

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA**

December 19th, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, December 19, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

18 Old Lyme Road

Applicant is requesting design review for a 192 square foot garage addition to the side of the home.

116 Stoneleigh Court

Applicant is requesting design review for an approximately 266 square foot addition off the rear of the home.

49 Callingham Road

Applicant is requesting design review for renovation to existing family room located behind garage to include replacement of exterior doors and windows and sliding glass door to existing deck.

28 Woodbury Place

Applicant is requesting design review for Interior renovation requiring relocation and resizing of windows. Removal of wood framed deck and addition of a 288 sq. ft covered raised patio.

20 Railroad Mills Road

Applicant is requesting design review for an approximately 24 square foot front entry overhang.

50 Mitchell Road

Applicant is requesting design review for an approximately 125 square foot addition off the rear of the home.

35 Sunset Boulevard

Applicant is requesting design review for an approximately 340 square foot addition off the west side of the home. Also 5 Windows to be replaced on first and second floor.

RESIDENTIAL APPLICATIONS: NEW HOMES

63 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 4384 square feet that is located in the Coventry Ridge Subdivision.

64 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 4529 square feet that is located in the Coventry Ridge Subdivision.

PLANNING BOARD COMMENTARY

Pittsford Oaks

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

The next meeting is scheduled for Thursday, January 9, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
DECEMBER 5, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, December 5, 2024, at 6PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dave Wigg, Paul Whitbeck, Kathleen Cristman, John Mitchell, Jim Vekasy, Bonnie Salem

ABSENT: Dirk Schneider

ALSO PRESENT: Bill Zink, Building Inspector; Eric Smegelsky, Assistant Building Inspector; Anna Piazza, Building Department Assistant; Doug DeRue, Director of Planning, Zoning, and Development; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 12 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem stated that there are no new updates.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

18 Old Lyme Road

Applicant is requesting design review for a 192 square-foot garage addition to the side of the home.

James Pippin, of 18 Old Lyme Road, introduced the application. He is requesting design review for a garage addition to the side of the home. Mr. Pippin stated that it will add eight feet to the southside of the existing garage, which has cedar siding. He will add double-hung windows and a dormer to break up the larger roofline. The dormer peak will be lower than the peak of the main house to make it less linear. Board Member Salem stated her concern with the proposed dormer being centered on the roof, as opposed to being centered above the two existing garage doors. She stated that a possible solution is to set the storm section back a foot, so that the dormer would be centered on the two garage doors and the roofline would be broken up. Board Member Vekasy asked the applicant to add larger windows to the southside elevation. The applicant stated that the proposed double-hung windows are the same height, but not the same width, as the existing double-hung windows. Vice Chairman Wigg requested that the dimensions of the proposed windows have the same proportions as the existing windows, only shrunk down. Board Member Salem stated that she will not make a motion at this time, as the Board needs to see a revised drawing showing all of the additional changes requested. Board Member Cristman and Vice Chairman Wigg agreed. Mr. Pippin will appear at the next meeting with a revised drawing showing all additional changes requested.

3785 East Avenue

Applicant is requesting design review to add a man door to the side of the garage and increase the garage door size.

Scott Odorisi, of 3785 East Avenue, introduced the application. Mr. Odorisi is requesting additional changes to a previously approved project. He is proposing to increase the height of the garage door from seven feet to eight feet, as well as the addition of a man door to the side of the garage. He added that because cedar shake

material is expensive, he is requesting to match it with Hardie Board material, and noted that the siding will be white.

Vice Chairman Wigg motioned to approve the addition of a man door and to increase the size of the garage door from seven feet to eight feet, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS:

150 French Road

Applicant is requesting design review for the addition of windows on the North and East elevations. Board Member Vekasy recused himself from reviewing this application.

Liz Reynolds, of SWBR representing Friendly Senior Living, introduced the application. Ms. Reynolds stated that Friendly Senior Living bought one half of the building from the Sisters of St. Joseph, and will be converting it into independent senior living apartment buildings. She specified that it is not an addition to the Sisters of St. Joseph and is residential use. She is proposing the addition of windows on the North and East elevations. The windows on the North elevation will match the size, shape, and function of the existing windows, and the windows on the East elevation will be larger in size to replace the existing fixed windows.

Vice Chairman Wigg motioned to approve the addition of windows on the North and East elevations, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATES OF APPROPRIATENESS

191 South Main Street

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the modification of exterior doors at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Vice Chairman Wigg opened the public hearing.

Bruce Bolger, of 191 South Main Street, introduced the application. The applicant is requesting a Certificate of Appropriateness for exterior modifications and the addition of a ramp to increase the wheelchair accessibility of his home. Mr. Bolger highlighted the urgency of the reason for the application, stating that his wife was unexpectedly injured. On the side entry of the East elevation, Mr. Bolger is requesting to remove existing windows to allow for a larger door compatible with wheelchair use. The door will be an inswing glass French door and is seen as option #101 in the application. Mr. Bolger is additionally requesting to install accessibility ramps on the side entry of the East elevation, and stated that he will replace the existing concrete sidewalk with bluestone. Mr. Bolger stated that because of time issues, the ramps which are initially installed will be an aluminum material. He explained that the aluminum ramps will be temporary and will be replaced with the wood ramps presented as soon as his contractor is available.

Vice Chairman Wigg asked for public comment. Hearing none, Vice Chairman Wigg closed the public hearing. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the motion was approved, none opposed.

The resolution was moved by Board Member Salem, seconded by Board Member Whitbeck, and was unanimously approved by the Board.

Building Department Assistant Anna Piazza called roll. The Board voted as follows:

Dave Wigg voted

Aye

DRAFT MINUTES 120524

Kathleen Cristman voted	Aye
Bonnie Salem voted	Aye
John Mitchell	Aye
Jim Vekasy voted	Aye
Paul Whitbeck voted	Aye
Dirk Schneider voted	Absent

The full adopted resolution is attached to the end of these minutes.

192 Knickerbocker Road,

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the expansion of a detached garage, the addition of a screened porch, the addition of a main entry porch and a kitchen expansion at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Vice Chairman Wigg opened the public hearing.

