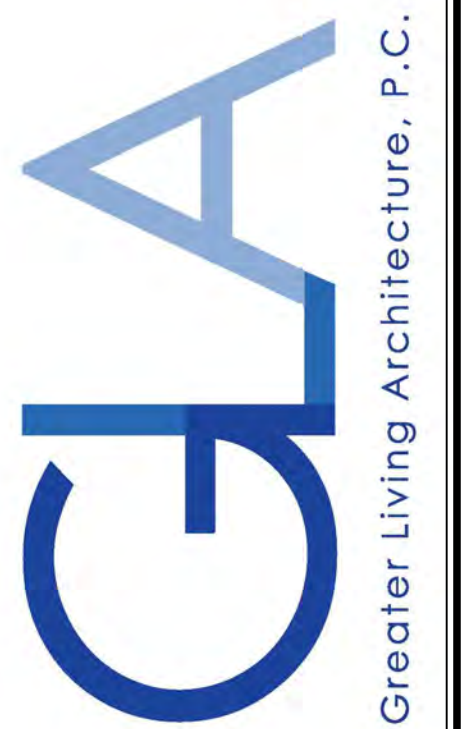
4/12 PITCH ROOFS OR SHALLOWER

TO HAVE 2 LAYERS 15# FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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FAX: (585) 292-1262  
www.greaterviving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:  
  
THE NEWPORT - SPEC  
LOT 1 BRIDLERIDGE  
PITTSFORD, NY

BUILDER:  
  
COVENTRY RIDGE  
BUILDING CORP.

ELEVATIONS

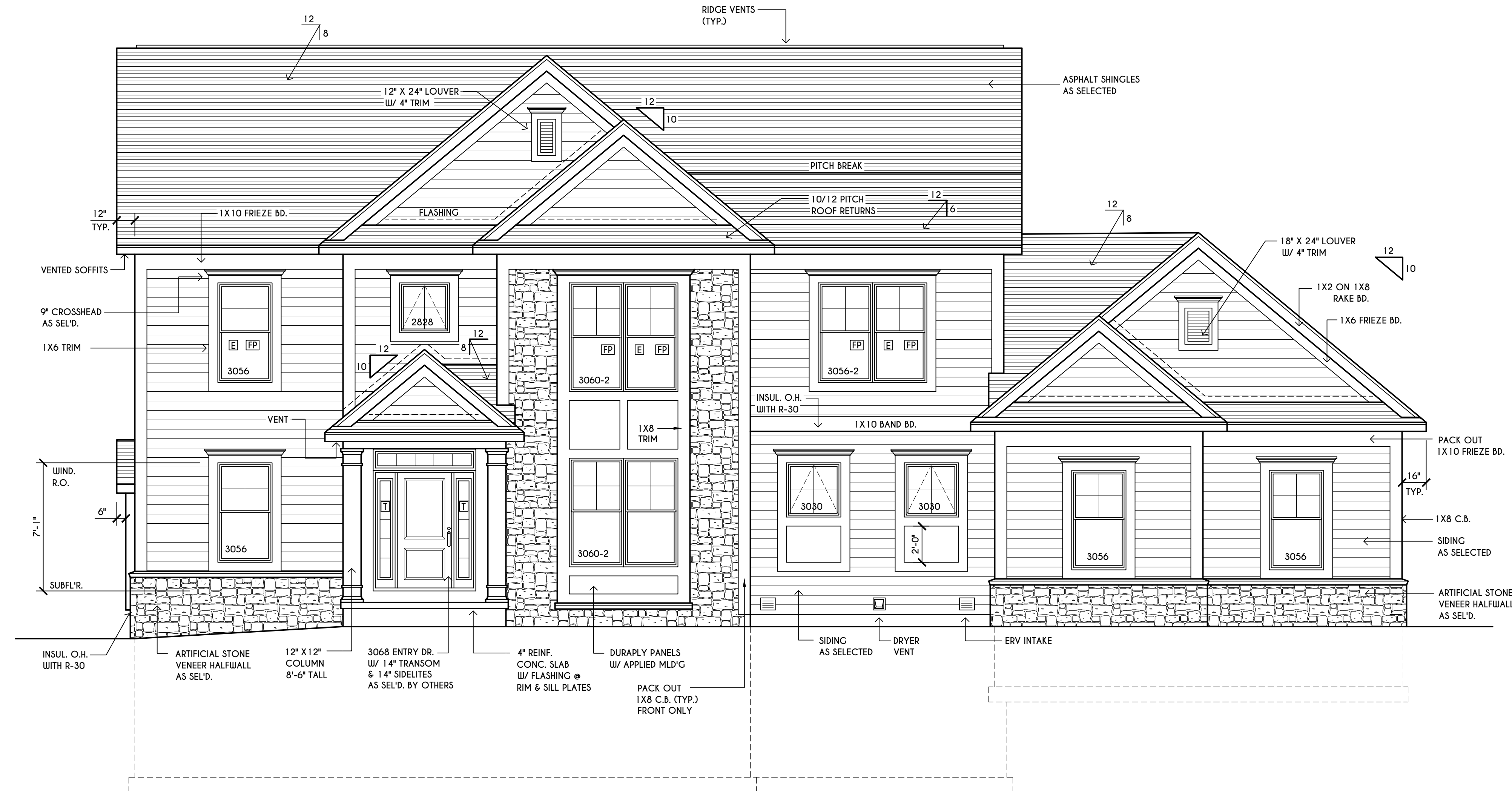
GLA PLAN 2810

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scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 1 / 6



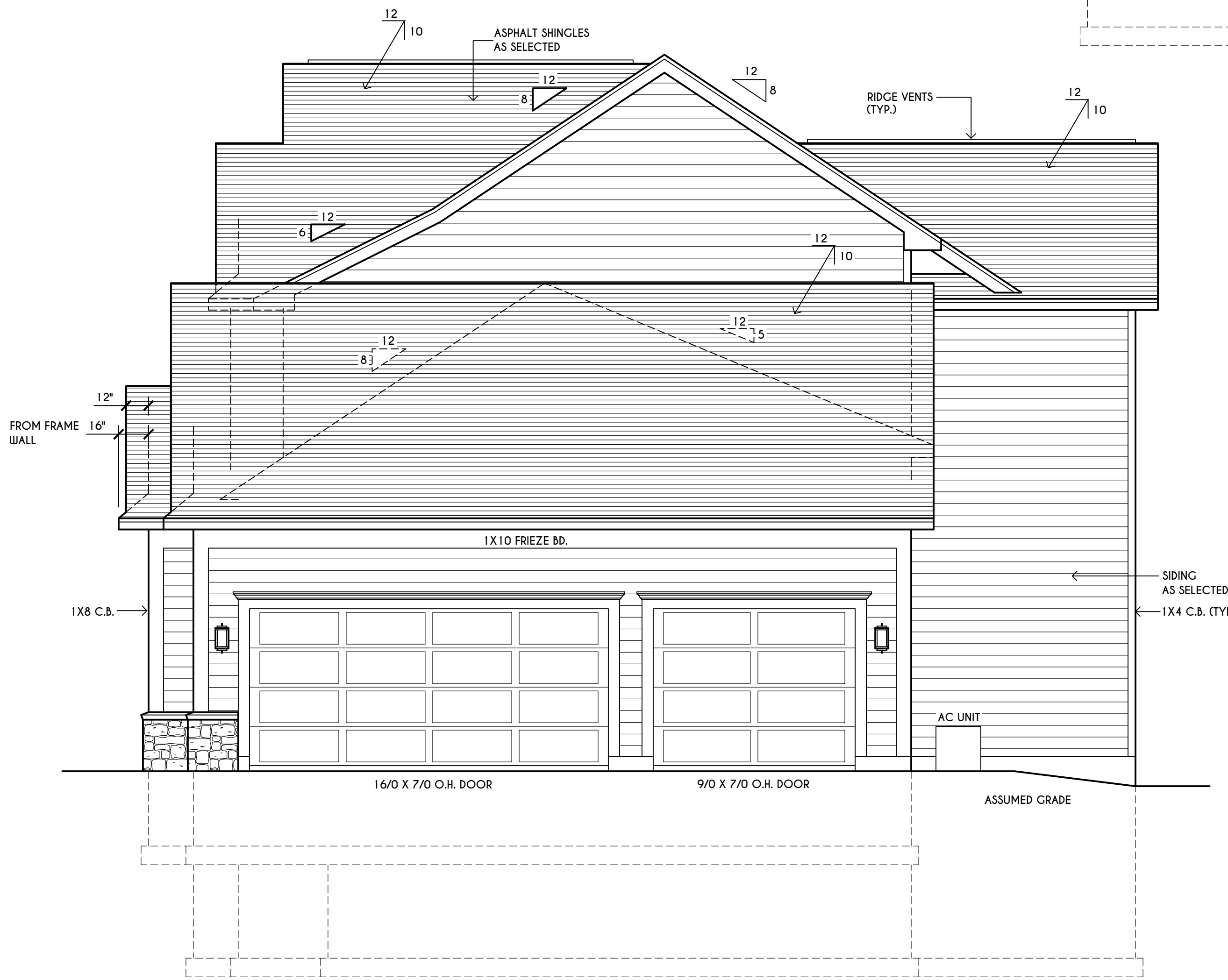
# 7 Bridleridge

**HOUSE FOOTPRINT**  
SCALE: 1" = 50'-0"



## FRONT ELEVATION

FIRST FLOOR LIVING AREA = 1524 SQ.FT.  
SECOND FLOOR LIVING AREA = 1560 SQ.FT.  
TOTAL LIVING AREA = 3084 SQ.FT.  
TOTAL CONDITIONED VOLUME = 41,988 CU.FT.



## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M 1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M 1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** VWD SOLAR GAIN GLASS W/ ARGON  
U-FACTOR ..... 0.30  
SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER  
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

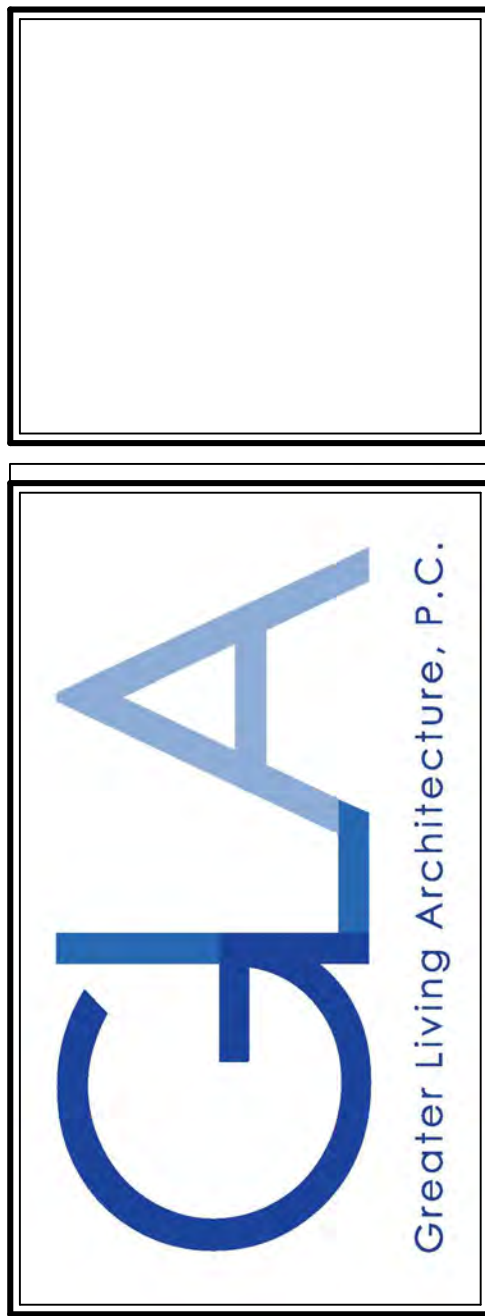
**WINDOW / DOOR LEGEND:**  
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 ( PAGE 1 )

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
LOT 2  
BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**  
COVENTRY RIDGE  
BUILDING CORP.

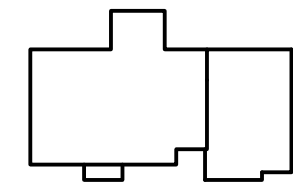
**ELEVATIONS**

GLA PLAN 3084

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	6 / 20
PROJECT:	sheet:
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	6

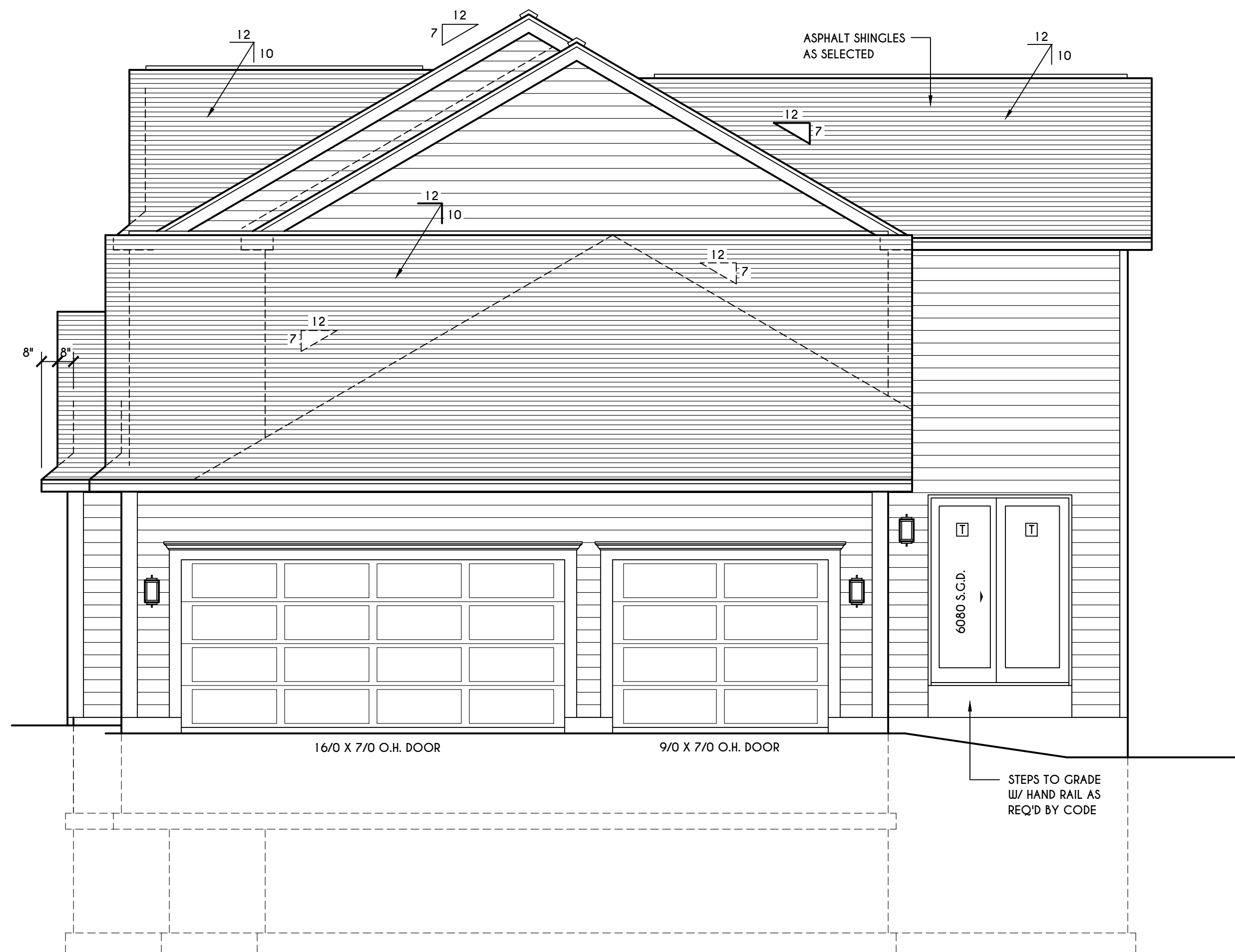


# 9 Bridleridge



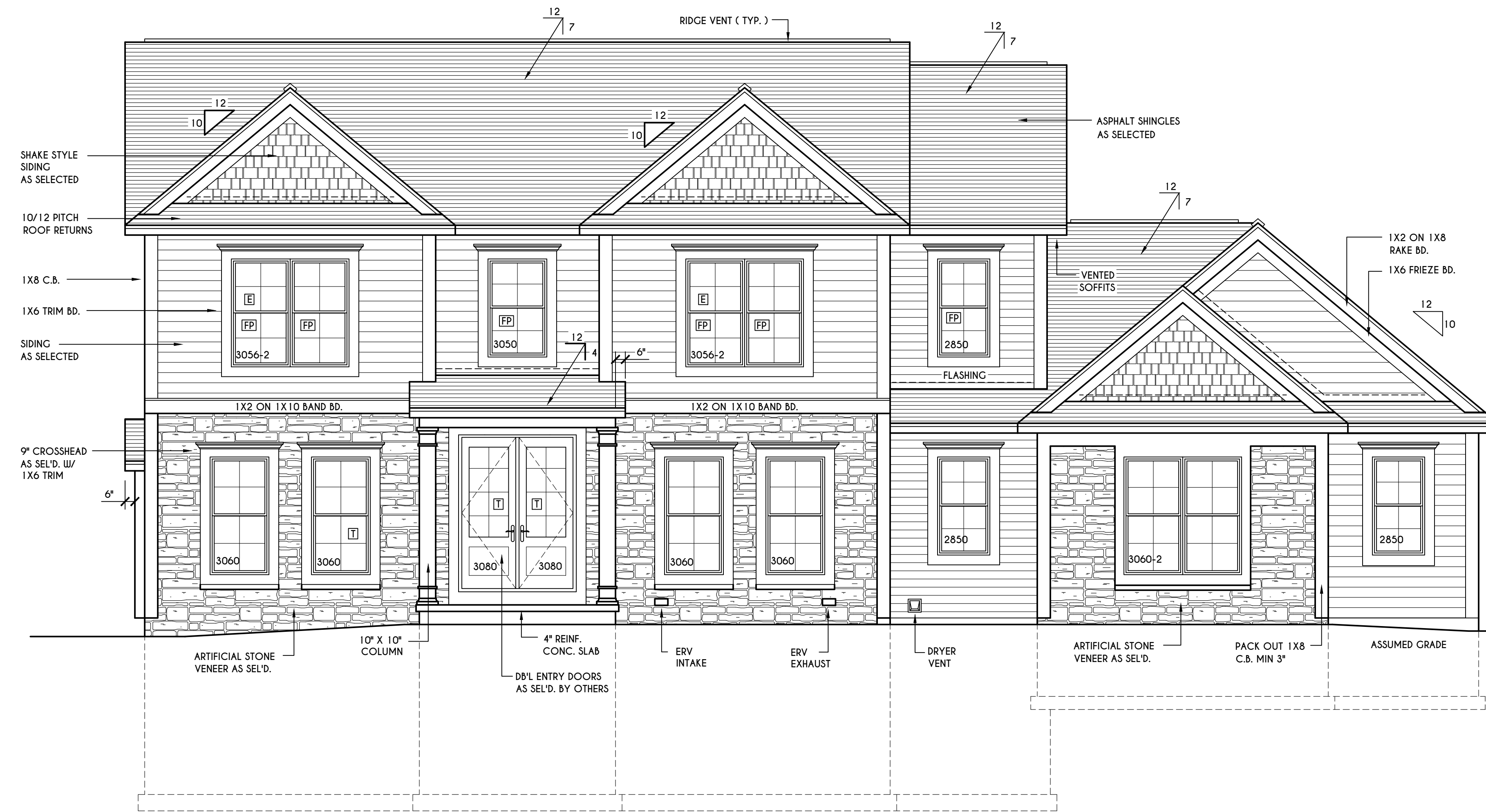
## HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1488 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1517 SQ.FT.  
 TOTAL LIVING AREA = 3005 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 40,807 CU.FT.

**WINDOWS:** VLD SOLAR GAIN GLASS W/ ARGON  
 U-FACTOR ..... 0.30  
 SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY.

**WINDOW / DOOR LEGEND:**  
 [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR Sf: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT FACTOR a	25%	33%	50%	66%	75%	100%
	4	3	2	1.5	1.3	1.0

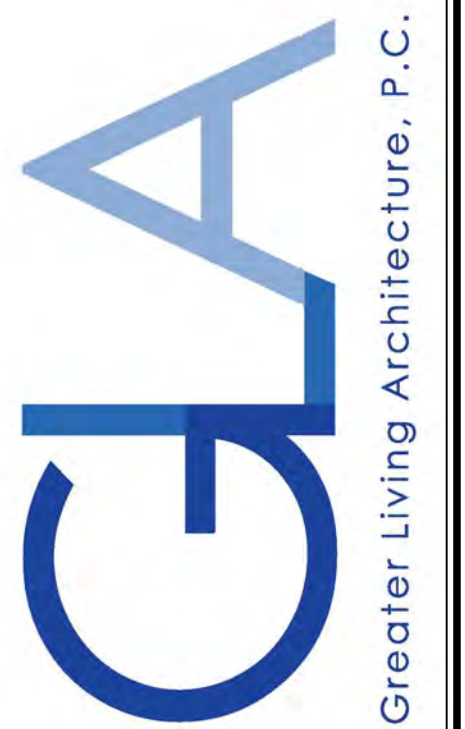
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR Sf: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

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 www.greatliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 ALT. "LATTIMORE"  
 LOT 3 BRIDLERIDGE FARMS  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

## ELEVATIONS

GLA PLAN 3005

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15399C	sheet: 1 / 6



# 10 Bridleridge

**TABLE M1505.4.3 (1)**  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,001-4,500	60	75	90	105
4,501-6,000	75	90	105	120
6,001-7,500	90	105	120	135
> 7,500	105	120	135	150

**TABLE M1505.4.3 (2)**  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

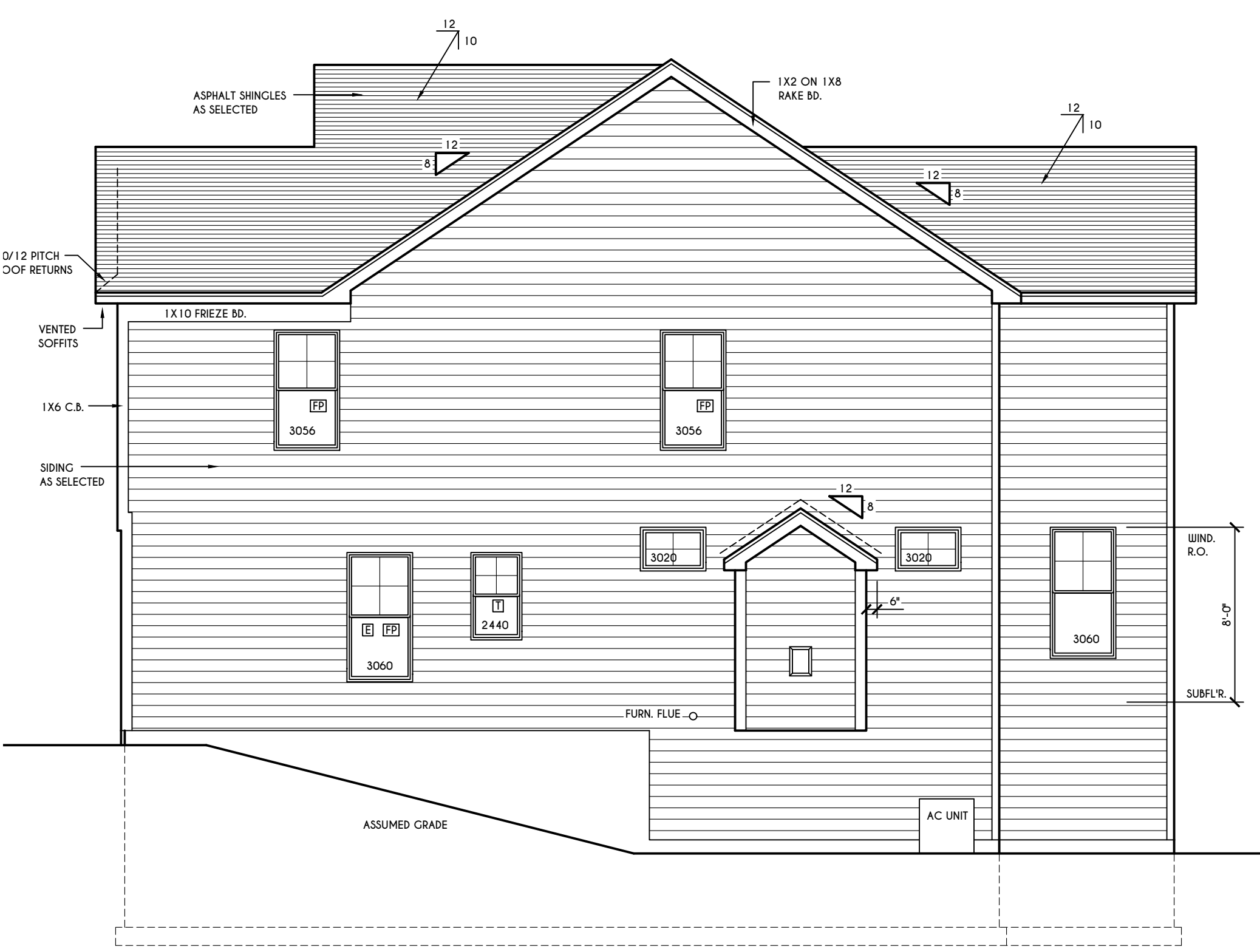
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT FACTOR <sup>a</sup>	25%	33%	50%	66%	75%	100%
		4	3	2	1.5	1.3

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

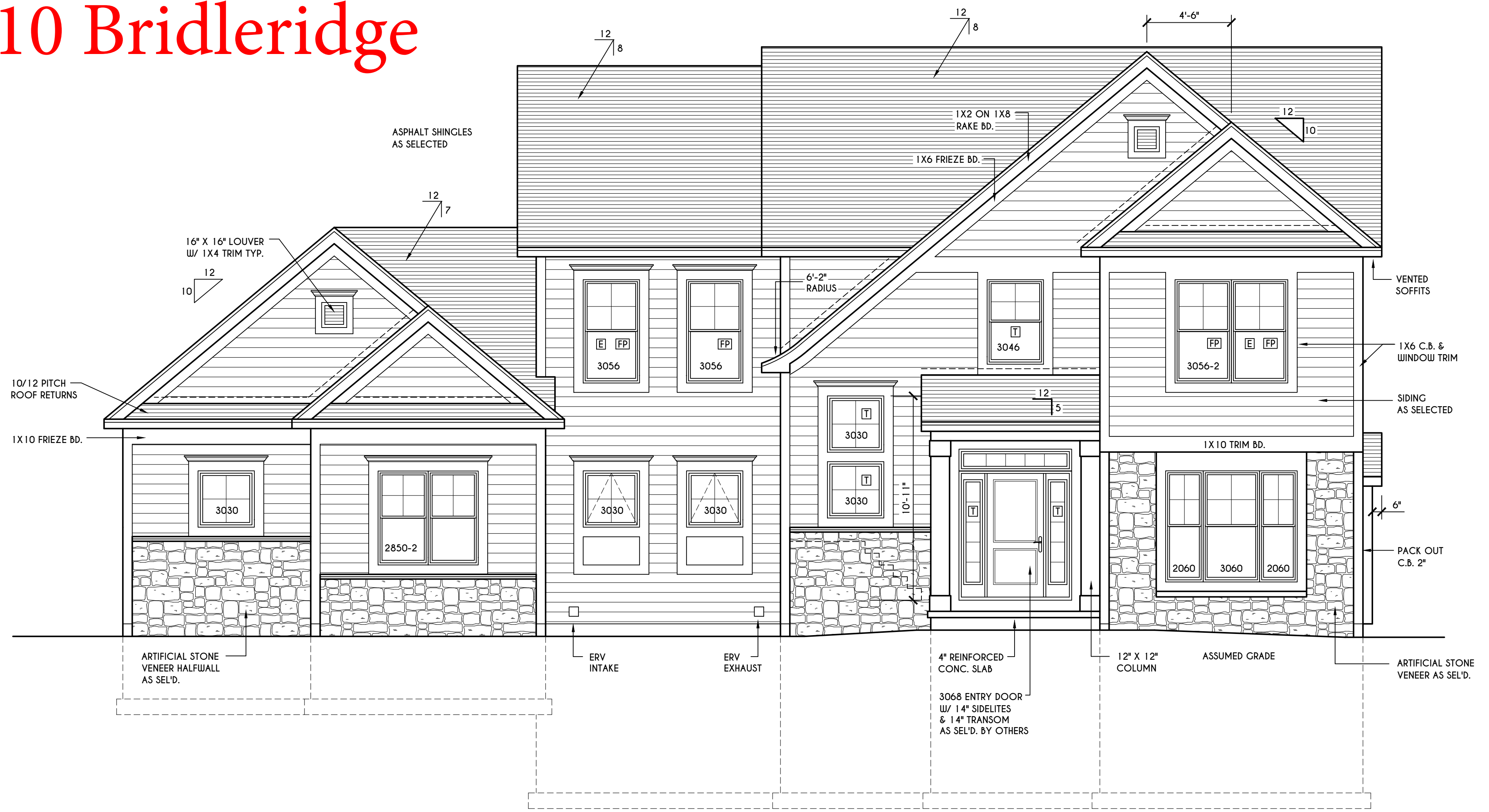
**TABLE M1505.4.4**  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 SQUARE FOOT=0.0929 M<sup>2</sup>, 1 CUBIC FOOT PER MIN=0.0004719 M<sup>3</sup>/S  
FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 M<sup>3</sup>/S



**RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1533 SQ.FT.  
SECOND FLOOR LIVING AREA = 1534 SQ.FT.  
TOTAL LIVING AREA = 3067 SQ.FT.  
TOTAL CONDITIONED VOLUME = 41,925 CU.FT.

**WINDOWS:** VUID SOLAR GAIN GLASS W/ ARGON  
U-FACTOR ..... 0.30  
SHGC ..... 0.54

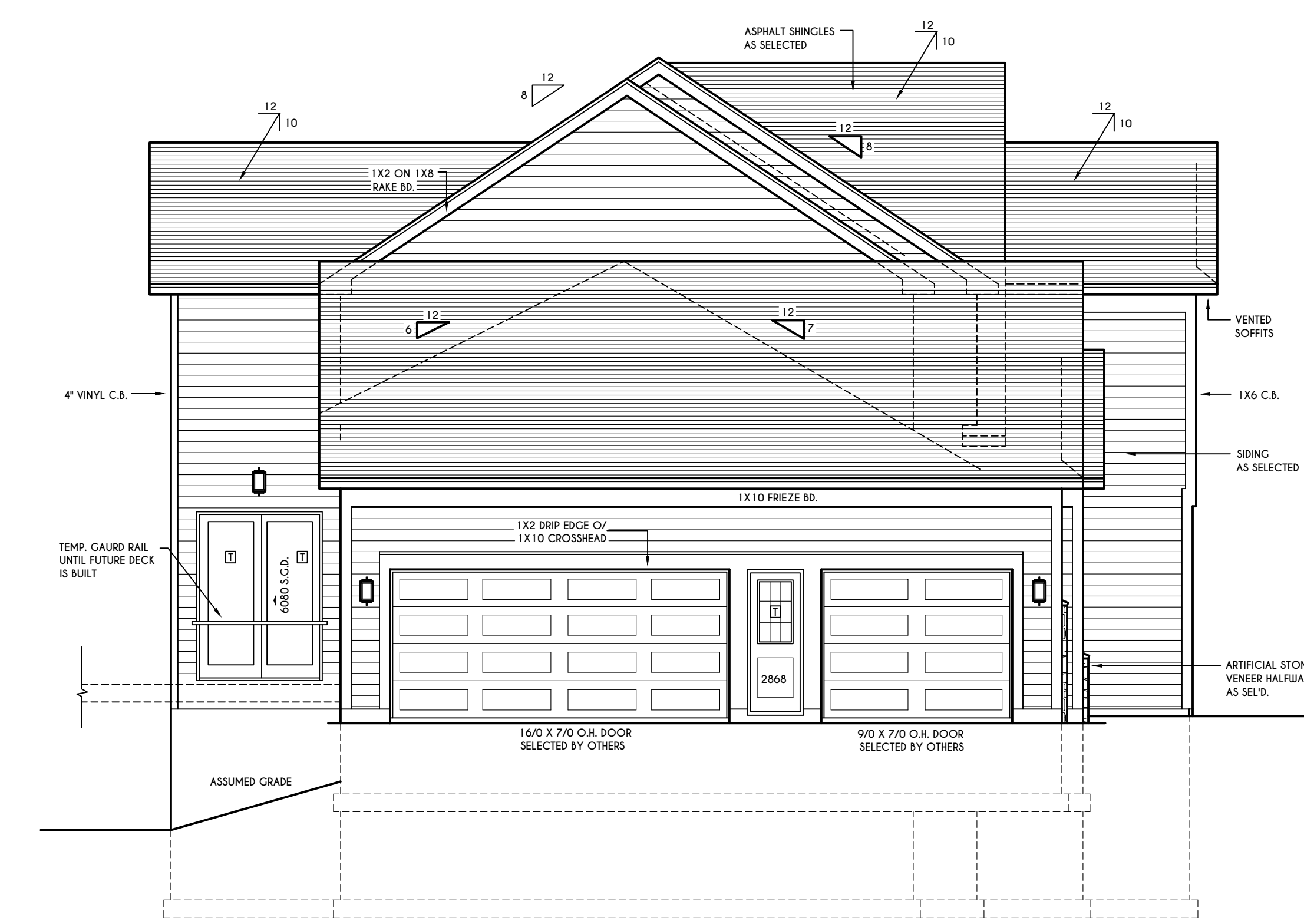
**DOORS:** SELECTION BY OWNER

**AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SWING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2020 ECCCNS**

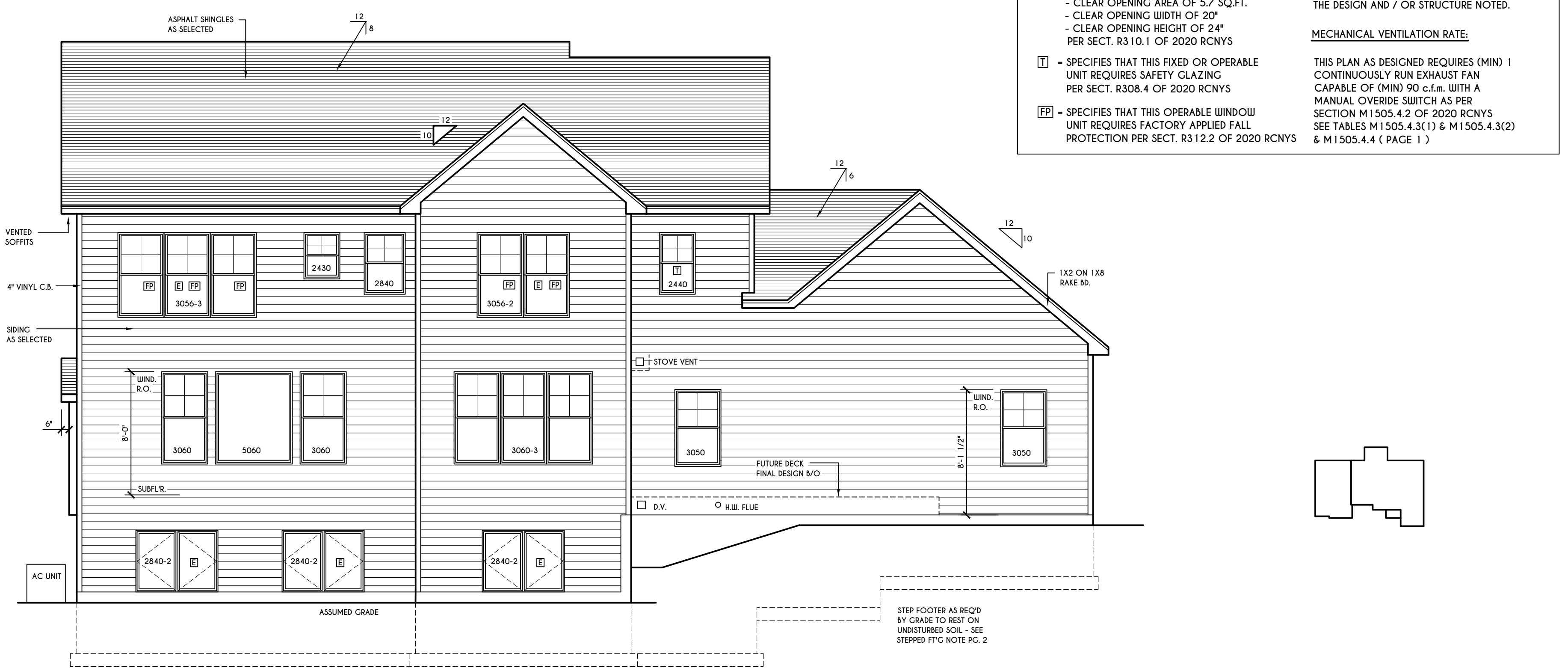
**WINDOW / DOOR LEGEND:**  
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE-THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

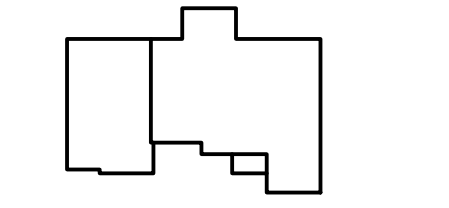
**MECHANICAL VENTILATION RATE:**  
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



**LEFT ELEVATION**  
SCALE: 3/16" = 1'-0"

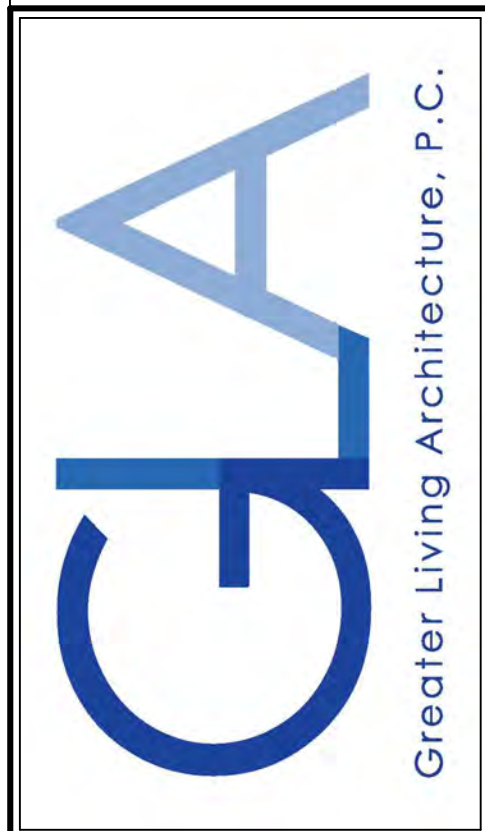


**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"



**HOUSE FOOTPRINT**  
SCALE: 1" = 50'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
SPEC HOUSE ( NEWCASTLE )  
LOT 64 BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**  
COVENTRY RIDGE  
BUILDING CORP.

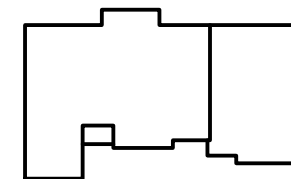
**ELEVATIONS**

**GLA PLAN 3067**

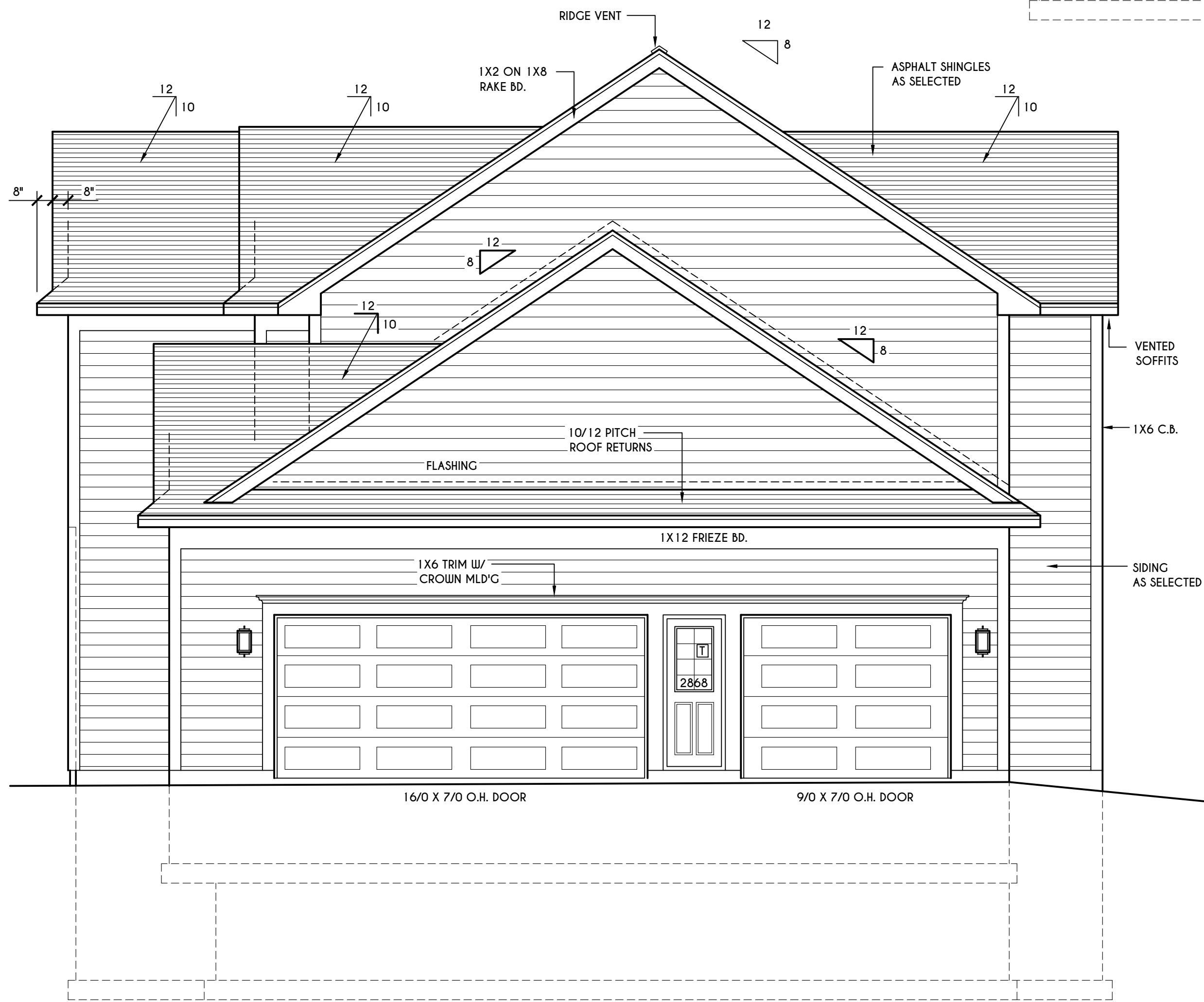
drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 23
PROJECT: 15428C	sheet: 1 / 5



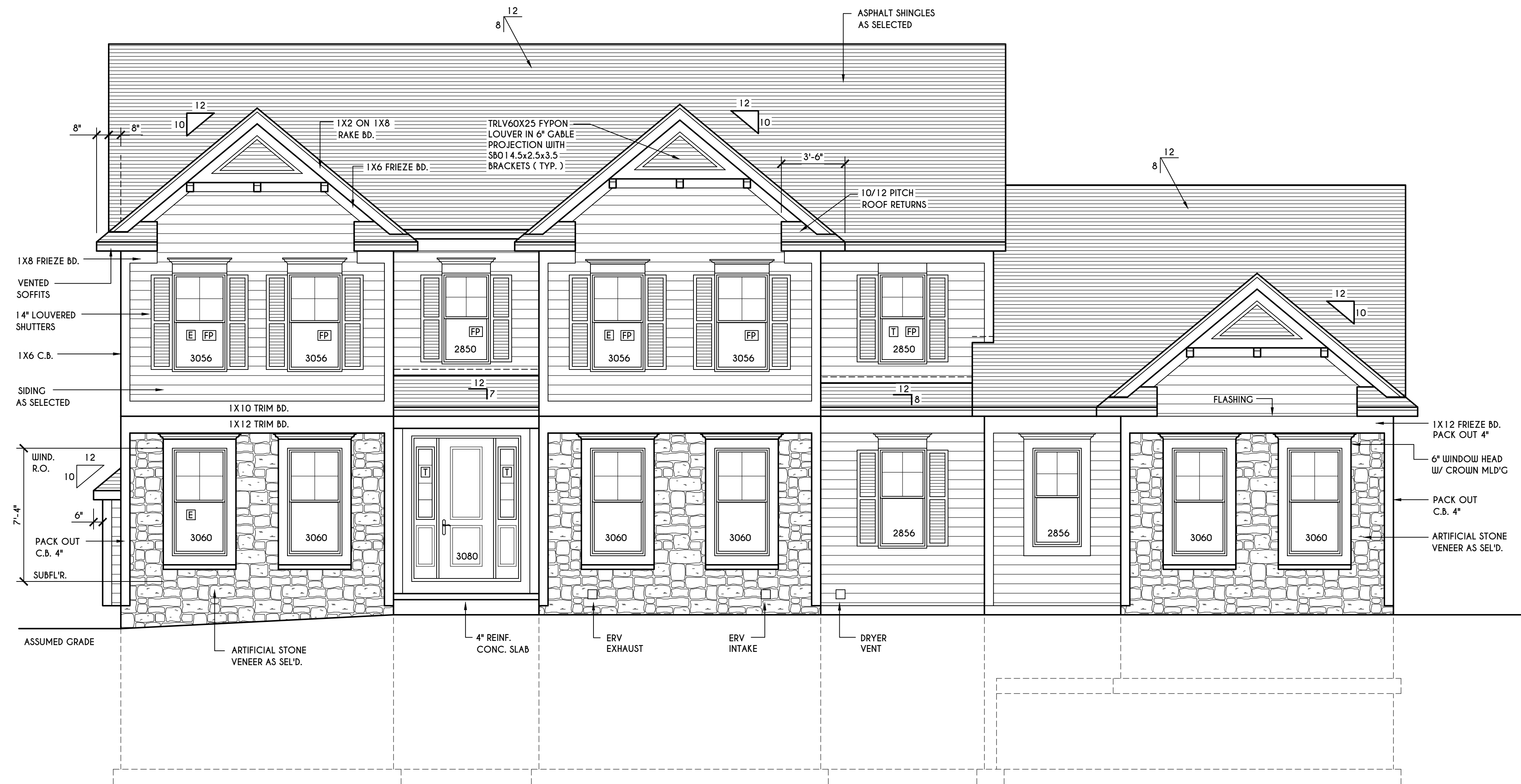
# 11 Bridleridge



**HOUSE FOOTPRINT**  
SCALE: 1" = 50'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1649 SQ.FT.  
SECOND FLOOR LIVING AREA = 1683 SQ.FT.  
TOTAL LIVING AREA = 3332 SQ.FT.  
  