David Crowe, of DJCA Cornerstone LLC, introduced the application. The applicant discussed the historical significance of the home and stated that it was designated as a historic landmark home in 1992. The English-style home was made to appear as though it were built over various centuries. He stated that landscape architects are working on the site design and landscape of the home. He stated that the homeowners recently bought the house and have a goal to move in by September 2025. Mr. Crowe stated he has not yet appeared in front of the Zoning Board to obtain variances and is trying making the upcoming December 15 Zoning Board meeting deadline . He stated that the only part of the house that might be visible from the road are the tops of the chimney peaks and asked the Board if a Certificate of Appropriateness is still required, to which Board Member Salem confirmed. Mark Bayer, of Bayer Landscape Architecture PLCC, discussed the proposed detached kitchen rehabilitation, anchoring the detached garage into the courtyard, a new screen room below the main terrace, and the addition of a cabana to be adjacent with the existing pool. Mr. Crowe discussed in detail the variances he is required to obtain from the Zoning Board. Board Member Salem discussed an inventory of 192 Knickerbocker Road performed in 1991, and highlighted that the parts used to build the screened porch were from The Old Mill. Doug DeRue, Director of Planning, Zoning, and Development, stated that because the Zoning Board does not want to grant variances that the DRHPB would not approve of, it is requesting DRHPB commentary on this application. This property has an unusual requirement of having sixty-foot setbacks. These setbacks are hard for a property to meet in general, which is the reason why this property requires many variances. Board Member Mitchell stated that he does not see any major issues with the information presented. Board Member Salem stated that the mass and scaling seems appropriate and that she does not have any rejection to the granting of variances, and Vice Chairman Wigg agreed.

Vice Chairman Wigg stated that this will remain an open hearing.

PLANNING BOARD COMMENTARY

Pittsford Oaks

The Planning Board is requesting DRHPB recommendations on the Pittsford Oaks project.

Dustin Welch, of Passero Associates, re-introduced the application. Mr. Welch explained that in response to the Board's comments at the meeting held on November 14, he focused on the East facade, particularly the massing. To reduce the massing, he brought down some of the design elements, utilizing what is referred to as overbuilding, on the East facade down to the ground level. This was carried around to a portion of the eastern ends of the North and South elevations. Mr. Welch showed the Board the progression of the East elevation changes with renderings of the building from previous projects beginning in 2023. Mr. Welch presented the new rendering and stated that he added vertical elements to break up the linearity of the building and to make the building more scaled.

DRAFT MINUTES 120524

Vice Chairman Wigg asked the applicant for clarification on what has changed on the new rendering. Mr. Welch responded that the finished materials were brought down to grade level in some locations, adding to the vertical elements, and recessed balconies were removed.

Vice Chairman Wigg asked if the elevation has changed since the November 14 meeting, and Mr. Welch stated that the rooflines have changed.

A discussion followed, clarifying that the additional changes include finish materials being brought down to ground level in some locations, as well as the removal of balconies and some of the vertical elements of the building. Mr. Welch also noted the overhangs were increased to be one foot.

Board member Vekasy stated that the current rendering is the best one yet, mentioning that the earliest rendering was incredibly linear and gave the impression of a cruise ship. Board Member Mitchell stated that he liked the presented image showing the evolution of renderings for this project, and agrees with Board Member Vekasy that they are going in the right direction. He acknowledged that this is not an easy process for the applicant but emphasized that the newest rendering shows a much better building than it was.

Board Member Wigg asked the applicant to discuss the balconies as there was confusion regarding their size and function at the November 14th meeting. Mr. Welch clarified that while most of the balconies are full-size and contain space for a small table and chairs, a fewer number are Juliet style, which are much smaller in size and only one or two feet deep.

Vice Chairman Wigg noted that DRHPB Chairman Dirk Schneider was not in attendance and asked Mr. DeRue for clarification regarding the Planning Board's request for DRHPB's comments and the preliminary approval process.

Mr. DeRue stated that the Planning Board has held off on moving forward with a preliminary approval at the request of this Board. The Planning Board would prefer to wait before granting preliminary approval until the DRHPB is comfortable with the progress made, specifically the mass and appearance of the building. He noted that the DRHPB will still have the ability to require changes to the building that they feel necessary. Mr. DeRue clarified that a Planning Board approval does not tie this Board's hands in the future.

Board Member Cristman stated that she still has concerns with the corner that will be visible from Clover and Jefferson. Board Member Salem stated that she is still not enamored with this project and emphasized that the applicant continues to make various little changes, and not the big changes that had been requested by this Board. Board Member Salem stated that when looking at the renderings, she still does not believe it fits with the character of the Town.

Danny Daniele, of 2815 Clover LLC, stated that it is very difficult to find a project where everyone is enamored, adding that there has already been a large evolution and we still do not know if this project is going to happen. Mr. Daniele emphasized the substantial cost of architectural drawings/plans as well as site plans and their modifications, and stated that he believes that the Planning Board wants to know if the DRHPB believes the project is moving in the right direction and has the potential to get to a place where everyone is comfortable, or if they believe it is a disaster.

Robert Koegel, Town Attorney, stated that if some board members believe it is moving in the right direction and some do not, then that might be the DRHPB's comment to the Planning Board.

Mr. DeRue asked for clarification if the applicant is refusing to make any additional changes, to which the applicant denied. The applicant stated that the materials and colors have not yet been discussed in detail, and that he would like the opportunity to do so. Board Member Vekasy stated that while the applicant is not there yet, he believes that progress has been made and that they can get to where they need to be. Board Member Salem emphasized that this Board has been requesting bigger changes be made since very early on in the application process, and with the pace it has gone so far, is unsure if they will get there. Board Member Vekasy stated that the two main changes requested by the Board is to significantly drop the ridgeline, and to amend

the rigid “H” shape of the building. Board Member Cristman stated that she continues to feel as though the northeast corner is too high and would like to see it be lowered. Mr. DeRue stated to the Board that if the Planning Board were to give preliminary approval, it would not take away or change the DRHPB’s power in any way. He added that this Board will still have approval authority and the ability to request changes.

MEETING MINUTES REVIEW

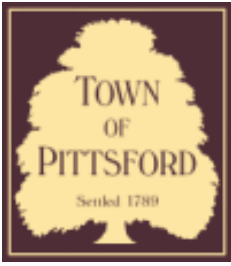
The minutes of November 14, 2024 were approved following a motion by Board Member Salem, with the additional change that the following sentence be added to the 246 Long Meadow minutes section; “Board Member Salem stated that French Doors on a storage garage are incompatible with the house and the neighborhood.” This motion was seconded by Board Member Vekasy. Following a unanimous voice vote, the minutes were approved, none opposed.