TOTAL CONDITIONED VOLUME = 45,803 CU.FT.

**WINDOWS:** VUID SOLAR GAIN GLASS W/ ARGON  
U-FACTOR ..... 0.30  
SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER  
  
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SWING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2020 ECCCNS

**WINDOW / DOOR LEGEND:**  
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR a					
	25%	33%	50%	66%	75%	100%
FACTOR b	4	3	2	1.5	1.3	1.0

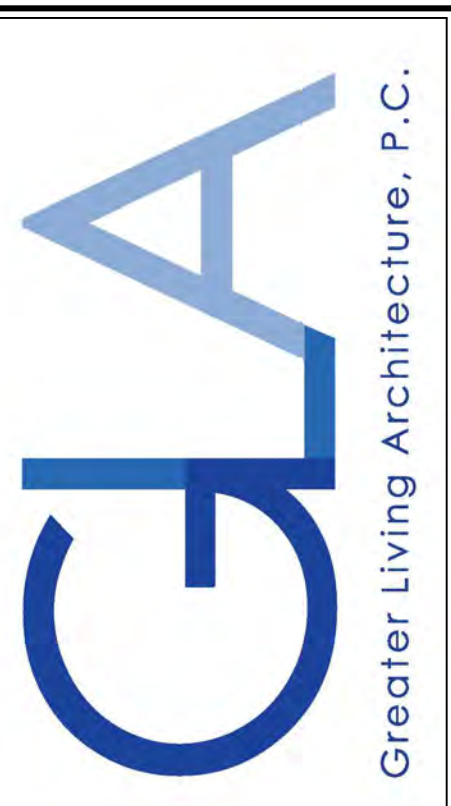
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES	
	KITCHENS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

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FAX: (585) 292-1262  
www.greaterliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
  
SPEC HOME  
LOT 4 BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 3332**

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 1 / 6

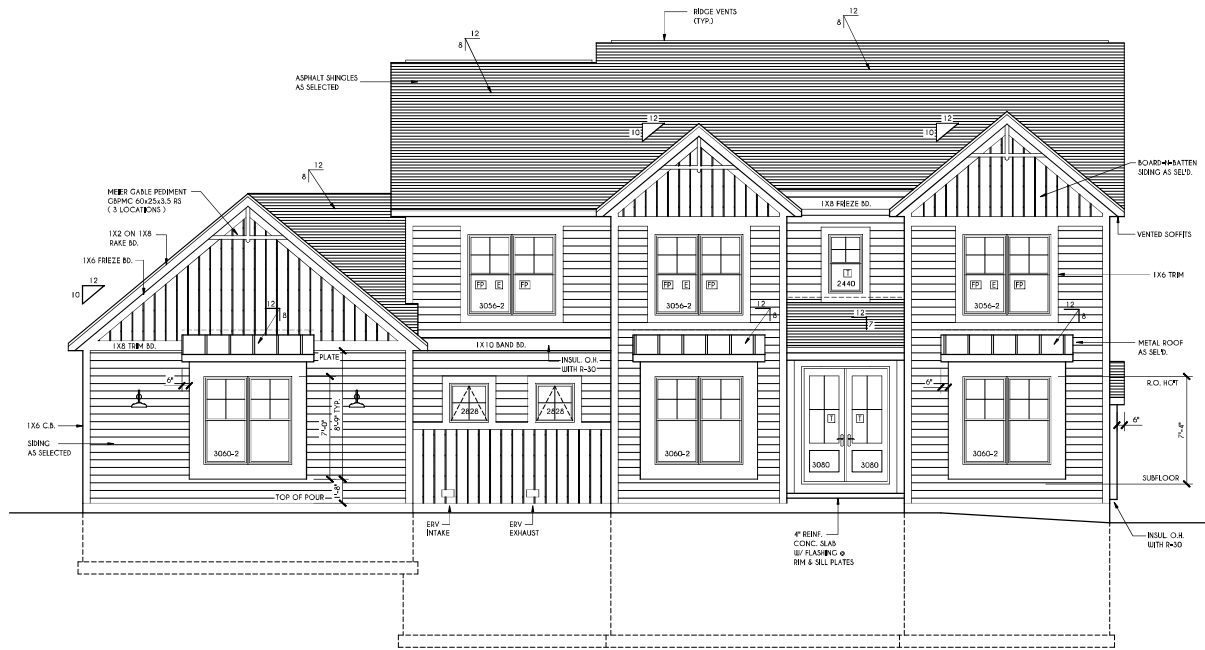


# 12 Bridleridge



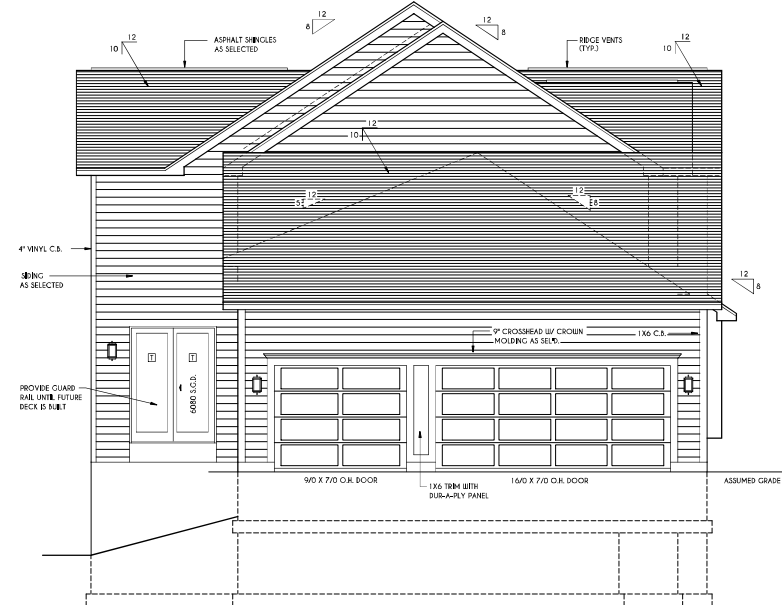
## PLOT PLAN

SCALE: 1" = 50'-0"



## FRONT ELEVATION

FIRST FLOOR LIVING AREA = 1600 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1628 SQ.FT.  
 TOTAL LIVING AREA = 3228 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 44,516 CU.FT.



## LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

BUILDING UNIT FLOOR AREA (Square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
< 1,500	30	45	60	75
1,501-2,000	45	60	75	90
2,001-3,000	60	75	90	105
3,001-4,000	75	90	105	120
4,001-5,000	90	105	120	135
5,001-6,000	105	120	135	150
6,001-7,500	120	135	150	165
> 7,500	135	150	165	180

FOR SI: 1 cubic foot=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

INTERMITTENT PERCENTAGE IN BR. SMOKE DETECTOR	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOLLET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CURC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s

WINDOWS: HARVEY OR EQUAL  
 U-FACTOR = 0.27  
 SHGC = 0.29

DOORS: SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SLIDING & SLIDING DOORS TO BE NO MORE THAN 0.3 CFM/FT. AS PER SECT. R402.4.3 OF 2000 ICC/ANSI

WINDOW / DOOR LEGEND:  
 [I] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 = CLEAR OPENING AREA OF 5.7 SQ.FT.  
 = CLEAR OPENING HEIGHT OF 20"  
 = CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.1 OF 2000 RCNYS  
 [II] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R806.4 OF 2000 RCNYS  
 [III] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPROVED PROTECTION PER SECT. R312.2 OF 2000 RCNYS

GENERAL NOTES:  
 ALL BAKES TO BE 1/2" AND ALL OVERLAPS TO BE 1/8" FROM FRAME WALLS UNLESS NOTED OTHERWISE  
 DUELER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2) 4" X 12" HIGH BOARDS OR WALLCOVER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THE OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.  
 MECHANICAL VENTILATION RATE:  
 THIS PLAN AS DESIGNED REQUIRES (1) CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF 100 CFM (1.0 EFM) A MANUAL COVER SWITCH AS PER SECTION M1505.4.3 OF 2000 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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 CALL: (585) 272-9170  
 FAX: (585) 292-1262  
 www.greatertliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:  
 SPEC HOME  
 LOT 63 BRIDLERIDGE  
 PITTSFORD, NY

BUILDER:  
 COVENTRY RIDGE  
 BUILDING CORP.

## ELEVATIONS

GLA PLAN 3228

dram:	CDK	checked:	CS8
scale:	AS NOTED	date:	7/24
PROJECT:	15381F	sheet:	1



# 15 Bridleridge

TABLE M1505.4.3 (3)  
CONTINUOUS UNBLENDED MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DUELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS						
	0-1	2-3	4-5	6-7	>7		
< 1,500	30	45	60	75	90		
1,500-1,999	45	60	75	90	105		
2,000-2,499	60	75	90	105	120		
2,500-2,999	75	90	105	120	135		
3,000-3,499	90	105	120	135	150		
> 3,500	105	120	135	150	165		

TABLE M1505.4.3 (2)  
INTERMITTENT UNBLENDED MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>c</sup>	4	3	2	1.5	1.3	1.0

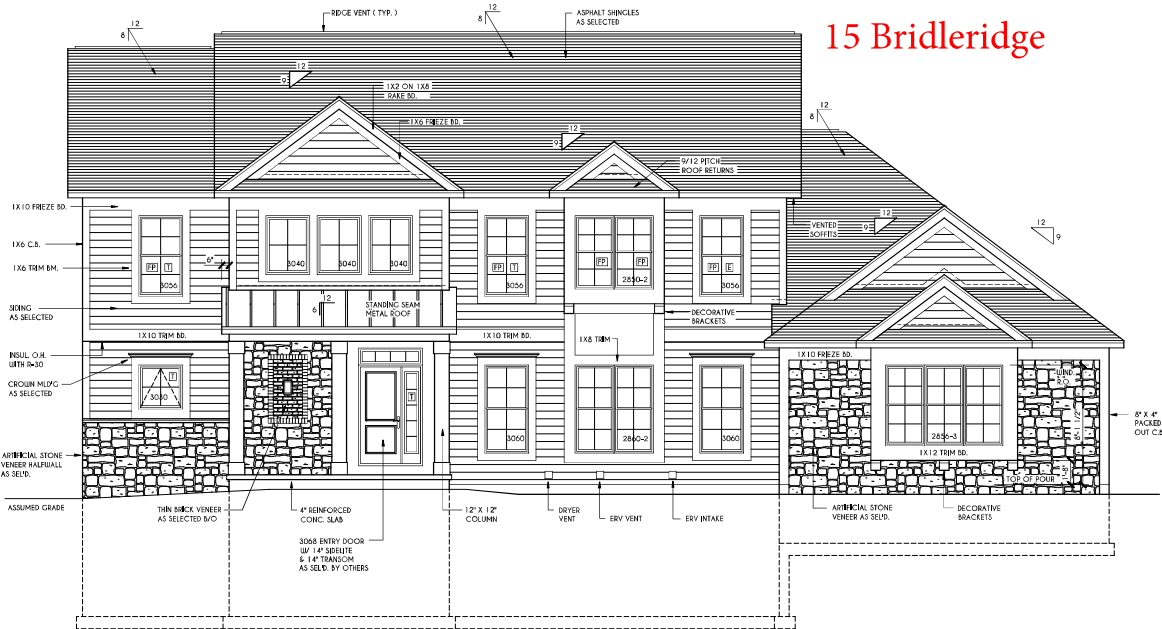
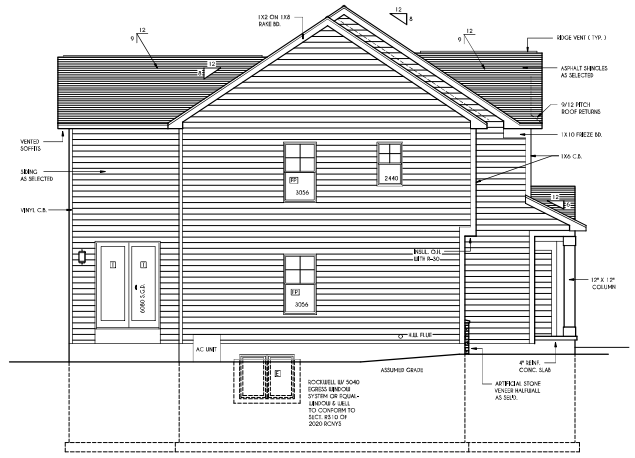
a. For ventilation systems air flow values between those given the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm
TOILET ROOMS	INTERMITTENT OR 20 cfm CONTINUOUS

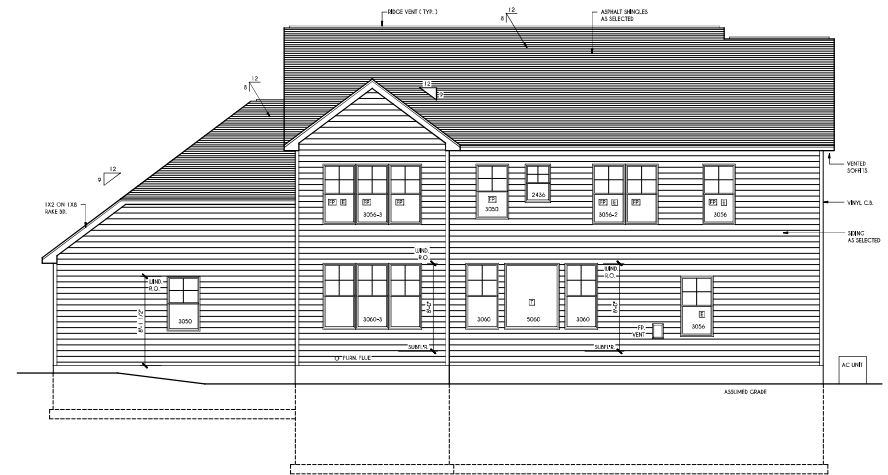
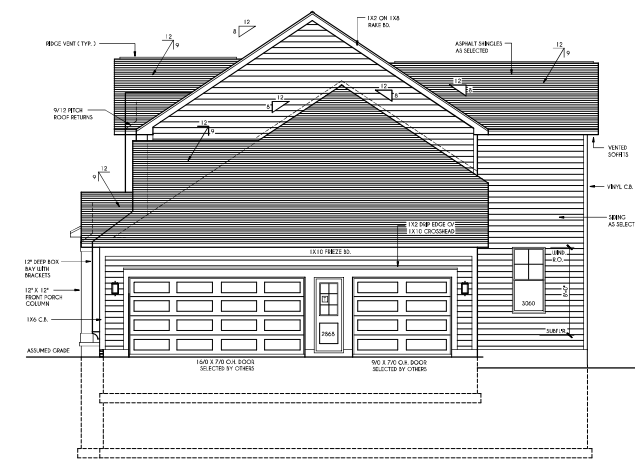
FOR S1: 1 square foot=0.0929 m<sup>2</sup>. 1 cubic foot per minute=0.0004719 m<sup>3</sup>/s

FOR S1: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
FIRST FLOOR LIVING AREA = 1570 SQ.FT.  
SECOND FLOOR LIVING AREA = 1565 SQ.FT.  
TOTAL LIVING AREA = 3135 SQ.FT.  
TOTAL CONDITIONED VOLUME = 43,654 CU.FT. (CONTRACTOR TO VERIFY)



## REAR ELEVATION

**WINDOWS:** HARVEY  
LFACTOR ..... 0.30  
SHGC ..... 0.27

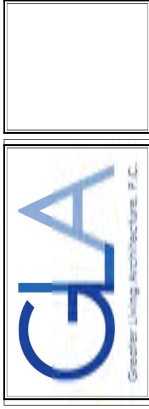
**DOORS:** SELECTION BY OWNER  
AIR INFILTRATION RATE FOR WINDOWS, SCREENED & SLIDING DOORS TO BE NO MORE THAN 0.3 CHG/A & SLIDING DOORS NO MORE THAN 0.5 CHG/A AS PER SECT. R602.4.3 OF 2020 ICC/CSRS

**WINDOW / DOOR LEGEND:**  
[ ] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
= CLEAR OPENING AREA OF 5.7 SQ.FT.  
= CLEAR OPENING HEIGHT OF 2'07"  
= CLEAR OPENING HEIGHT OF 2'47"  
PER SECT. R601.1 OF 2020 ICC/CSRS  
[ ] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R608.4 OF 2020 ICC/CSRS  
[ ] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FAIL PROTECTION PER SECT. R612.2 OF 2020 ICC/CSRS

**GENERAL NOTES:**  
ALL GABLES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE.  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R602.2)  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 1/4" FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE INDICATED IS INACCURATE AND / OR WILL ALTER THE SEASON AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
THIS PLAN AS DESIGNED REQUIRES (PH) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF DRAIN 90 cfm WITH A MANUAL OVER-RIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 ICC/CSRS SEE TABLE M1505.4.3 (1) & M1505.4.3(2) & M1505.4.4 ( PAGE 1 )

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REVISIONS:  
DATE BY DESCRIPTION

**CLIENT/LOCATION:**  
LOT 5  
BRIDLERIDGE  
PITTSFORD, NY

**BUILDER:**  
COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**  
GLA PLAN 3135

dram: CDK checked: CSB  
scale: AS NOTED date: 5 / 24  
PROJECT: 15439C sheet: 1/5



# 19 Bridleridge

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3033 BRIGHTON-HENRIETTA TOWNLINE RD  
 ROCHESTER, NY 14623  
 CALL: (585) 272-9170  
 FAX: (585) 292-1262  
 www.greatertliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

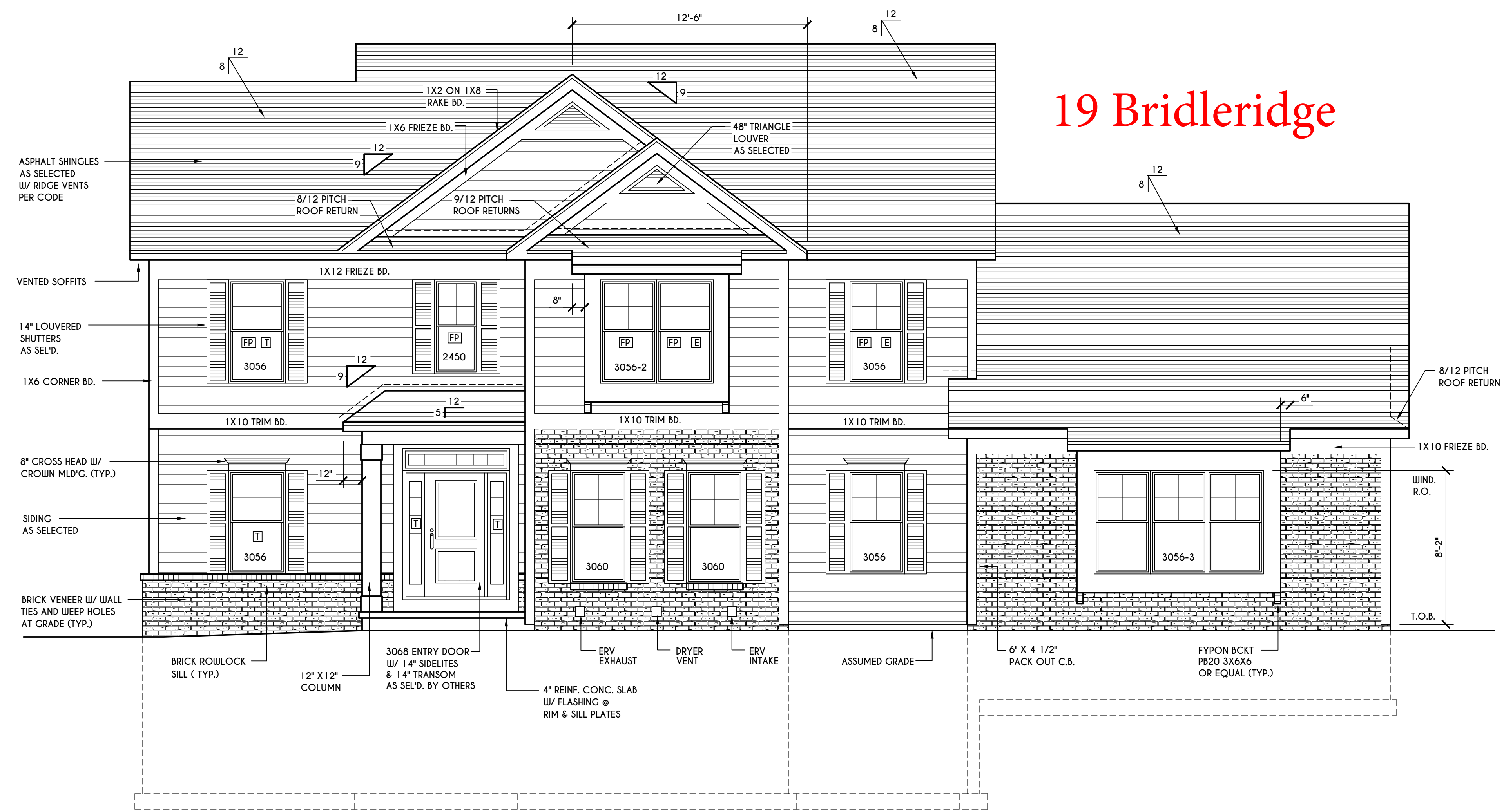
**CLIENT/LOCATION:**  
 ALT NEUPORT SPEC HOUSE  
 LOT 7 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

GLA PLAN 2926

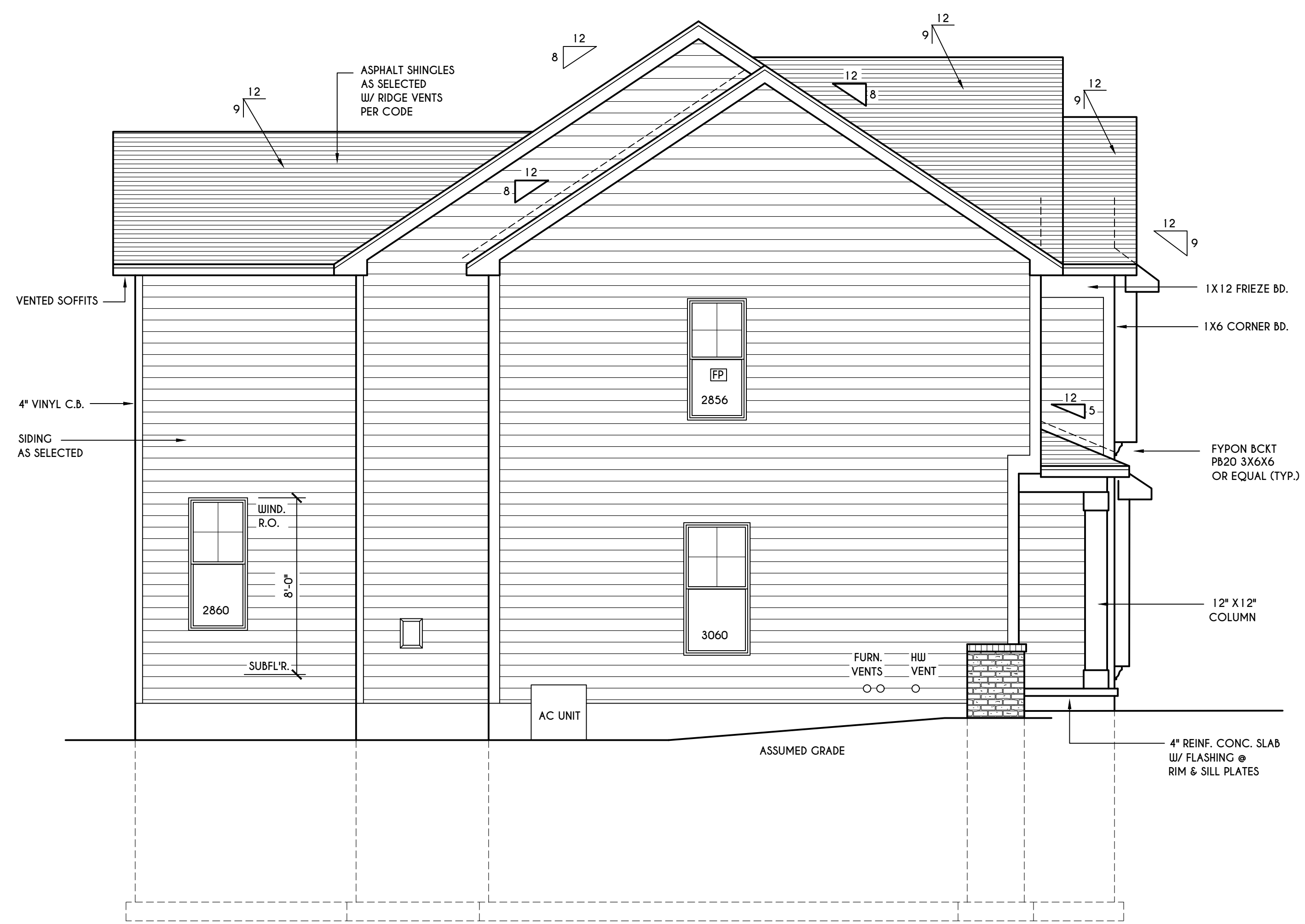
drawn: CDK	checked: CSB
scale: AS NOTED	date: 9 / 24
PROJECT: 15420L	sheet: 1 / 6



**HOUSE FOOTPRINT**  
 SCALE: 1" = 50'-0"

## FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 1444 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1482 SQ.FT.  
 TOTAL LIVING AREA = 2926 SQ.FT.  
 TOTAL CONDITIONED VOLUME (CONTRACTOR TO VERIFY) = 40,774 CU.FT.



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DIWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS, TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.28  
 SHGC ..... 0.21

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



# 22 Bridleridge

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 CALL: (585) 272-9170  
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**REVISIONS:**

DATE	BY	DESCRIPTION

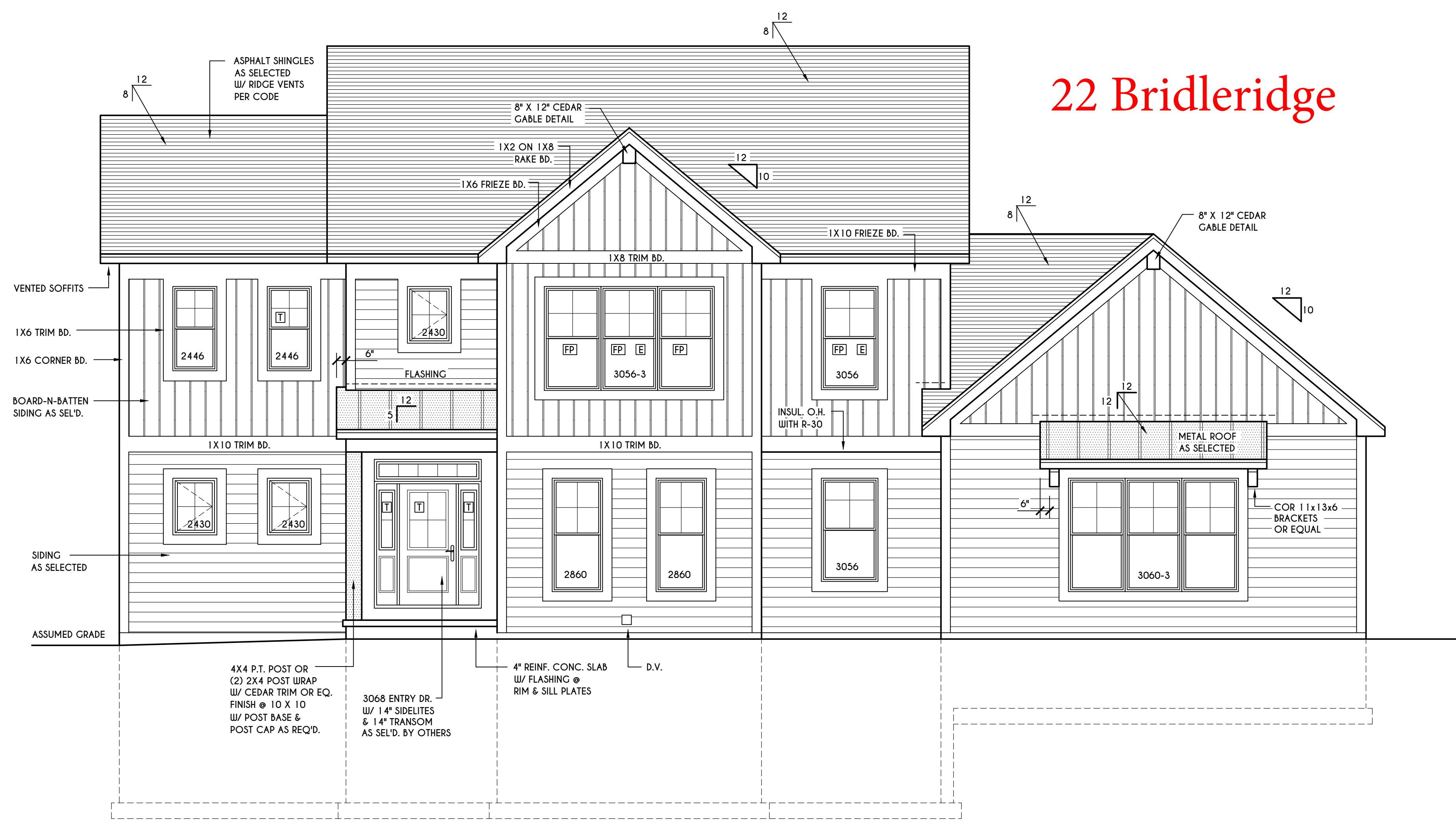
**CLIENT/LOCATION:**  
 THE NEUPORT - SPEC  
 LOT 60 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 9 / 24
PROJECT:	sheet: 1 / 6
15420M	



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 1396 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1414 SQ.FT.  
 TOTAL LIVING AREA = 2810 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 38,224 CU.FT.  
 (CONTRACTOR TO VERIFY)

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR				
	25%	33%	50%	66%	75%
FACTOR	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

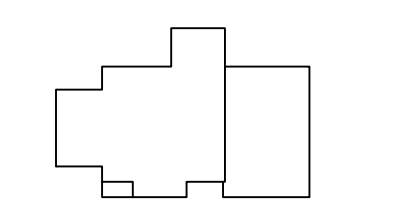
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.



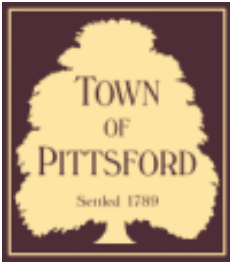
## LEFT ELEVATION

SCALE: 1/4" = 1'-0"



HOUSE FOOTPRINT  
 SCALE: 1" = 50'-0"





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B25-000025**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 18 Bridleridge Farms PITTSFORD, NY 14534

**Tax ID Number:** 191.01-1-65

**Zoning District:** RRSP Rural Residential South Pittsford

**Owner:** Bridlebridge Farms LLC

**Applicant:** Bridlebridge Farms LLC

### Application Type:

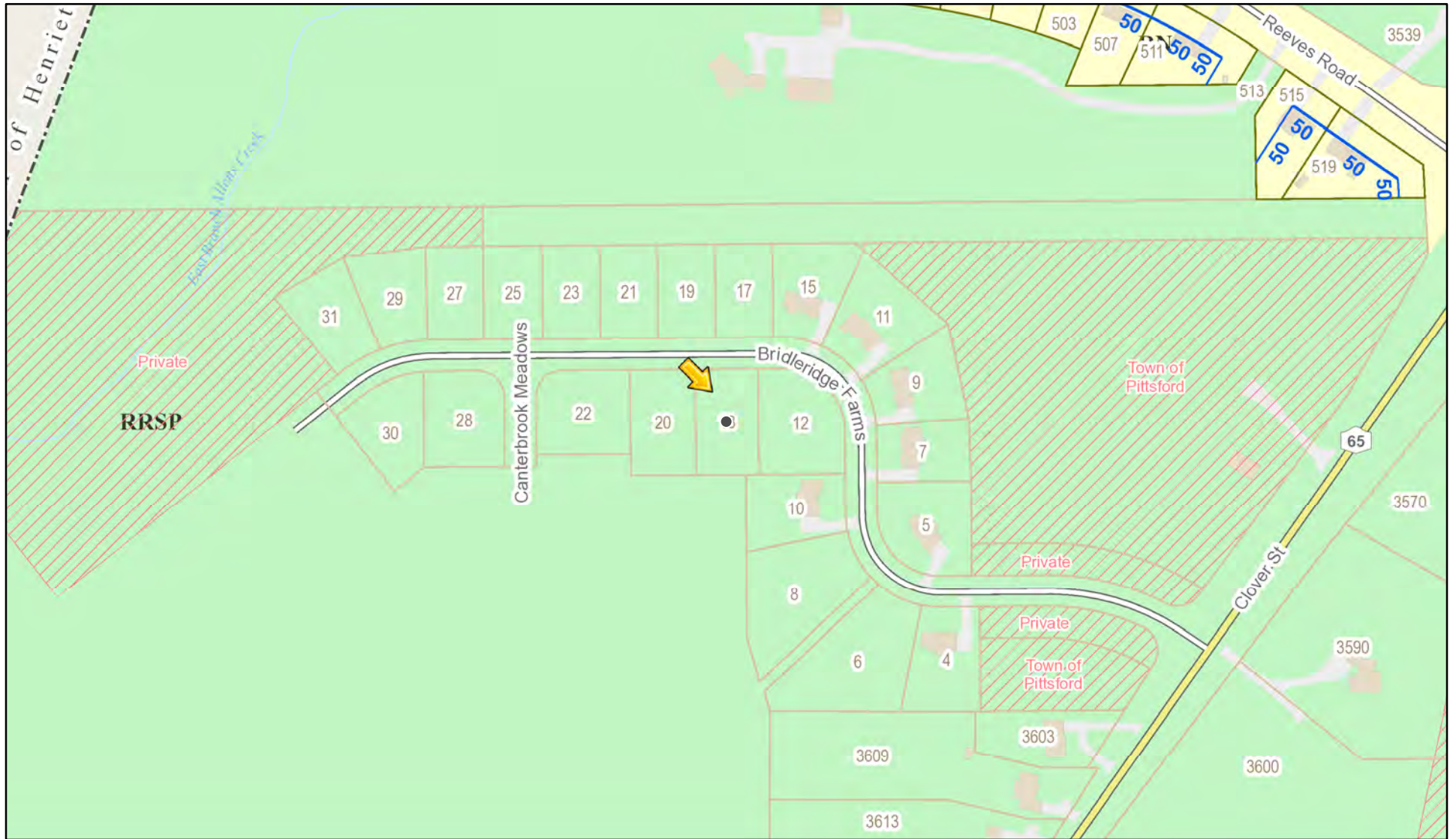
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a 3,174 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

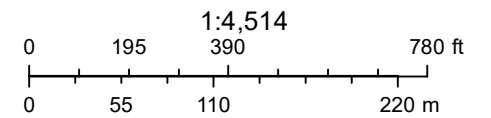
**Meeting Date:** February 27, 2025



# RN Residential Neighborhood Zoning



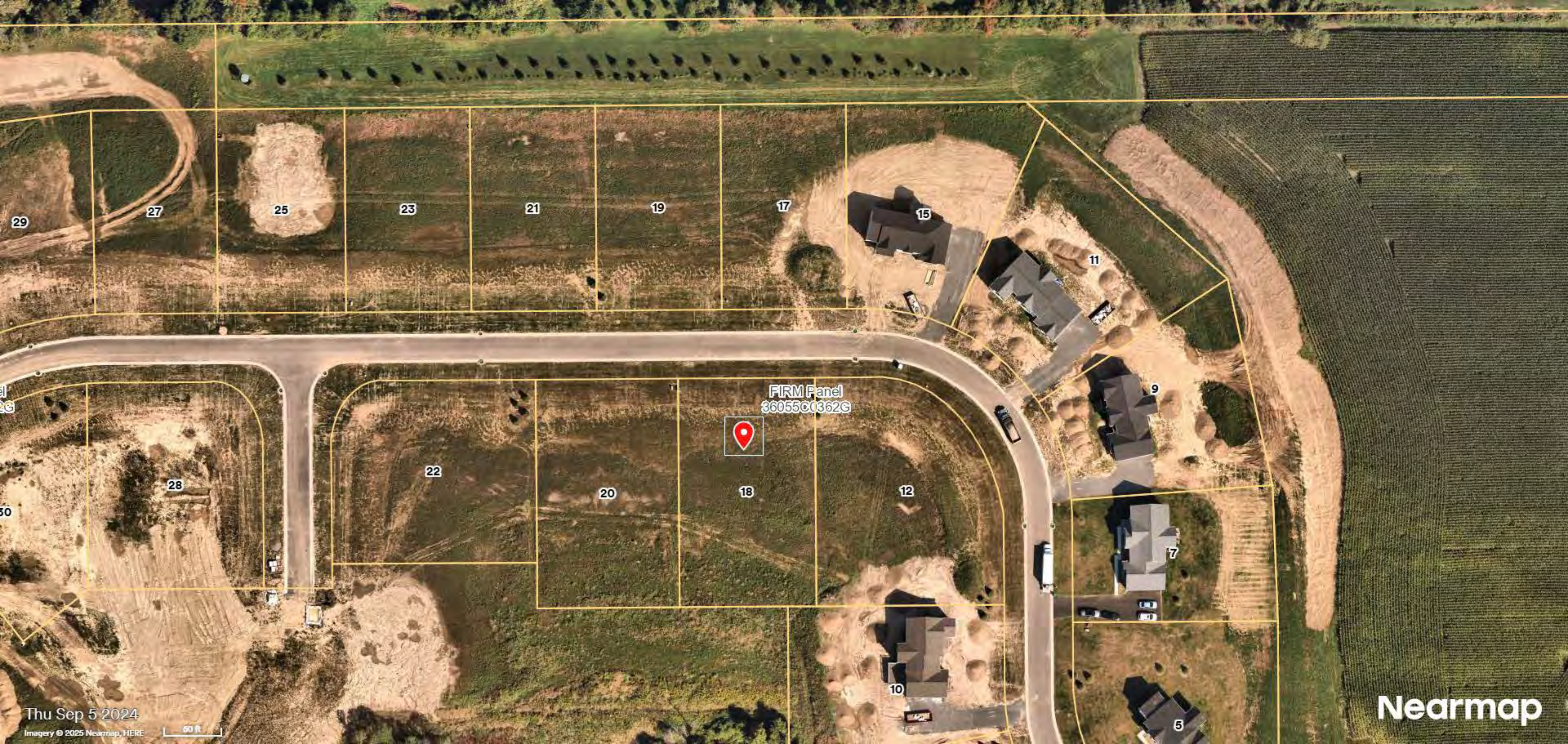
Printed February 18, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





FIRM Panel  
3605500362G



Thu Sep 5 2024

Imagery © 2025 Nearmap, HERE

50 ft

Nearmap





# THE ALT. LINWOOD SPEC HOME

## LOT 62 BRIDLERIDGE FARMS PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 3174 / PROJECT 15381 H SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & LEFT ELEVATIONS
- 2/6 REAR & RIGHT ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNY'S ).  
 COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE. GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE ), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

SECTION R316 - FOAM PLASTIC:  
 THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/QC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. TIGHTNESS TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER HEATING SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

R404.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. TIGHTNESS TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER HEATING SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

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R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.  
 CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEU WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING:

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES, TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS)

R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS.

PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS, AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING. GRIP SIDE TO BE PER SECTION R311.7.8.5 OF 2020 RCNYS.

STAIR ILLUMINATION PER SECTION R311.7.9 OF 2020 RCNYS.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDE WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

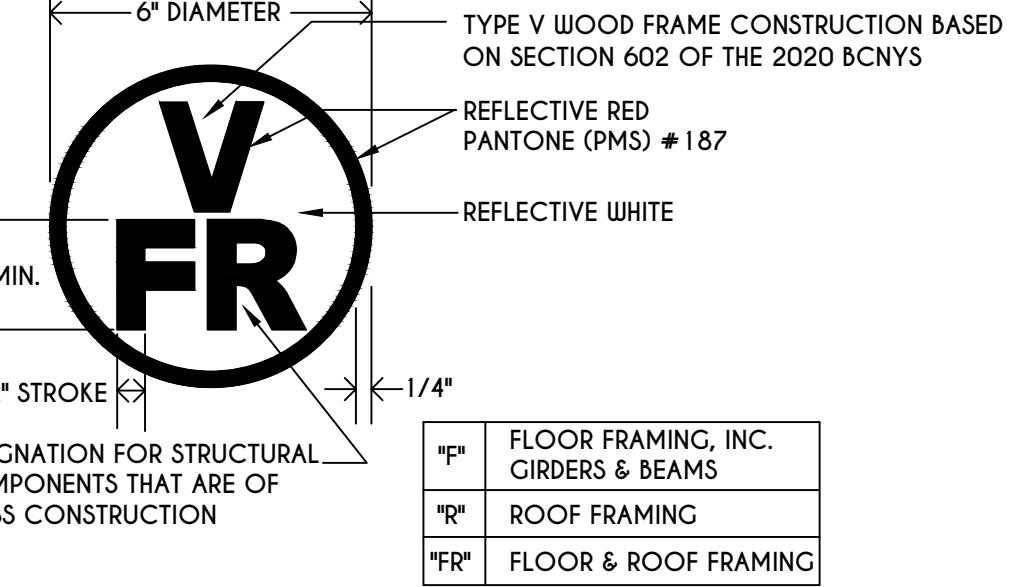
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy - 33 KSI

### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:

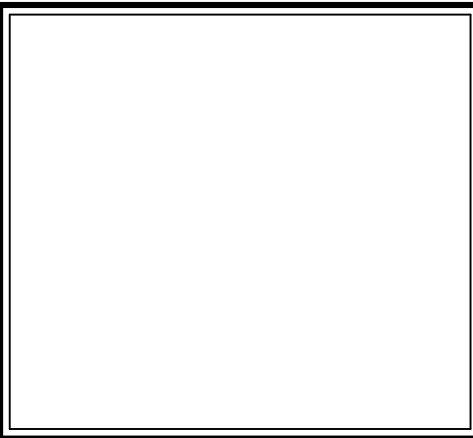
IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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REVISIONS:		
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

ALT. LINWOOD  
 LOT 62 BRIDLERIDGE FARMS  
 PITTSFORD, NY

**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

### COVER PAGE

GLA PLAN 3174	
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scale: AS NOTED	date: 2 / 25
PROJECT: 15381H	sheet: C 1







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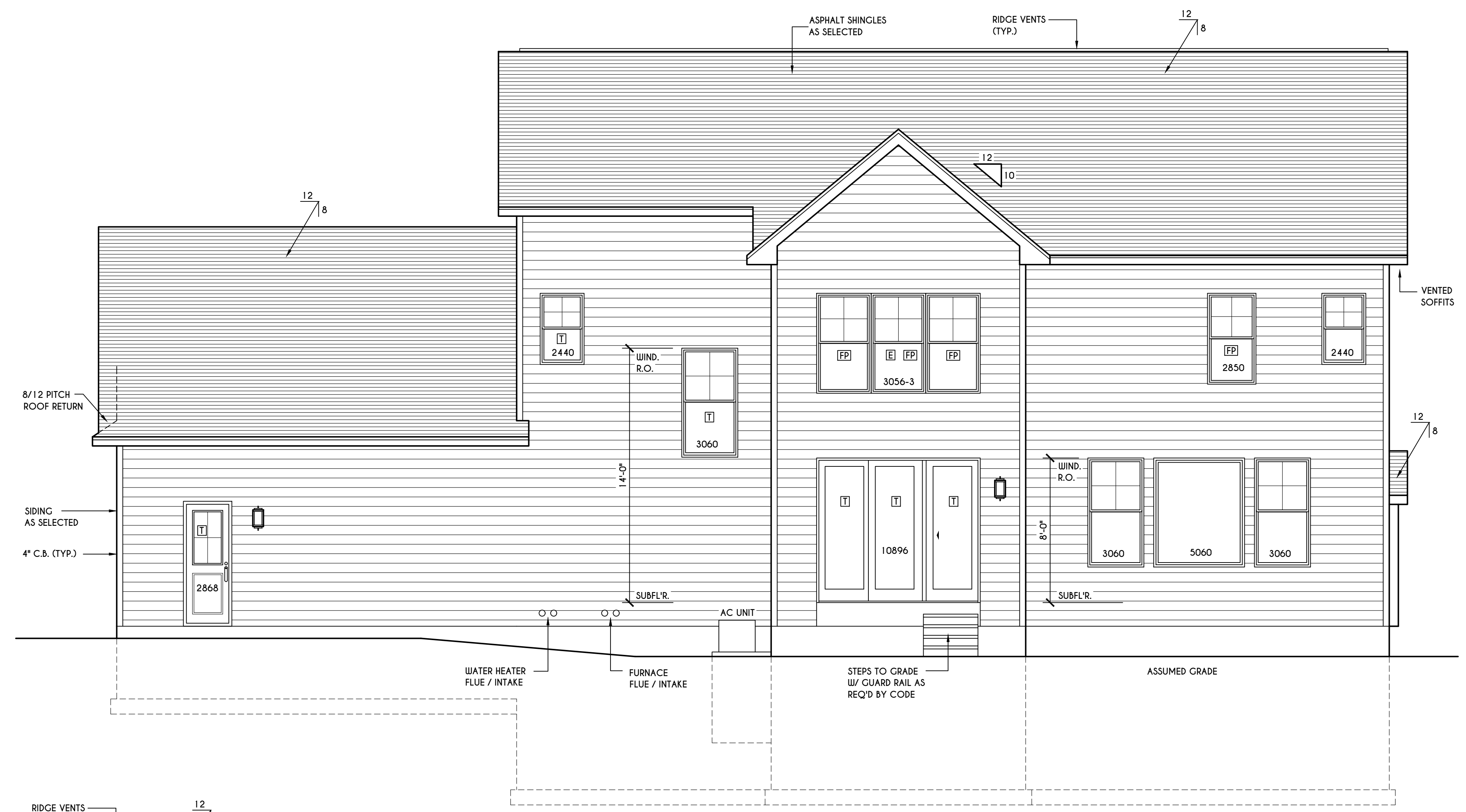
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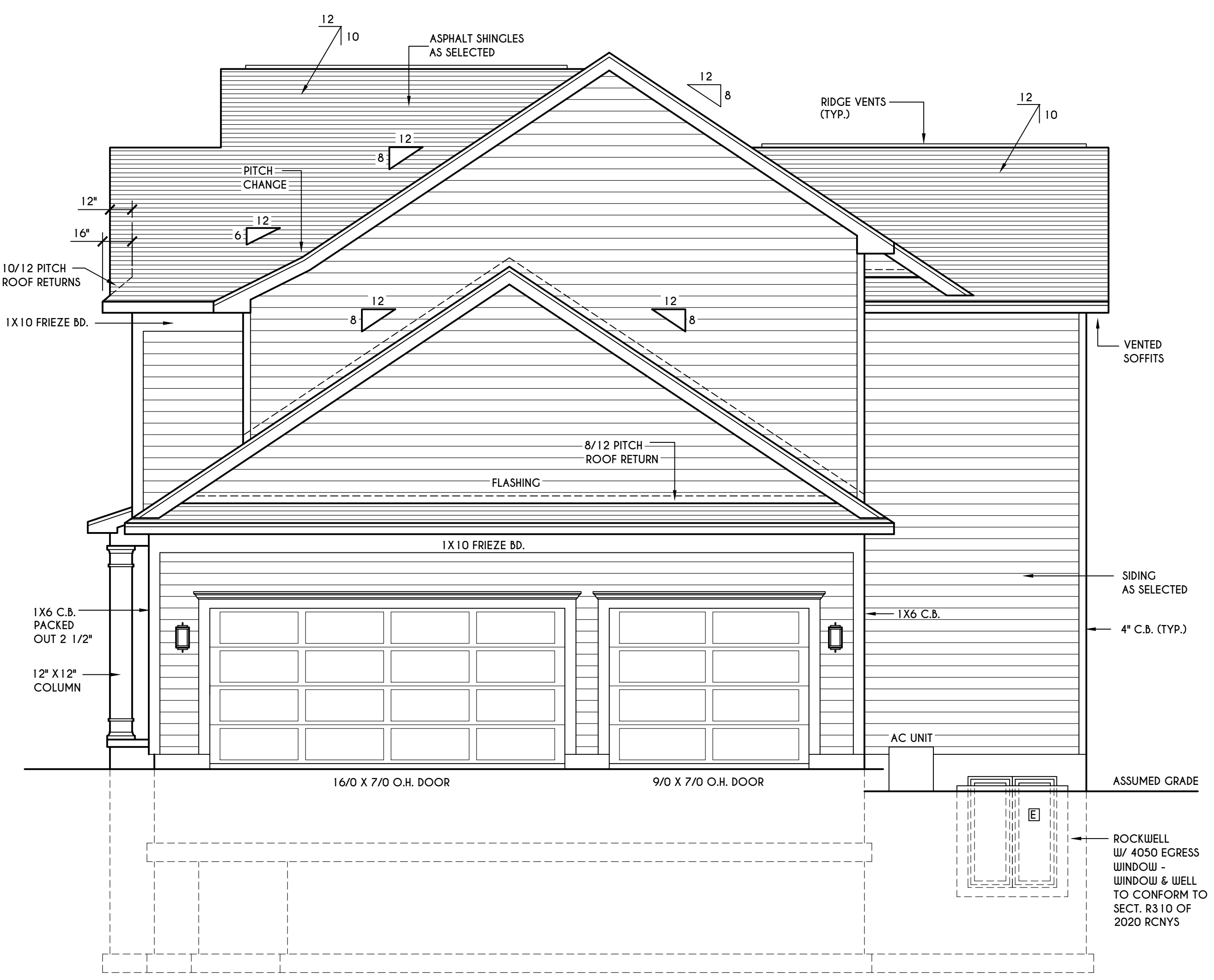
**ELEVATIONS**

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**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.28  
 SHGC ..... 0.21

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

**WINDOW / DOOR LEGEND:**  
 [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.1 OF 2020 RCNYS  
 [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES TO BE 12" AND ALL OVERHANGS TO BE 16" FROM FRAME WALLS UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

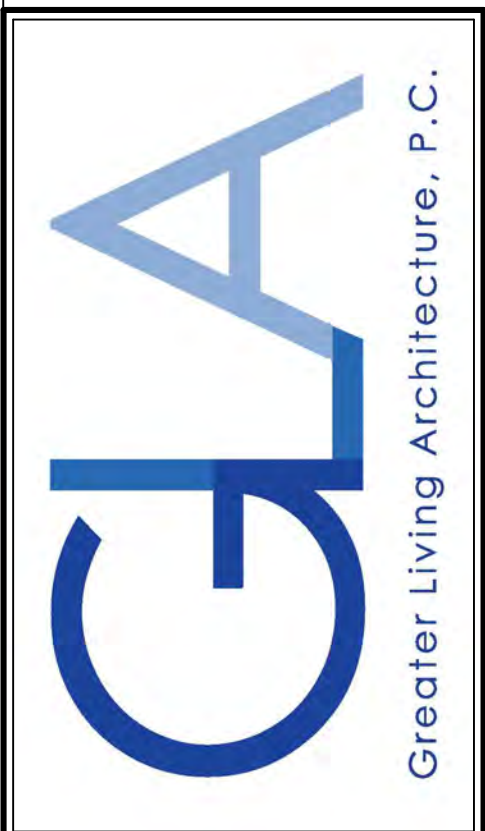
**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS & TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)







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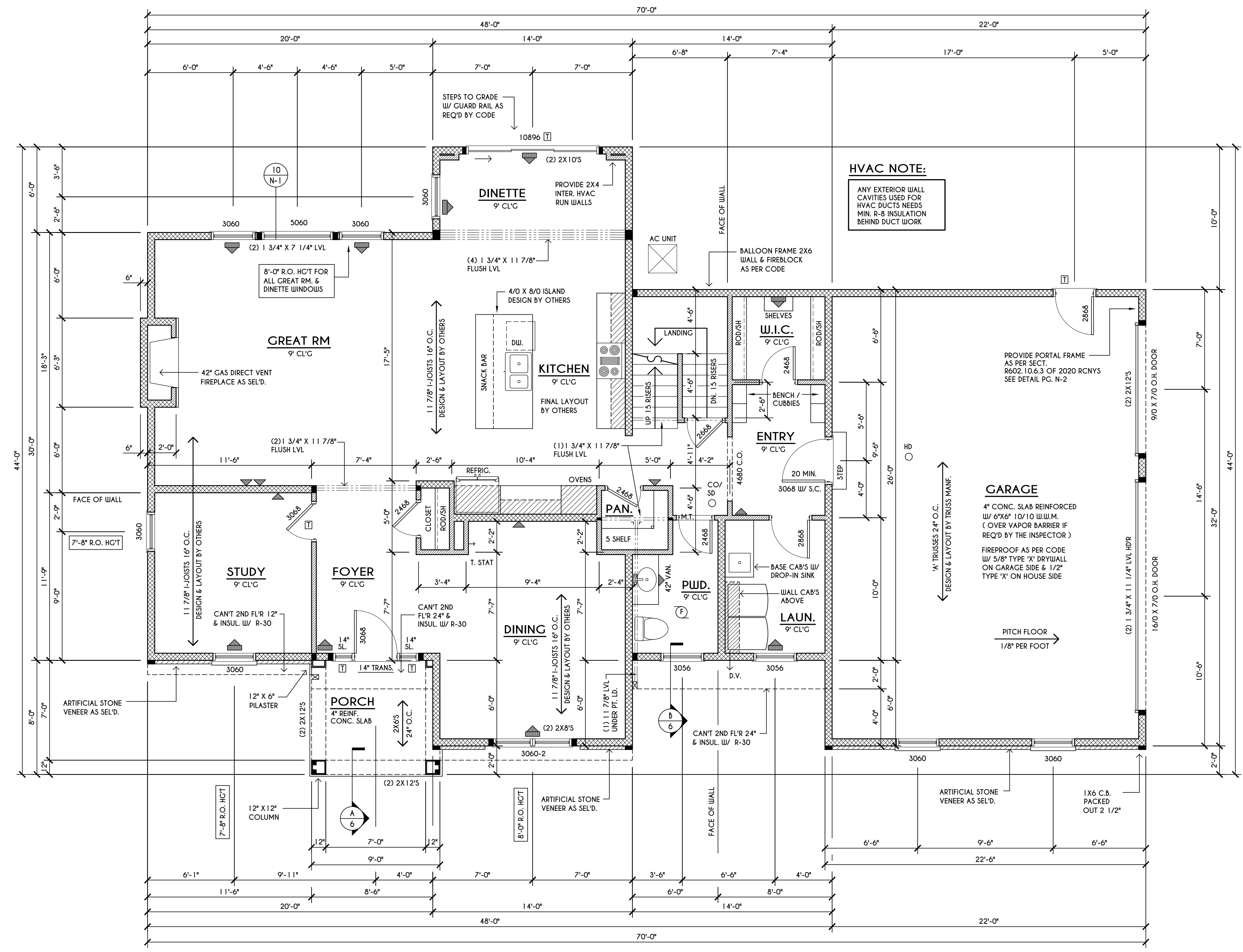
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**BUILDER:**  
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FIRST FLOOR PLAN

GLA PLAN 3174

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# FIRST FLOOR PLAN

1552 SQ. FT.

SCALE: 1/4" = 1'-0"

**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

- FRAMING LEGEND:**
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
  - DROPPED HEADER
  - FLUSH HEADER
  - 2X4 STUDS @ 16" O.C.
  - 2X6 STUDS @ 16" O.C.

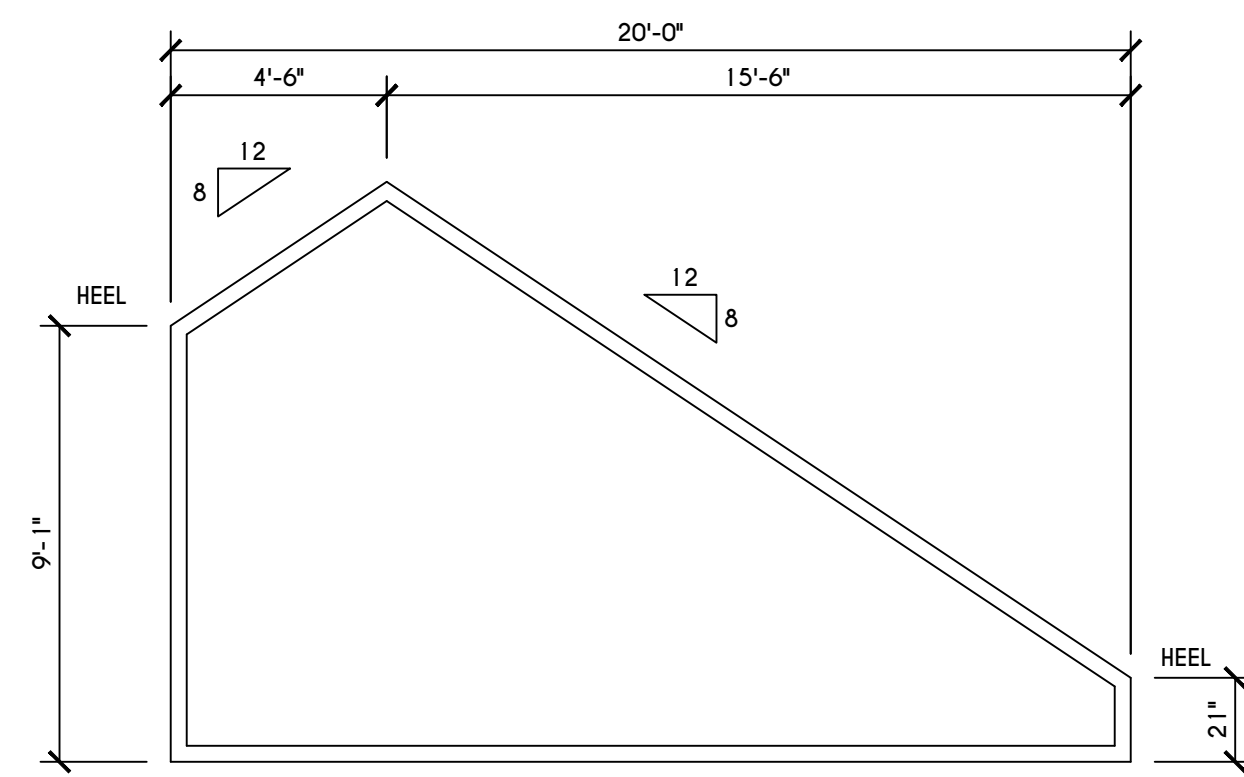
**GENERAL FIRST FLOOR PLAN NOTES:**  
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE D&L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

- WINDOW / DOOR LEGEND:**
- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
  - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
  - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



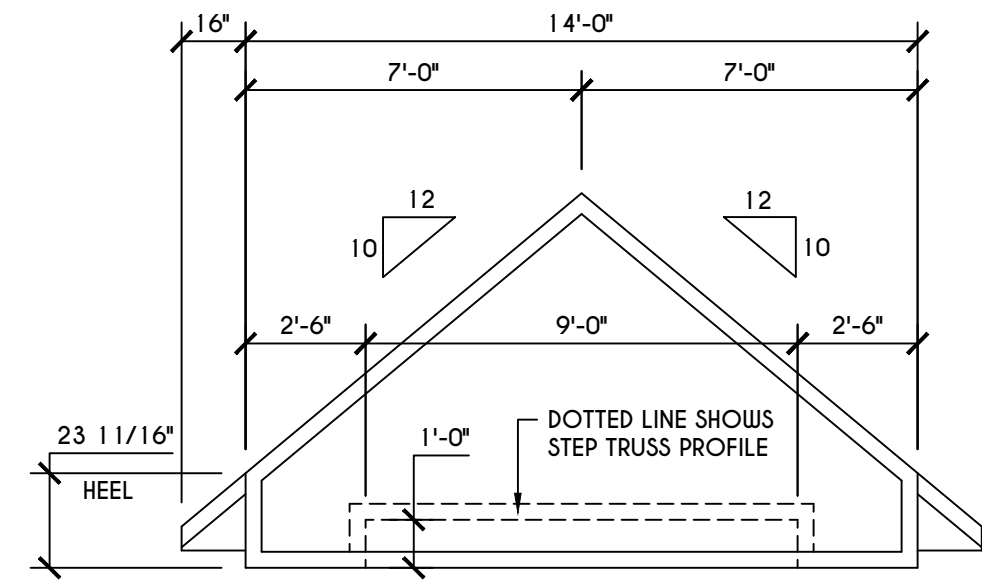






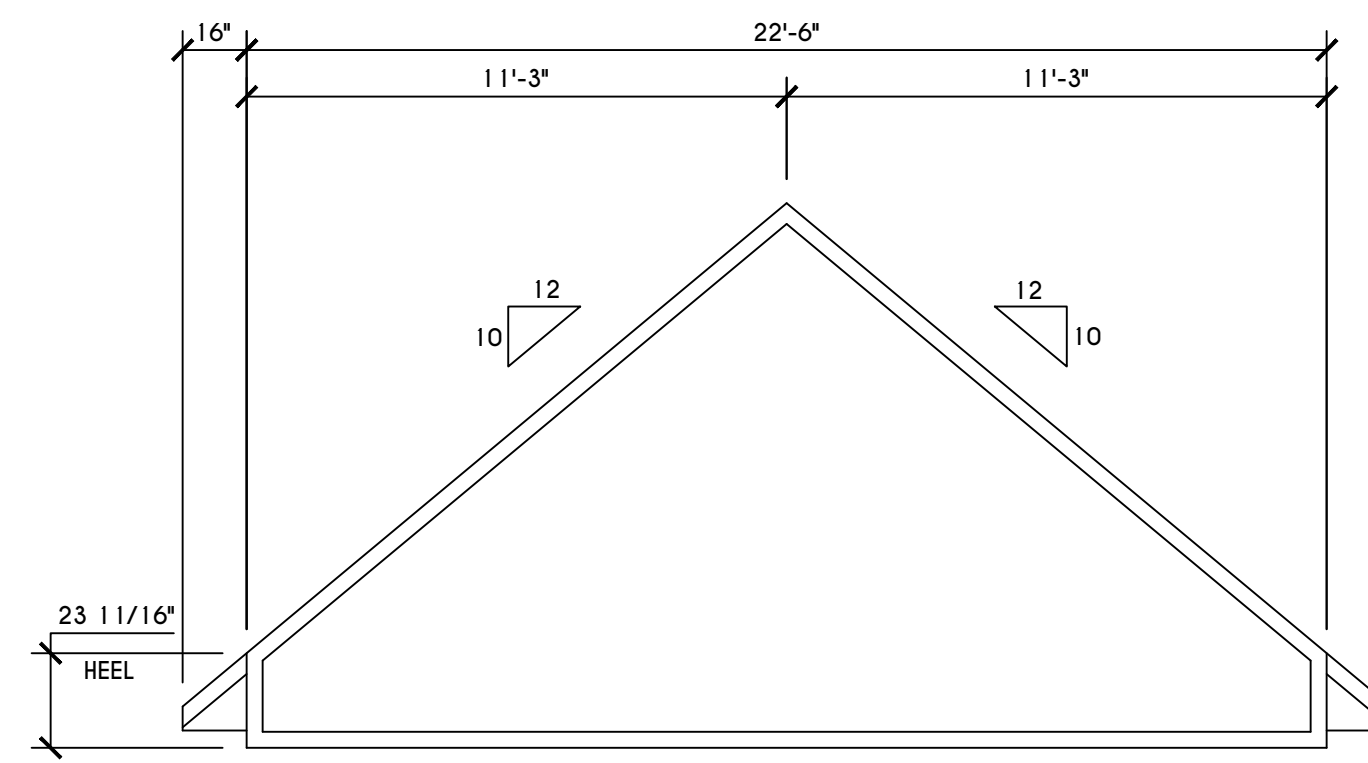
**'C' STUB TRUSS PROFILE**

SCALE: 1/4" = 1'-0"



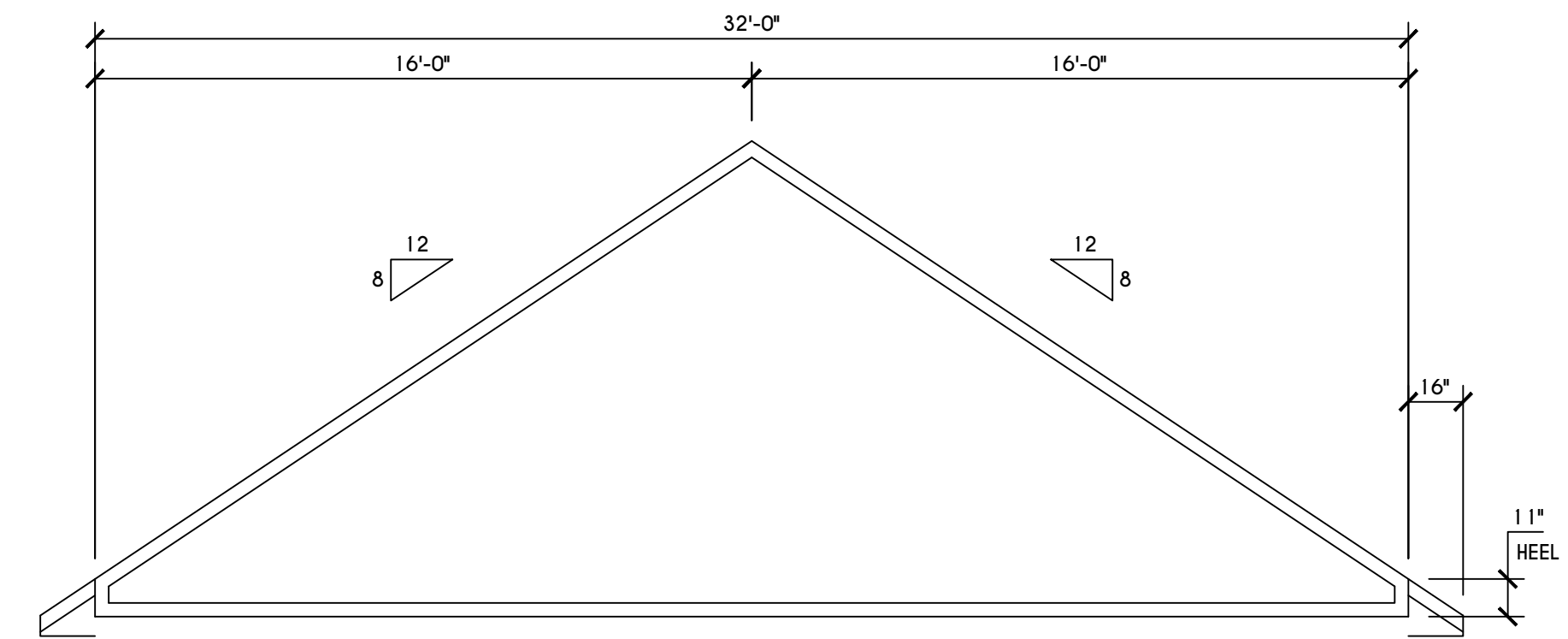
**'D' TRUSS PROFILE**

SCALE: 1/4" = 1'-0"



**'E' TRUSS PROFILE**

SCALE: 1/4" = 1'-0"



**'A' TRUSS PROFILE**

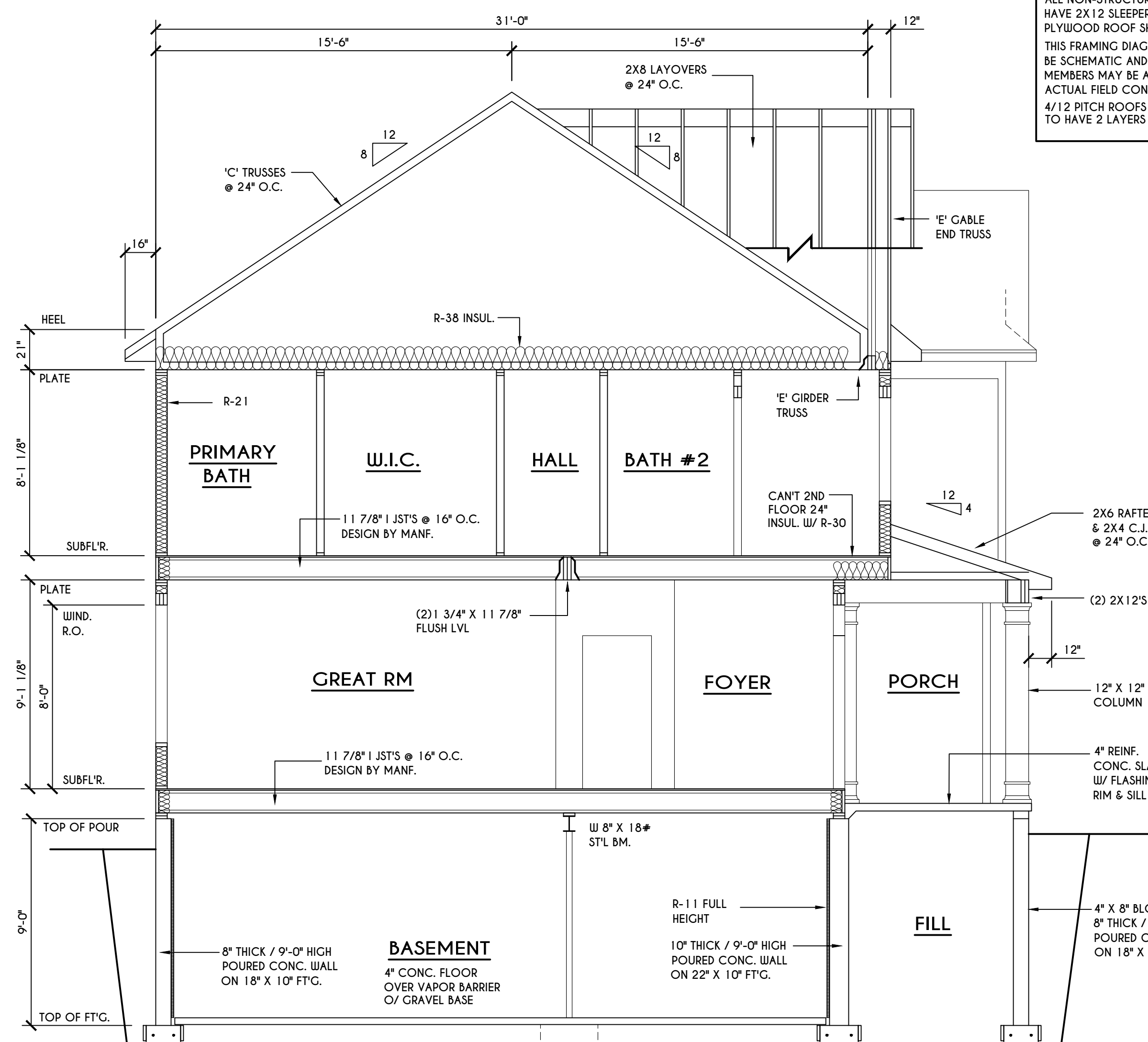
SCALE: 1/4" = 1'-0"

**TRUSS NOTES:**

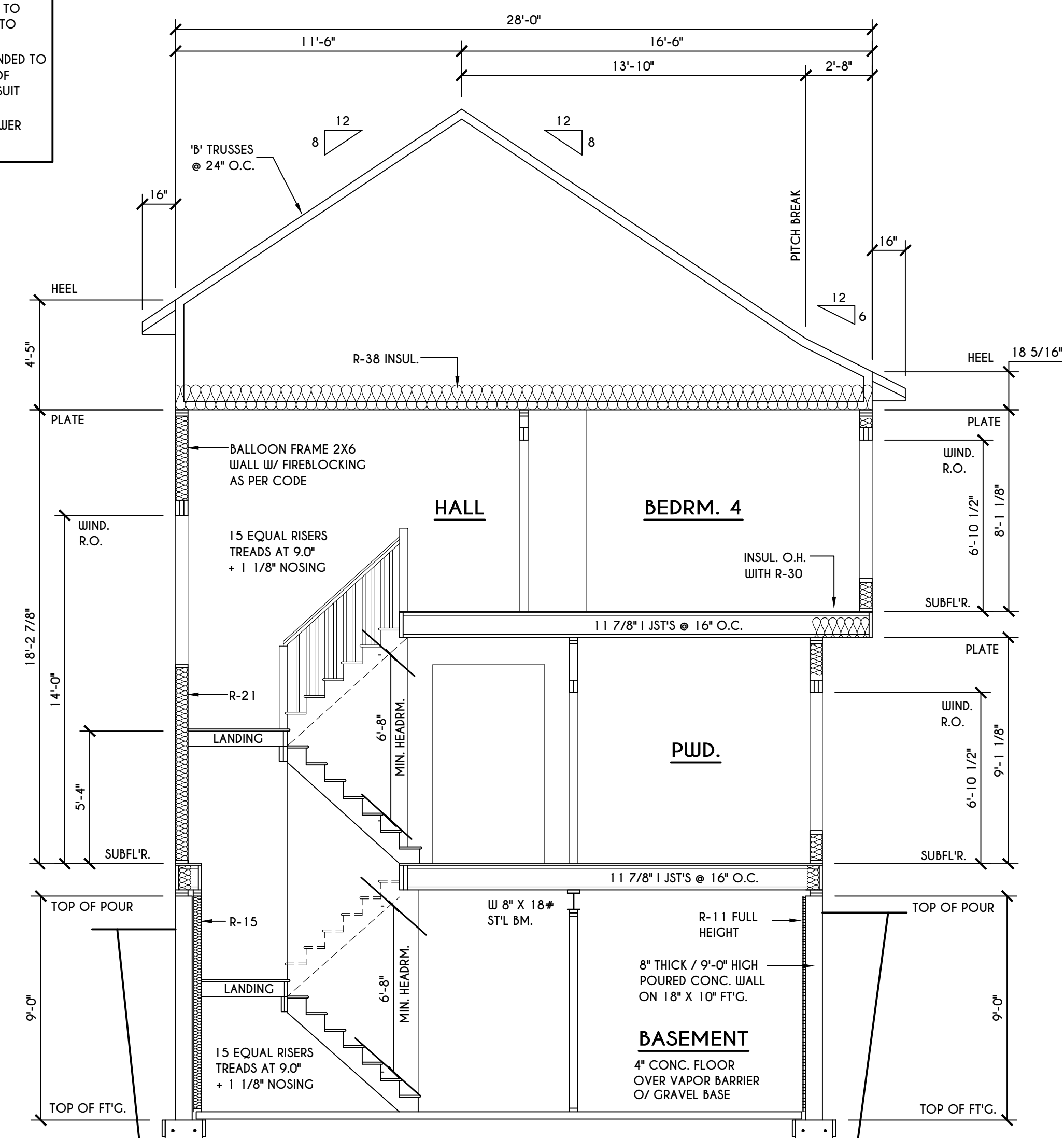
TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD  
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER

**GENERAL ROOF NOTES:**

ALL RAKES TO BE 12" & OVERHANGS ARE TO BE 16" FROM FRAME WALLS UNLESS NOTED OTHERWISE  
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

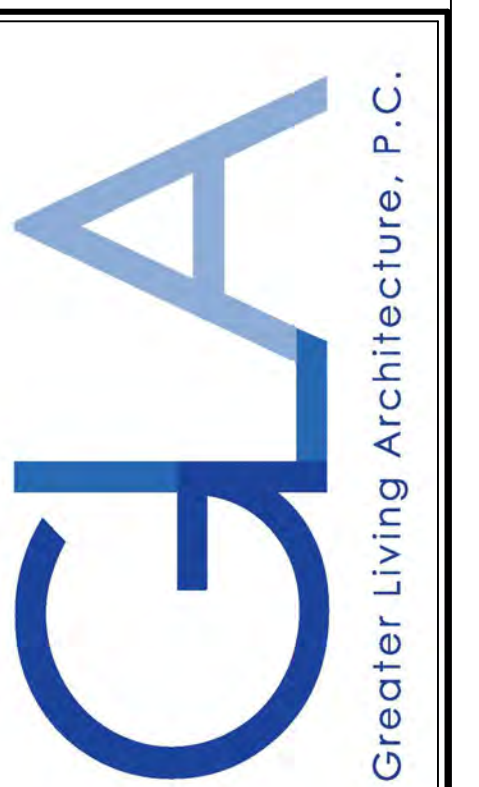


**A BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209  
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ROCHESTER, NY 14623  
CALL: (585) 272-9170  
FAX: (585) 292-1262  
www.greatliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

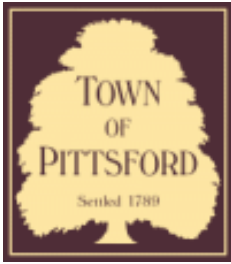
**CLIENT/LOCATION:**  
ALT. LINWOOD  
LOT 62 BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**  
COVENTRY RIDGE  
BUILDING CORP.

**SECTIONS**  
GLA PLAN 3174

drawn: CDK	checked: DMG
scale: AS NOTED	date: 2 / 25
PROJECT: 15381H	sheet: 6 / 6





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B25-000022**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 20 Bridleridge Farms PITTSFORD, NY 14534

**Tax ID Number:** 191.01-1-66

**Zoning District:** RRSP Rural Residential South Pittsford

**Owner:** Bridlebridge Farms LLC

**Applicant:** Bridlebridge Farms LLC

### Application Type:

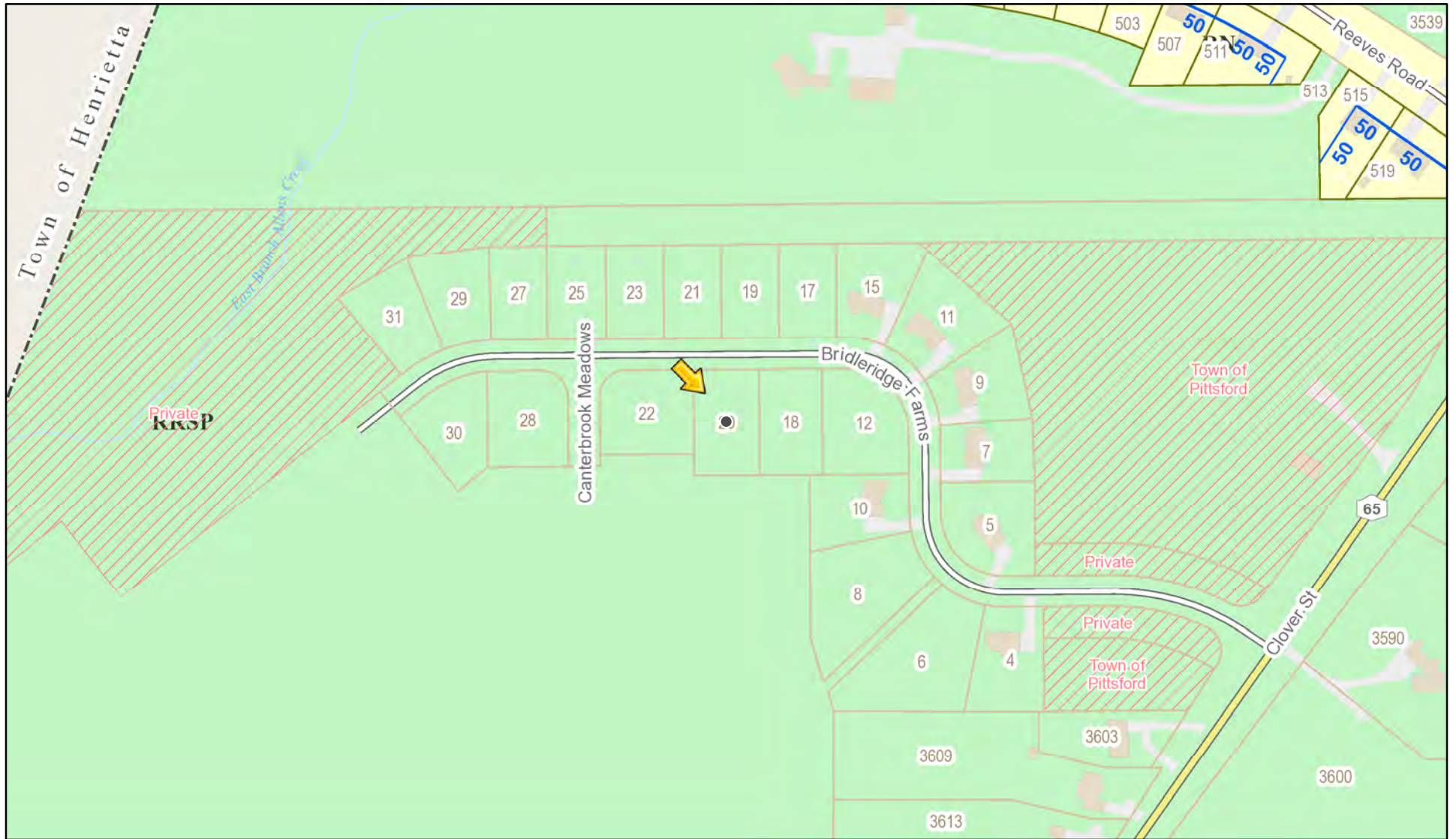
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a 3,343 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

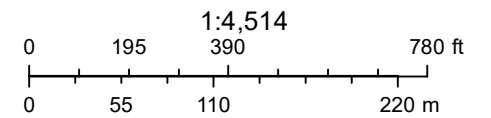
**Meeting Date:** February 27, 2025



# RN Residential Neighborhood Zoning



Printed February 17, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





FIRM Panel  
36055C0362G

FIRM Panel  
36055C0362G

Thu Sep 5 2024

Imagery © 2025 Nearmap, HERE



Nearmap





# THE NORTHFIELD

LOT 61 BRIDLERIDGE  
PITTSFORD, NY  
COVENTRY RIDGE BUILDING CORP.

## PLAN 3343 / PROJECT 15475 E

### SHEET INDEX

C-1 COVER SHEET	
1/6 FRONT & RIGHT ELEVATIONS	5/6 SECOND FLOOR & ROOF PLAN
2/6 REAR & LEFT ELEVATIONS	6/6 SECTIONS
3/6 FOUNDATION PLAN	N-1 DETAILS
4/6 FIRST FLOOR PLAN	N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNY ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS / PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE  $\frac{1}{150}$  OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

SECTION R316 - FOAM PLASTIC:  
THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

- DURING TESTING:
- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
  - DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
  - INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
  - EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
  - HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
  - SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM PENETRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM PENETRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL PENETRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM PENETRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
  - PIPING SERVING MORE THAN ONE DUELLING UNIT.
  - PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
  - PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
  - PIPING LOCATED UNDER A FLOOR SLAB.
  - BURIED IN PIPING.
  - SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS
- R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.

CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G243.1.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE, WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING:

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS)

R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS.

PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER JOISTS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS, AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 1 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING. GRIP SIZE TO BE PER SECTION R311.7.8.5 OF 2020 RCNYS.

STAIR ILLUMINATION PER SECTION R311.7.9 OF 2020 RCNYS.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

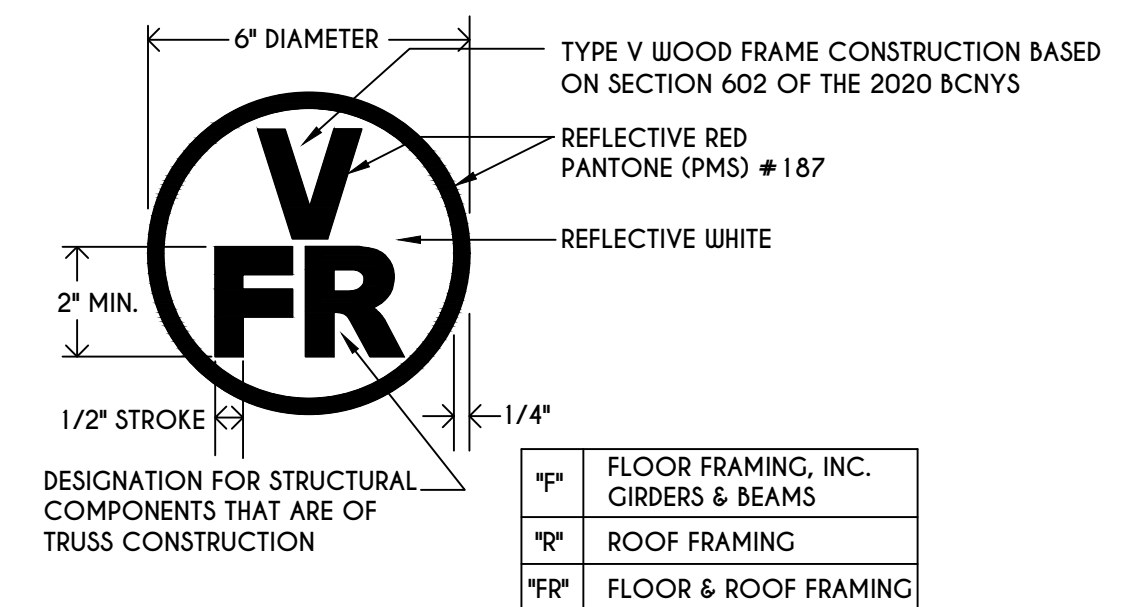
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy - 33 KSI

### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

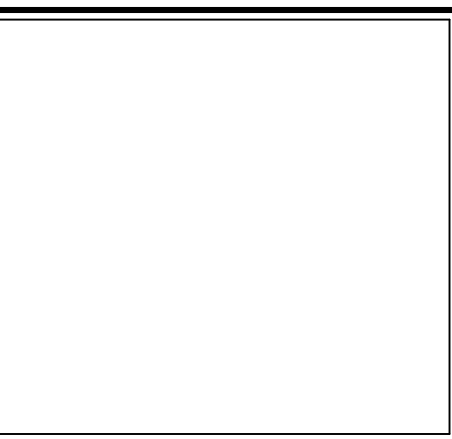
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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LOT 61 BRIDLERIDGE  
PITTSFORD, NY

BUILDER:  
COVENTRY RIDGE  
BUILDING CORP.