Vice Chairman Dave Wigg closed the meeting at 9:07PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000137

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Old Lyme Road PITTSFORD, NY 14534

Tax ID Number: 179.09-1-33

Zoning District: RN Residential Neighborhood

Owner: Pippin, James B

Applicant: Pippin, James B

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

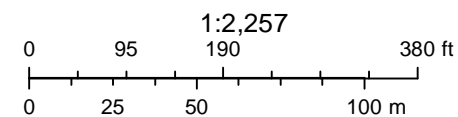
Project Description: Applicant is requesting design review for a 192 square foot garage addition to the side of the home.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 9, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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Old Lyme Road

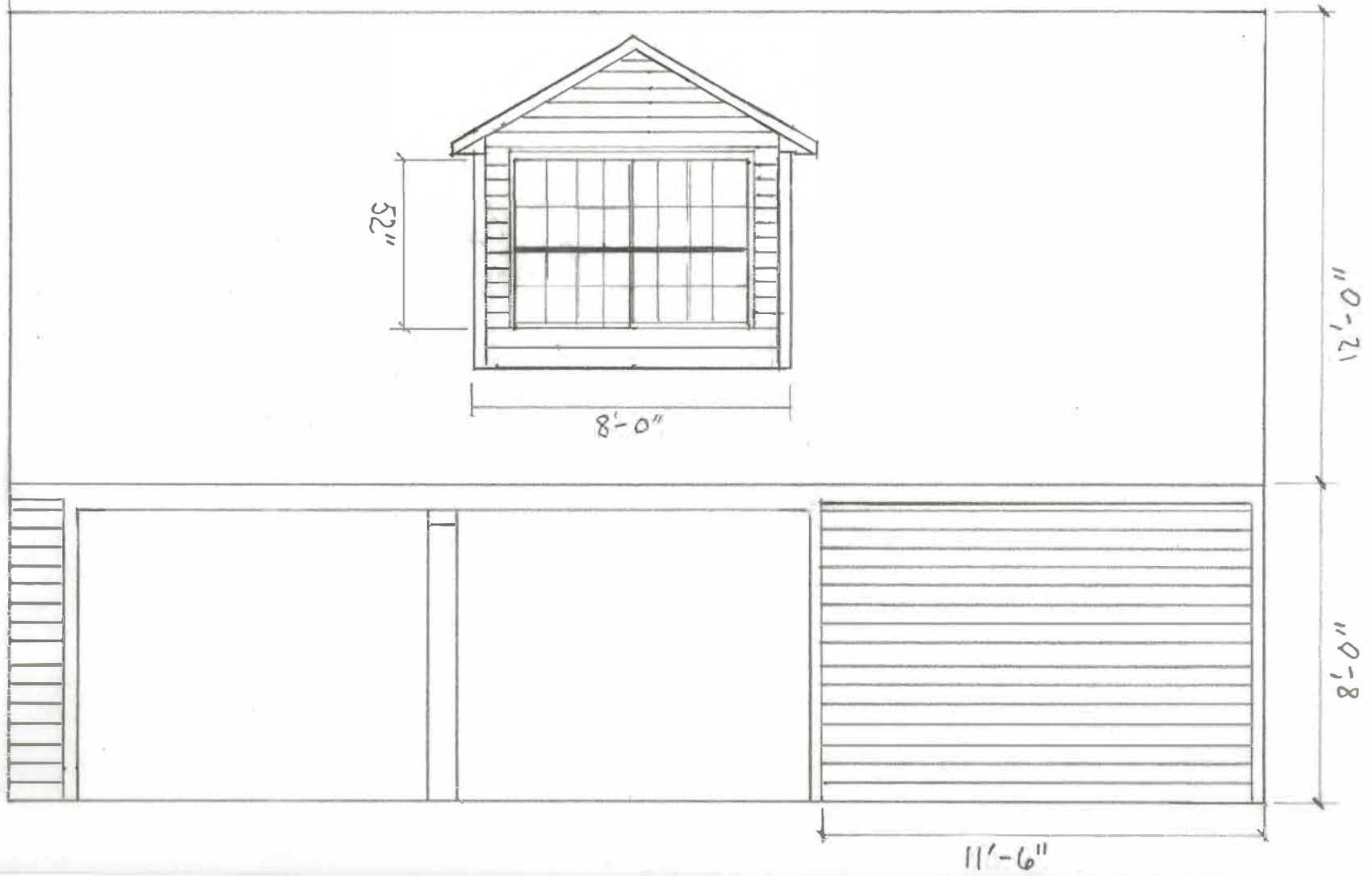


CR 33

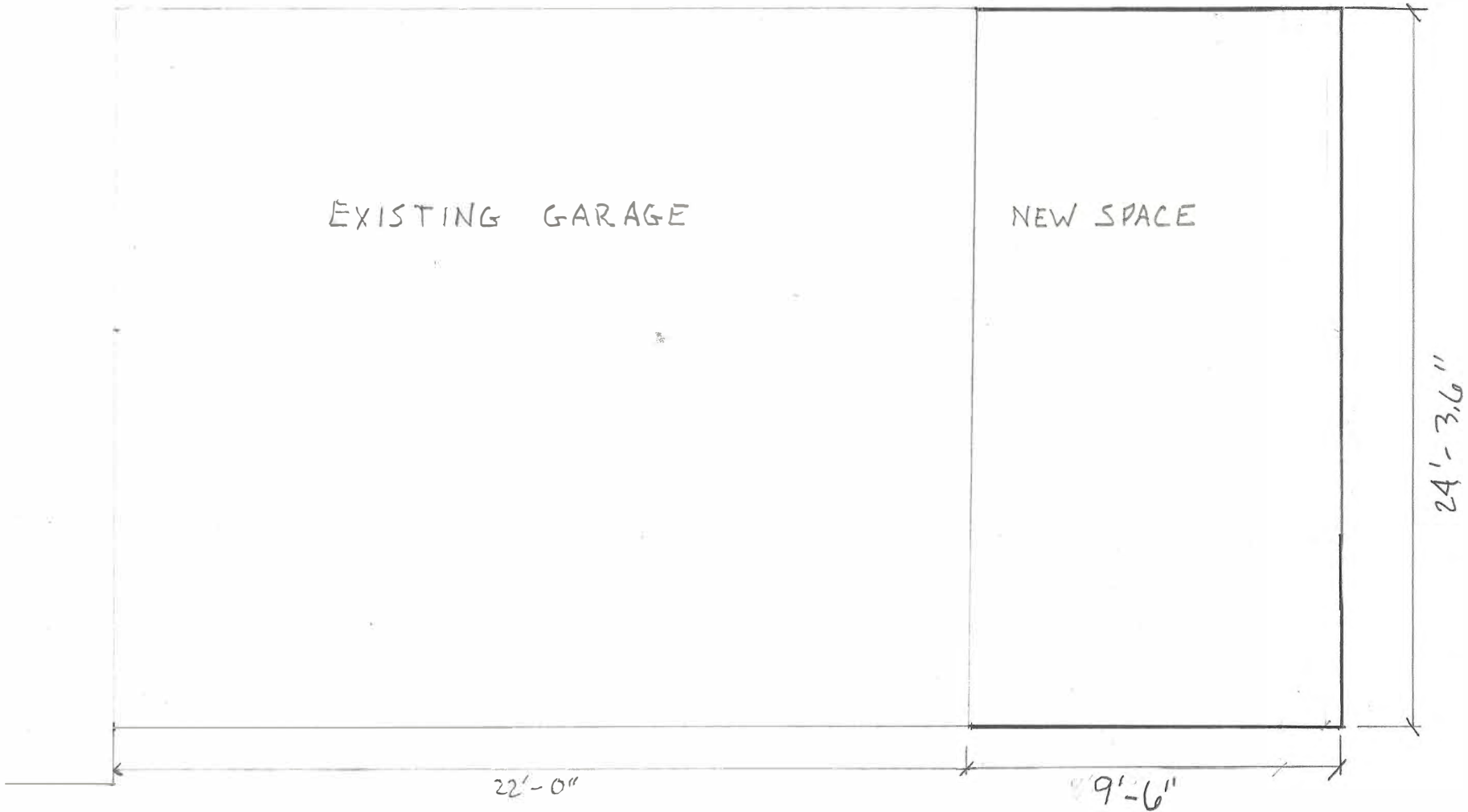
Oak Leaf Lane
Thu Sep 5 2024
Imagery © 2024 Nearmap, HERE 50 ft