COVER PAGE  
GLA PLAN 3343

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scale: AS NOTED	date: 10 / 24
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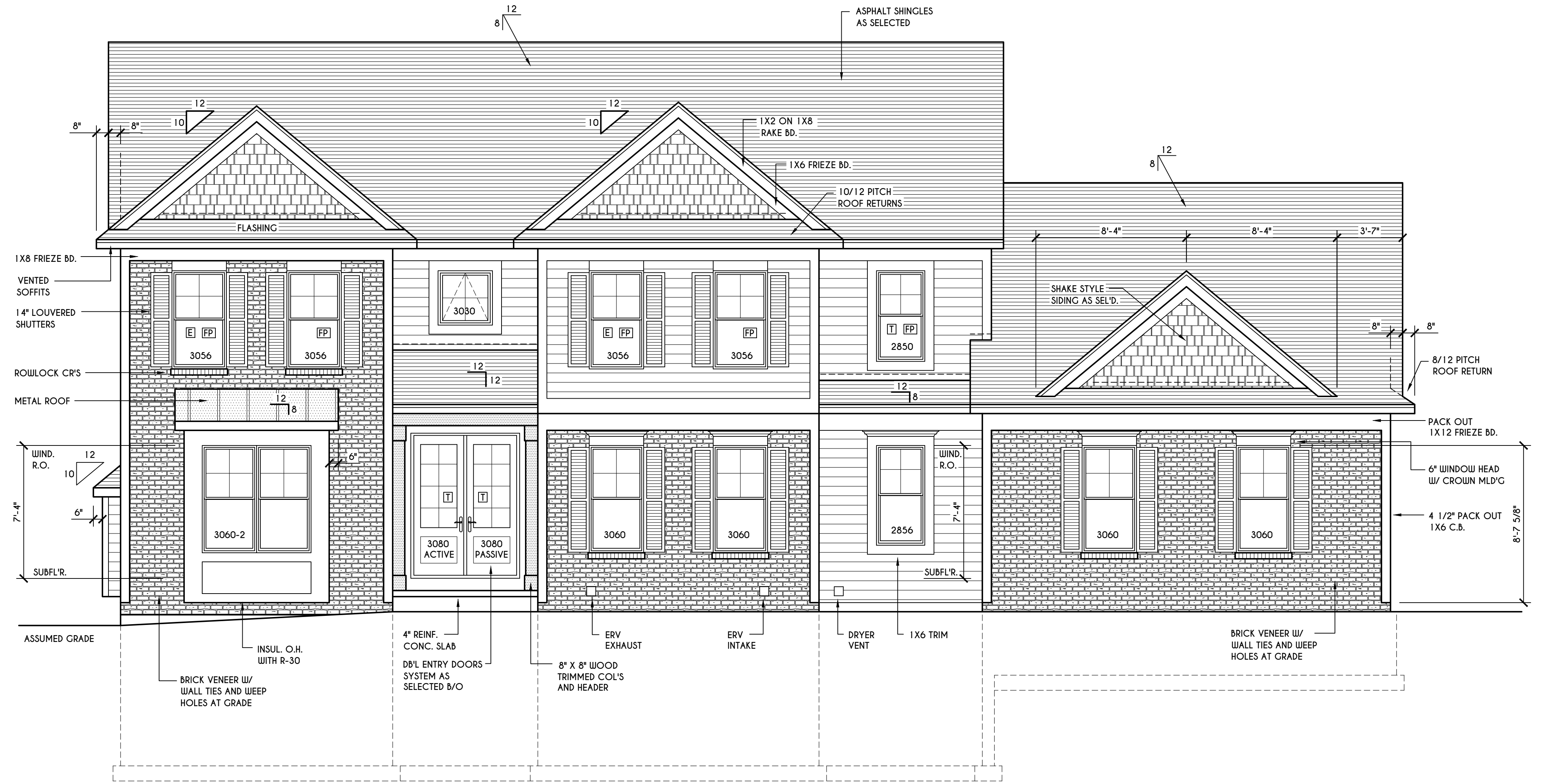
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**BUILDER:**  
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 BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 3343**

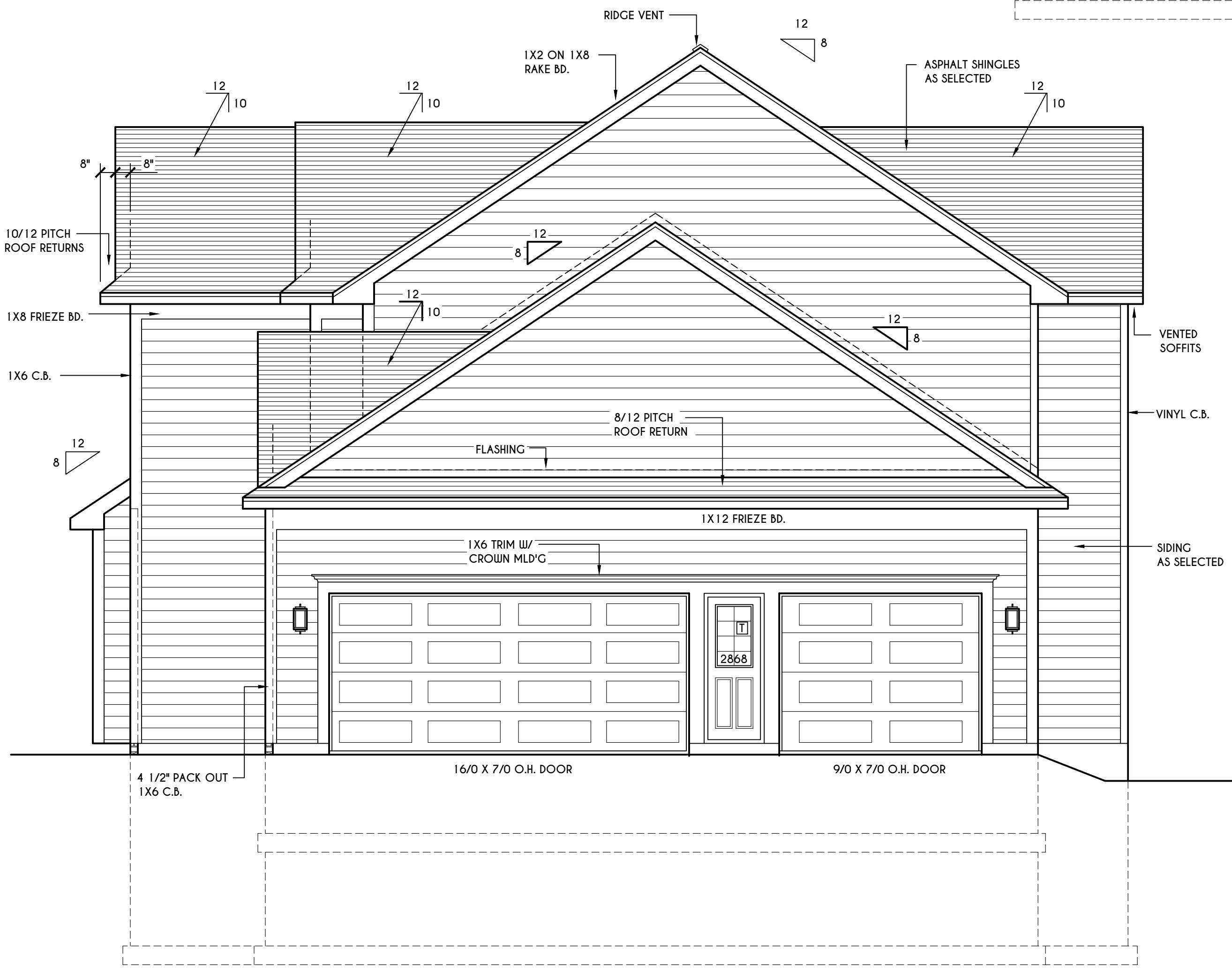
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PROJECT: 15475E	sheet: 1 / 6



**HOUSE FOOTPRINT**  
 SCALE: 1" = 50'-0"

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 1665 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1678 SQ.FT.  
 TOTAL LIVING AREA = 3343 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 45,832 CU.FT.  
 (CONTRACTOR TO VERIFY)



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.28  
 SHGC ..... 0.21

**DOORS:** SELECTION BY OWNER

**AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SLIDING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2020 ECCCNS**

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY CLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

**TABLE M1505.4.3 (1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7 > 7
< 1,500	30	45	60	75 90
1,501-3,000	45	60	75	90 105
3,001-4,500	60	75	90	105 120
4,501-6,000	75	90	105	120 135
6,001-7,500	90	105	120	135 150
> 7,500	105	120	135	150 165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR <sup>a</sup>				
	25%	33%	50%	66%	75% 100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3 1.0

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4**  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES	
	KITCHENS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.



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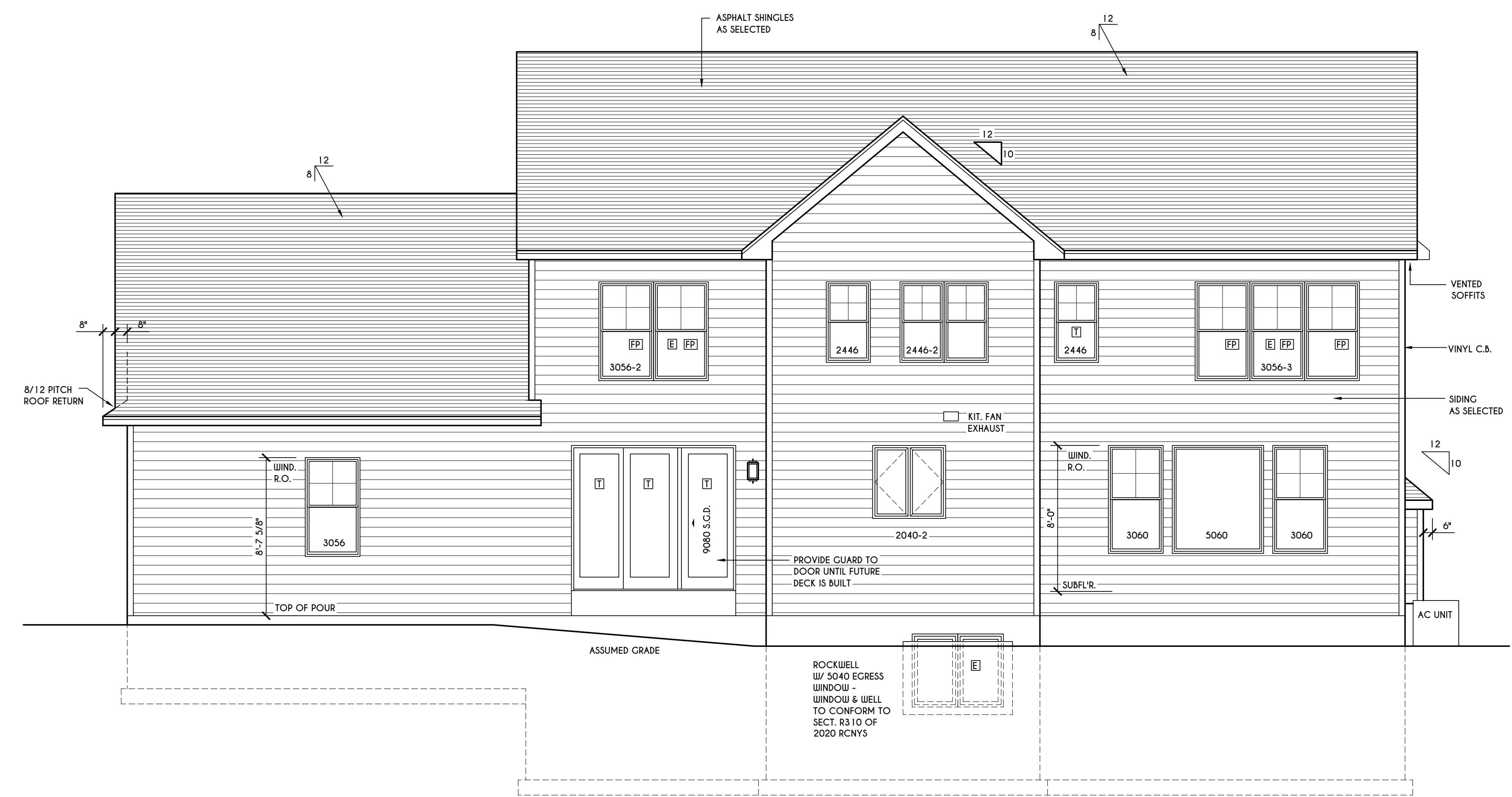
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

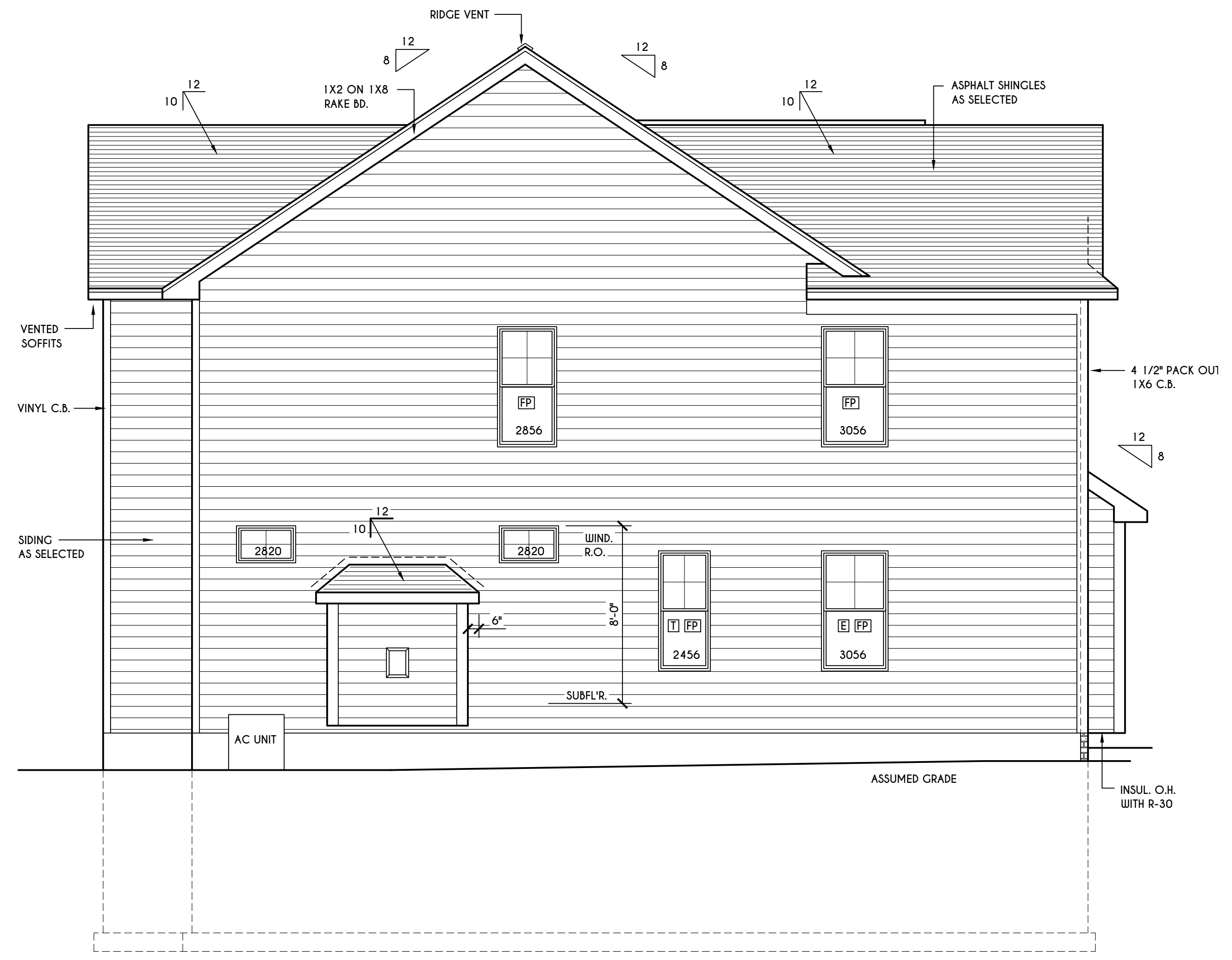
**ELEVATIONS**

GLA PLAN 3343

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**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.28  
 SHGC ..... 0.21

**DOORS:** SELECTION BY OWNER

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**GENERAL NOTES:**

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BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

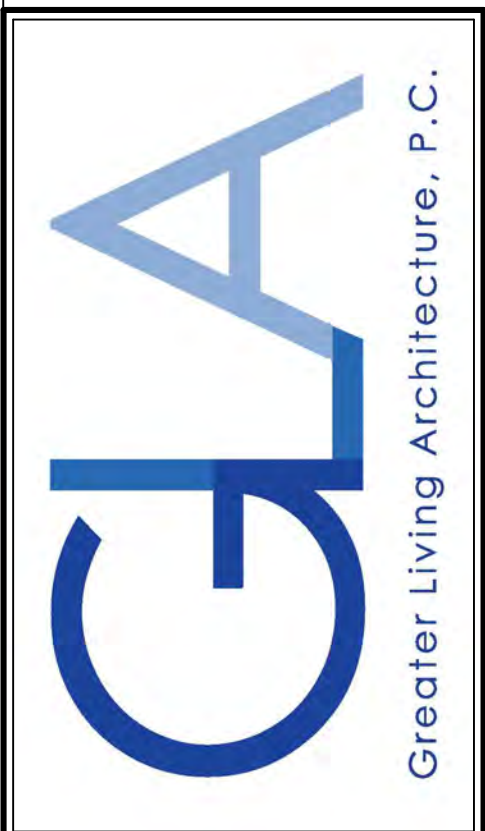
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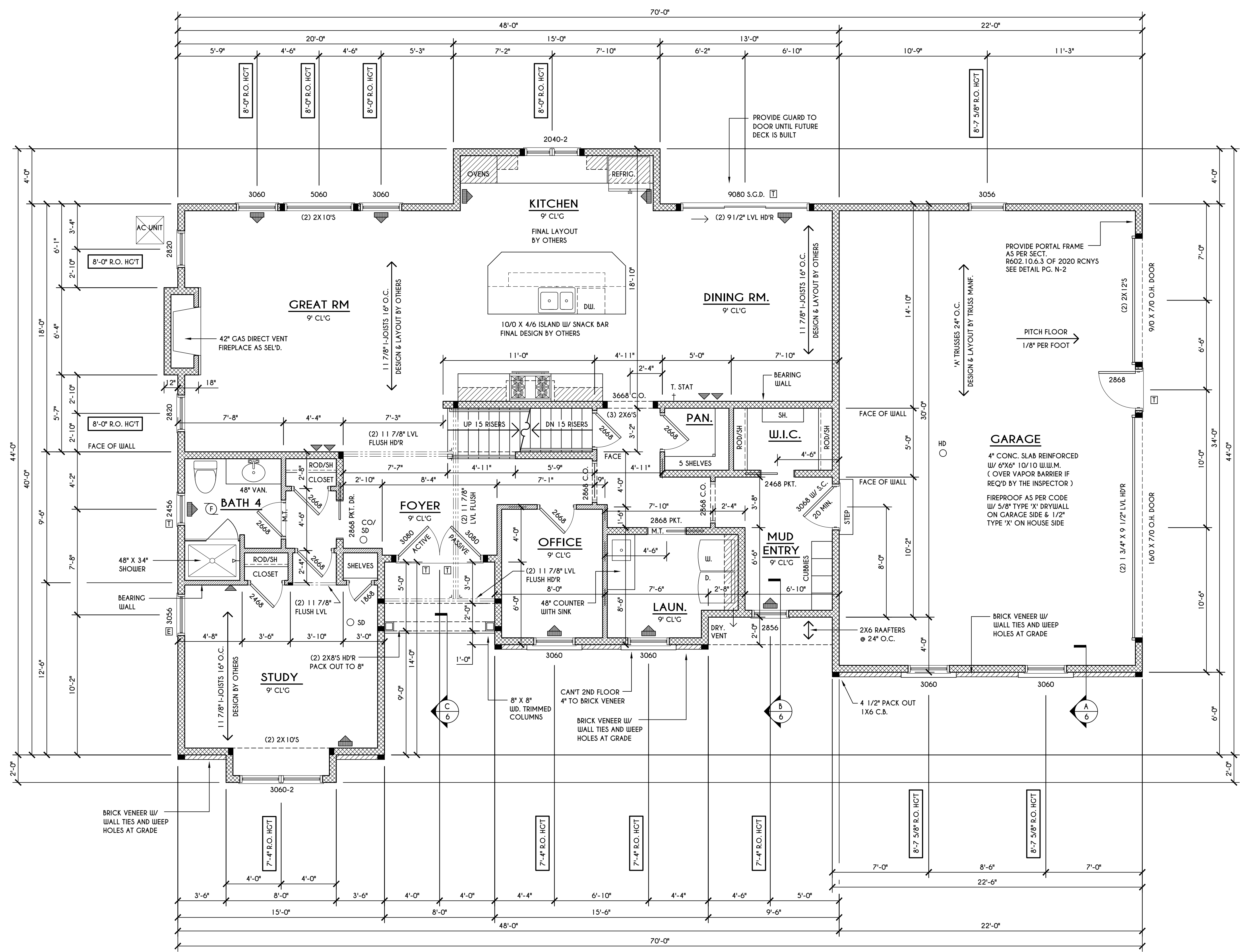
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 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FIRST FLOOR PLAN**

GLA PLAN 3343

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# FIRST FLOOR PLAN

1665 SQ. FT.

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**GENERAL FIRST FLOOR PLAN NOTES:**

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DN JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING  
 PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION  
 PER SECT. R312.2 OF 2020 RCNYS

**ENGINEERED FLOOR JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD



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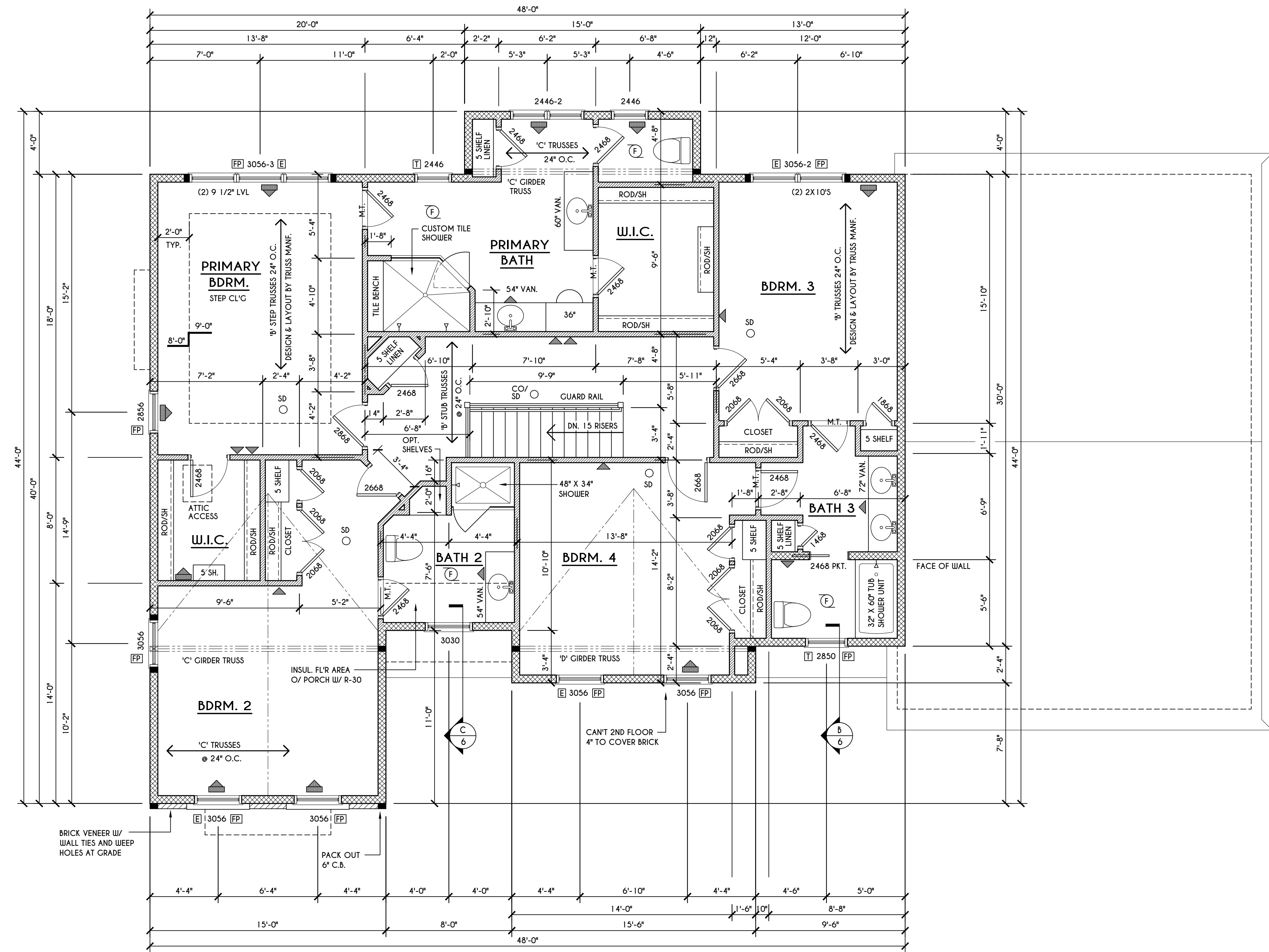
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**BUILDER:**  
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**SECOND FLOOR PLAN**

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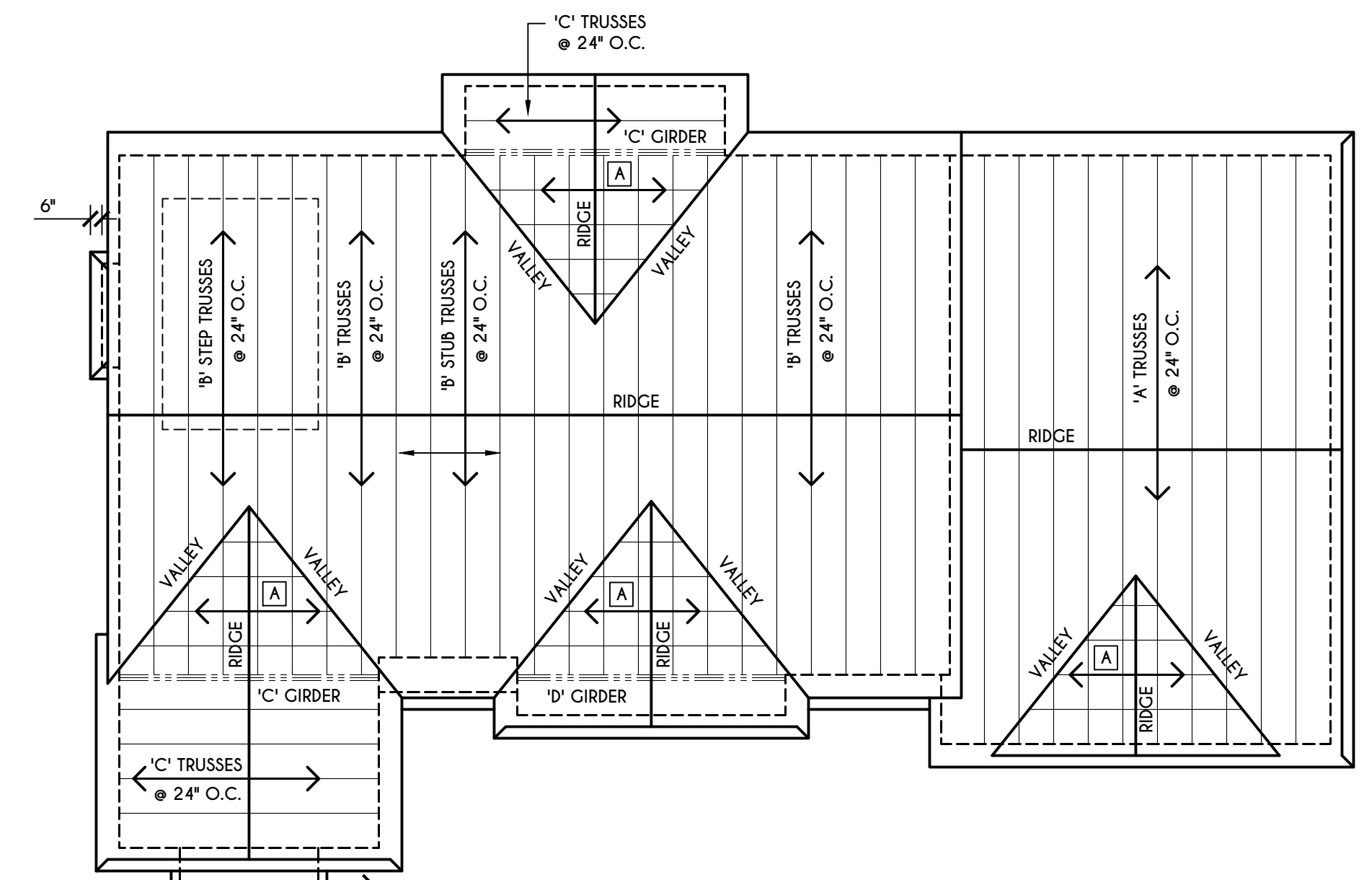
**SECOND FLOOR PLAN**

1678 SQ.FT.  
 SCALE: 1/4" = 1'-0"

- FRAMING LEGEND:**
- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
  - DROPPED HEADER
  - FLUSH HEADER
  - 2X4 STUDS @ 16" O.C.
  - 2X6 STUDS @ 16" O.C.

**GENERAL SECOND FLOOR PLAN NOTES:**  
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE D.N.L. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

- WINDOW / DOOR LEGEND:**
- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
  - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
  - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

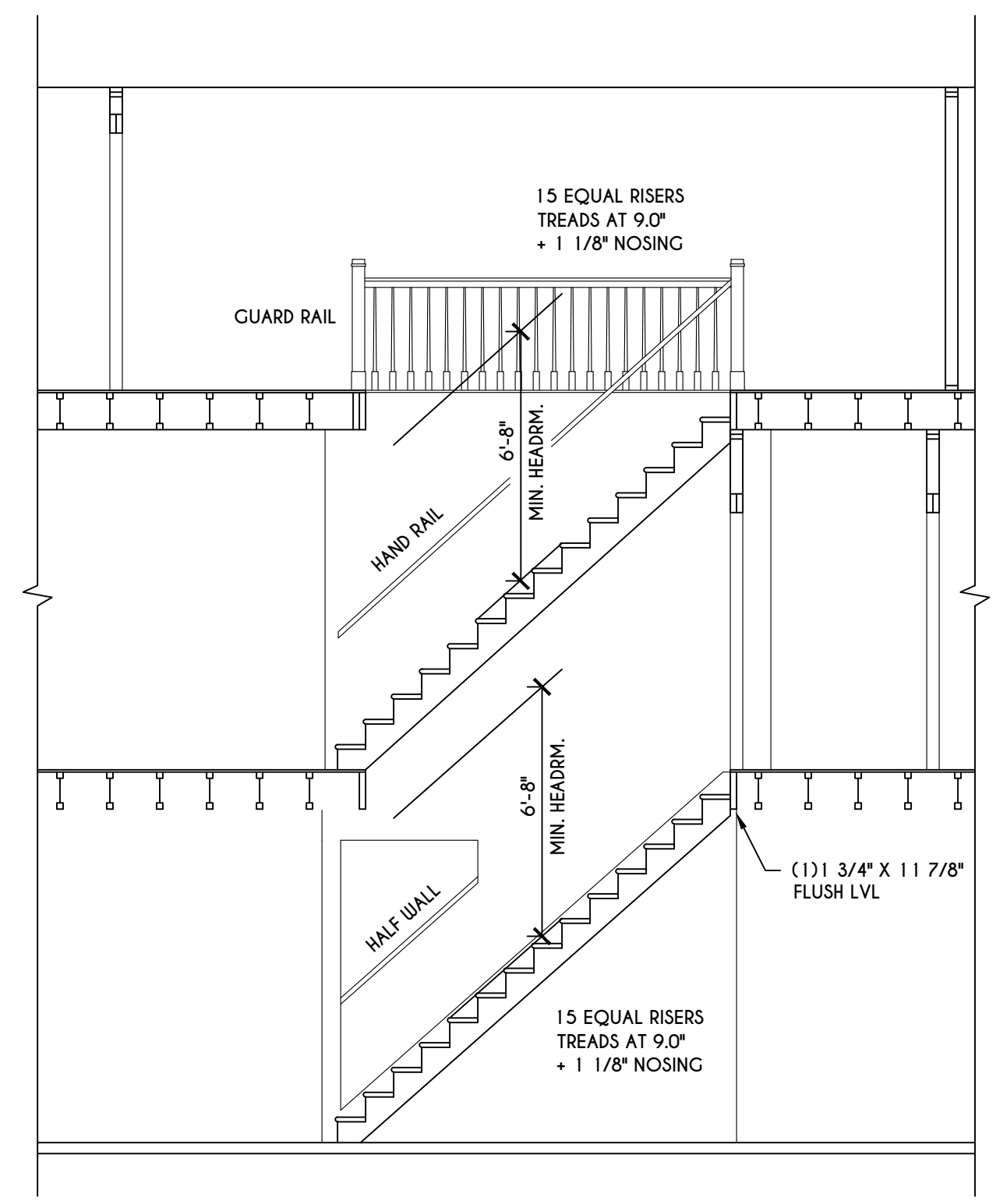


**ROOF PLAN**

SCALE: 1/8" = 1'-0"

**GENERAL ROOF NOTES:**  
 ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

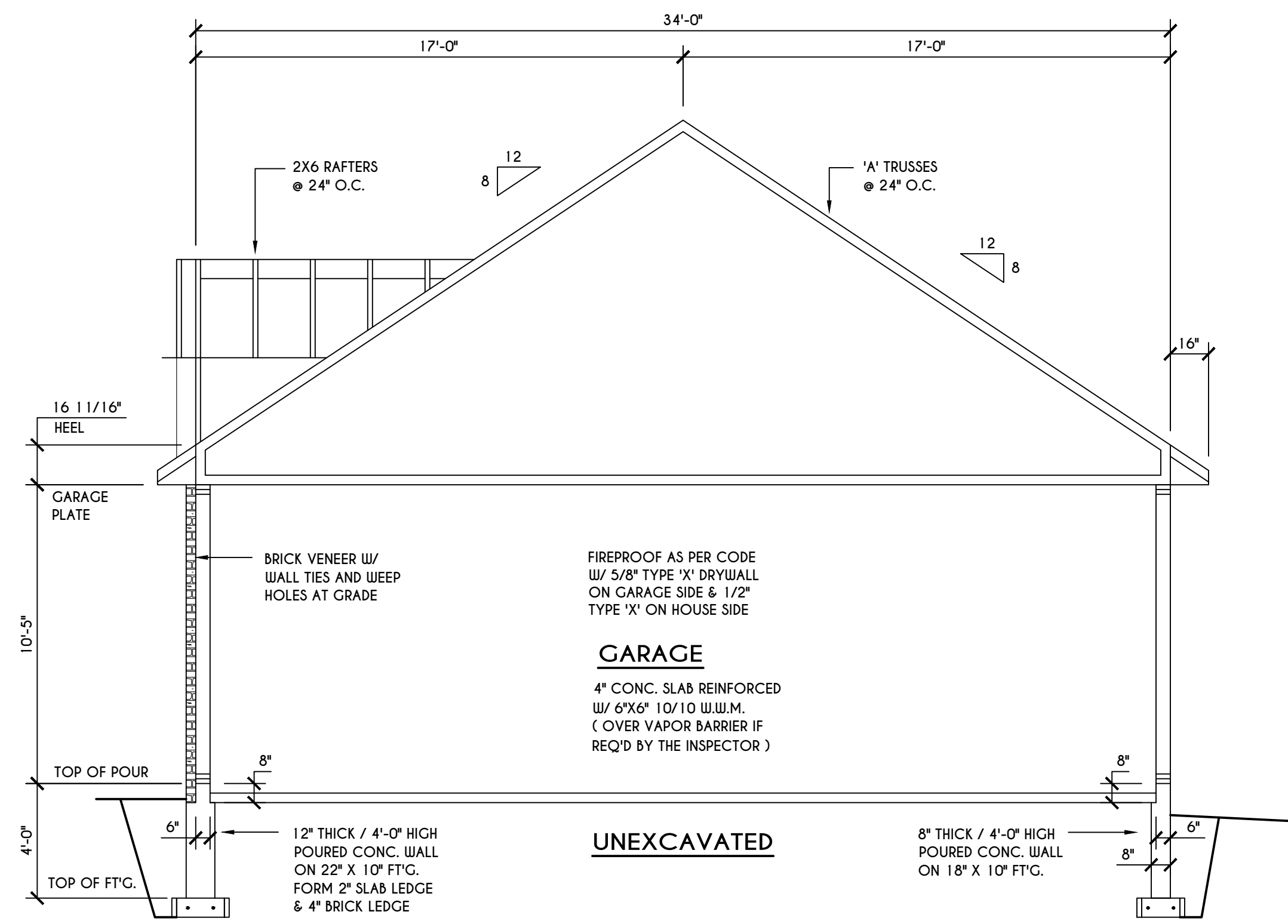
2X6 LAYOVER BAFTERS 24" O.C.



**STAIR SECTION**

SCALE: 1/4" = 1'-0"

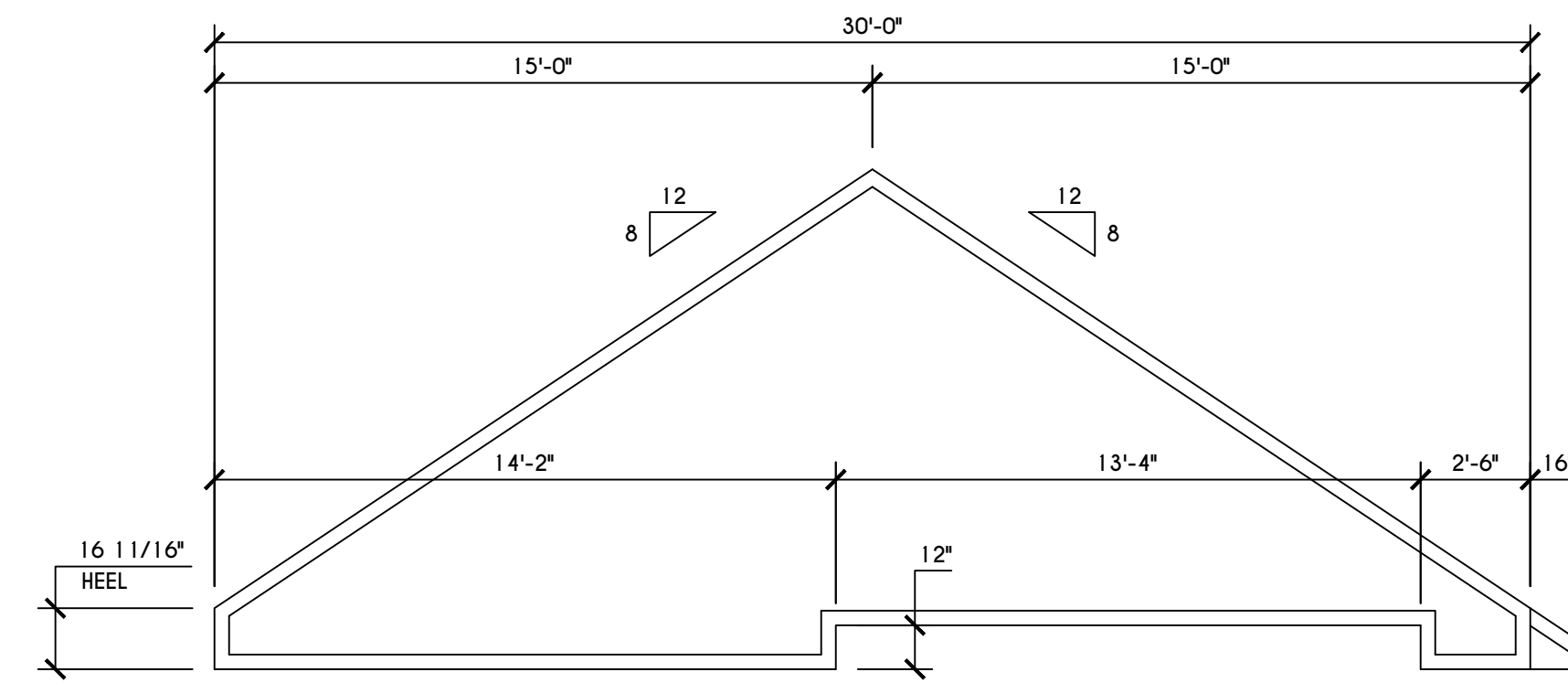




**A**  
**6** BUILDING SECTION  
SCALE: 1/4" = 1'-0"

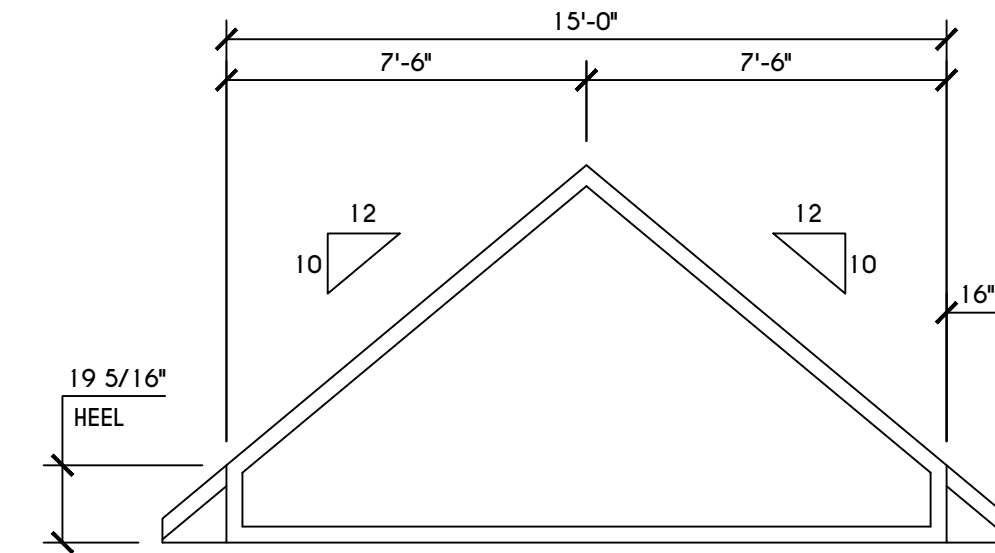
**TRUSS NOTES:**

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD  
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



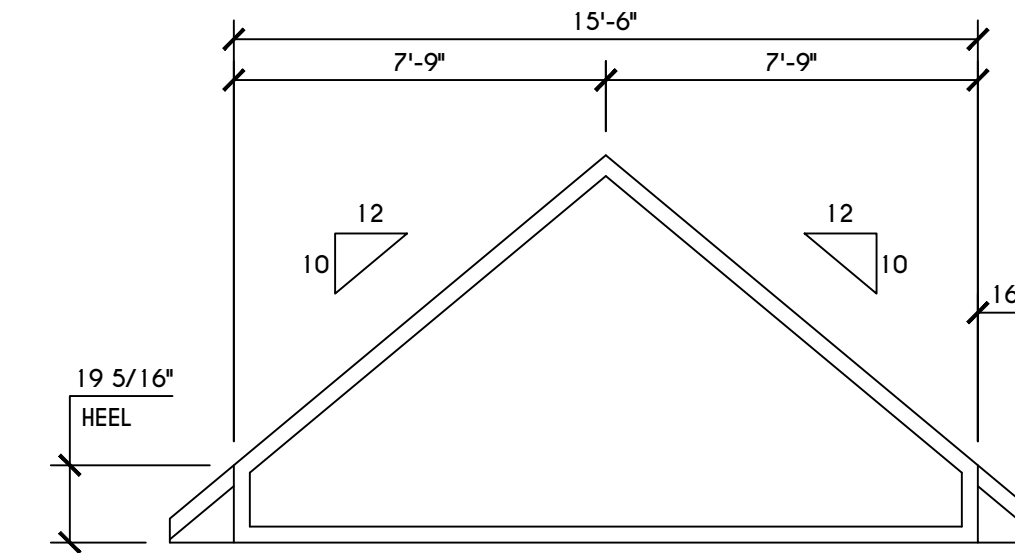
**'B'** STEP TRUSS PROFILE

SCALE: 1/4" = 1'-0"



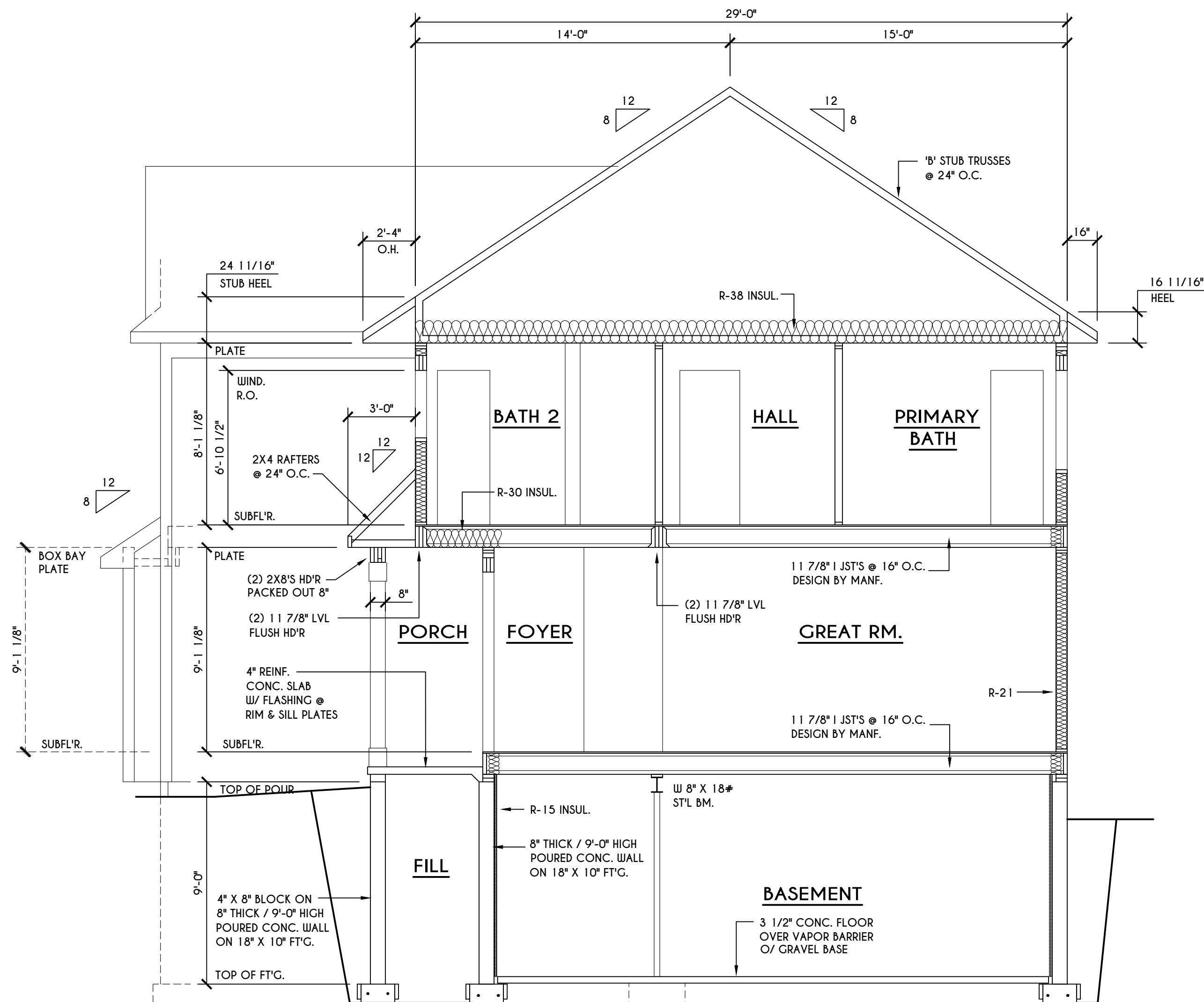
**'C'** TRUSS PROFILE

SCALE: 1/4" = 1'-0"

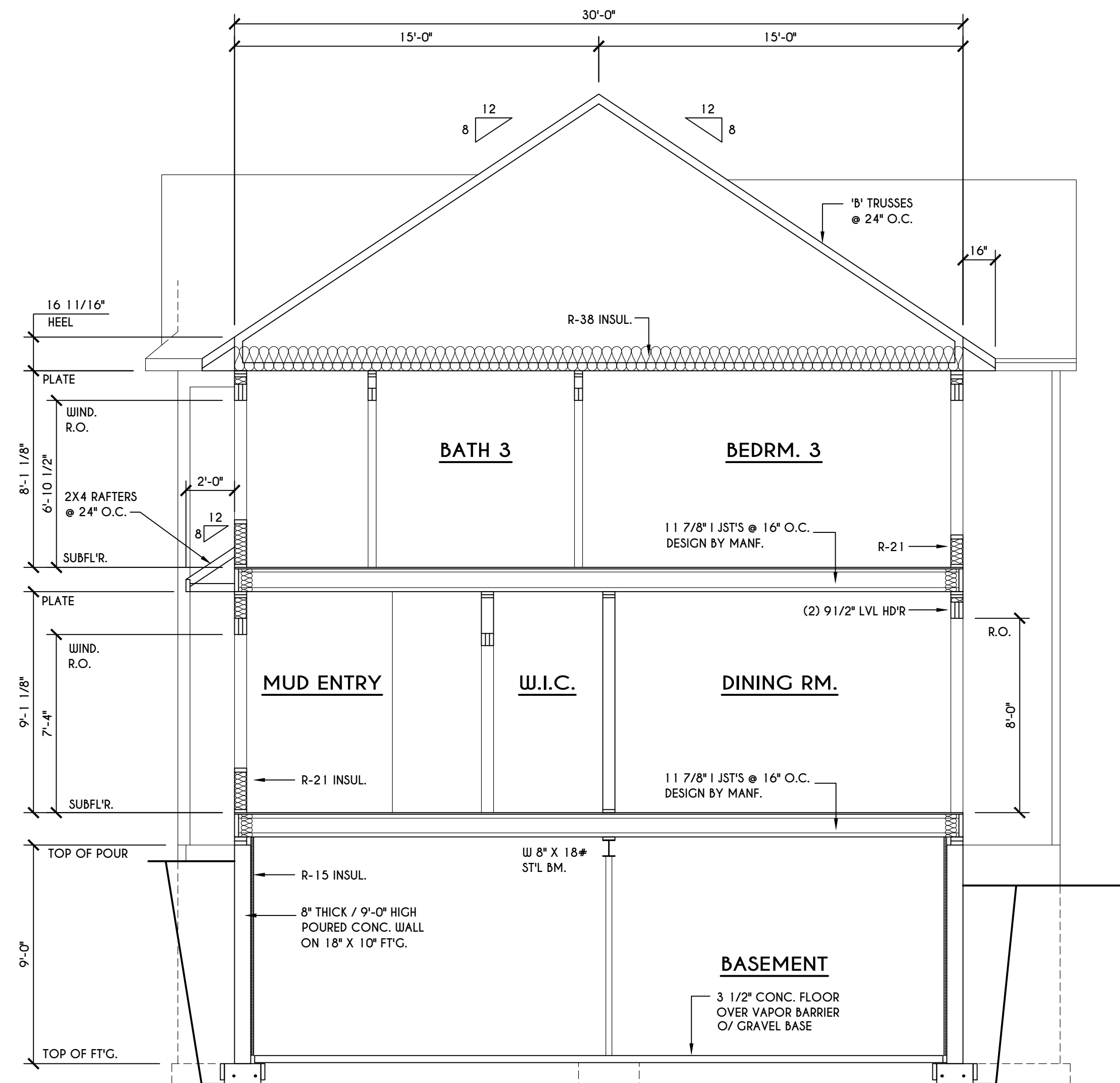


**'D'** TRUSS PROFILE

SCALE: 1/4" = 1'-0"



**C**  
**6** BUILDING SECTION  
SCALE: 1/4" = 1'-0"



**B**  
**6** BUILDING SECTION  
SCALE: 1/4" = 1'-0"

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209  
COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD  
ROCHESTER, NY 14623  
CALL: (585) 272-9170  
FAX: (585) 292-1262  
www.greaterliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

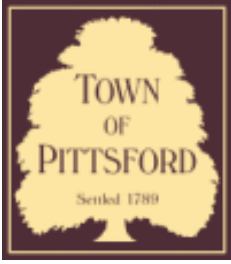
**CLIENT/LOCATION:**  
  
THE NORTHFIELD  
LOT 61 BRIDLERIDGE  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

**SECTIONS**  
GLA PLAN 3343

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 24
PROJECT: 15475E	sheet: 6 / 6





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA24-000006**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 192 Knickerbocker Road PITTSFORD, NY 14534

**Tax ID Number:** 164.15-2-39.2

**Zoning District:** RN Residential Neighborhood

**Owner:** Ryder, Robert P

**Applicant:** Ryder, Robert P

### Application Type:

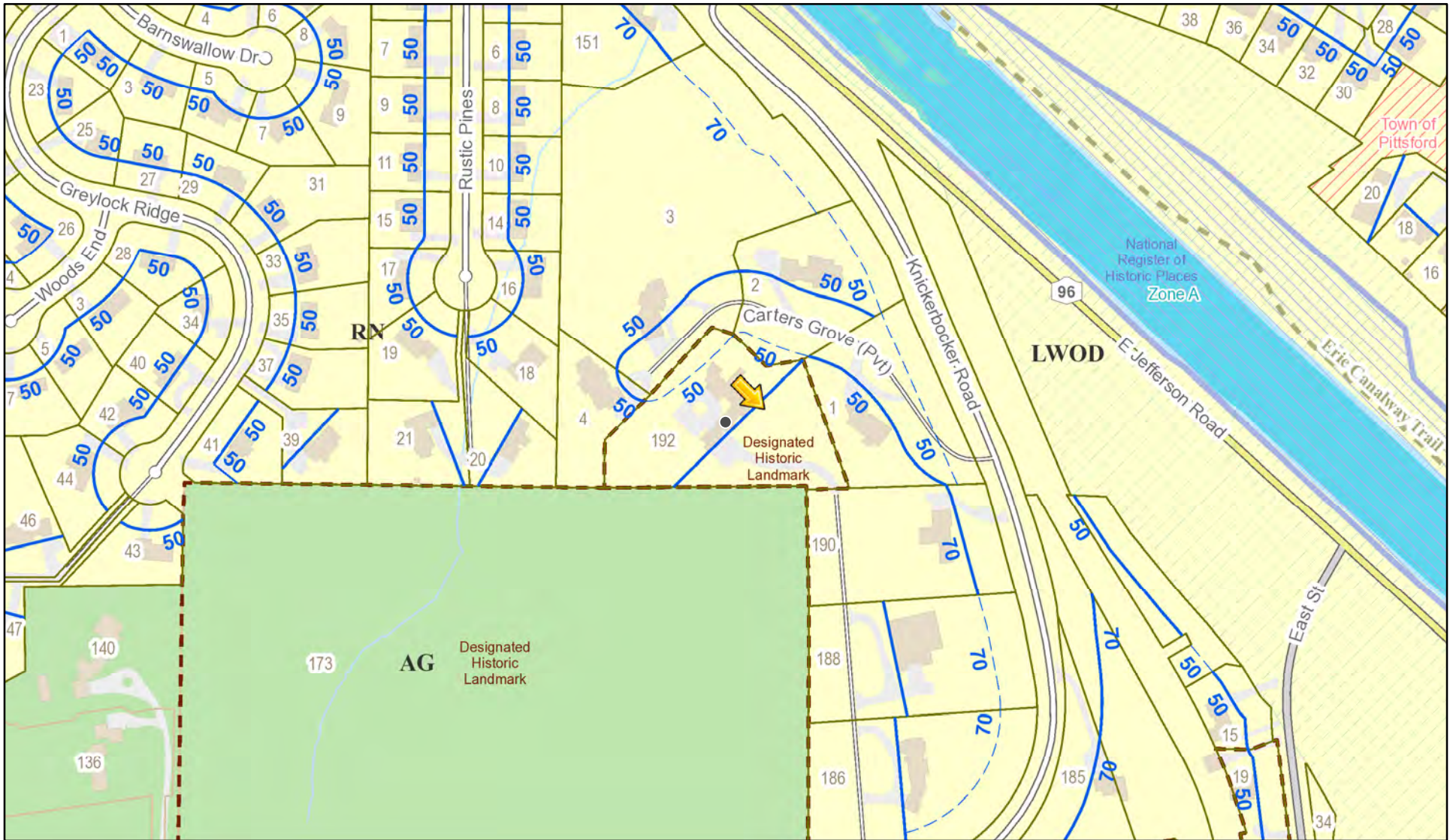
- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the expansion of a detached garage, the addition of a screened porch, the addition of a main entry porch and a kitchen expansion at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

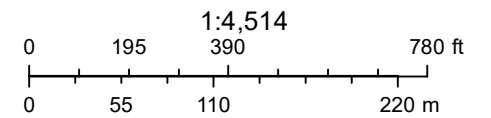
**Meeting Date:** February 27, 2025



# RN Residential Neighborhood Zoning



Printed November 21, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Thu Sep 5 2024  
Imagery © 2024 Nearmap, HERE

136 100 ft

FIRM Panel  
36055C0359G

173

FIRM Panel  
36055C0359G

185

FIRM Panel  
36055C02978G

Nearmap

Zone A



28  
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46

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192  
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1

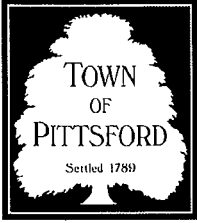
190  
188  
186

15  
19



Print Form

Reset Form



# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 192 Knickerbocker Road

2. Tax Account Number: 164.150-0002-039.2

3. Applicant's Name: David Crowe

Address: 99 Garnsey Road Phone: 585-514-0223

Pittsford NY 14534 E-mail: dcrowe@djacornersst  
*City State Zip Code*

4. Applicant's Interest in Property:

Owner:  Lessee:  Holding Purchase Offer:

Other (explain): Client Representative / Consulting Architect

5. Owner (if other than above): Meaghan Larrabee

Address: 22 Lake Lacoma Drive Phone: \_\_\_\_\_

Pittsford NY 14534 E-mail: \_\_\_\_\_  
*City State Zip Code*

Has the Owner been contacted by the Applicant? Yes  No

6. Application prepared by: David Crowe

Address: 99 Garnsey Road Phone: 585 514-0223

Pittsford NY 14534 E-mail: dcrowe@djacornersst  
*City State Zip Code*

7. Project Design Professional (if Available): Ty Allen

Address: PO Box 44 Phone: 585-613-5899

Phelps NY 14532 E-mail: Ty@arketondesign.cc  
*City State Zip Code*



[Print Form](#)

[Reset Form](#)

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

The master plan vision for the property includes the rehabilitation of several outdoor spaces, including the arrival court and parking areas, and the pool terrace. The pool terrace renovation will include the repairs and updates to the pool, paving and steps, the addition of a spa, and a future cabana. The master plan also includes a kitchen garden terrace adjacent to the kitchen and identifies the location for a future sports court and detached garage. existing pool, steps, walkways, and pool enclosure fence. The project also proposes construction of a new dining terrace adjacent to the kitchen, as well as a new set of stairs which connects to the

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

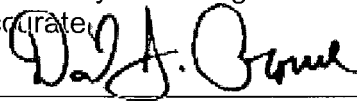
N/A

16. Additional materials submitted with this application (if available):

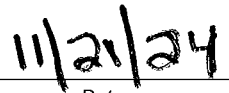
- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Parcel map      | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs     | <input checked="" type="checkbox"/> Architectural plans      |
| <input checked="" type="checkbox"/> Other materials | Site Master Plan   |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant



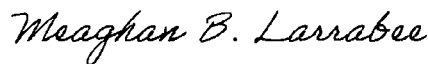
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

- Yes  No

If Yes, owner's signature:





**192 Knickerbocker Rd. Pittsford, NY.**

**Design Review and Historic Preservation Review Board  
Application for Certificate of Appropriateness  
Section 14a Supplemental narrative document**

1. Proposed Garage Expansion:
  - a. Garage expansion consists of an addition to the SW side of the existing garage.
  - b. This addition consists of approximately 1495 sq. ft.
  - c. The height of the proposed addition will be 22', matching and aligning to the existing adjacent garage ridge line.
  - d. Garage expansion will be two stories. The first story will accommodate three (3) car parking bays and general storage. The second story will be utilized for storage.
  - e. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.
  
2. Existing garage modifications and expansion:
  - a. The existing garage will be expanded on the NW side by approximately 108 sq. ft. This expansion will include a single upward acting door.
  - b. Note that the existing adjacent portico will be expanded by approximately 120 sq. ft. as well. This change will increase the covered area of the exterior walk, but will not increase the size of the interior conditioned space.
  - c. The existing garage door on the SE side of the garage will be replaced with a single larger upward acting door.
  - d. Once complete, this garage, with its two upward acting doors placed in alignment will provide a "drive through" garage bay design.
  - e. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.
  
3. Proposed kitchen expansion:
  - a. The kitchen will be extended to the SE with an addition of approximately. 175 sq. ft.
  - b. This expansion will be placed within an existing niche occurring along the SE elevation of the building.
  - c. The addition will include new doors and windows allowing direct access from the kitchen to the proposed kitchen garden terrace.
  - d. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.
  
4. Enclosure of the existing covered entry area.
  - a. This existing first floor area beneath the extended timber post supported second floor structure above will be enclosed to accommodate the expansion of the 1st floor kitchen and mudroom areas. The existing timber support of this structure will



remain, as well as the stone wainscot height base wall. And so the room enclosure will consist primarily of carefully detailed window fenestration extending from stone wall to structure above, so as to provide maximum light, view and ventilation within the home.

- b. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.
5. Proposed modifications to the main entrance of the home:
- a. It is proposed that the current design of the main entrance of the home be modified to be more in character with the adjacent existing design of the home. The goal of this work is to make a more pleasing, usable, functional and welcoming entry to the home - and to provide an entry design which is more in keeping with the general character of the home.
  - b. These changes would include the construction of a pitch break, sloped shed style roof with post support over the main exterior porch – this addition would match the design covered walkways to the SE of the entry. The porch would be modified To eliminate the existing continuous stair tread, and in lieu, an elevated and level porch area would be created beneath the proposed covered porch roof with a center entrance stair design. The covered area of the proposed porch roof would be approximately 214 sq. ft.
  - c. The front entrance doors would be replaced with larger double doors, again drawing design inspiration from other existing exterior doors within the home.
  - d. The first-floor level windows to the left and right of the main entry would be replaced with window units having the same width, however they would be taller in design.
  - e. This work also proposes replacement of the three (3) second story dormers so as to provide a design which is in more keeping with the general character of the existing home, as well as to provide usable, functional, and code required egress compliant windows within the bedrooms they serve.
  - f. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modifications.
6. Future detached garage –
- a. Please note that this information is being provided only for Board edification as a component of a future master plan strategy.
  - b. The design, sq. ft, as well as specific functional and use details of the building element are not known at this time, and so would be submitted as part of a formal future approval package. Timing of that application is not currently known, but believed to be at least a few years in the future.
  - c. Approval of this element is not being sought at this time. This information is being provided only for discussion purposes, and in a good-will effort to provide full disclosure of the longer term “master plan” intent.



7. Proposed screen room:
  - a. We are proposing that a screened, out-door, unconditioned, covered terrace would be provided at this location.
  - b. This screen room would consist of an addition amounting to approximately 585 sq. ft.
  - c. The height of the proposed addition will be approximately 22' above grade.
  - d. The screen room roof ridge will (approximately) align to the existing adjacent roof ridge line – to which the covered patio room connector would be attached.
  - e. The screen room would be at the 1st floor elevation and have direct access to / from the home interior, as well as to the existing terrace located SE of this location.
  - f. The design of the covered patio room would be inspired by the existing screened “overlook” structure, which has been proposed for removal within the application.
  - g. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modifications and addition.
  
8. Future pool cabana:
  - a. Please note that this information is being provided only for Board edification as a component of a future master plan strategy.
  - b. The design, sq. ft, as well as specific functional and use details of the building element are not known at this time, and so would be submitted as part of a formal future approval package. Timing of that application is not currently known, but believed to be at least one to two years in the future.
  - c. Approval of this element is not being sought at this time. This information is being provided only for discussion purposes, and in a good-will effort to provide full disclosure of the longer term “master plan” intent.
  
9. Modifications to existing internal stairs:
  - a. Interior renovations will require the relocation and modification of an existing interior stairway. The location of these stairs will be shifted internally to the SW, to better suit the functional needs of the home. And so this placement of the stairway will result in the modification of the exterior wall in this location. This modified wall will be restructured with a two story bay window constructed in a design inspired by the existing building fenestration.
  - b. This work will result in no additional square footage within the home.
  - c. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modifications.

**End Section 14a / Supplemental narrative document**



TOWN OF PITTSFORD  
APPLICATION FOR DESIGNATION  
OF  
LANDMARKS

1. PROPERTY ADDRESS: 192 Knickerbocker Rd.
2. TAX ACCOUNT NUMBER: 164.150-02-039.200
3. NAME OF APPLICANT: Pittsford Historic Preservation Commission  
ADDRESS: Pittsford, N.Y. ZIP CODE: \_\_\_\_\_ PHONE: \_\_\_\_\_

Interest in Property:

Owner \_\_\_\_\_ Lessee \_\_\_\_\_ Holding Option \_\_\_\_\_  
Other (explain) per town ordinance

4. OWNER: (If other than above) Harold + Judy Bednar  
ADDRESS: 192 Knickerbocker Rd. ZIP CODE: 14534 PHONE: 381-2300  
Pittsford, N.Y. 14534  
HAS OWNER BEEN CONTACTED BY APPLICANT? Yes X No \_\_\_\_\_

5. APPLICATION PREPARED BY: George Dounce  
ADDRESS: 1 Cranston Rd ZIP CODE: 14534 PHONE: 383-1197  
Pittsford

6. ATTORNEY: Greg Mott  
ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_ PHONE: \_\_\_\_\_

7. PRESENT USE OF PROPERTY: Residential

8. ZONING DISTRICT: A

9. STATEMENT OF SIGNIFICANCE: Explain why the property should be designated as a landmark. (Attach additional sheets if necessary.)

- a. General statement on physical history (indicate sources of information)



i. Original and subsequent owners (include dates if possible):

originally owned by Mitchell Pierson, Sr.

ii. Date of construction: 1935-1938

Architect: Bryant Fleming

Builder: Emil Muller

iii. Facts/Information on original plan and construction of building(s): constructed using parts from other buildings including early keeping room from New Haverhill, Ma (1711), Federal parlor from Salem, Ma. (1787) by Samuel McIntyre, stone + timbers from old Genesee River flour mill (Rochester-1835) + from Rochester Catholic cathedral or school razed in 1930

iv. Facts/Information on known alterations and additions, with dates and architects or builders:

b. Statement on history (indicate sources of information)

i. Historical events associated with the property and dates: constructed 1935-1938

ii. Well-known persons associated with the property:

Mitchell Pierson, Sr

Samuel McIntyre

c. Statement on architecture

i. Architectural style or period: Eclectic - 1930's

ii. Architectural interest and merit:

Remarkable 20<sup>th</sup> century pastiche, achieving handsome residence thru reuse of older buildings



iii. Current exterior condition (describe construction, finishes and state of repair):  
Excellent condition. Exteriors types include  
clapboard, stone, brick, cobblestone, + stucco.

d. Statement on site and surroundings

i. Outbuildings (list existing outbuildings and describe significance and state of repair):  
entrance court

ii. Landscape (describe features and conditions including size and type of trees);  
Post ice-storm. Many mature trees + plantings

I CERTIFY THAT THE INFORMATION SUPPLIED ON THIS APPLICATION IS COMPLETE AND ACCURATE.

George H. Dounce  
SIGNATURE OF APPLICANT

3/19/92  
DATE

CONCURRENCE

Does current owner concur in this application?

Yes

No

If yes, owner's signature

Judith Bednar



LANDMARK DESIGNATION

CLERK'S OFFICE

1992 APR 23 10:46:06

RECORDED

---

In the Matter

of

PITTSFORD HISTORIC  
COMMISSION DESIGNATION

The Designation of 192 Knickerbocker  
Road, Pittsford, New York, as a  
Historic Landmark

L-2-92

---

The Pittsford Historic Preservation Commission, pursuant to Chapter 7 3/4 of the Pittsford Town Code, has designated the parcel of property located at 192 Knickerbocker Road, Pittsford, New York 14534, as a "LANDMARK." The Commission so designated said parcel of property as a "LANDMARK" at its Hearing held on March 19, 1992 at the Pittsford Town Hall, Pittsford, New York.

Said parcel of property is more particularly described by deed recorded in the Monroe County Clerk's Office on February 8, 1982, in Liber 6103 at page 337, currently titled in the names of Harold E. Bednar and Judith J. Bednar.

Tax Account #164.150-02-039.200

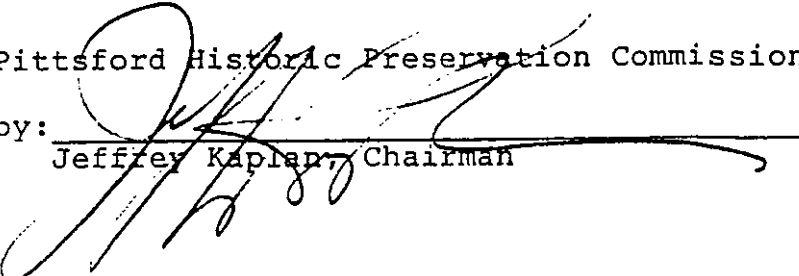
Property Address: 192 Knickerbocker Road, Pittsford, NY 14534

Present Property Owners: Harold E. and Judith J. Bednar



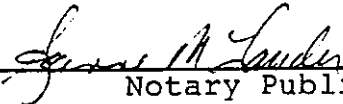
Effective March 19, 1992 and thereafter, said parcel of property located at 192 Knickerbocker Road, Pittsford, New York 14534, as more particularly described in the deed as aforementioned herein, is subject to the jurisdiction of the Pittsford Historic Preservation Commission, as set forth in the Pittsford Town Code Chapter 7 3/4, and all of the subsections thereof, entitled "Historic Preservation."

Dated: April 21, 1992

Pittsford Historic Preservation Commission  
by:   
Jeffrey Kaplan, Chairman

STATE OF NEW YORK)  
COUNTY OF MONROE ) SS:

On the 21 day of April, 1992, before me personally came JEFFREY KAPLAN, to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that he executed the same.

  
Notary Public

SUZANNE M. LAUDER  
NOTARY PUBLIC, STATE OF NEW YORK  
ONTARIO COUNTY, NO. 4654688  
COMMISSION EXPIRES 5/31/93





# BUILDING-STRUCTURE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
DIVISION FOR HISTORIC PRESERVATION  
(518) 474-0479

FOR OFFICE USE ONLY

UNIQUE SITE NO. \_\_\_\_\_  
QUAD \_\_\_\_\_  
SERIES \_\_\_\_\_  
NEG. NO. \_\_\_\_\_

YOUR NAME: Kathleen A. Howe DATE: April, 1991

YOUR ADDRESS: 32 Winthrop Street TELEPHONE: (716)262-2035  
Rochester, NY 14607

ORGANIZATION (if any): Bero Associates, Architects

\*\*\*\*\*

## IDENTIFICATION

1. BUILDING NAME(S): \_\_\_\_\_
2. COUNTY: Monroe TOWN/CITY: Pittsford VILLAGE: \_\_\_\_\_
3. STREET LOCATION: 192 Knickerbocker Road
4. OWNERSHIP: a. public  b. private
5. PRESENT OWNER: Harold Bednar ADDRESS: Same
6. USE: Original: Residence Present: Same
7. ACCESSIBILITY TO PUBLIC: Exterior visible from public road: Yes  No   
Located at end of \_\_\_\_\_ Interior accessible: Explain private drive

## DESCRIPTION

8. BUILDING MATERIAL: a. clapboard  b. stone  c. brick  d. board and-batten   
e. cobblestone  f. shingles  g. stucco  other: half timber
9. STRUCTURAL SYSTEM: a. wood frame with interlocking joints   
(if known) b. wood frame with light members   
c. masonry load bearing walls   
d. metal (explain) \_\_\_\_\_  
e. other \_\_\_\_\_
10. CONDITION: a. excellent  b. good  c. fair  d. deteriorated
11. INTEGRITY: a. original site  b. moved  if so,when? \_\_\_\_\_  
c. list major alterations and dates (if known): \_\_\_\_\_

12. PHOTO:

13. MAP:



HP-1

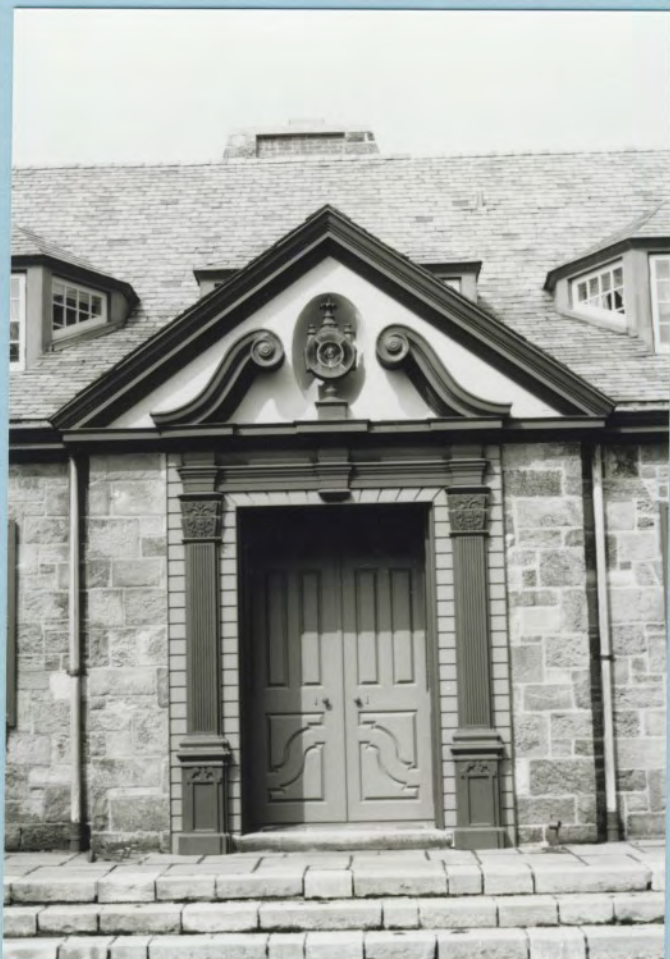
An Equal Opportunity Agency



14. THREATS TO BUILDING: a. none known  b. zoning  c. roads   
 d. developers  e. deterioration   
 f. other: \_\_\_\_\_
15. RELATED OUTBUILDINGS AND PROPERTY:  
 a. barn  b. carriage house  c. garage   
 d. privy  e. shed  f. greenhouse   
 g. shop  h. gardens   
 i. landscape features: \_\_\_\_\_  
 j. other: entrance court
16. SURROUNDINGS OF THE BUILDING (check more than one if necessary):  
 a. open land  b. woodland   
 c. scattered buildings   
 d. densely built-up  e. commercial   
 f. industrial  g. residential   
 h. other: large lot
17. INTERRELATIONSHIP OF BUILDING AND SURROUNDINGS:  
 (Indicate if building or structure is in an historic district)  
 20th century mansion on formerly rural land.
18. OTHER NOTABLE FEATURES OF BUILDING AND SITE (including interior features if known):  
 House constructed using parts from other buildings. Parlor with federal woodwork from Salem, MA; early New England keeping room with cavernous fireplace and bake oven. Main entrance, early woodwork and doors; screened porch and terrace built from old mill; half timber gable at rear.
- SIGNIFICANCE
19. DATE OF INITIAL CONSTRUCTION: 1935-38  
 ARCHITECT: Bryant Fleming  
 BUILDER: Emil Muller
20. HISTORICAL AND ARCHITECTURAL IMPORTANCE:  
 Remarkable 20th century pastiche, achieving handsome residence through re-use of older buildings.  
 Original owners, M/M Mitchell Pierson, Sr. House constructed using parts from other buildings, including early keeping room from New Haverhill, MA (1711); Federal parlor from Salem, MA (1787) by Samuel McIntyre; stone and timbers from old flour mill, Genesee River, Rochester (1835), and Catholic Cathedral (or school) razed for Kodak expansion in 1930s.  
 In Malo Report: English and Neo Colonial.
21. SOURCES: Robert and Sally Jo Winebrenner, former owners (1980). Building-Structure Inventory Form, Pat Place and Jean France, Historic Pittsford, June, 1980.  
 Newspaper articles. Photographs.
22. THEME:  
 Residential: Mansion



PHOTO CONTINUATION SHEET  
192 Knickerbocker Road





# SITE PLAN KEY:

## PAVING & HARDSCAPE

- LARGE PAVERS
- SMALL PAVERS
- STONE COBBLE
- ASPHALT PAVING
- STEPS
- LOW STONE WALL
- EXISTING STONE WALL TO REMAIN
- FLUSH CURB
- NEW FENCE

## BOUNDARIES & SITE FEATURES

- EXISTING BUILDING
- PROPOSED BUILDING ADDITION
- PROPOSED FUTURE BUILDING
- PROPERTY LINE
- EXISTING STRUCTURE FOOTPRINT (TO BE REMOVED)
- TREE / SHRUB LINE
- EXISTING CONIFER (REDUCED SCALE SHOWN)
- EXISTING DECIDUOUS TREE (REDUCED SCALE SHOWN)
- PLANTING AREA

## BUILDING MODIFICATIONS & ADDITIONS:

- 1 PROPOSED GARAGE EXPANSION
- 2 EXISTING GARAGE MODIFICATION & EXPANSION
- 3 PROPOSED KITCHEN EXPANSION
- 4 ENCLOSURE OF EXISTING COVERED ENTRY AREA
- 5 PROPOSED MODIFICATION TO MAIN ENTRY OF HOME
- 6 FUTURE DETACHED GARAGE
- 7 PROPOSED SCREEN ROOM
- 8 FUTURE POOL CABANA
- 9 MODIFICATION TO EXISTING INTERNAL STAIR

## SITE COVERAGE CALCULATIONS:

<b>EXISTING LOT SIZE:</b>	95,832 SF (2.2 ACRES)
<b>MAXIMUM ALLOWABLE LOT COVERAGE (40%):</b>	38,333 SF (40.0%)
<b>EXISTING COVERAGE (%):</b>	21,292 SF (22.2%)
<b>PROPOSED LOT COVERAGE (%):</b>	27,826 SF (29.0%)

## ZONING CHART - TOWN OF PITTSFORD:

ZONING DISTRICT: RESIDENTIAL NEIGHBORHOOD (RN)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	N/A	95,832 SQ. FT	95,832 SQ. FT
MIN. LOT WIDTH	N/A	345'	345'
MIN. FRONT YARD SETBACK	PER CODE	235'-5"	206'-3"
MIN. REAR YARD SETBACK	60'	49'-5"	49'-5"
MIN. SIDE YARD SETBACK	60'	42'-5"	25'-11"
MIN. REAR YARD SETBACK (ACCESSORY)	60'	N/A	28'-1"
MAX. BUILDING HEIGHT	30'		
MAX. BUILDING FOOTPRINT	6,167 SQ. FT.	5,962 SQ. FT.	8,054 SQ. FT. (PRIMARY)
MAX. ACCESSORY BUILDING HEIGHT	12'	N/A	N/A
MAX. LOT COVERAGE	38,333 SQ. FT. (40.0%)	21,293 SQ. FT. (22.2%)	27,826 SQ. FT. (29.0%)



GLENN MEHALEK  
TAX NO. 164.150-0002-039.14  
4 CARTERS GROVE  
.68 ACRES

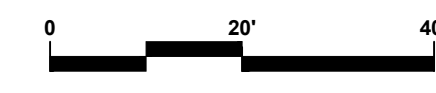
SWITMORE CHILDREN LLC  
TAX NO. 164.150-0002-039.13  
3 CARTERS GROVE  
5.19 ACRES

WILL STIRLEN  
TAX NO. 164.150-0002-039.12  
2 CARTERS GROVE  
1.55 ACRES

LARRY KNICKERBOCKER  
TAX NO. 164.150-0002-022  
173 KNICKERBOCKER ROAD  
82.5 ACRES

TOM HERMAN  
TAX NO. 164.150-0002-039.11  
1 CARTERS GROVE  
1.69 ACRES

STEVE MASCILO  
TAX NO. 164.150-0002-042  
1 CARTERS GROVE  
1.90 ACRES



**Bayer Landscape Architecture, PLLC**  
19 North Main Street  
Honeoye Falls, New York 14472  
P: 585-582-2000  
F: 585-582-2005  
bayerla.com

Scale: 1"=20'-0"

Checked By:	MHB	DMB	BLA
Drawn By:			
Design By:			
Date:	2024.11.21		
Project No:	2024-111	No.	

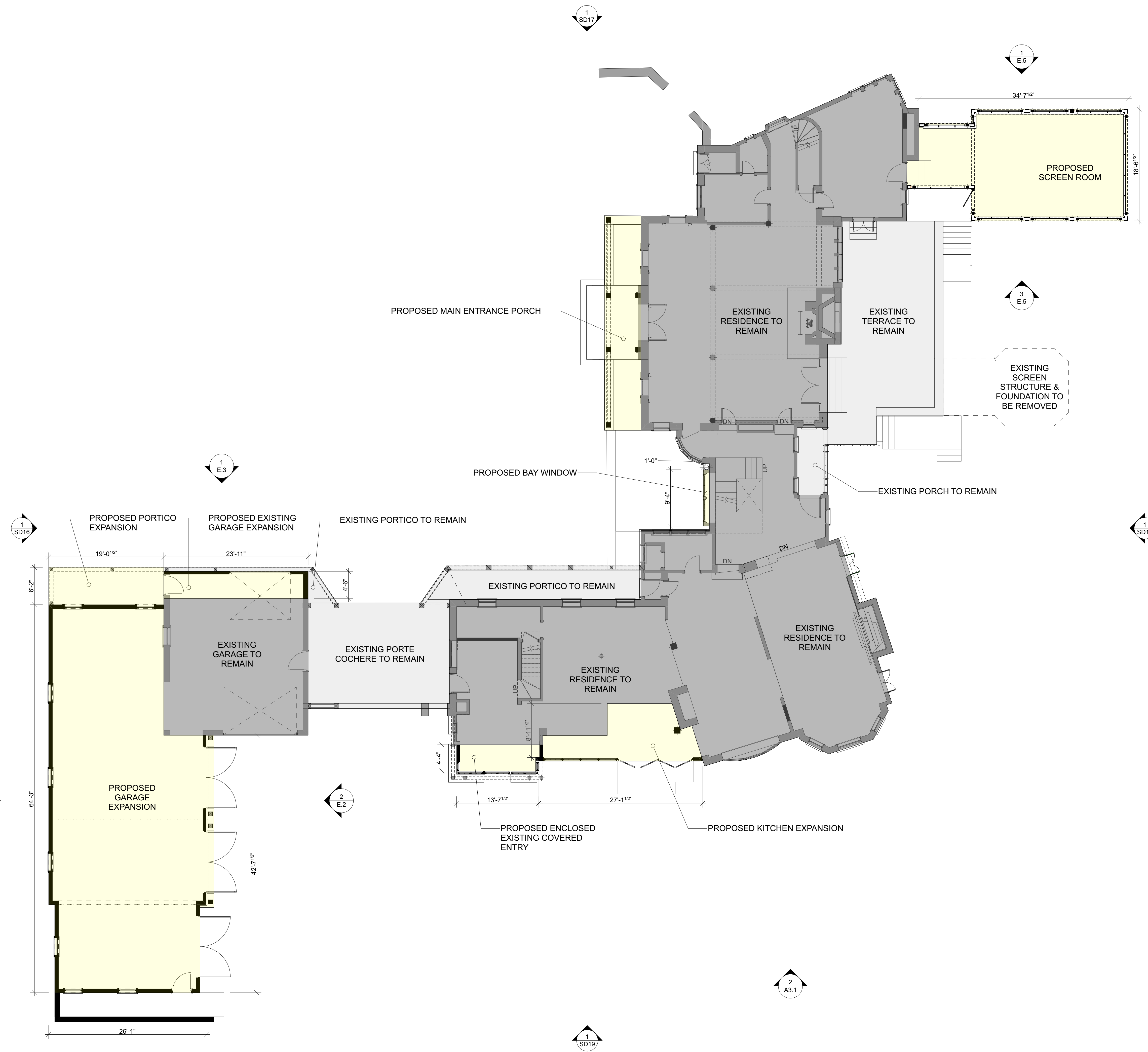
\*FOR REVIEW ONLY - NOT FOR CONSTRUCTION\*

LARRABEE RESIDENCE  
192 KNICKERBOCKER ROAD  
PITTSFORD, NEW YORK 14534

SITE MASTER PLAN

**L1.0**





**OVERALL GROUND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REVISIONS

PROJECT NO. D-24163

**LARRABEE RESIDENCE**  
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24  
Zoning Review

SCALE 1/4" = 1'-0"

**FLOORPLAN**

**D.1**





NORTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

REVISIONS

PROJECT NO. D-24168

**LARRABEE  
RESIDENCE**  
192 Knickerbocker Road Pittsford NY 14534

ISSUED 10/11/24  
Zoning Review

1/4" = 1'-0"

EXTERIOR  
ELEVATIONS

D.2





SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NO. D-24168

LARRABEE  
RESIDENCE  
192 Knickerbocker Road Pittsford NY 14534

DATE 12/11/24  
REVISIONS  
Pending Review

SCALE 1/4" = 1'-0"

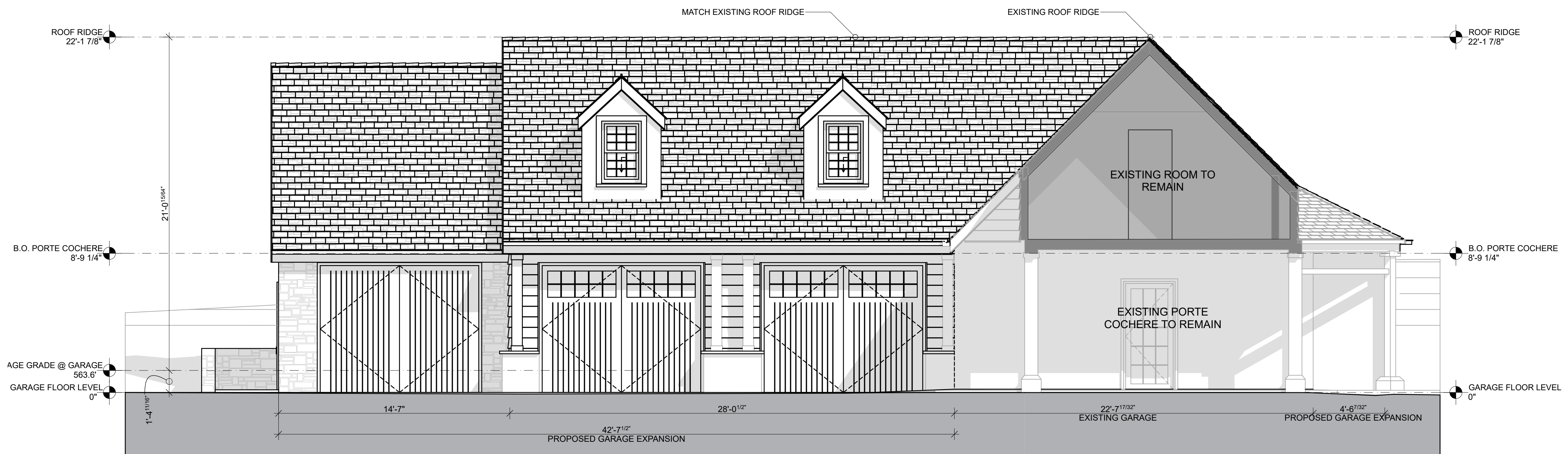
EXTERIOR  
ELEVATIONS

D.3





1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS

PROJECT NO. D-24163

**LARRABEE RESIDENCE**  
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24  
Zoning Review

SCALE 1/4"=1'-0"

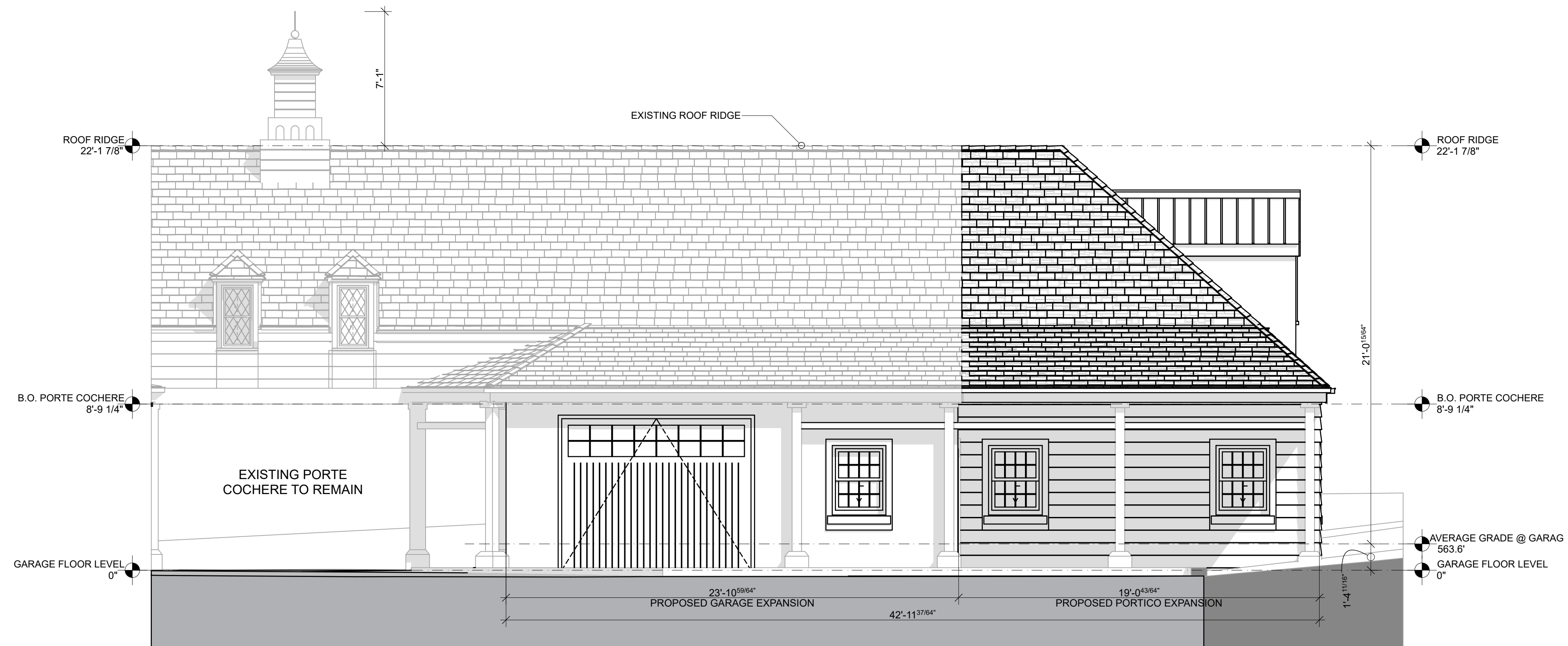
Garage Elevations

E.2





2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS

PROJECT NO. D-24163

**LARRABEE  
RESIDENCE**  
192 Knickerbocker Road Pittsford NY 14534

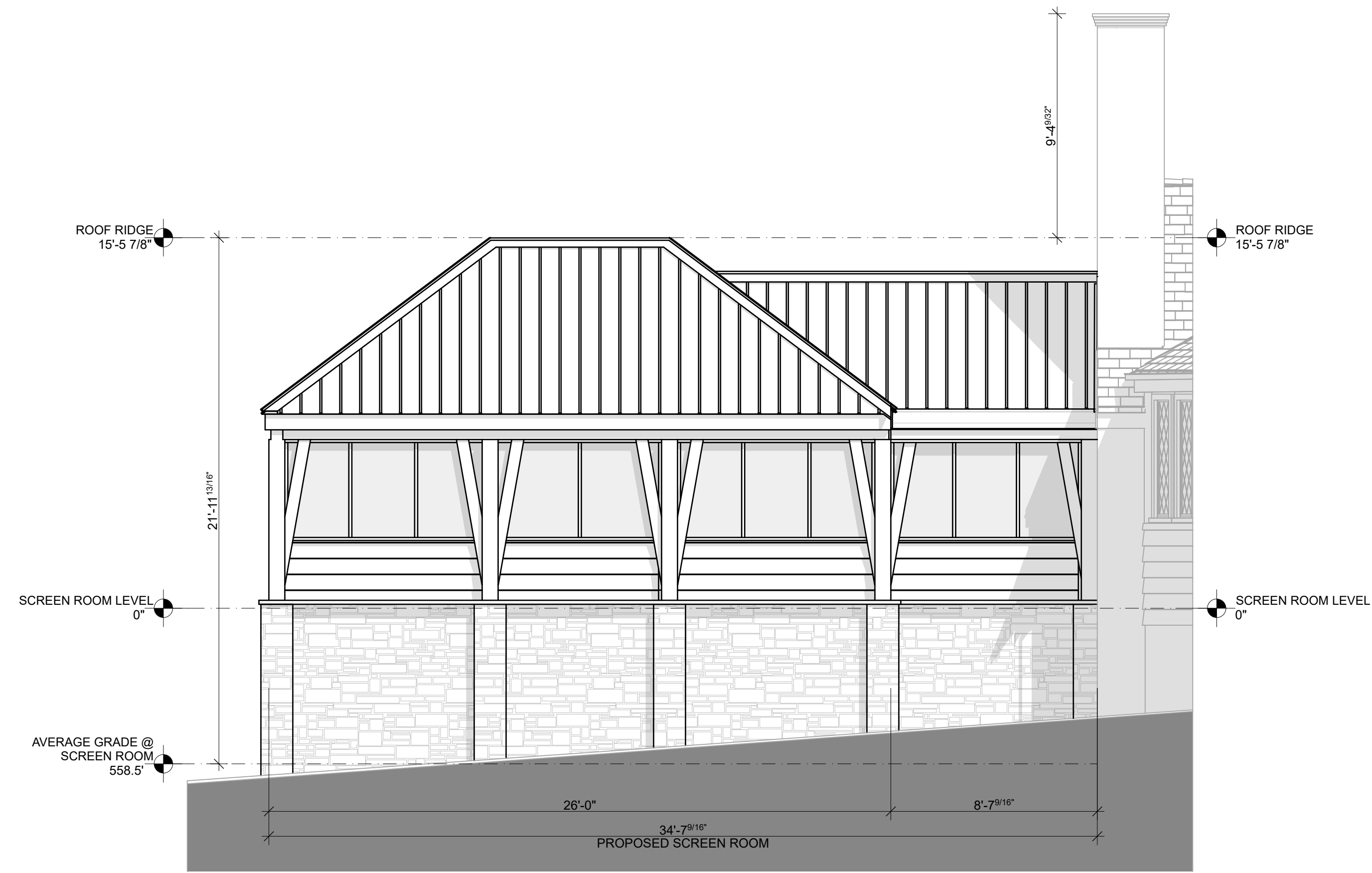
ISSUED 12/11/24  
Zoning Review

SCALE 1/4"=1'-0"