Nearmap

FRONT ELEVATION



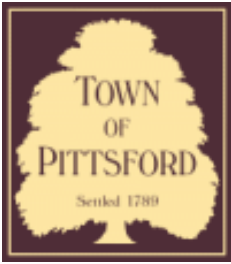
PLAN VIEW



1/4 Scale



SOUTH SIDE ELEVATION



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000155

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 116 Stoneleigh Court ROCHESTER, NY 14618

Tax ID Number: 138.18-1-14

Zoning District: RN Residential Neighborhood

Owner: Getnick, Jonathan

Applicant: Getnick, Jonathan

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

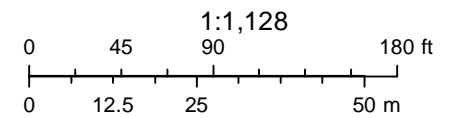
Project Description: Applicant is requesting design review for an approximately 266 square foot addition off the rear of the home.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 9, 2024



Town of Pittsford GIS

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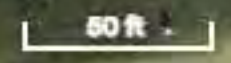
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Kilbourn Road

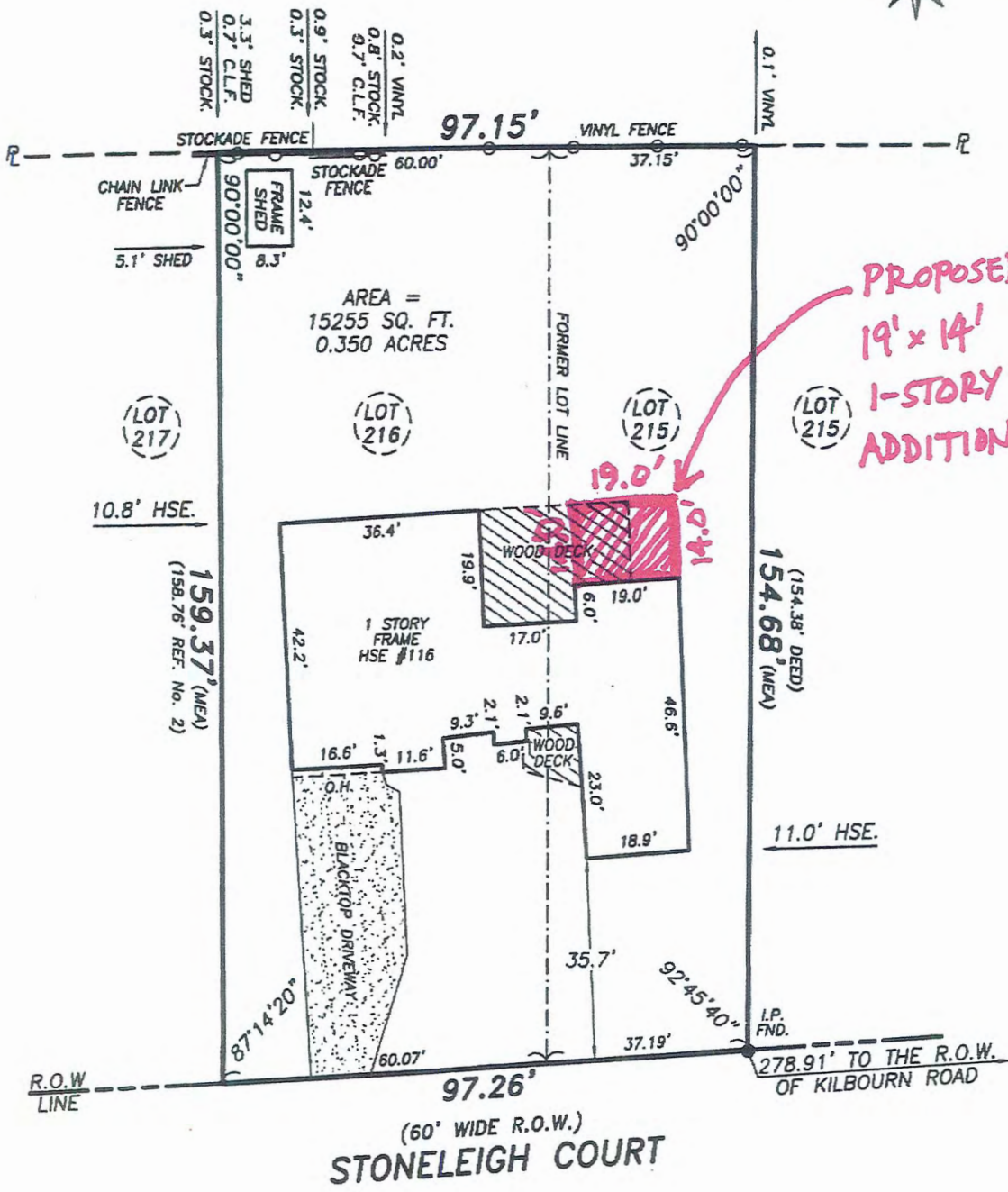
Kilbourn Road

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



Nearmap



CERTIFICATION:

I, ANDREW M. HODGE, HEREBY CERTIFY TO:

- JONATHAN GETNICK
- LACY KATZEN, LLP
- STEWART TITLE INSURANCE COMPANY

THAT THIS MAP WAS MADE JUNE 20, 2011 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JUNE 14, 2011 AND REFERENCES LISTED HEREON.