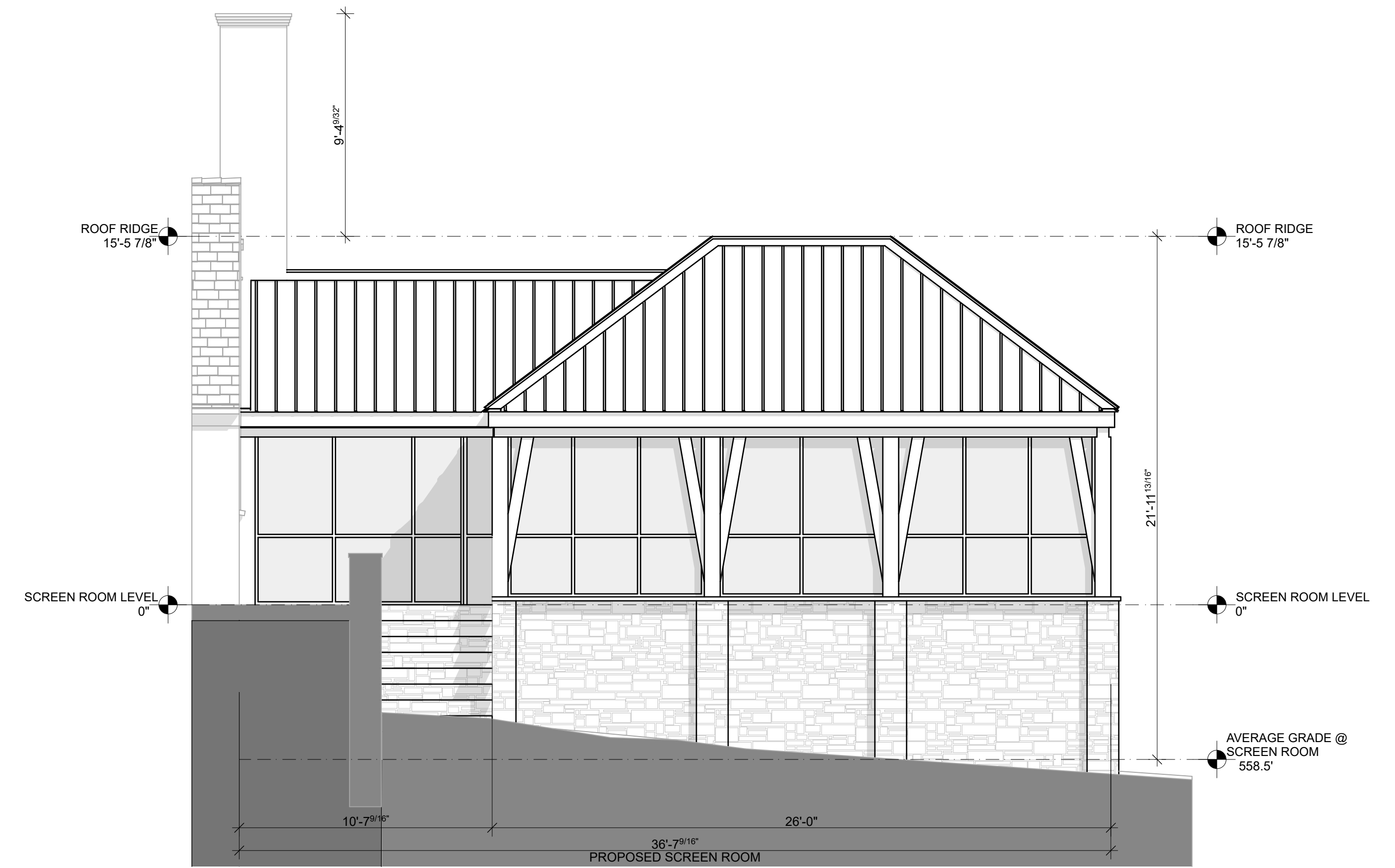
Garage  
Elevations

**E.3**





1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"









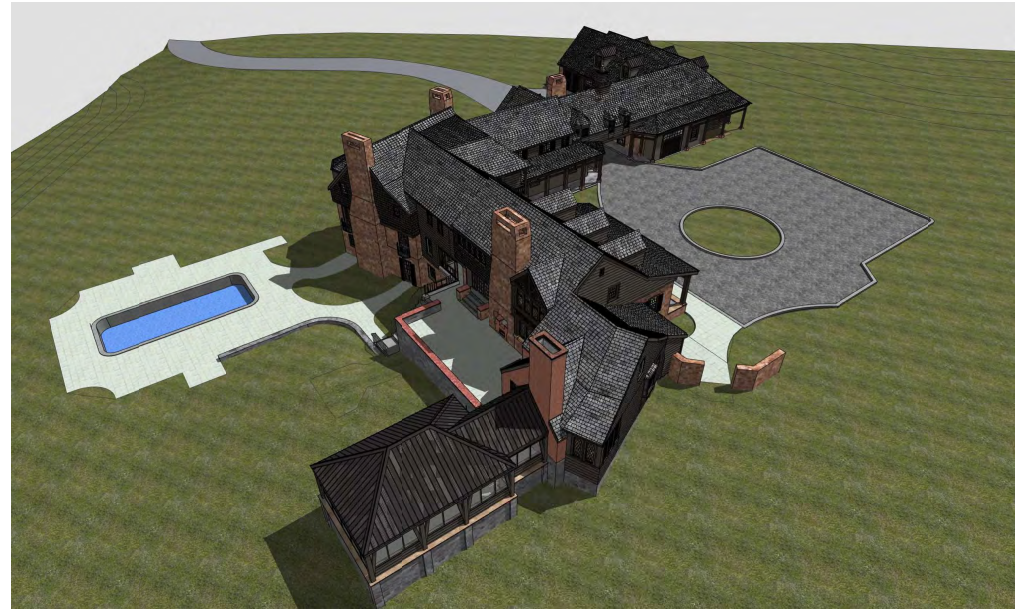








SITE PERSPECTIVE - 1



SITE PERSPECTIVE - 4



SITE PERSPECTIVE - 2



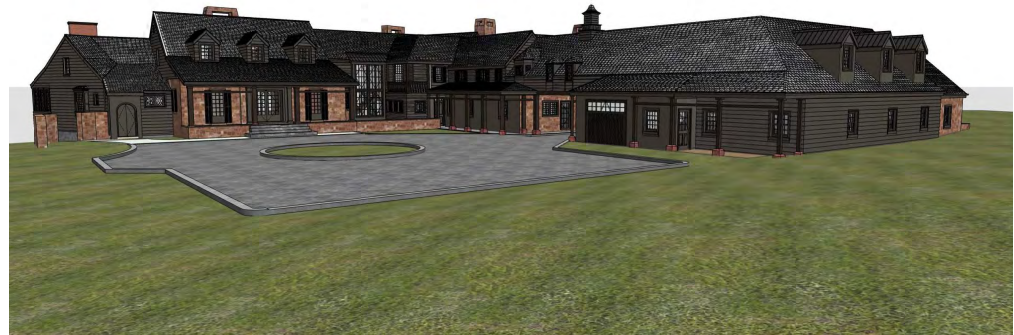
SITE PERSPECTIVE - 3

LARRABEE RESIDENCE  
192 Knickerbocker Road Pittsford NY 14534





GROUND PERSPECTIVE - 1



GROUND PERSPECTIVE - 2



IMAGE - 1



IMAGE - 2





GROUND PERSPECTIVE - 3



GROUND PERSPECTIVE - 4



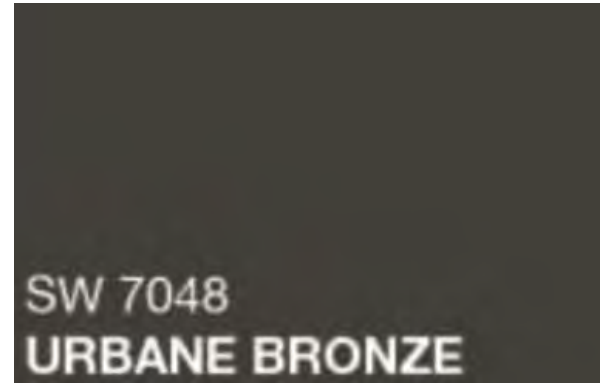
IMAGE - 3



IMAGE - 4



# Exterior Materials Palette



Paint Color –  
Trim & Siding

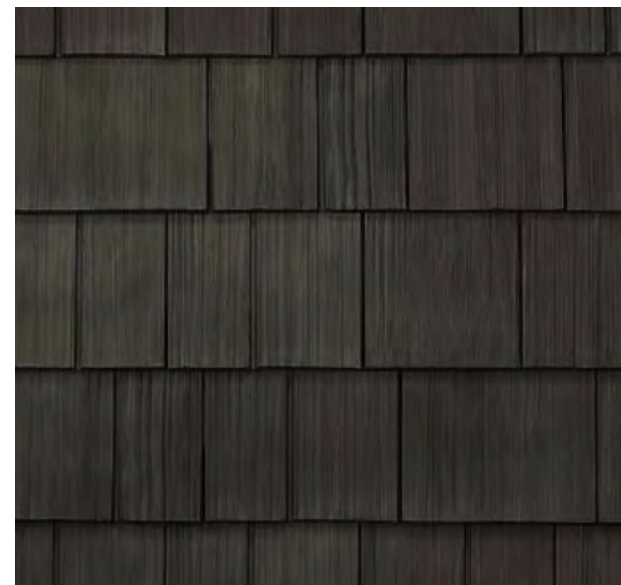


Slate Roof to  
match existing



Marvin Bronze  
Signature Ultimate  
&  
Bronze Hardware

Medina Stone



Cedar Shake  
Siding



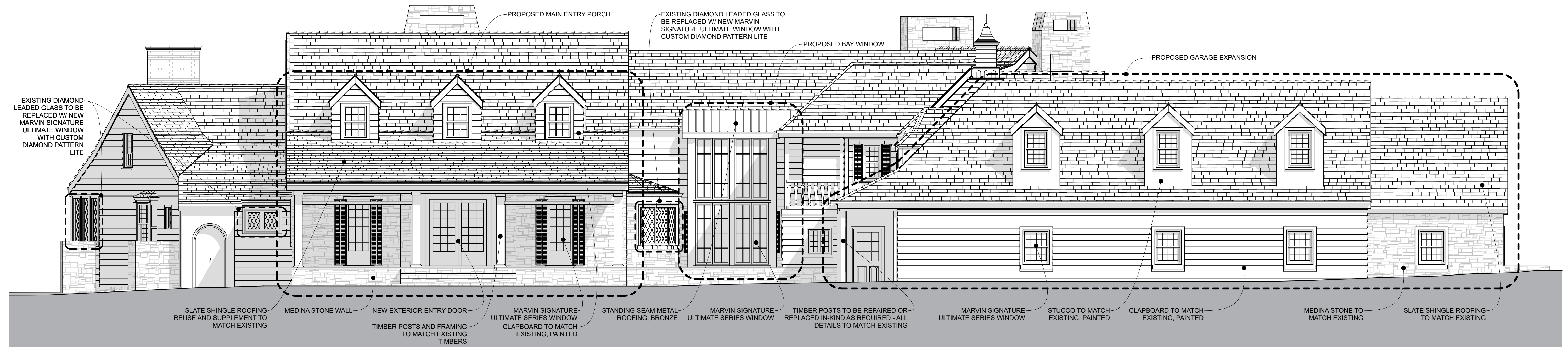
Copper Roof  
& Gutters

Larrabee Residence - 192 Knickerbocker



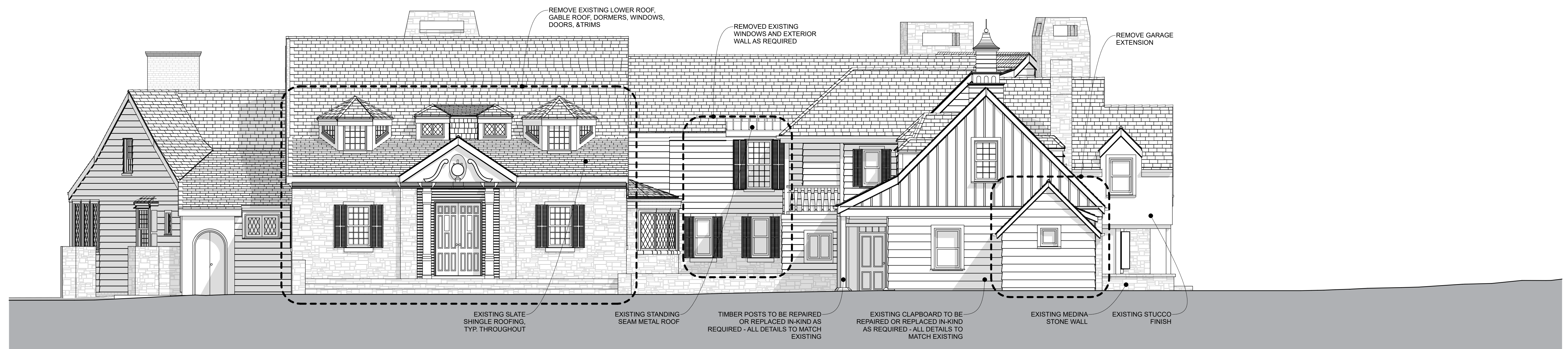
**GENERAL NOTES:**

- ALL EXISTING WINDOWS TO BE REPLACED IN KIND W/ MARVIN SIGNATURE ULTIMATE - WINDOW TYPES (OPERATION) & LITE PATTERNS TO MATCH EXISTING - UNLESS OTHERWISE NOTED
- EXISTING SIDING TO BE REPAIRED/REPLACED AS REQUIRED - PATTERNS, REVEALS, & EXPOSURE TO MATCH EXISTING - & PAINTED
- EXISTING EXTERIOR TRIMS & ASSOCIATED COMPONENTS TO BE REPAIRED/REPLACED IN-KIND & PAINTED
- EXISTING SLATE ROOFING TO REMAIN - UNLESS OTHERWISE NOTED
- EXISTING EXTERIOR STONEMWORK & CHIMNEYS TO REMAIN - UNLESS OTHERWISE NOTED



**PROPOSED NORTH ELEVATION**

SCALE: 3/16" = 1'-0"



**EXISTING NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

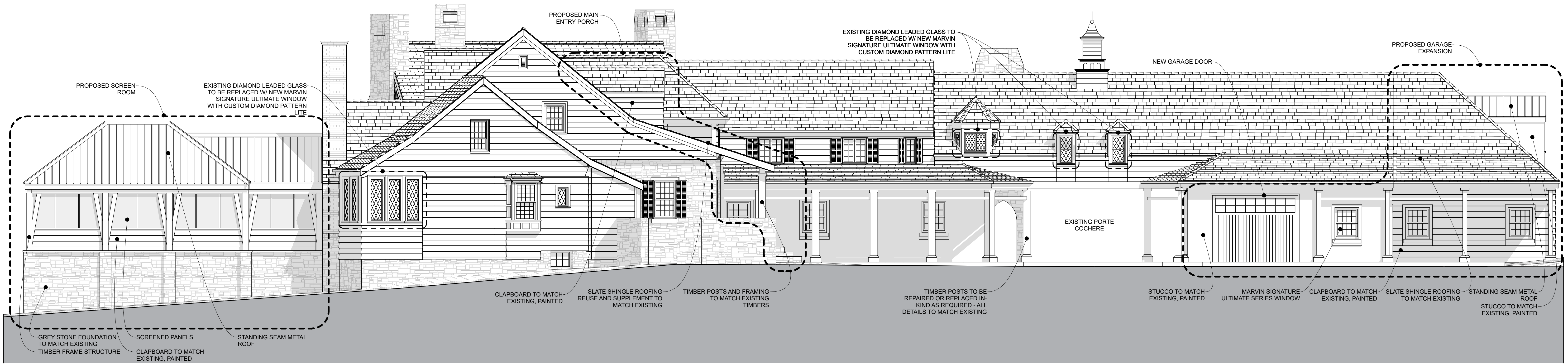
**LARRABEE RESIDENCE**

192 Knickerbocker Road Pittsford NY 14534



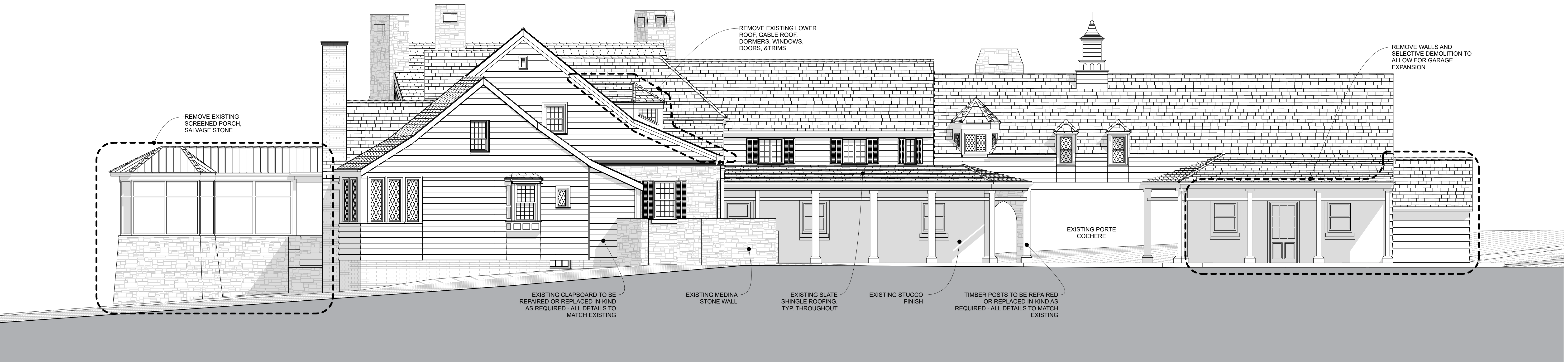
**GENERAL NOTES:**

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- EXISTING SLATE ROOFING TO REMAIN - UNLESS OTHERWISE NOTED
- EXISTING EXTERIOR STONEMWORK & CHIMNEYS TO REMAIN - UNLESS OTHERWISE NOTED



**PROPOSED WEST ELEVATION**

SCALE: 3/16" = 1'-0"



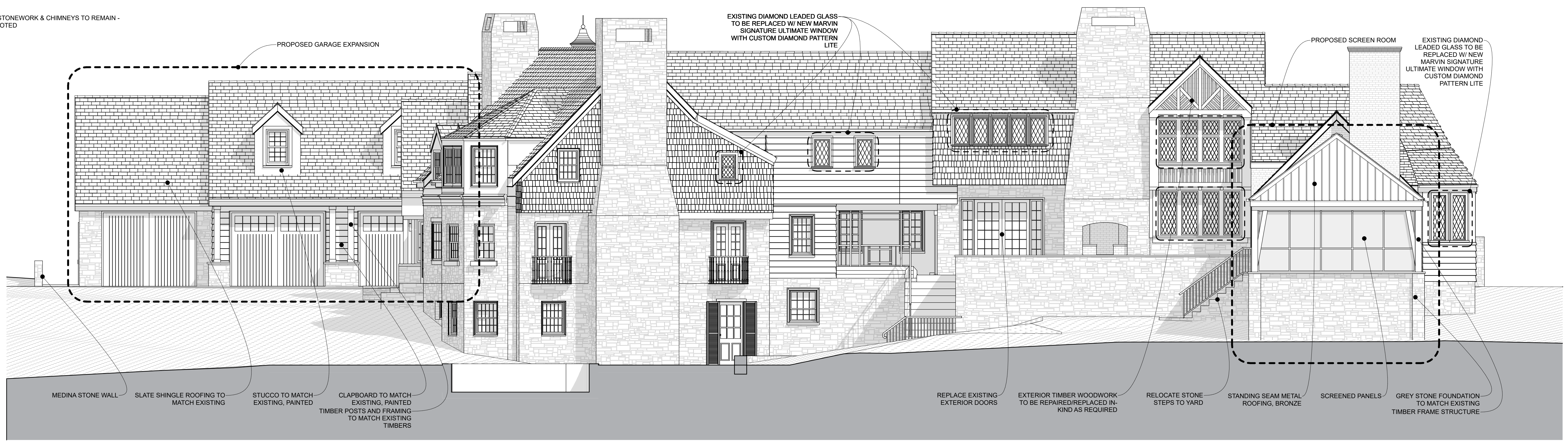
**EXISTING WEST ELEVATION**

SCALE: 3/16" = 1'-0"



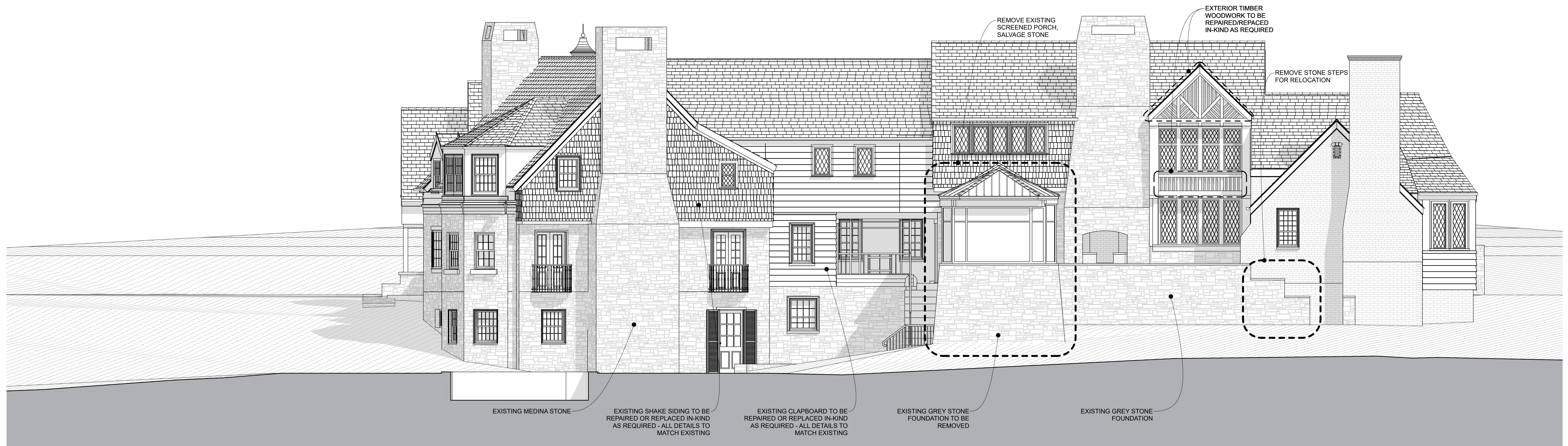
**GENERAL NOTES:**

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- EXISTING EXTERIOR TRIMS & ASSOCIATED COMPONENTS TO BE REPAIRED/REPLACED IN-KIND & PAINTED
- EXISTING SLATE ROOFING TO REMAIN - UNLESS OTHERWISE NOTED
- EXISTING EXTERIOR STONEMWORK & CHIMNEYS TO REMAIN - UNLESS OTHERWISE NOTED



**PROPOSED SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"



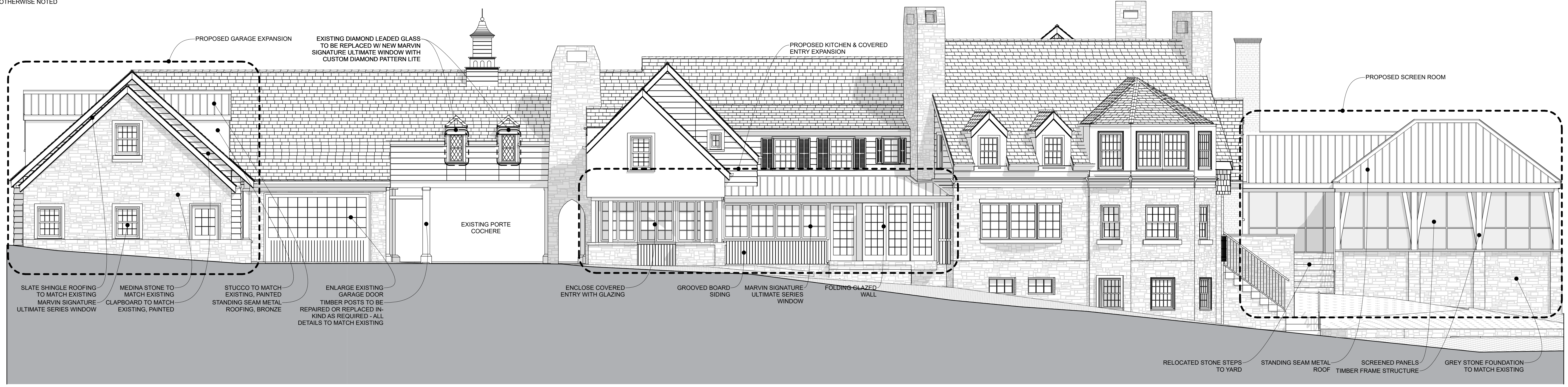
**EXISTING SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"



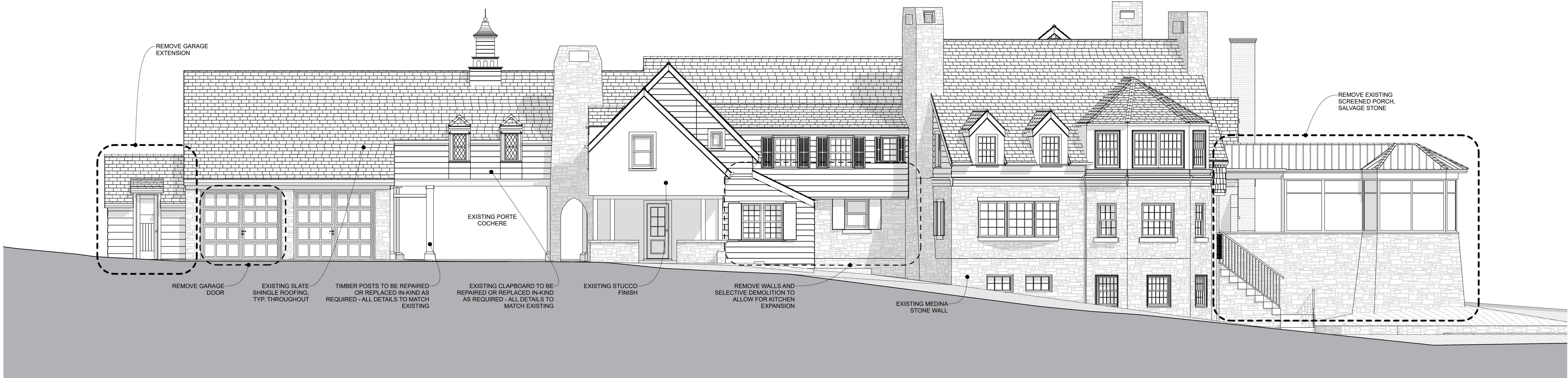
**GENERAL NOTES:**

- ALL EXISTING WINDOWS TO BE REPLACED IN KIND W/ MARVIN SIGNATURE ULTIMATE - WINDOW TYPES (OPERATION) & LITE PATTERNS TO MATCH EXISTING - UNLESS OTHERWISE NOTED
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- EXISTING EXTERIOR TRIMS & ASSOCIATED COMPONENTS TO BE REPAIRED/REPLACED IN-KIND & PAINTED
- EXISTING SLATE ROOFING TO REMAIN - UNLESS OTHERWISE NOTED
- EXISTING EXTERIOR STONEMWORK & CHIMNEYS TO REMAIN - UNLESS OTHERWISE NOTED



**PROPOSED EAST ELEVATION**

SCALE: 3/16" = 1'-0"



**EXISTING EAST ELEVATION**

SCALE: 3/16" = 1'-0"



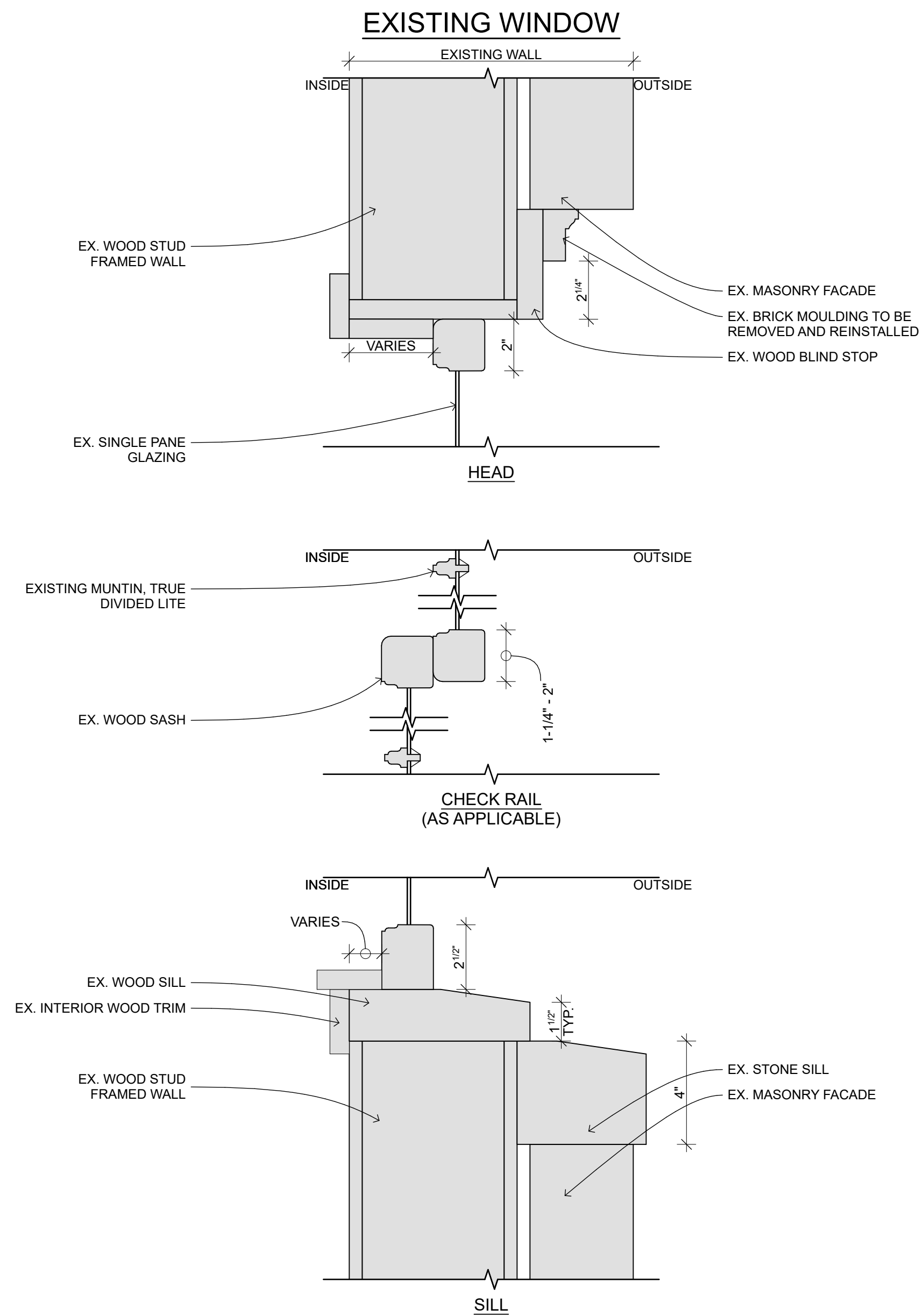




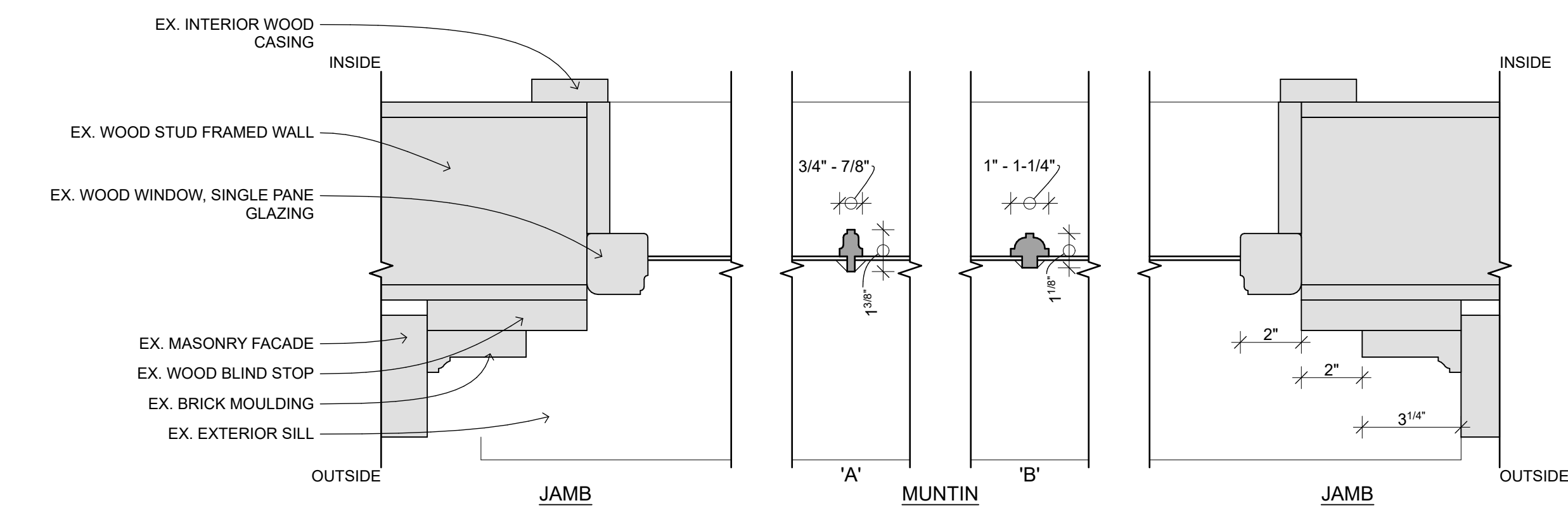
UNIT MARK	QUANTITY	WIDOW SIZE		TYPE	MATERIAL		LITE PATTERN		MUNTIN TYPE	REMARKS
		NOMINAL WIDTH	NOMINAL HEIGHT		INTERIOR	EXTERIOR	TOP SASH	BOTTOM SASH		
<b>Original Windows to be Replaced</b>										
EW-01	1	2'-9"	4'-8"	Single Hung	Wood	Wood	4/3	4/3	B	
EW-02	1	1'-9"	4'-2 <sup>1/2</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	A	
EW-03	1	1'-9"	4'-2 <sup>1/2</sup> "	Fixed	Wood	Wood	Diamond	N/A	A	
EW-04	1	1'-9"	4'-2 <sup>1/2</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	A	
EW-04	1	1'-11 <sup>1/2</sup> "	3'-6 <sup>1/2</sup> "	Single Hung	Wood	Wood	3/2	3/2	A	
EW-05	1	2'-8 <sup>3/4</sup> "	2'-11 <sup>3/4</sup> "	French Casement	Wood	Wood	2/4	2/4	A	
EW-06	1	2'-8 <sup>3/4</sup> "	2'-11 <sup>3/4</sup> "	French Casement	Wood	Wood	2/4	2/4	A	
EW-07	1	2'-8 <sup>3/4</sup> "	2'-11 <sup>3/4</sup> "	French Casement	Wood	Wood	2/4	2/4	A	
EW-08	1	2'-8 <sup>3/4</sup> "	2'-11 <sup>3/4</sup> "	French Casement	Wood	Wood	2/4	2/4	A	
EW-09	1	2'-7 <sup>3/4</sup> "	3'-7 <sup>1/4</sup> "	Single Hung	Wood	Wood	4/2	4/2	A	
EW-10	1	2'-7 <sup>3/4</sup> "	3'-7 <sup>1/4</sup> "	Single Hung	Wood	Wood	4/2	4/2	A	
EW-11	1	2'-7 <sup>3/4</sup> "	3'-7 <sup>1/4</sup> "	Single Hung	Wood	Wood	4/2	4/2	A	
EW-12	1	5'-1 <sup>1/2</sup> "	4'-0 <sup>1/2</sup> "	Fixed	Wood	Wood	7/4	N/A	B	
EW-12a	1	2'-5 <sup>1/4</sup> "	4'-0 <sup>1/2</sup> "	Fixed	Wood	Wood	3/4	N/A	B	
EW-12b	1	2'-5 <sup>1/4</sup> "	4'-0 <sup>1/2</sup> "	Fixed	Wood	Wood	3/4	N/A	B	
EW-13	1	2'-7 <sup>1/2</sup> "	4'-5"	Single Hung	Wood	Wood	3/2	3/2	A	
EW-14	1	4'-2"	4'-5"	Single Hung	Wood	Wood	5/2	5/2	A	
EW-15	1	2'-7 <sup>1/2</sup> "	4'-5"	Single Hung	Wood	Wood	4/4	4/4	A	
EW-16	1	2'-6 <sup>1/4</sup> "	3'-11"	Oriel	Wood	Wood	4/3	4/2	B	
EW-17	1	2'-3 <sup>3/4</sup> "	4'-5"	Oriel	Wood	Wood	3/3	3/2	A	
EW-18	1	2'-3 <sup>3/4</sup> "	4'-5"	Oriel	Wood	Wood	3/3	3/2	A	
EW-19	1	1'-5 <sup>1/2</sup> "	3'-0"	Single Hung	Wood	Wood	2/2	2/2	B	
EW-20a	1	2'-0"	5'-1 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-20b	1	2'-0"	5'-1 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-20c	1	2'-0"	5'-1 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-20d	1	2'-0"	5'-1 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-21	1	2'-2 <sup>1/4</sup> "	4'-4 <sup>3/4</sup> "	Oriel	Wood	Wood	3/3	3/2	A	
EW-22	1	2'-0 <sup>3/4</sup> "	5'-1 <sup>3/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-23	1	2'-0 <sup>3/4</sup> "	5'-1 <sup>3/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-24	1	2'-0 <sup>3/4</sup> "	5'-1 <sup>3/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-25	1	2'-0 <sup>3/4</sup> "	5'-1 <sup>3/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-26	1	2'-0 <sup>3/4</sup> "	5'-1 <sup>3/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-27	1	2'-9 <sup>3/4</sup> "	4'-4 <sup>1/2</sup> "	Oriel	Wood	Wood	4/3	4/2	A	
EW-28	1	1'-4 <sup>1/2</sup> "	2'-4 <sup>1/2</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	A	
EW-29a	1	1'-9 <sup>3/4</sup> "	2'-7 <sup>1/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	A	
EW-29b	1	1'-9 <sup>3/4</sup> "	2'-7 <sup>1/4</sup> "	Push Out Casement	Wood	Wood	Diamond	N/A	A	
EW-30	1	2'-9"	5'-2"	Single Hung	Wood	Wood	4/3	4/3	A	
EW-31	1	2'-9 <sup>3/4</sup> "	4'-5 <sup>1/4</sup> "	Oriel	Wood	Wood	4/3	4/2	A	
EW-34	1	1'-11 <sup>1/2</sup> "	3'-11 <sup>1/2</sup> "	Oriel	Wood	Wood	3/3	3/2	B	
EW-35	1	2'-8"	3'-2"	French Casement	Wood	Wood	4/2	N/A	A	
EW-36	1	2'-8"	3'-2"	French Casement	Wood	Wood	4/2	N/A	A	
EW-37	1	1'-4"	3'-2"	Push Out Casement	Wood	Wood	4/2	N/A	A	
EW-38	1	1'-4 <sup>1/2</sup> "	1'-9"	Fixed	Wood	Wood	Diamond	N/A	Leaded	
EW-39	1	2'-4 <sup>1/8</sup> "	2'-5"	Fixed	Wood	Wood	4/4	4/4	A	
EW-40	1	1'-4 <sup>1/2</sup> "	1'-9"	Fixed	Wood	Wood	Diamond	N/A	Leaded	
EW-41	1	1'-8"	3'-4"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-42	1	1'-8"	3'-4"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-43	1	1'-8"	3'-4"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-44	1	1'-8"	3'-4"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-45	1	2'-7 <sup>3/4</sup> "	4'-0"	Single Hung	Wood	Wood	4/2	4/2	A	
EW-46	1	2'-7 <sup>3/4</sup> "	4'-0"	Single Hung	Wood	Wood	4/2	4/2	A	
EW-47	1	1'-2 <sup>1/2</sup> "	2'-3"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-48	1	2'-7 <sup>3/4</sup> "	4'-0"	Single Hung	Wood	Wood	4/2	4/2	A	
EW-49	1	2'-7 <sup>3/4</sup> "	4'-0"	Single Hung	Wood	Wood	4/2	4/2	A	
EW-50	1	1'-8 <sup>1/2</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-51	1	2'-0"	4'-0"	Oriel	Wood	Wood	3/3	3/2	B	
EW-52	1	2'-9 <sup>3/4</sup> "	4'-0"	Single Hung	Wood	Wood	4/2	4/2	A	
EW-53	1	2'-9 <sup>3/4</sup> "	4'-0"	Single Hung	Wood	Wood	4/2	4/2	A	
EW-59	1	2'-9 <sup>1/2</sup> "	3'-1"	French Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-60	1	1'-8 <sup>1/2</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-61	1	1'-8 <sup>1/2</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-62	1	1'-8 <sup>3/4</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-63	1	1'-8 <sup>3/4</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-64	1	1'-8 <sup>3/4</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-65	1	1'-8 <sup>3/4</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-66	1	1'-8 <sup>3/4</sup> "	3'-1"	Push Out Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67a	1	2'-0"	2'-8 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67b	1	2'-0"	2'-8 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67c	1	2'-0"	2'-8 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67d	1	2'-0"	2'-8 <sup>3/4</sup> "	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67e	1	2'-0"	1'-10"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67f	1	2'-0"	1'-10"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67g	1	2'-0"	1'-10"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-67h	1	2'-0"	1'-10"	Casement	Wood	Wood	Diamond	N/A	Leaded	
EW-68	1	2'-1 <sup>1/2</sup> "	3'-8"	Single Hung	Wood	Wood	3/2	3/2	A	
EW-70	1	2'-9 <sup>1/2</sup> "	1'-11 <sup>1/2</sup> "	Fixed	Metal	Metal	3/1	N/A	N/A	
EW-71	1	2'-6 <sup>1/2</sup> "	3'-11 <sup>1/2</sup> "	Oriel	Wood	Wood	3/3	3/2	B	