REFERENCES:

- 1.) LIBER 100 OF MAPS, PAGE 35. (RESUBDIVISION)
- 2.) LIBER 54 OF MAPS, PAGE 13. (ORIGINAL)
- 3.) LIBER 9989 OF DEEDS, PAGE 561.
- 4.) ABSTRACT OF TITLE No. 169701 (STEWART TITLE).
- 5.) EASEMENT TO R.G.&E. & R.T.C. PER LIBER 1197 OF DEEDS, PAGE 35. (ALONG REAR PROPERTY LINE)
- 6.) EASEMENT TO R.G.&E. PER LIBER 1331 OF DEEDS, PAGE 377. (ALONG ROAD R.O.W.)

NOTE: PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD.

TITLE:

INSTRUMENT SURVEY MAP

116 STONELEIGH COURT
 BEING LOT No. 216 & PART OF LOT No. 215 OF THE RESUBDIVISION OF LOTS No. 214, 215 & 216 OF THE EAST AVENUE ESTATES SUBDIVISION, TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

*Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7208, sub-section 2, of the New York State Education Law.

*Only copies from the original of this survey marked with an original of the land surveyor's red ink seal shall be considered to be valid true copies.

*Certifications indicated herein signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and to his behalf to the title company, governmental agency and lending institution listed herein, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.

TRIPLE POINT SURVEYING, LLC.



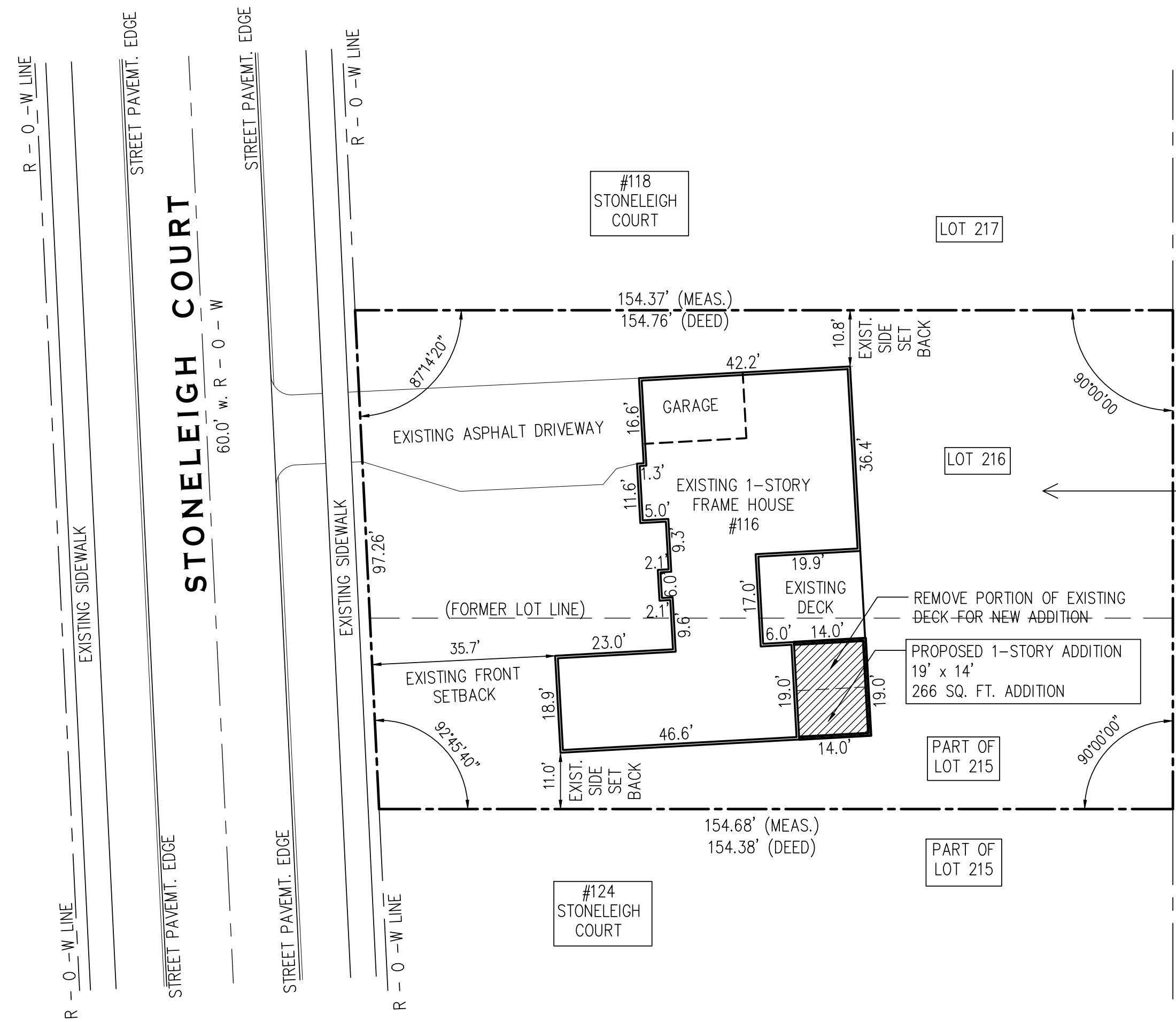
16 EAST MAIN STREET SUITE 320
 ROCHESTER, NEW YORK 14614
 Phone (585) 283-9950
 Fax (585) 283-3591

SCALE: 1" = 30'

TAX ACCOUNT: 138.18-1-014

JOB NO.: 0655-11

DATE: JUNE 20, 2011



116 STONELEIGH COURT
 TAX ACCOUNT NO. 138.18-1-014
 LOT 216 & PART OF LOT 215
 EAST AVENUE ESTATES RE-SUBDIVISION
 LOT AREA ± 15,255 SQ. FT.
 (± 0.351 ACRES)

PART OF LOT 215

1 SITE PLAN
 C1 SCALE: 1" = 20'-0"

INFORMATION FOR THIS SITE PLAN TAKEN FROM A DRAWING ENTITLED "INSTRUMENT SURVEY MAP, 116 STONELEIGH COURT, BEING LOT No. 216 & PART OF LOT No. 215 OF THE RESUBDIVISION OF LOTS No. 214, 215 & 216 OF THE EAST AVENUE ESTATES SUBDIVISION, TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK," JOB NO. 0655-11, PREPARED BY TRIPLE POINT SURVEYING, LLC, 16 E. MAIN ST., SUITE 320, ROCHESTER, NY 14614, DATED JUNE 20, 2011.

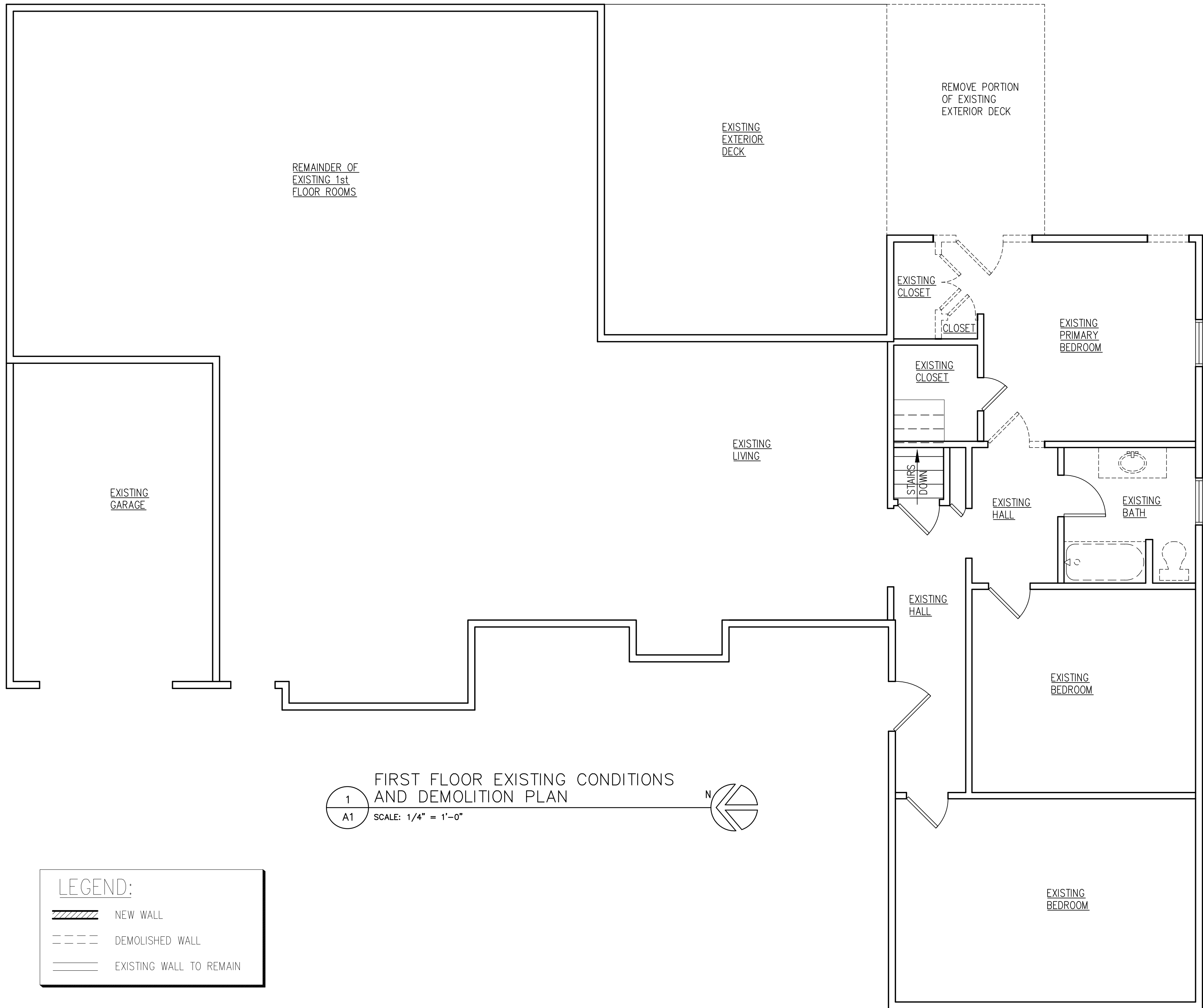
James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
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PROJECT NUMBER 1490	DATE 11/05/2024	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Getnick Residence 116 Stoneleigh Court, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING SITE PLAN			
DWG. NO. C1			