UNIT MARK	QUANTITY	WIDOW SIZE		TYPE	MATERIAL		LITE PATTERN		MUNTIN TYPE	REMARKS
		NOMINAL WIDTH	NOMINAL HEIGHT		INTERIOR	EXTERIOR	TOP SASH	BOTTOM SASH		
EW-72	1	2'-6"	3'-7"	Single Hung	Wood	Wood	3/2	3/2	A	
EW-73	1	2'-6"	3'-7"	Single Hung	Wood	Wood	3/2	3/2	A	
EW-74	1	2'-6"	3'-7"	Single Hung	Wood	Wood	3/2	3/2	A	
EW-75	1	2'-6"	3'-7"	Single Hung	Wood	Wood	3/2	3/2	A	
EW-76	1	2'-3 <sup>1/2</sup> "	1'-10"	Push Out Casement	Wood	Wood	3/2	N/A	A	
EW-77	1	2'-3 <sup>1/2</sup> "	1'-10"	Push Out Casement	Wood	Wood	3/2	N/A	A	
EW-79	1	1'-6"	2'-7"	Fixed	Wood	Wood	4/4	4/4	A	
EW-80	1	1'-3 <sup>1/2</sup> "	2'-2"	Casement	Wood	Wood	Diamond	N/A	Leaded	
<b>Proposed Additional Windows</b>										
W-01	1	2'-9"	7'-0"	Fixed	Wood	Aluminum	6/3	N/A	N/A	
W-02	1	2'-9"	7'-0"	Fixed	Wood	Aluminum	6/3	N/A	N/A	
W-03	1	3'-10"	6'-9"	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-04	1	3'-10"	6'-9"	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-05	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-06	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-07	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-08	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-09	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-10	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-11	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-12	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-13	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-14	1	3'-0"	3'-9"	Double Hung	Wood	Aluminum	4/2	4/2	N/A	
W-16	1	1'-5 <sup>1/2</sup> "	4'-11 <sup>1/2</sup> "	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-17	1	4'-2"	4'-11 <sup>1/2</sup> "	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-18	1	4'-2"	4'-11 <sup>1/2</sup> "	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-19	1	4'-4 <sup>1/2</sup> "	4'-11 <sup>1/2</sup> "	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-20	1	1'-5 <sup>1/2</sup> "	4'-11 <sup>1/2</sup> "	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-21	1	12'-17 <sup>1/8</sup> "	4'-3"	Casement	Wood	Aluminum	3/3	N/A	N/A	
W-22	1	2'-8"	3'-8"	Casement	Wood	Aluminum	3/2	3/2	N/A	
W-23	1	2'-8"	3'-8"	Casement	Wood	Aluminum	3/2	3/2	N/A	
W-24	1	2'-8"	3'-8"	Casement	Wood	Aluminum	3/2	3/2	N/A	
W-25	1	3'-10"	6'-9"	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-26	1	3'-10"	6'-9"	Casement	Wood	Aluminum	4/2	N/A	N/A	
W-27	1	2'-8"	4'-0"	Double Hung	Wood	Aluminum	3/2	3/2	N/A	
W-28	1	2'-8"	4'-0"	Double Hung	Wood	Aluminum	3/2	3/2	N/A	
W-29	1	2'-8"	4'-0"	Double Hung	Wood	Aluminum	3/2	3/2	N/A	
W-30	1	2'-8"	4'-0"	Double Hung	Wood	Aluminum	3/2	3/2	N/A	
W-31	1	2'-8"	4'-0"	Double Hung	Wood	Aluminum	3/2	3/2	N/A	
<b>Windows Previously Replaced</b>										
DW-13	1	2'-4 <sup>1/2</sup> "	2'-7 <sup>3/4</sup> "	Awning	Vinyl	Vinyl	4/4	N/A	N/A	
DW-14	1	2'-4 <sup>1/2</sup> "	2'-7 <sup>3/4</sup> "	Awning	Vinyl	Vinyl	4/4	N/A	N/A	
DW-25	1	2'-1"	3'-6"	Push Out Casement	Wood	Wood	3/2	N/A	N/A	
EW-54	1	2'-7 <sup>1/2</sup> "	3'-9 <sup>3/4</sup> "	Double Hung	Wood	Vinyl	4/2	4/2	N/A	
EW-55	1	2'-7 <sup>1/2</sup> "	3'-9 <sup>3/4</sup> "	Double Hung	Wood	Vinyl	4/2	4/2	N/A	
EW-56	1	2'-7 <sup>1/2</sup> "	3'-9 <sup>3/4</sup> "	Double Hung	Wood	Vinyl	4/2	4/2	N/A	
EW-57	1	2'-7 <sup>1/2</sup> "	3'-9 <sup>3/4</sup> "	Double Hung	Wood	Vinyl	4/2	4/2	N/A	
EW-58	1	2'-4 <sup>1/4</sup> "	3'-9 <sup>1/4</sup> "	Fixed	Wood	Vinyl	4/2	4/2	N/A	
EW-69	1	2'-8"	3'-5 <sup>1/2</sup> "	Fixed	Wood	Wood	4/2	4/2	N/A	
EW-78	1	2'-11 <sup>3/4</sup> "	5'-3"	Fixed	Wood	Vinyl	3/2	3/2	N/A	
<b>Windows to be Removed</b>										
DW-01	1	2'-7 <sup>3/4</sup> "	3'-7 <sup>1/4</sup> "	Single Hung	Wood	Wood	4/2	4/2	A	
DW-02	1	1'-10 <sup>1/4</sup> "	3'-10"	Single Hung	Wood	Wood	3/3	3/2	B	
DW-03	1	5'-1"	4'-8 <sup>1/2</sup> "	Single Hung	Wood	Wood	3/2	3/2	A	
DW-04	1	2'-3"	4'-4 <sup>1/2</sup> "	Oriel	Wood	Wood	3/3	3/2	A	
DW-05	1	2'-3"	4'-4 <sup>1/2</sup> "	Oriel	Wood	Wood	3/3	3/2	A	
DW-06	1	2'-1 <sup>1/2</sup> "	3'-7 <sup>1/2</sup> "	Single Hung	Wood	Wood	3/2	3/2	A	
DW-06a	1	2'-1 <sup>1/2</sup> "	3'-7 <sup>1/2</sup> "	Single Hung	Wood	Wood	3/2	3/2	A	
DW-07	1	2'-1 <sup>1/2</sup> "	3'-7 <sup>1/2</sup> "	Single Hung	Wood	Wood	3/2	3/2	A	
DW-08	1	2'-1 <sup>1/2</sup> "	3'-7 <sup>1/2</sup> "	Single Hung	Wood</					

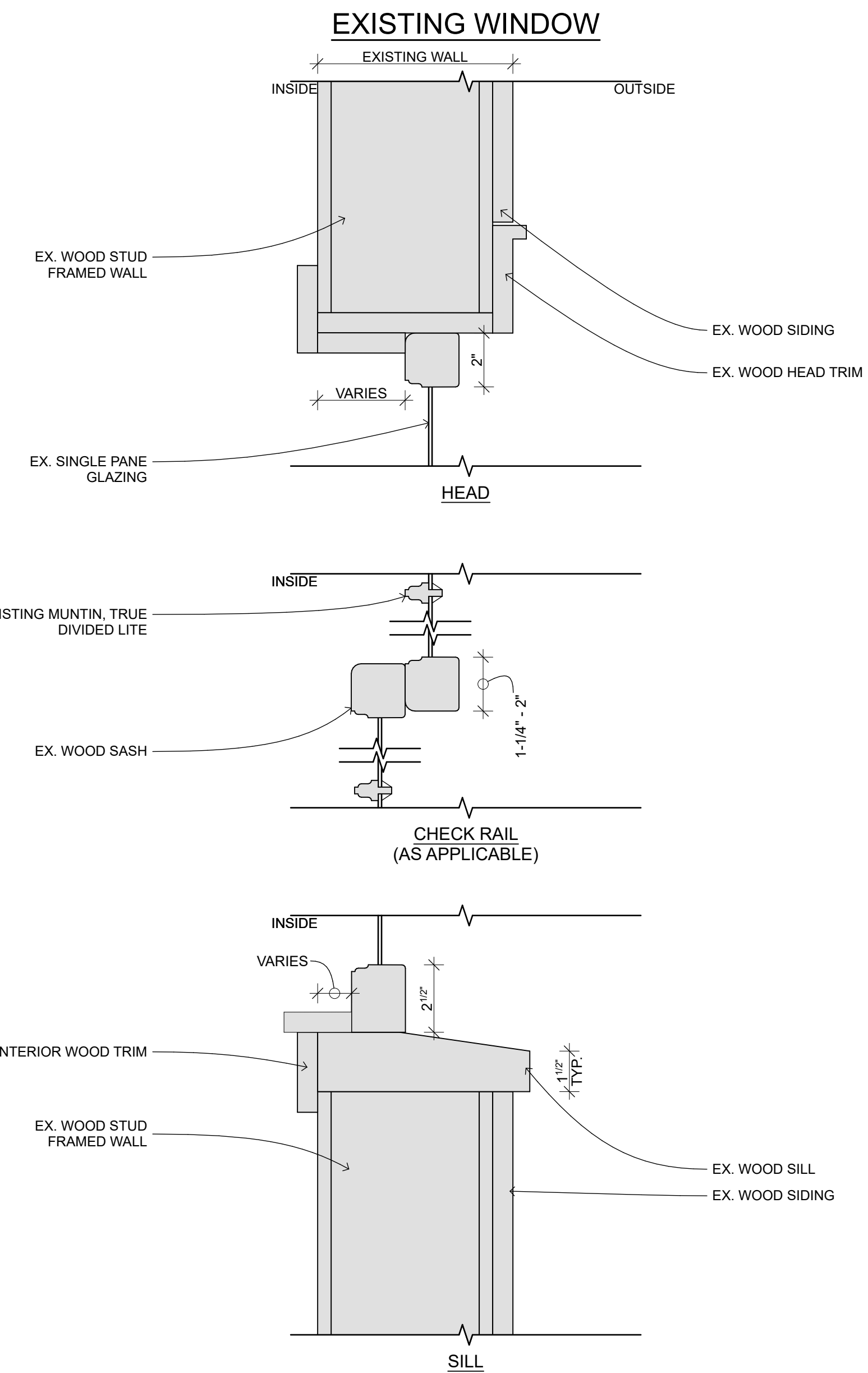




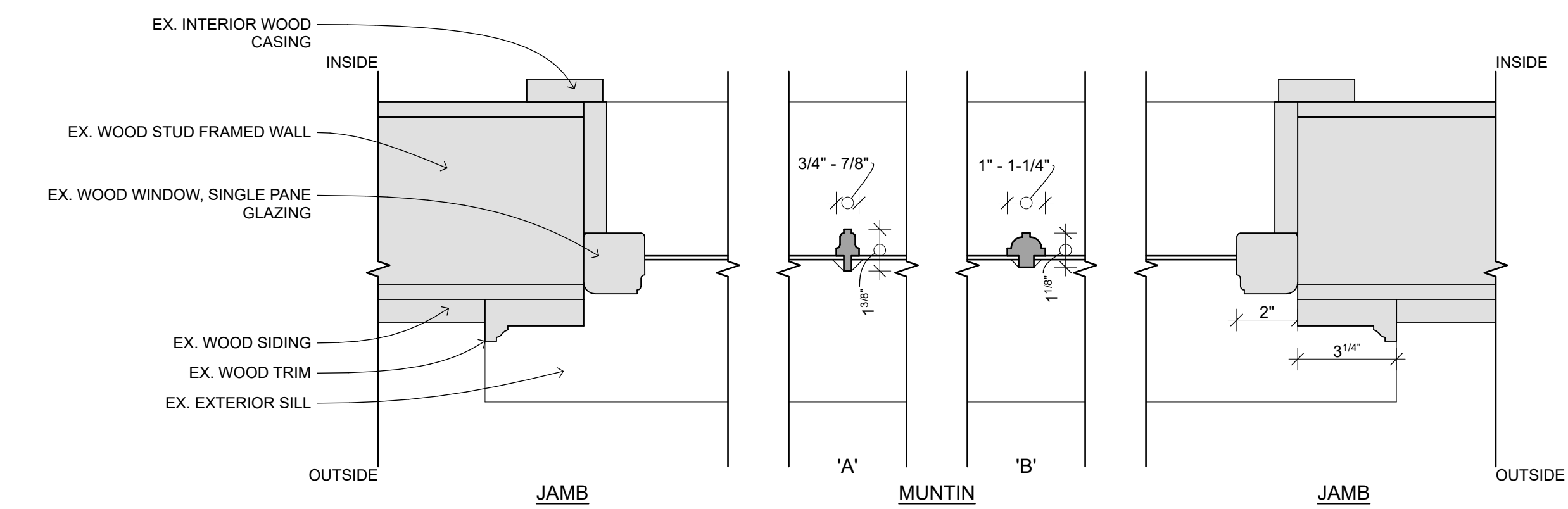
1 EXISTING WINDOW SECTION DETAIL (MASONRY)  
SCALE: 3" = 1'-0"



3 EXISTING JAMB DETAIL (MASONRY)  
SCALE: 3" = 1'-0"



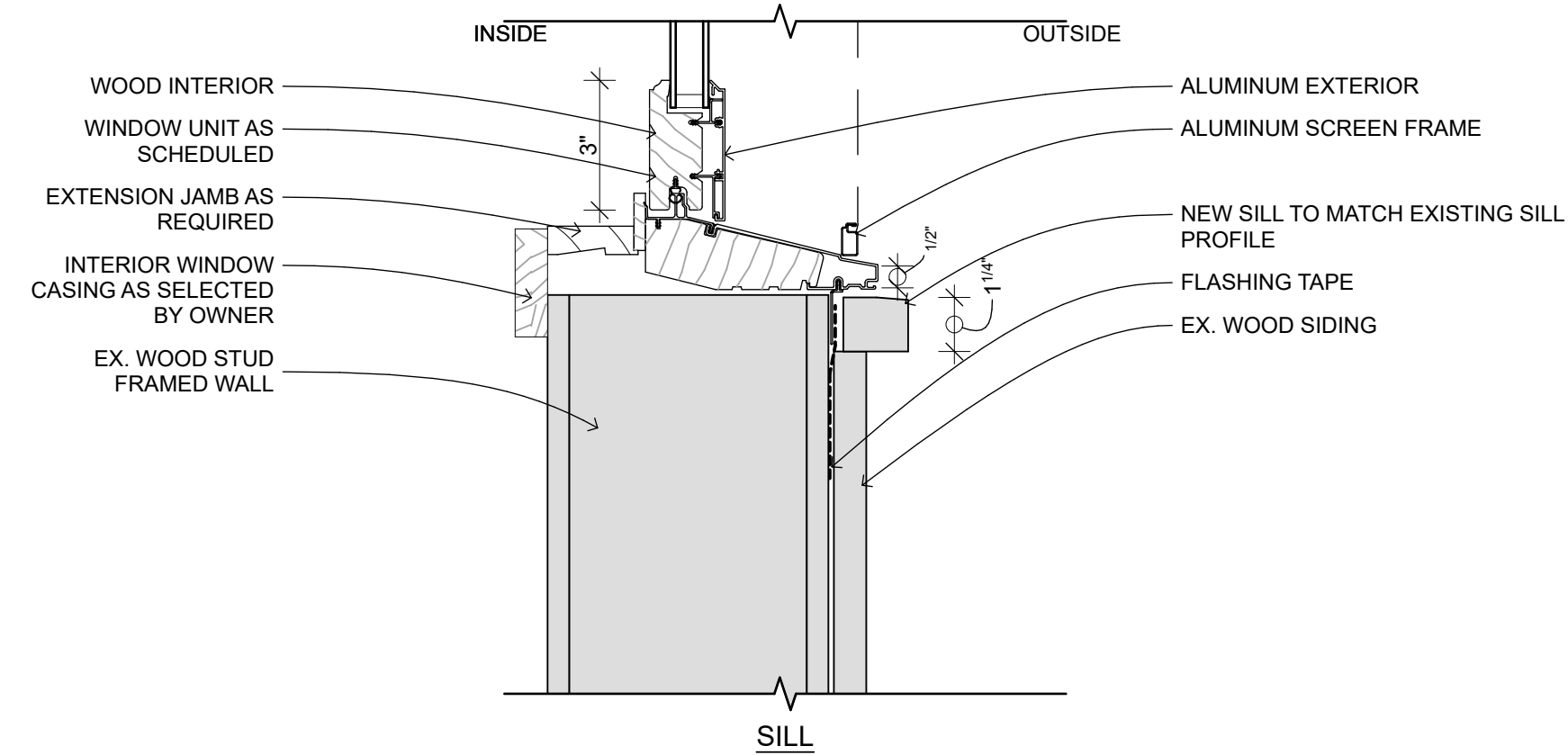
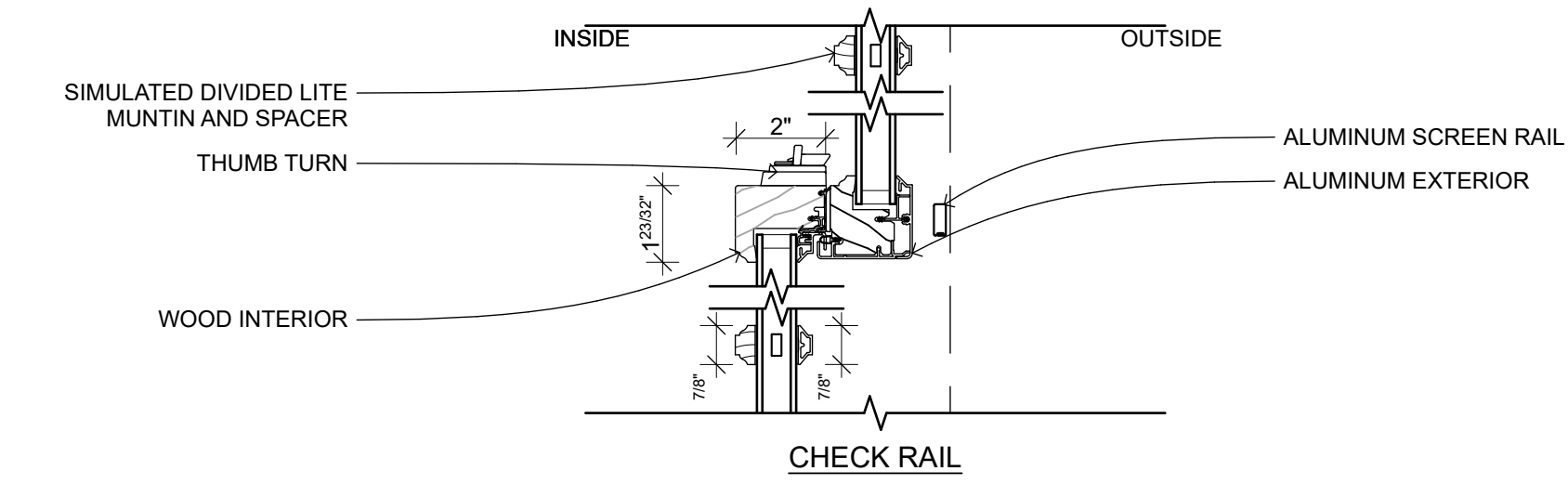
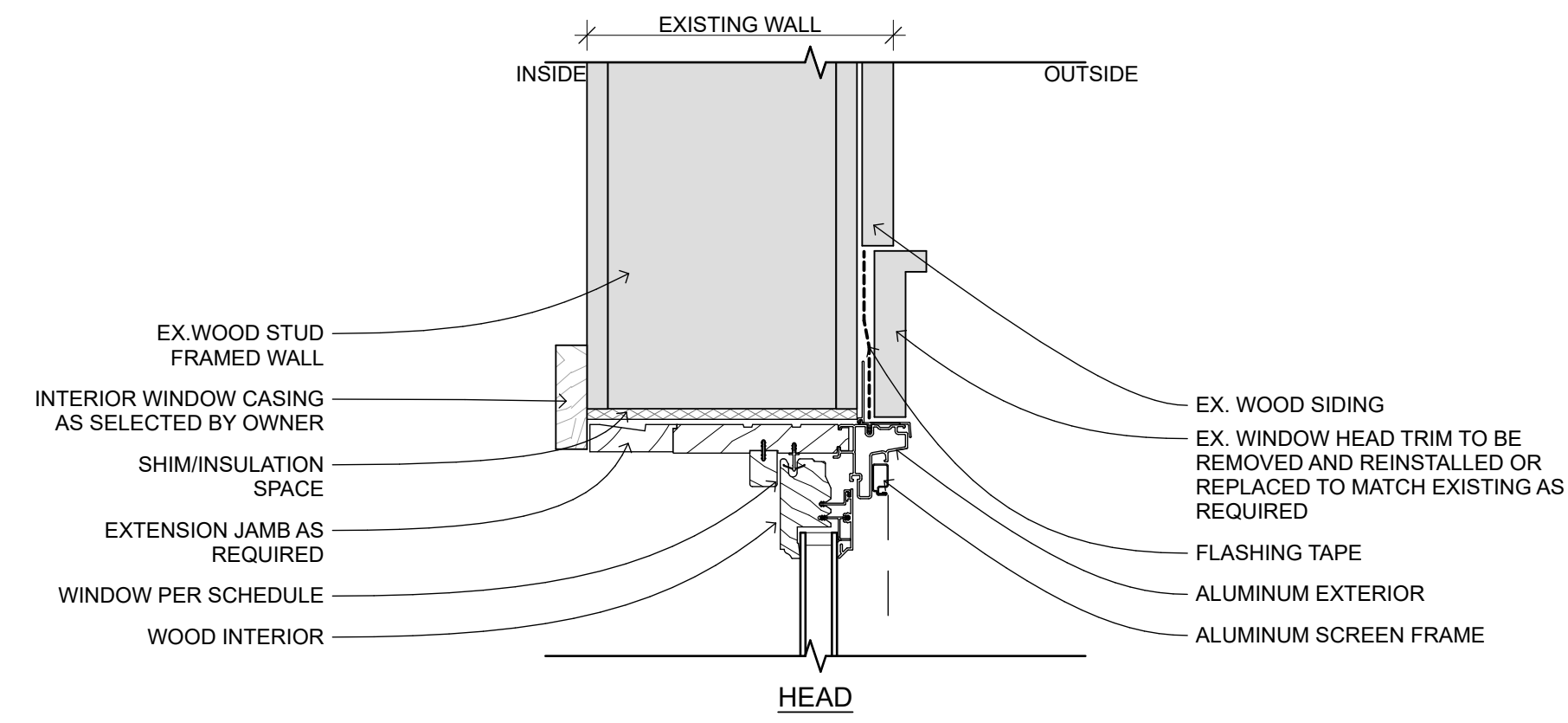
2 EXISTING WINDOW SECTION DETAIL (WOOD)  
SCALE: 3" = 1'-0"



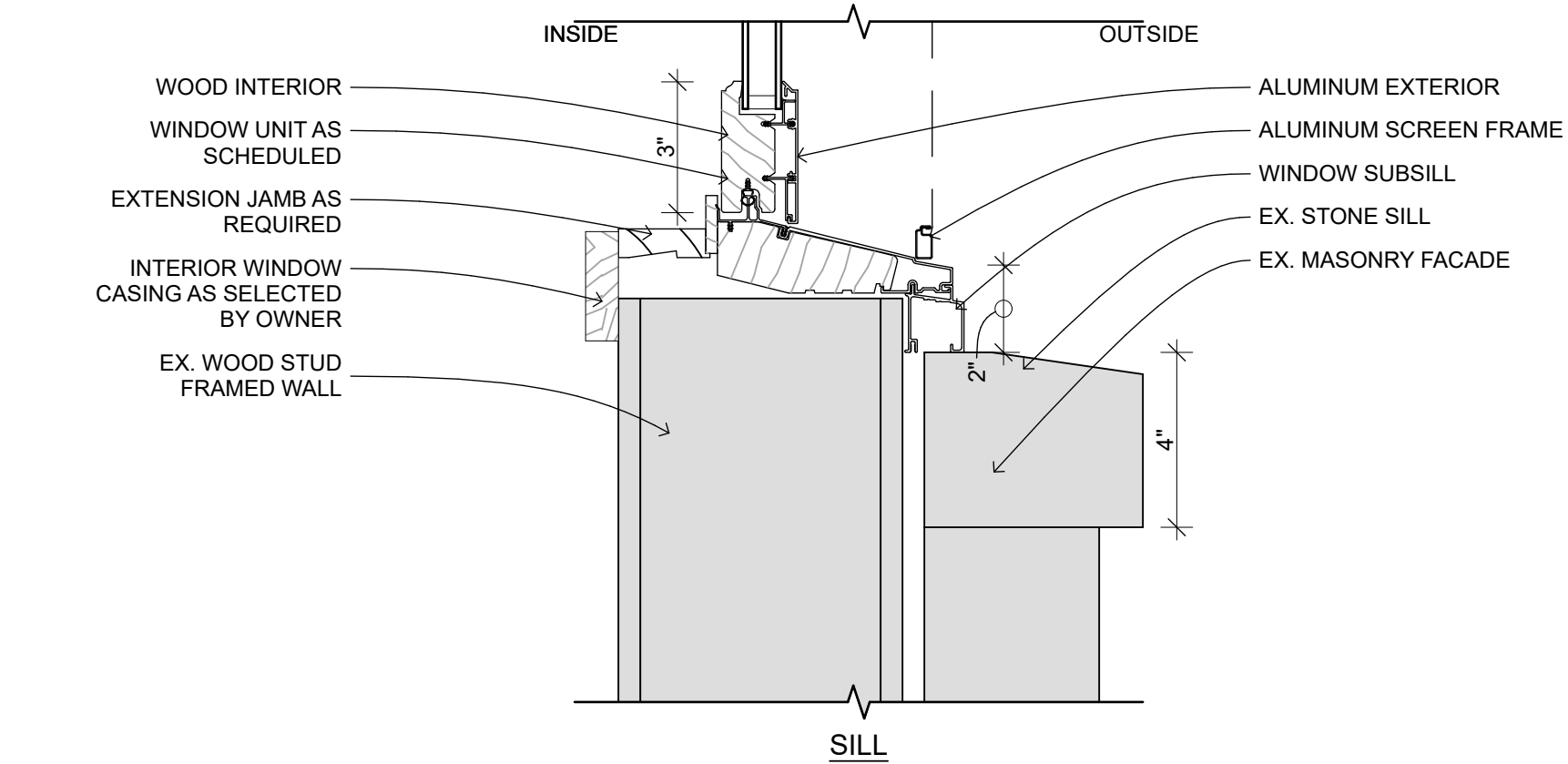
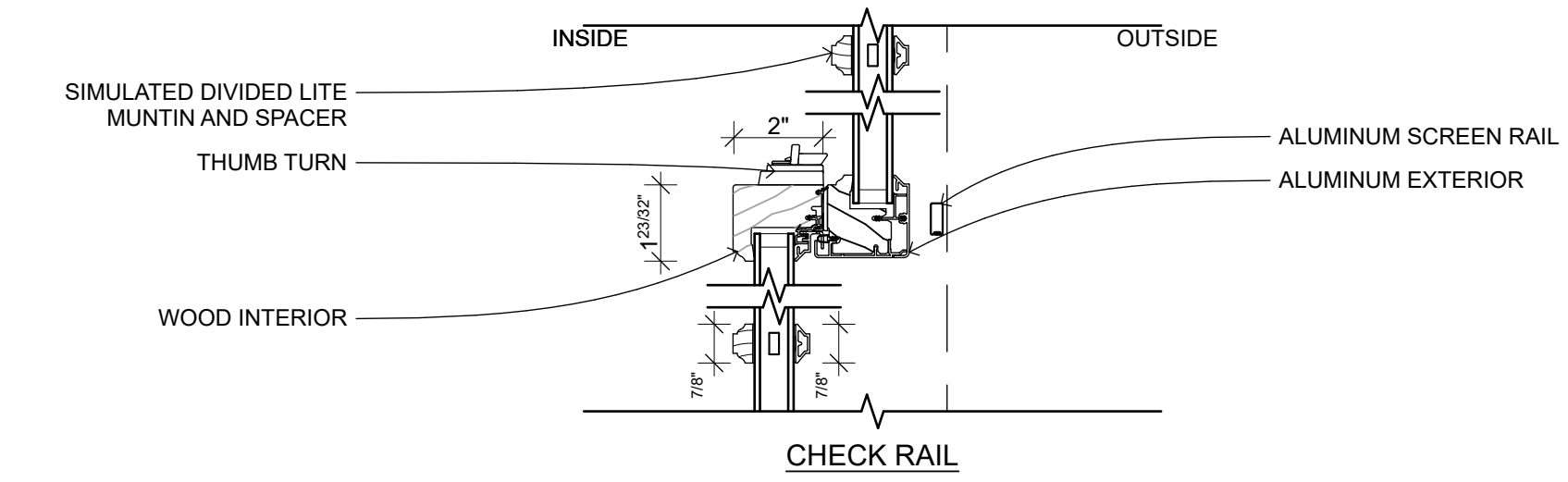
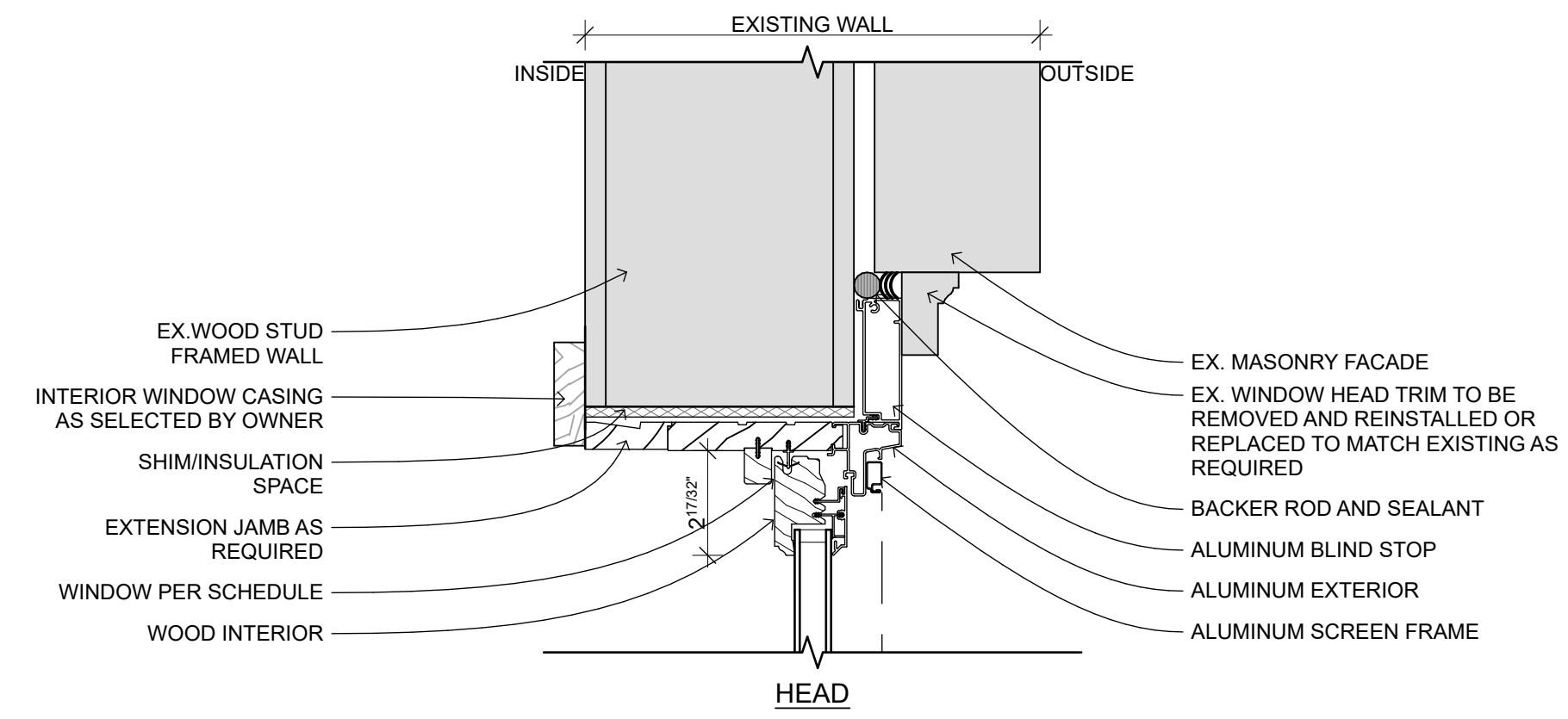
4 EXISTING JAMB DETAIL (WOOD)  
SCALE: 3" = 1'-0"



**SINGLE/DOUBLE HUNG  
MARVIN ULTIMATE G2**

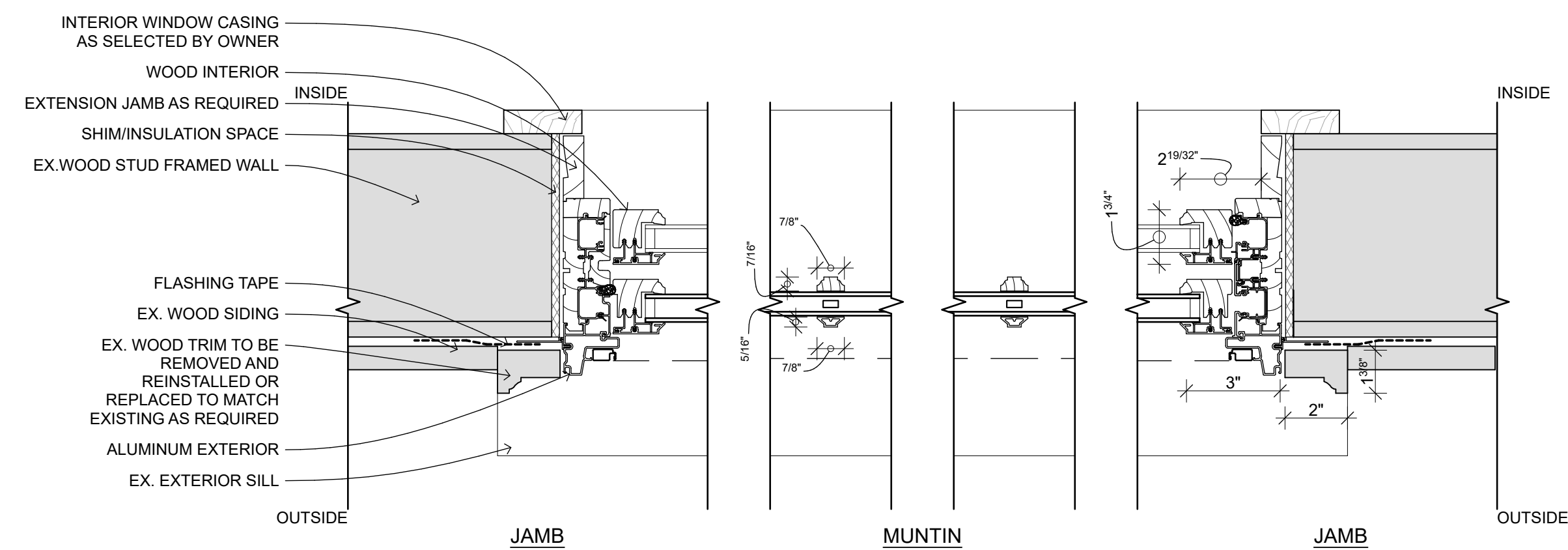


**SINGLE/DOUBLE HUNG  
MARVIN ULTIMATE G2**



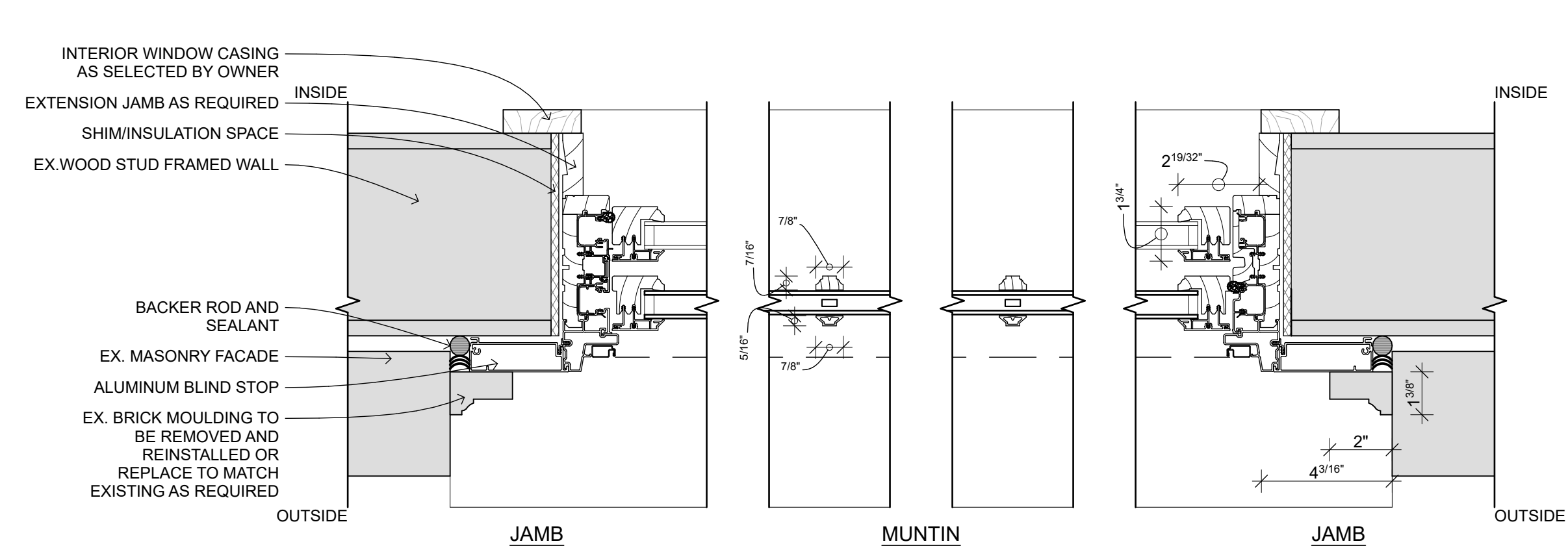
1 PROPOSED DOUBLE HUNG WINDOW SECTION DETAIL (WOOD)

SCALE: 3" = 1'-0"



3 PROPOSED DOUBLE HUNG WINDOW SECTION DETAIL (MASONRY)

SCALE: 3" = 1'-0"



2 PROPOSED DOUBLE HUNG WINDOW JAMB DETAIL (WOOD)

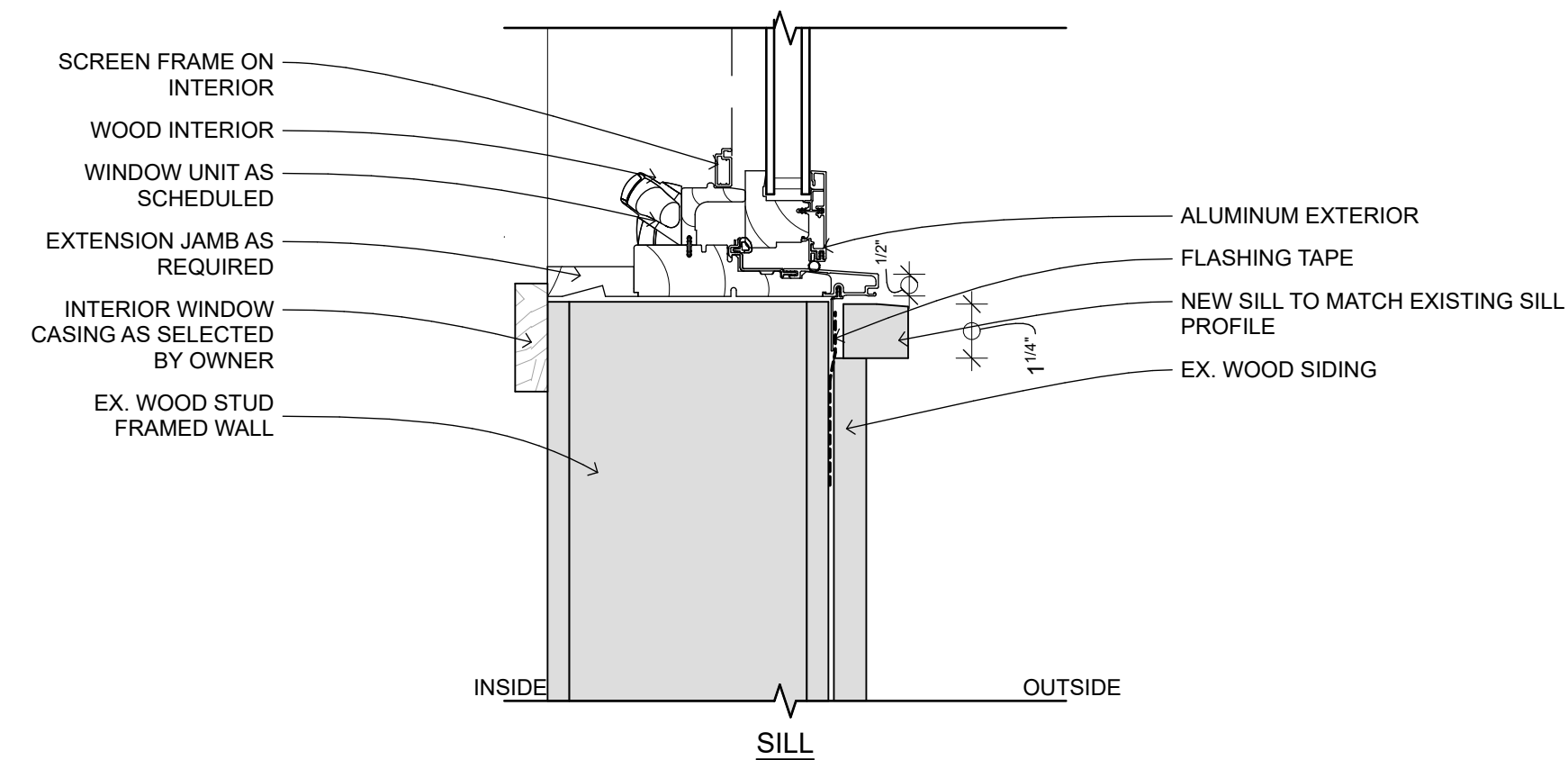
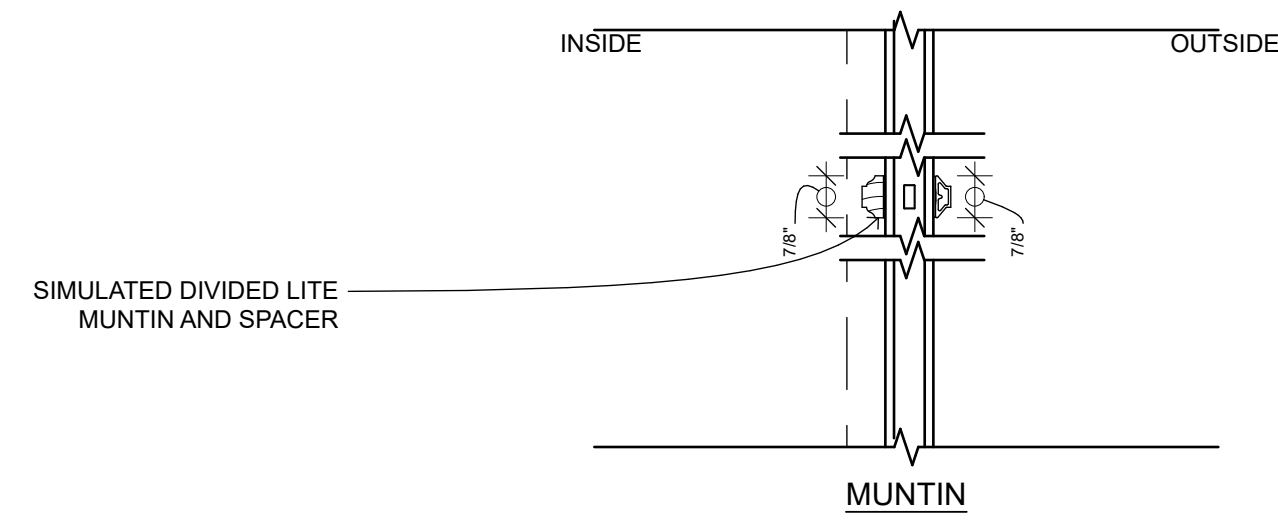
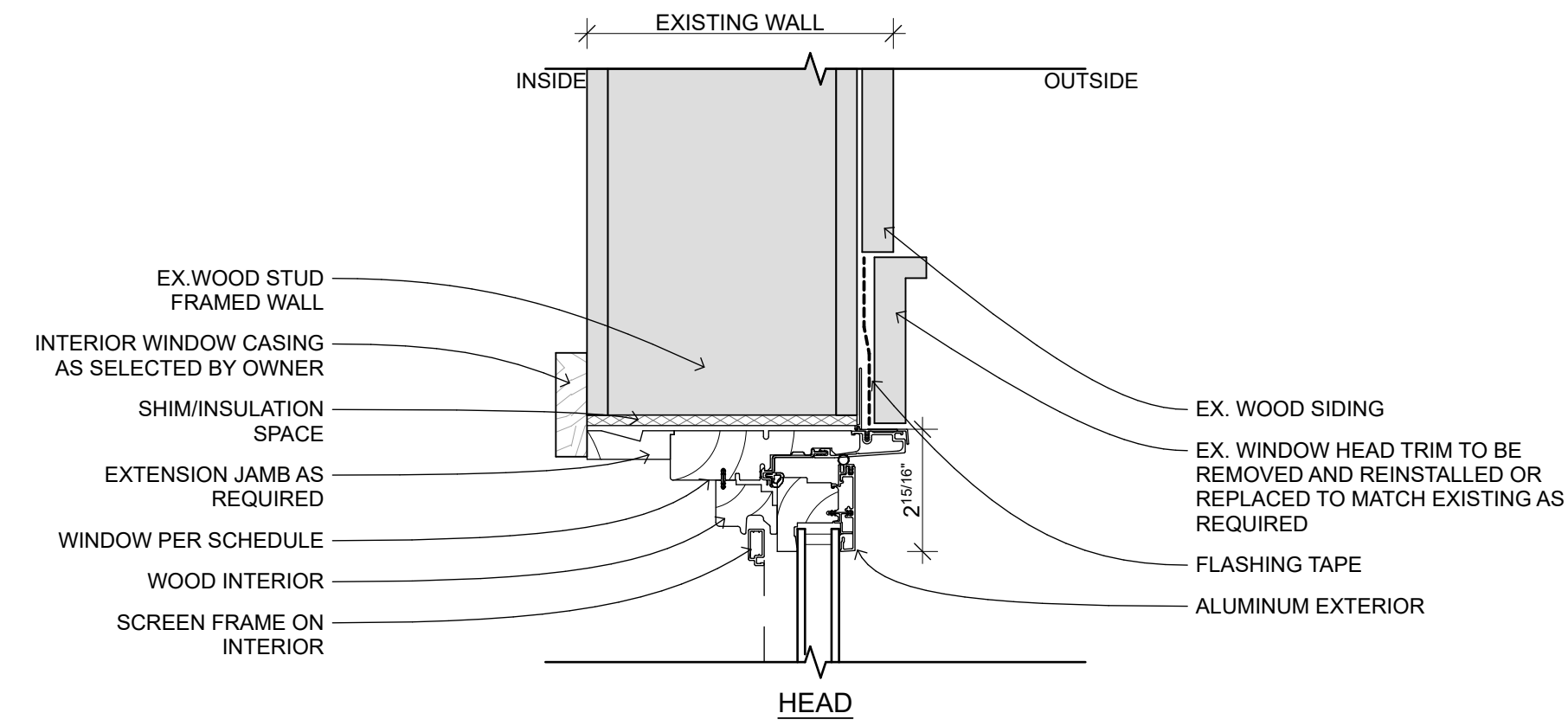
SCALE: 3" = 1'-0"

4 PROPOSED DOUBLE HUNG WINDOW JAMB DETAIL (MASONRY)

SCALE: 3" = 1'-0"

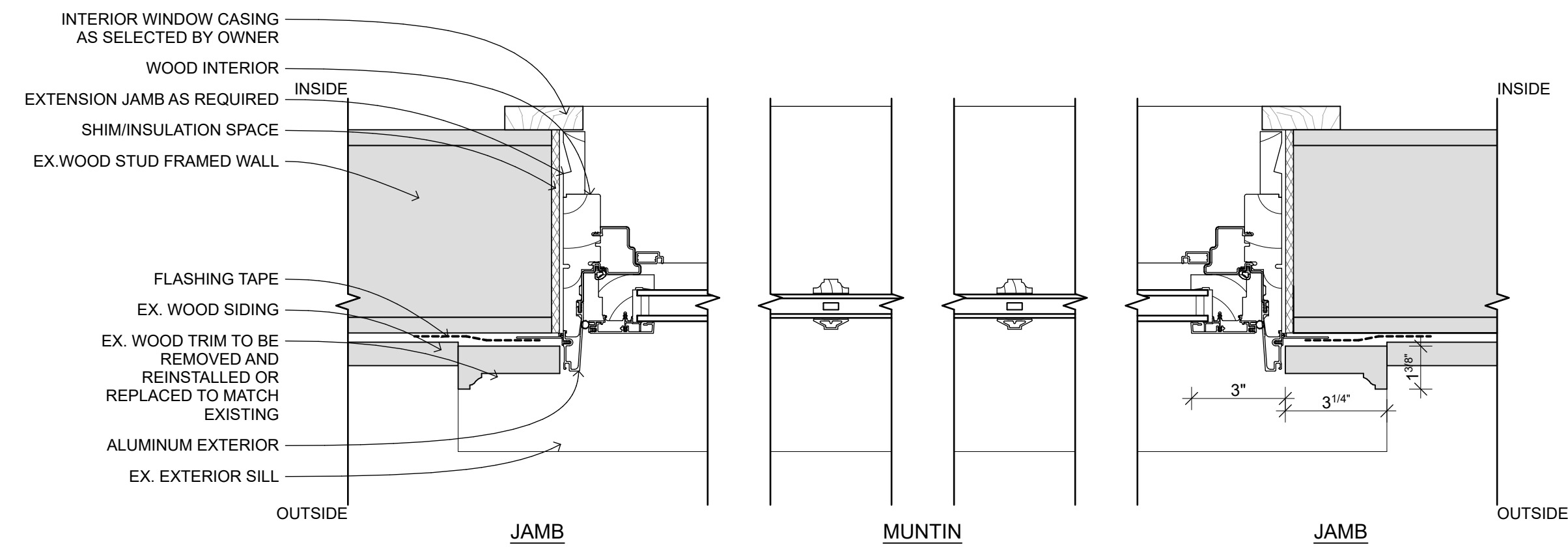


**CASEMENT  
MARVIN ULTIMATE**



1 PROPOSED CASEMENT WINDOW SECTION DETAIL (WOOD)

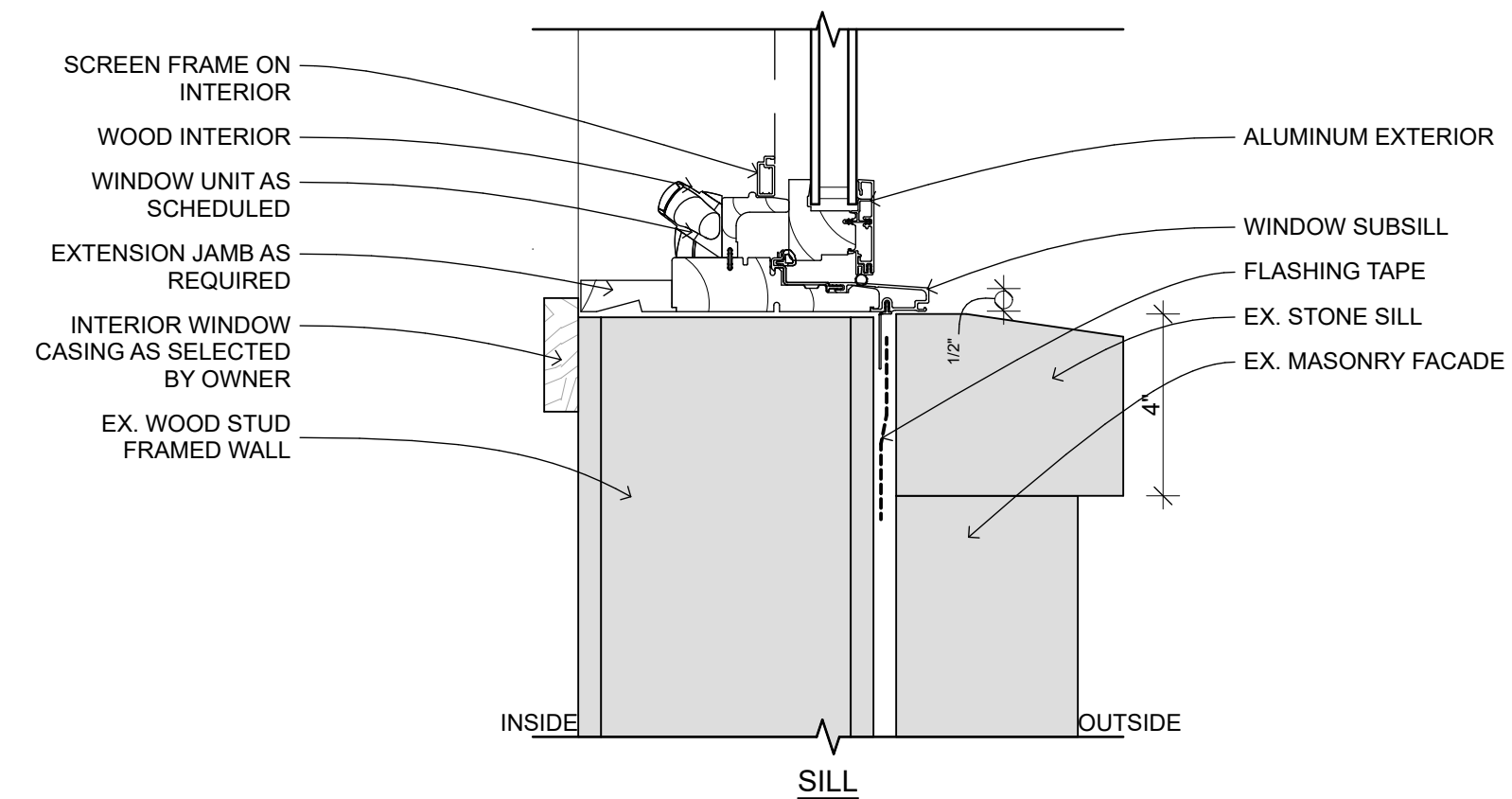
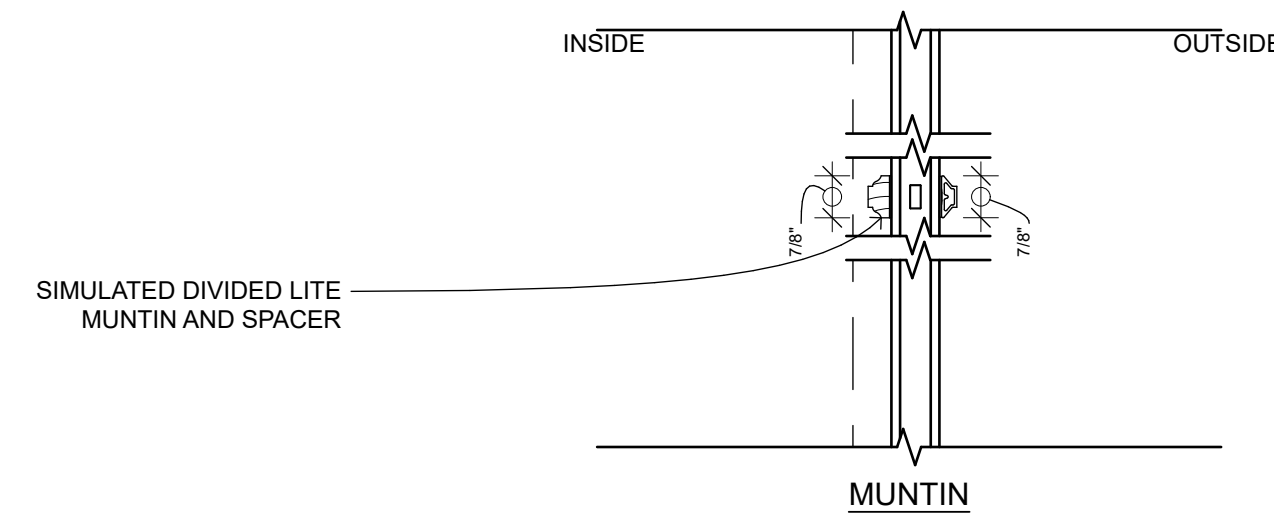
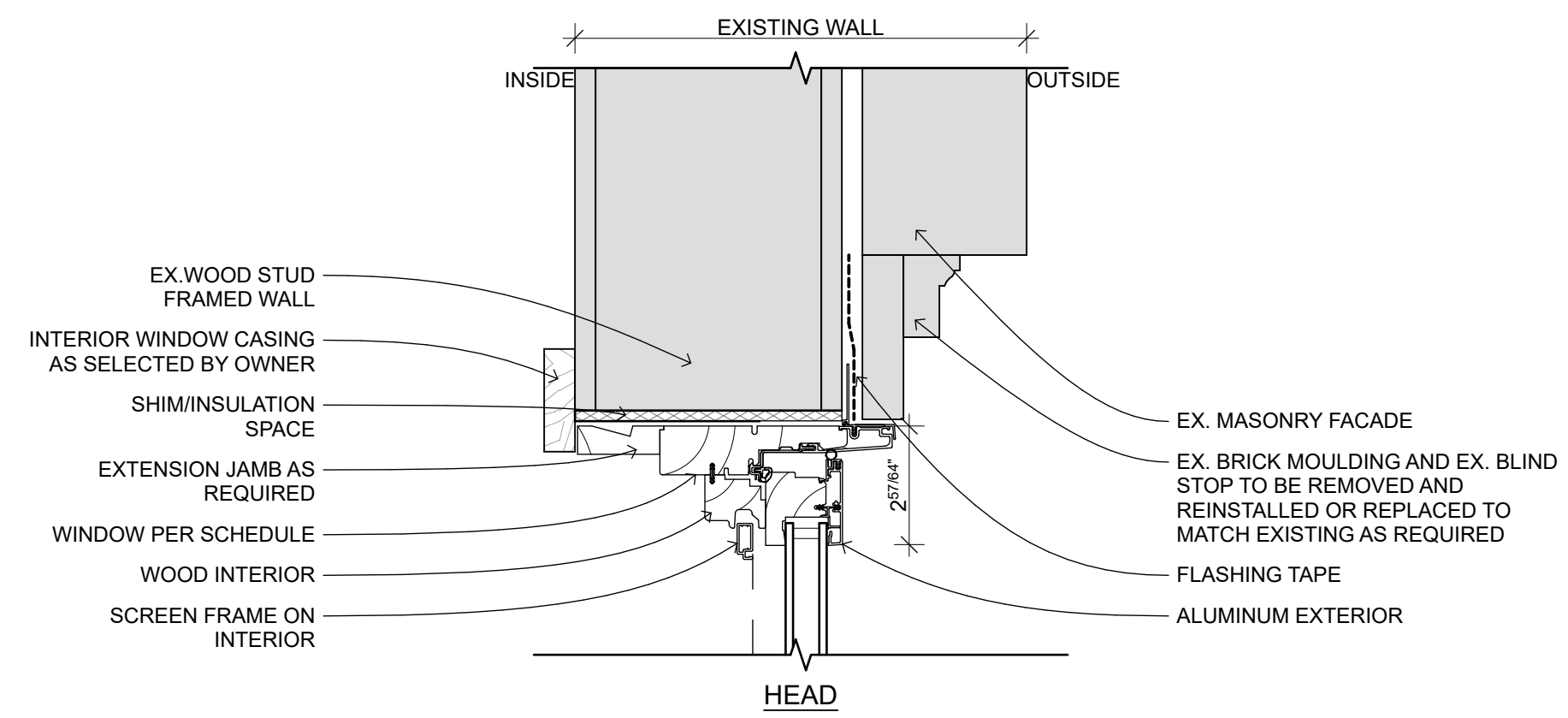
SCALE: 3" = 1'-0"



2 PROPOSED CASEMENT WINDOW JAMB DETAIL (WOOD)

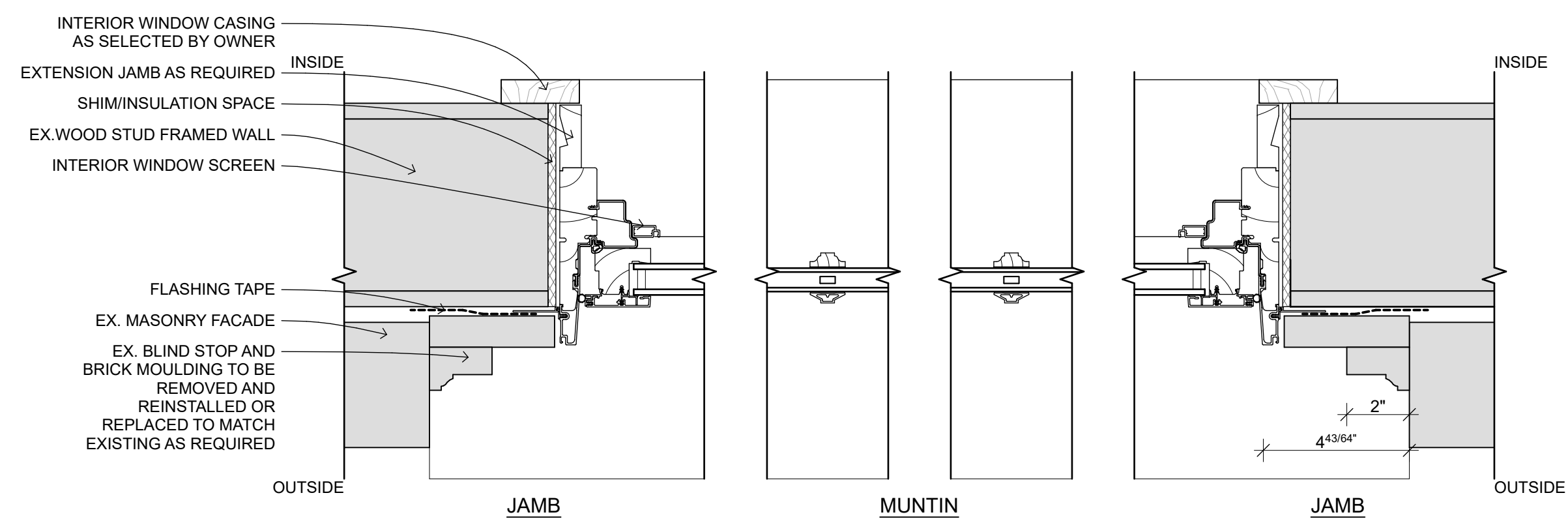
SCALE: 3" = 1'-0"

**CASEMENT  
MARVIN ULTIMATE**



3 PROPOSED CASEMENT WINDOW SECTION DETAIL (MASONRY)

SCALE: 3" = 1'-0"

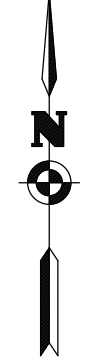
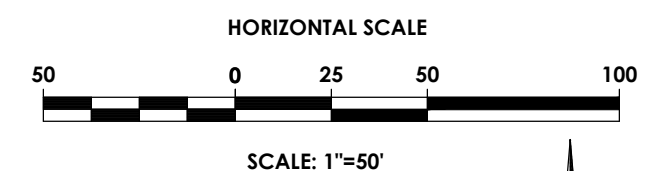


4 PROPOSED CASEMENT WINDOW JAMB DETAIL (MASONRY)

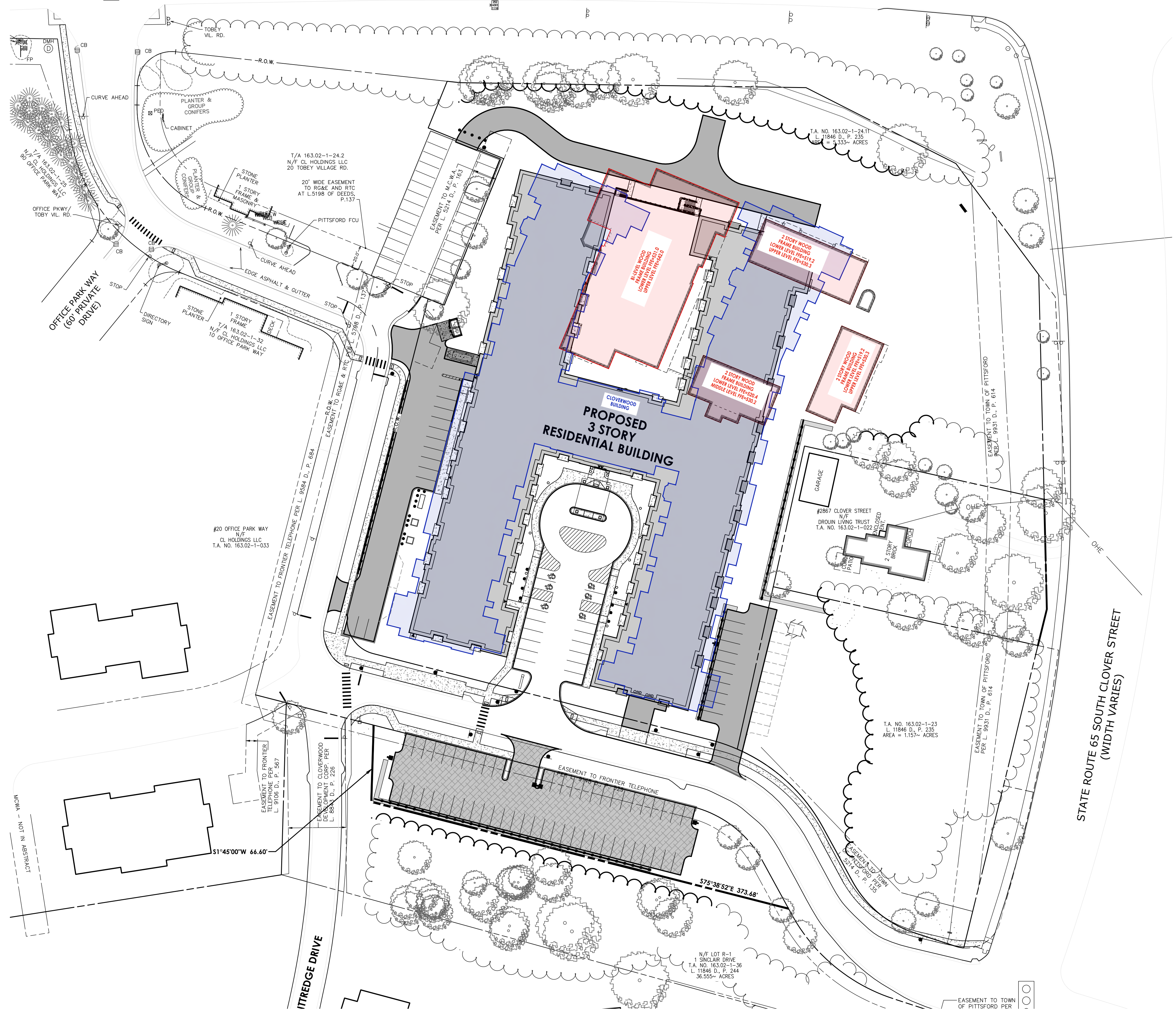
SCALE: 3" = 1'-0"

NOTE: EXISTING DIAMOND PATTERN WINDOWS TO BE REPLACED WITH WINDOWS WITH CORRESPONDING LITE PATTERN WITH 5/8" WIDE SDL MUNTINS





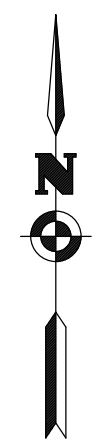
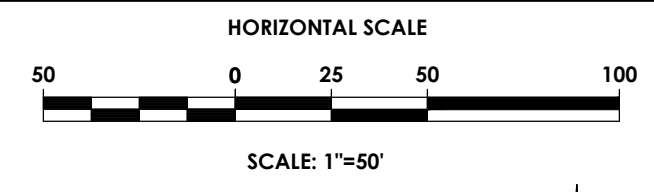
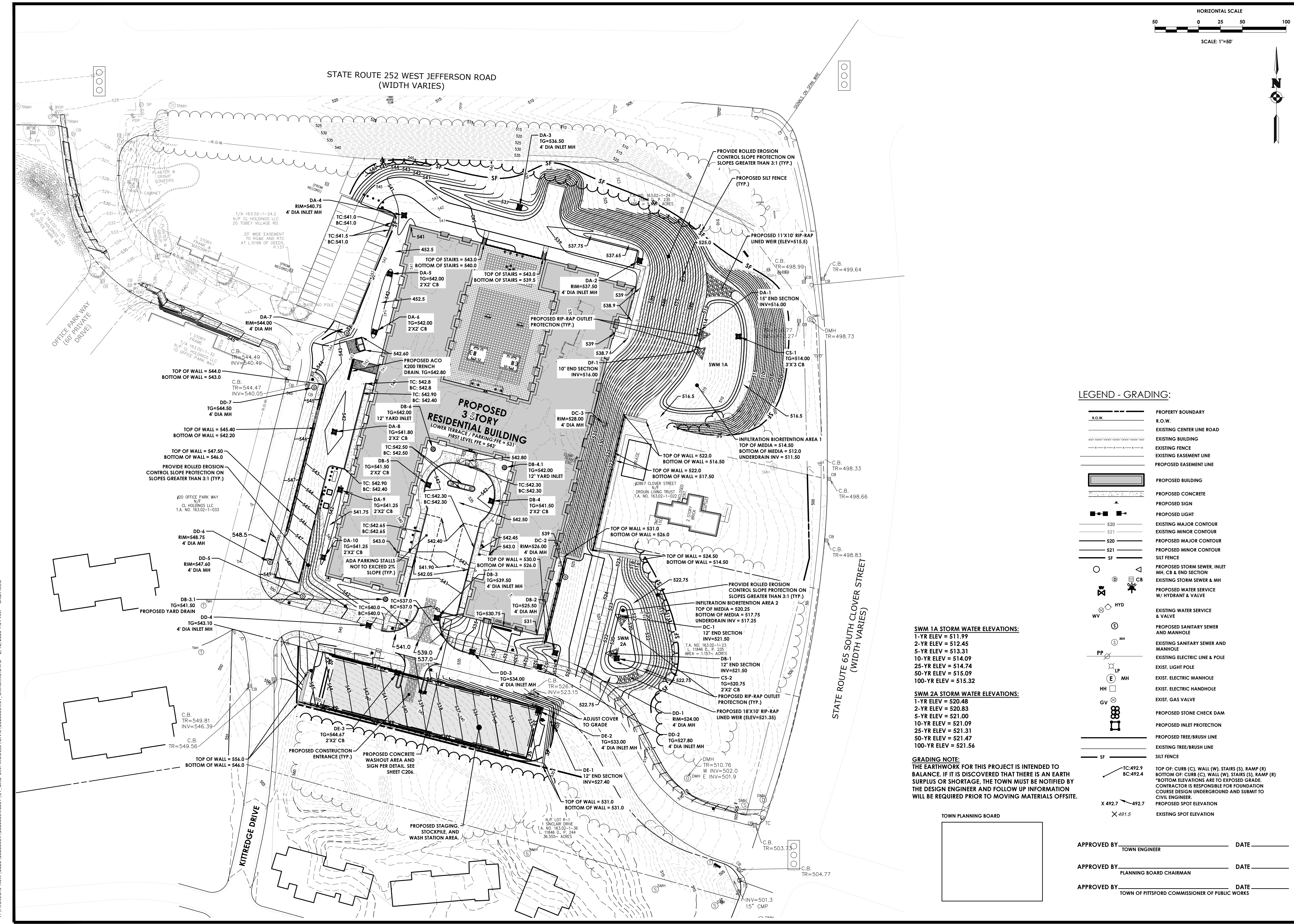
STATE ROUTE 252 WEST JEFFERSON ROAD  
(WIDTH VARIES)



LEGEND:

- PITTSFORD OAKS BUILDING
- CLOVERWOOD BUILDING
- BARN BAZAAR BUILDING





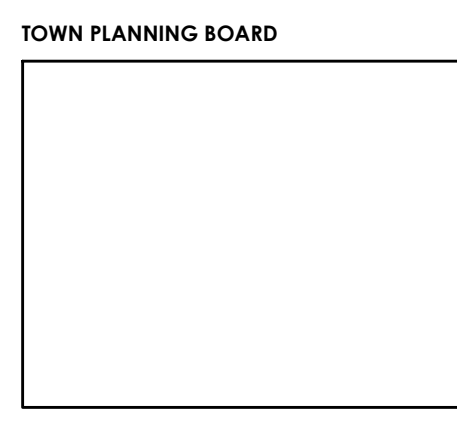
**LEGEND - GRADING:**

- R.O.W.
- PROPERTY BOUNDARY
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SF
- PROPOSED STORM SEWER, INLET MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SF
- PROPOSED SILT FENCE
- EXISTING SILT FENCE
- TC:492.9 BC:492.4
- X 492.7 492.7
- X 491.5
- TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- \*BOTTOM ELEVATIONS ARE TO EXPOSED GRADE. CONTRACTOR IS RESPONSIBLE FOR FOUNDATION COURSE DESIGN UNDERGROUND AND SUBMIT TO CIVIL ENGINEER.
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

**SWM 1A STORM WATER ELEVATIONS:**  
 1-YR ELEV = 511.99  
 2-YR ELEV = 512.45  
 5-YR ELEV = 513.31  
 10-YR ELEV = 514.09  
 25-YR ELEV = 514.74  
 50-YR ELEV = 515.09  
 100-YR ELEV = 515.32

**SWM 2A STORM WATER ELEVATIONS:**  
 1-YR ELEV = 520.48  
 2-YR ELEV = 520.83  
 5-YR ELEV = 521.00  
 10-YR ELEV = 521.09  
 25-YR ELEV = 521.31  
 50-YR ELEV = 521.47  
 100-YR ELEV = 521.56

**GRADING NOTE:**  
 THE EARTHWORK FOR THIS PROJECT IS INTENDED TO BALANCE. IF IT IS DISCOVERED THAT THERE IS AN EARTH SURPLUS OR SHORTAGE, THE TOWN MUST BE NOTIFIED BY THE DESIGN ENGINEER AND FOLLOW UP INFORMATION WILL BE REQUIRED PRIOR TO MOVING MATERIALS OFFSITE.



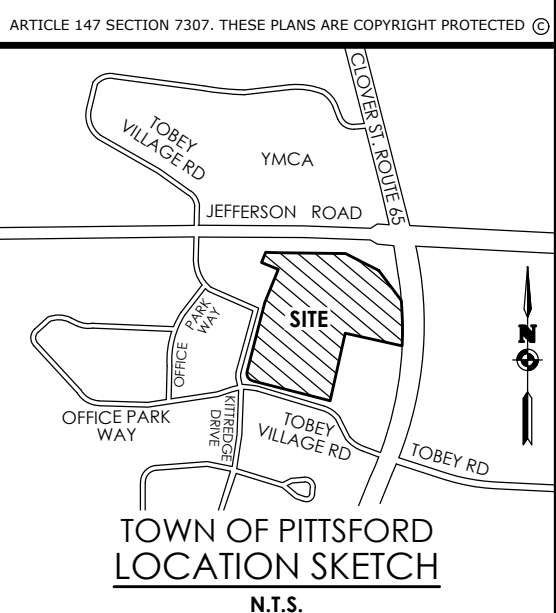
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TOWN ENGINEER

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 PLANNING BOARD CHAIRMAN

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TOWN OF PITTSFORD COMMISSIONER OF PUBLIC WORKS



If you excavate anywhere in New York State, except NYC or Long Island, call  
**Dig Safely. New York**  
 1-800-962-7962  
 I-Notice = www.DigSafelyNewYork.com



Client:  
 2851 Clover, LLC  
 2851 Monroe Avenue  
 Rochester, NY 14618  
 Phone: (585)-271-1111

**PASSERO ASSOCIATES**  
 242 West Main Street Suite 100  
 Rochester, New York 14614  
 (585) 325-1000  
 Fax: (585) 325-1691  
 Principal-in-Charge: David Cox, P.E.  
 Project Manager: Andrew Burns, P.E.  
 Designed by: Shari Kleis



No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

**GRADING & EROSION CONTROL PLAN**

**PITTSFORD OAKS**

Town/City: PITTSFORD  
 County: MONROE State: NEW YORK

Project No. **20233554.0001**

Drawing No. **C 107**

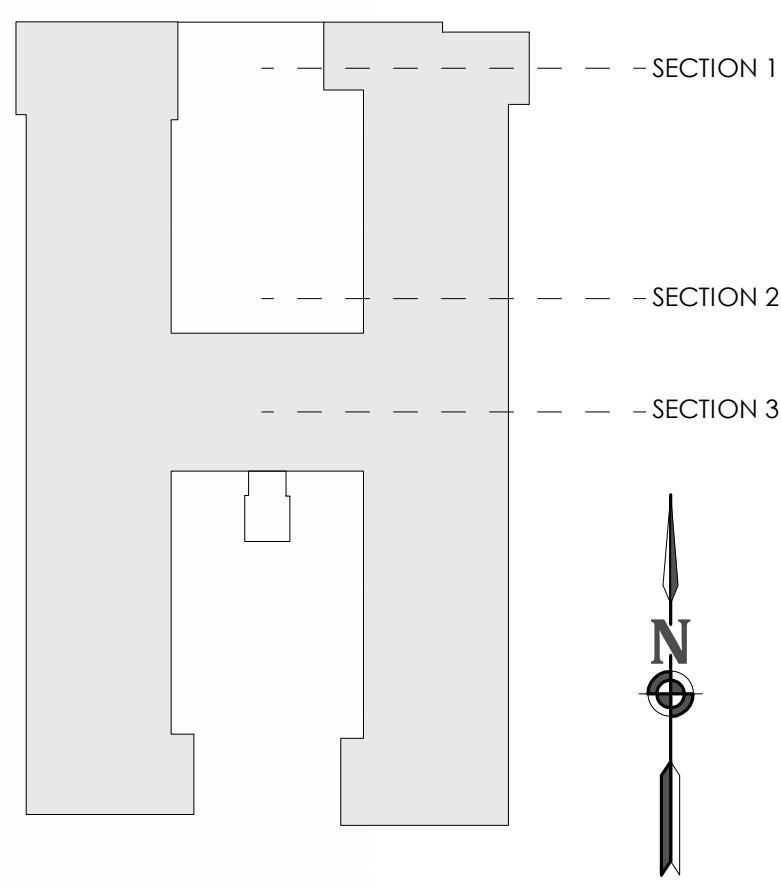
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Date: **FEBRUARY, 2025**

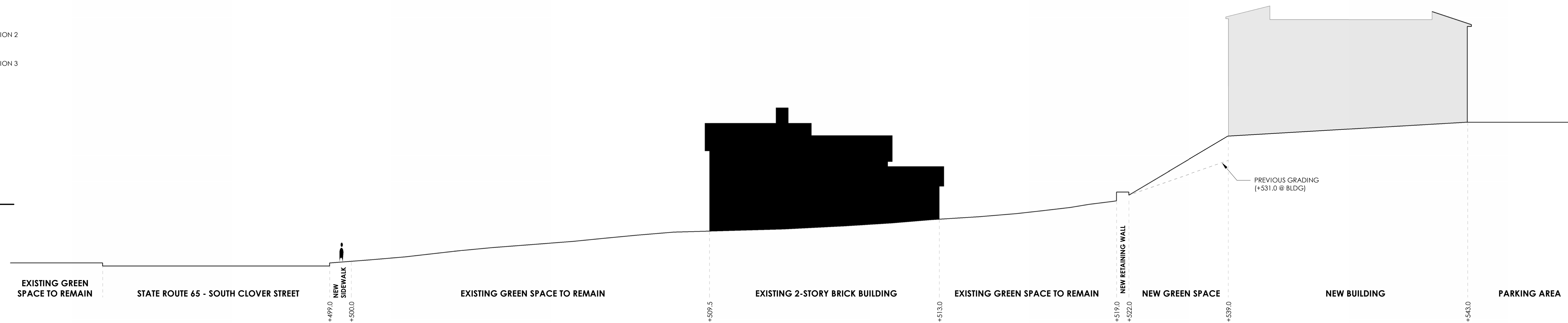
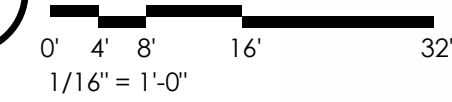
NOT FOR CONSTRUCTION

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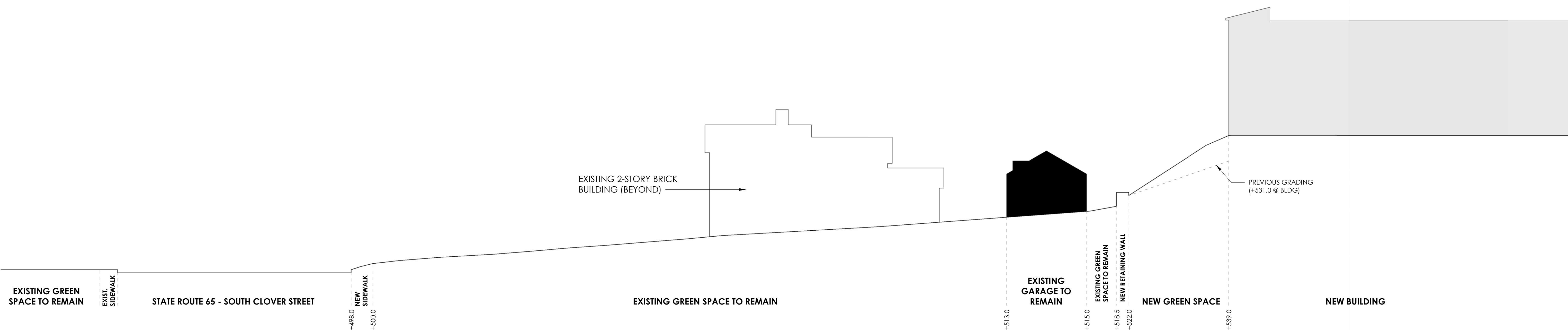
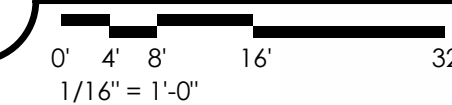




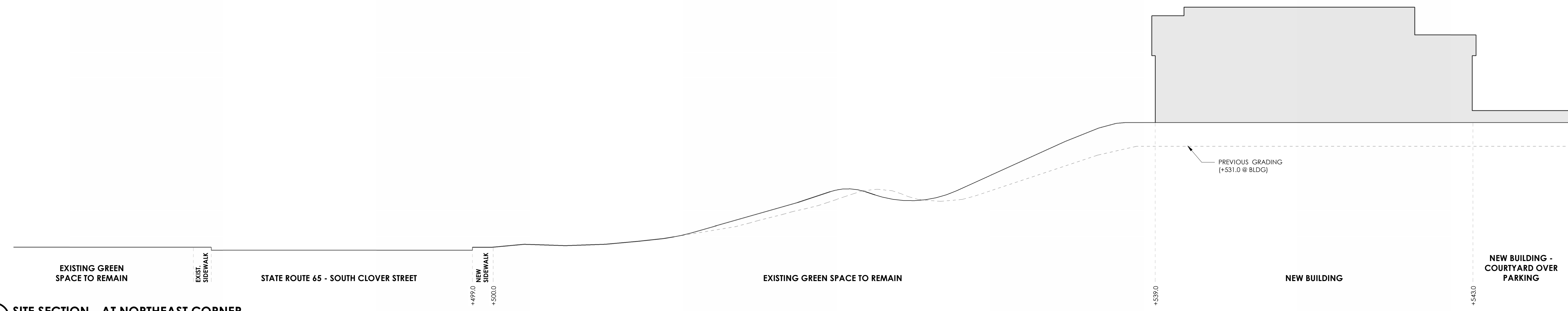
**3 SITE SECTION - THROUGH EAST WING AT EXISTING ADJACENT BRICK BUILDING**



**2 SITE SECTION - THROUGH EAST WING AT EXISTING GARAGE**



**1 SITE SECTION - AT NORTHEAST CORNER**







**EAST ELEVATION - CONCEPT 01**

SEPTEMBER 01, 2023



**EAST ELEVATION - CONCEPT 02**

NOVEMBER 08, 2023



**EAST ELEVATION - CONCEPT 03**

MARCH 15, 2024





**EAST ELEVATION - CONCEPT 06B**

DECEMBER 11, 2024



**EAST ELEVATION - CONCEPT 07**

JANUARY 23, 2025



**EAST ELEVATION - CONCEPT 08**

JANUARY 23, 2025





**EAST ELEVATION - CONCEPT 04**

OCTOBER 10, 2024



**EAST ELEVATION - CONCEPT 05**

NOVEMBER 21, 2024



**EAST ELEVATION - CONCEPT 06A**

DECEMBER 11, 2024





**2** NORTH ELEVATION  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"



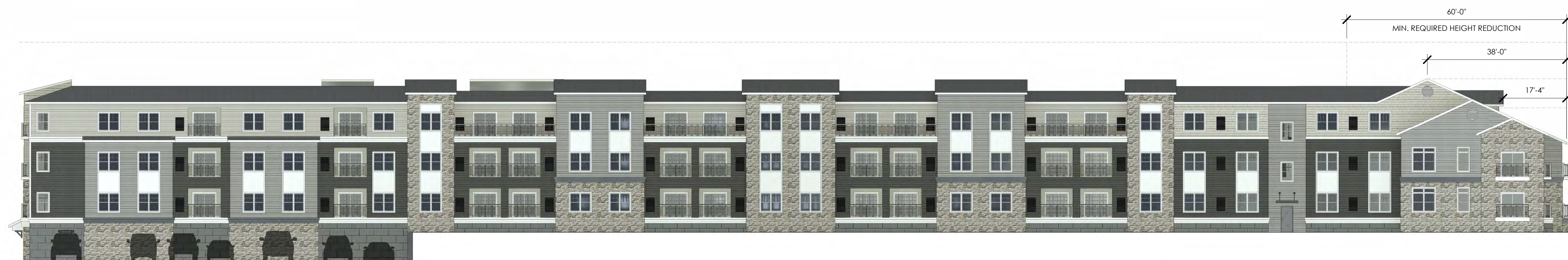
**3** NORTH COURTYARD EAST ELEVATION  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574)
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565)
- THIRD FLOOR LEVEL 11'-0 5/8" (+554)
- SECOND FLOOR LEVEL 0'-0" (+543)



**6** WEST ELEVATION  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574)
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565)
- THIRD FLOOR LEVEL 11'-0 5/8" (+554)
- SECOND FLOOR LEVEL 0'-0" (+543)



**1** EAST ELEVATION  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574)
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565)
- THIRD FLOOR LEVEL 11'-0 5/8" (+554)
- SECOND FLOOR LEVEL 0'-0" (+543)
- GARAGE LEVEL -12'-0" (+531)





- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565')
- THIRD FLOOR LEVEL 11'-0 5/8" (+554')
- SECOND FLOOR LEVEL 0'-0" (+543')
- GARAGE LEVEL -12'-0" (+531')

**1 SOUTH ELEVATION**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

**FINISH LEGEND:**

-  NORANDEX CEDAR MILLS "CHAMPAGNE"
-  NORANDEX CEDAR MILLS "GRANITE"
-  NORANDEX CEDAR MILLS "CARBON"
-  PROVIA STONE VENEER "BUFF"
-  DECORATIVE PARGING "DOWNING STONE"





**2 NORTH ELEVATION**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"



**3 NORTH COURTYARD EAST ELEVATION**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565')
- THIRD FLOOR LEVEL 11'-0 5/8" (+554')
- SECOND FLOOR LEVEL 0'-0" (+543')



**6 WEST ELEVATION**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565')
- THIRD FLOOR LEVEL 11'-0 5/8" (+554')
- SECOND FLOOR LEVEL 0'-0" (+543')



**1 EAST ELEVATION**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

- 60'-0" MIN. REQUIRED HEIGHT REDUCTION
- 38'-0" ORIGINAL BUILDING HEIGHT
- 17'-4"
- +581'
- +573'
- 4TH FLOOR WALL HGT. 31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL 22'-0 1/2" (+565')
- THIRD FLOOR LEVEL 11'-0 5/8" (+554')
- SECOND FLOOR LEVEL 0'-0" (+543')
- GARAGE LEVEL -12'-0" (+531')





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**1 SOUTH ELEVATION**  
0' 1' 2' 4' 8'  
1/16" = 1'-0"

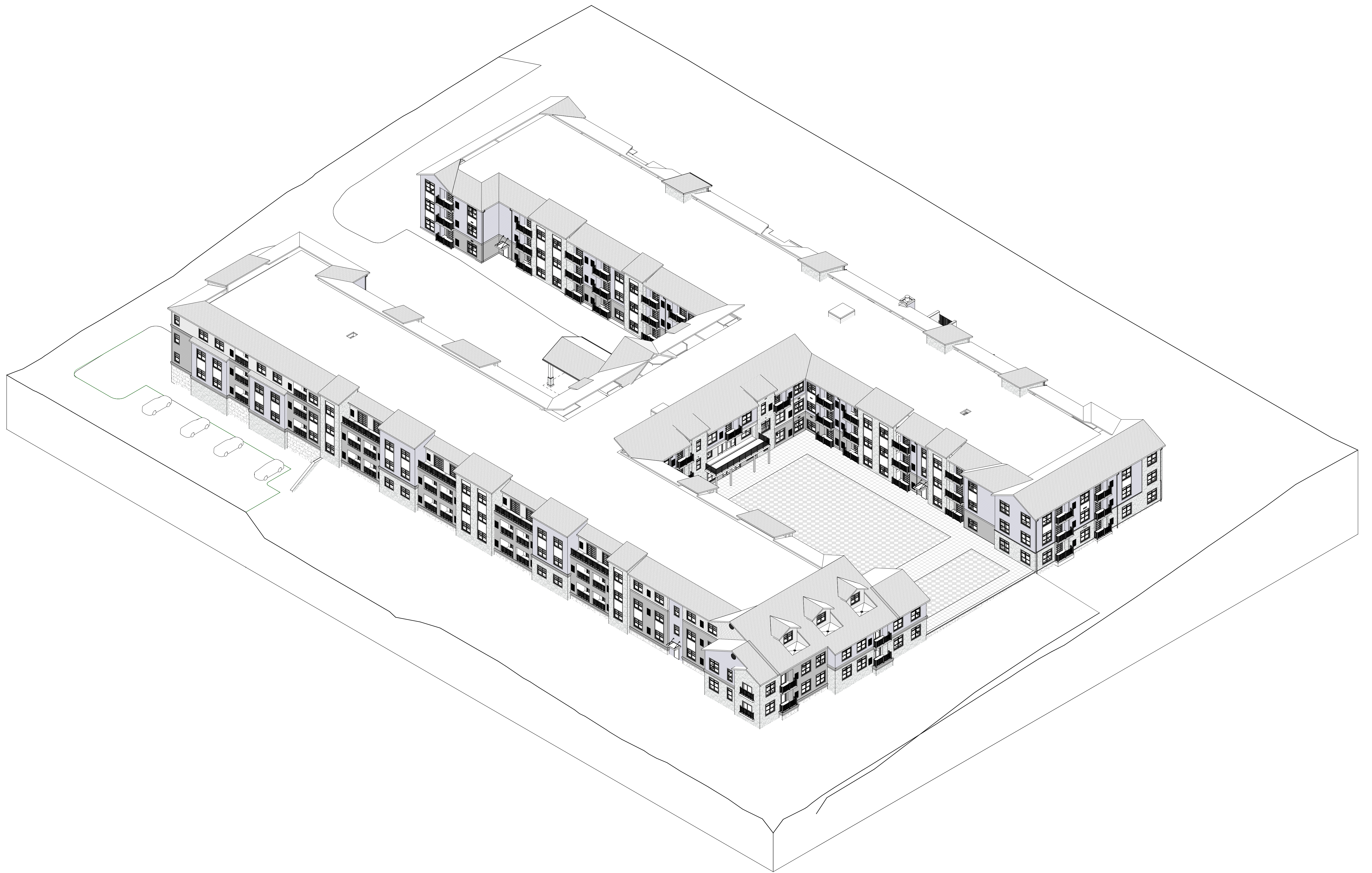
















**CLOVERWOOD TERRACE PROJECT**

AREA: 21,946 SF ±  
MAY 2019



**LAST PROPOSED DESIGN**

AREA: 22,453 SF ±  
DECEMBER 2024



**PROPOSED CONCEPT**

AREA: 17,550 SF ±  
FEBRUARY 2025