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



NO.	REVISIONS	DATE	BY
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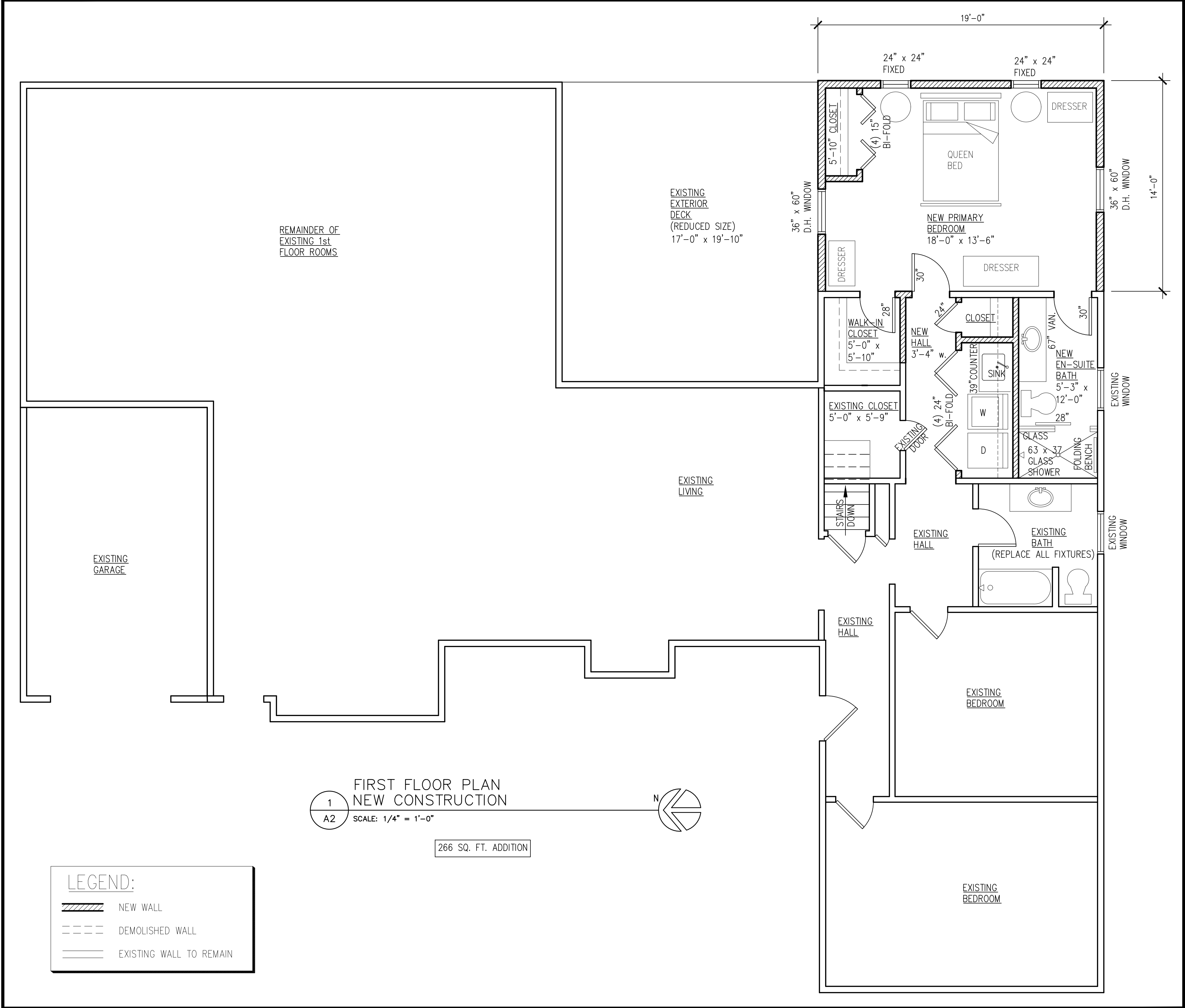
PROJECT NUMBER 1490	DATE 11/05/2024	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Getnick Residence 116 Stoneleigh Court, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FIRST FLOOR EXISTING CONDITIONS AND DEMOLITION PLAN			
DWG. NO. A1			

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490

NO.	REVISIONS	DATE	BY
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PROJECT NUMBER 1490	DATE 11/05/2024	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Getnick Residence 116 Stoneleigh Court, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FIRST FLOOR PLAN NEW CONSTRUCTION PLAN			
DWG. NO. A2			



1
A2
SCALE: 1/4" = 1'-0"
266 SQ. FT. ADDITION

LEGEND:

- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL TO REMAIN

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1
A3 REAR (EAST) ELEVATION
EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"



2
A3 REAR (EAST) ELEVATION
PROPOSED NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"

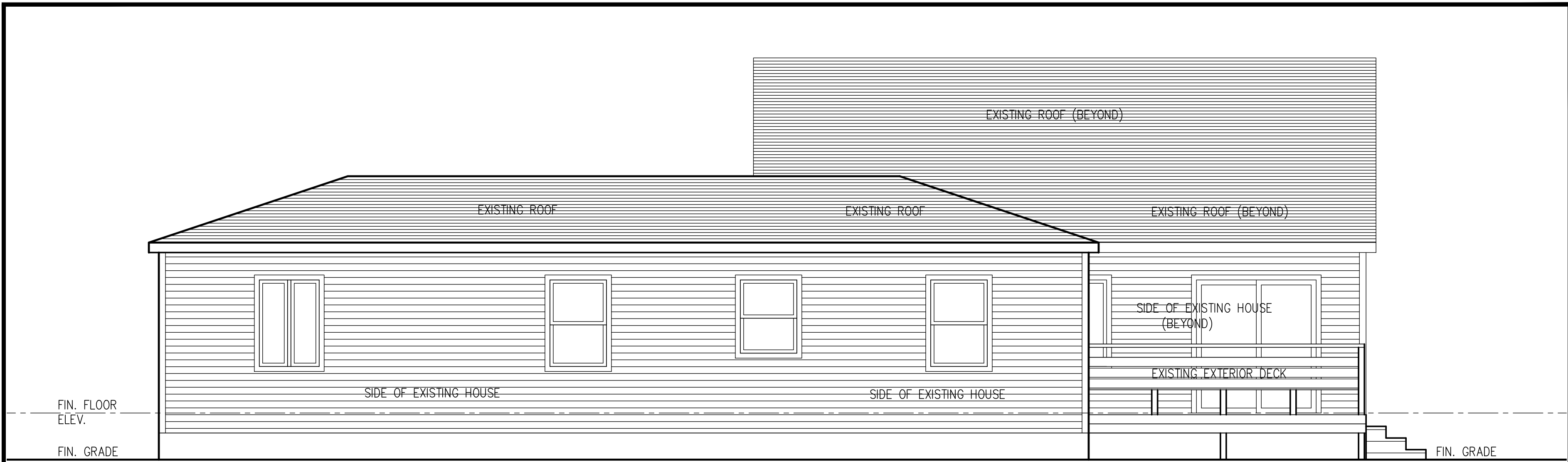
19'-0"
PROPOSED NEW ADDITION
ON REAR OF HOUSE

NO.	REVISIONS	DATE	BY
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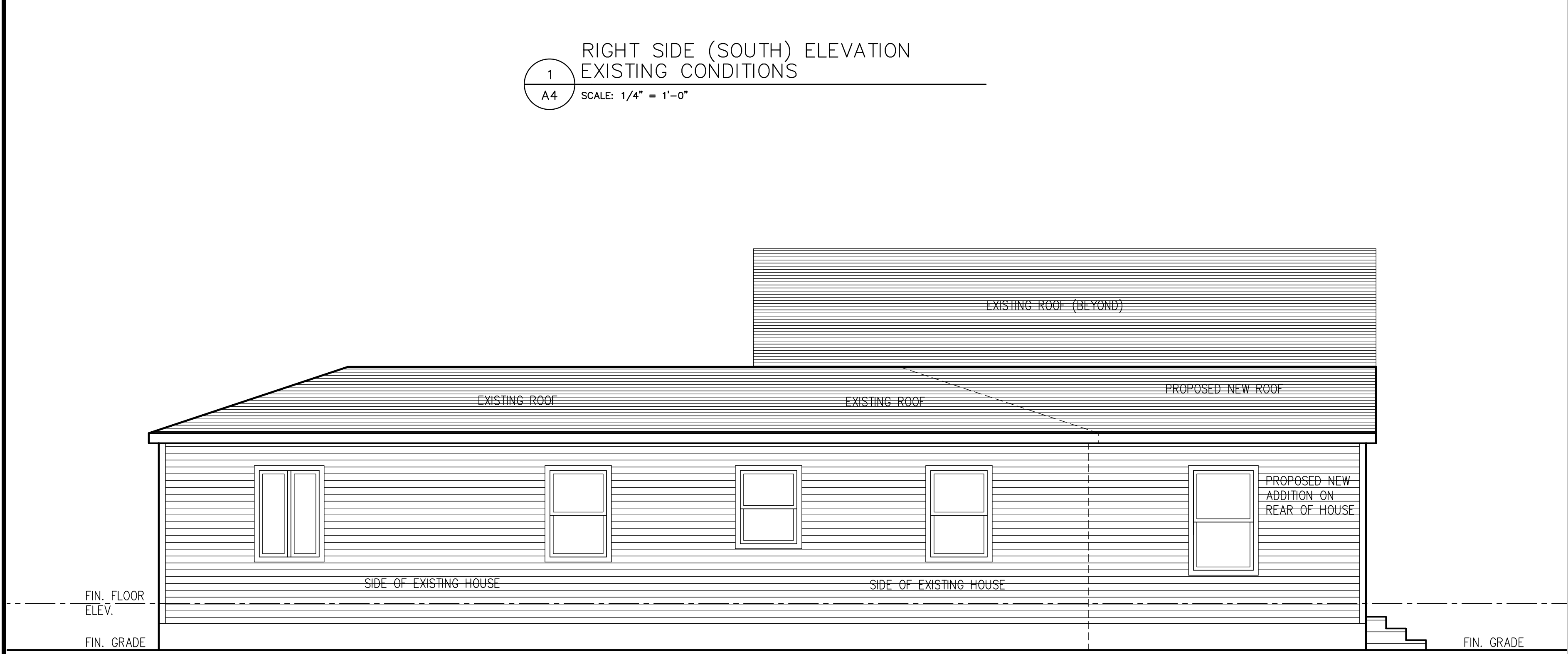
PROJECT NUMBER 1490	DATE 11/05/2024	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Getnick Residence 116 Stoneleigh Court, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING REAR (EAST) EXTERIOR ELEVATION			
DWG. NO. A3			

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



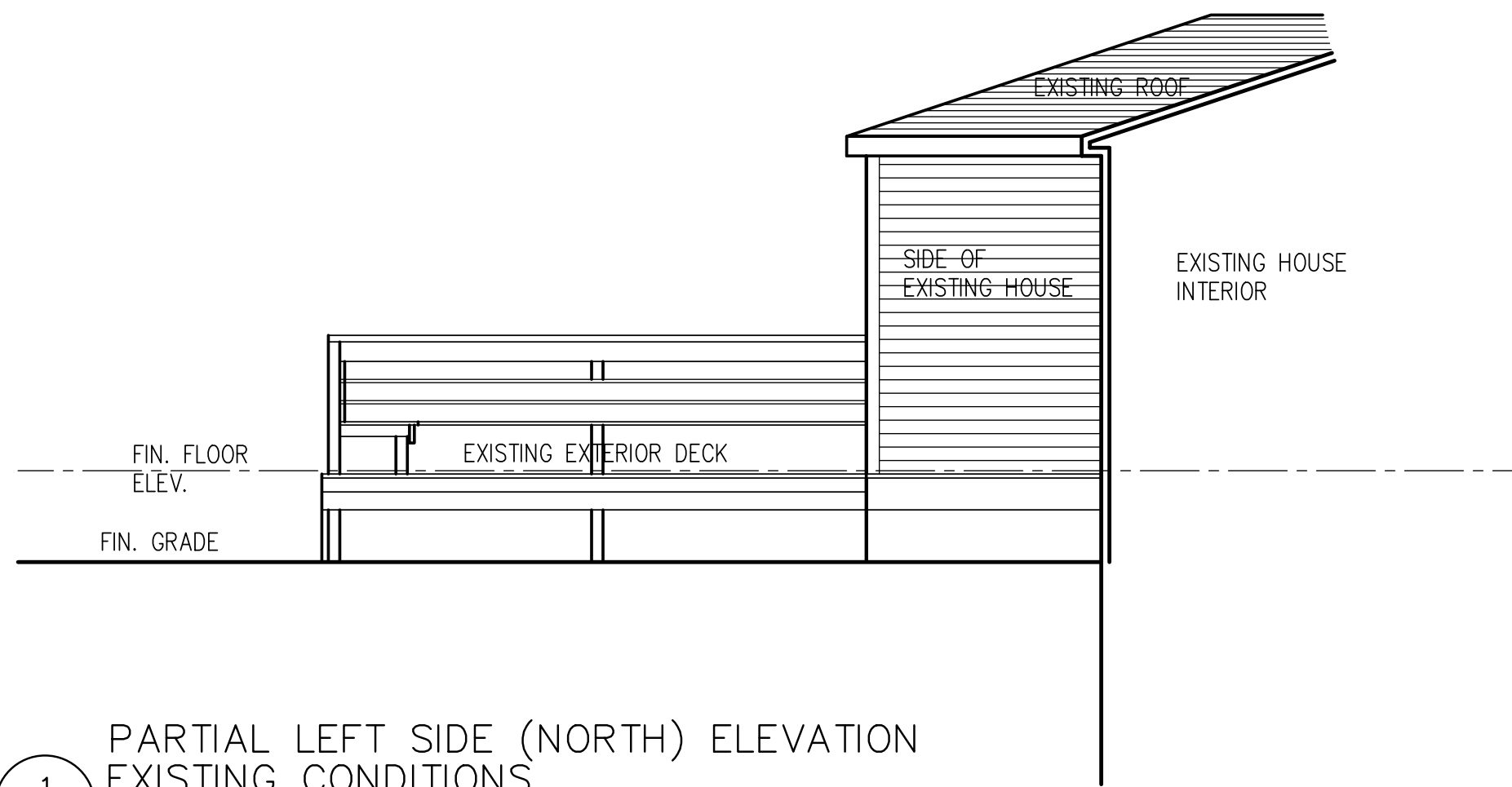
1
A4 RIGHT SIDE (SOUTH) ELEVATION
EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"



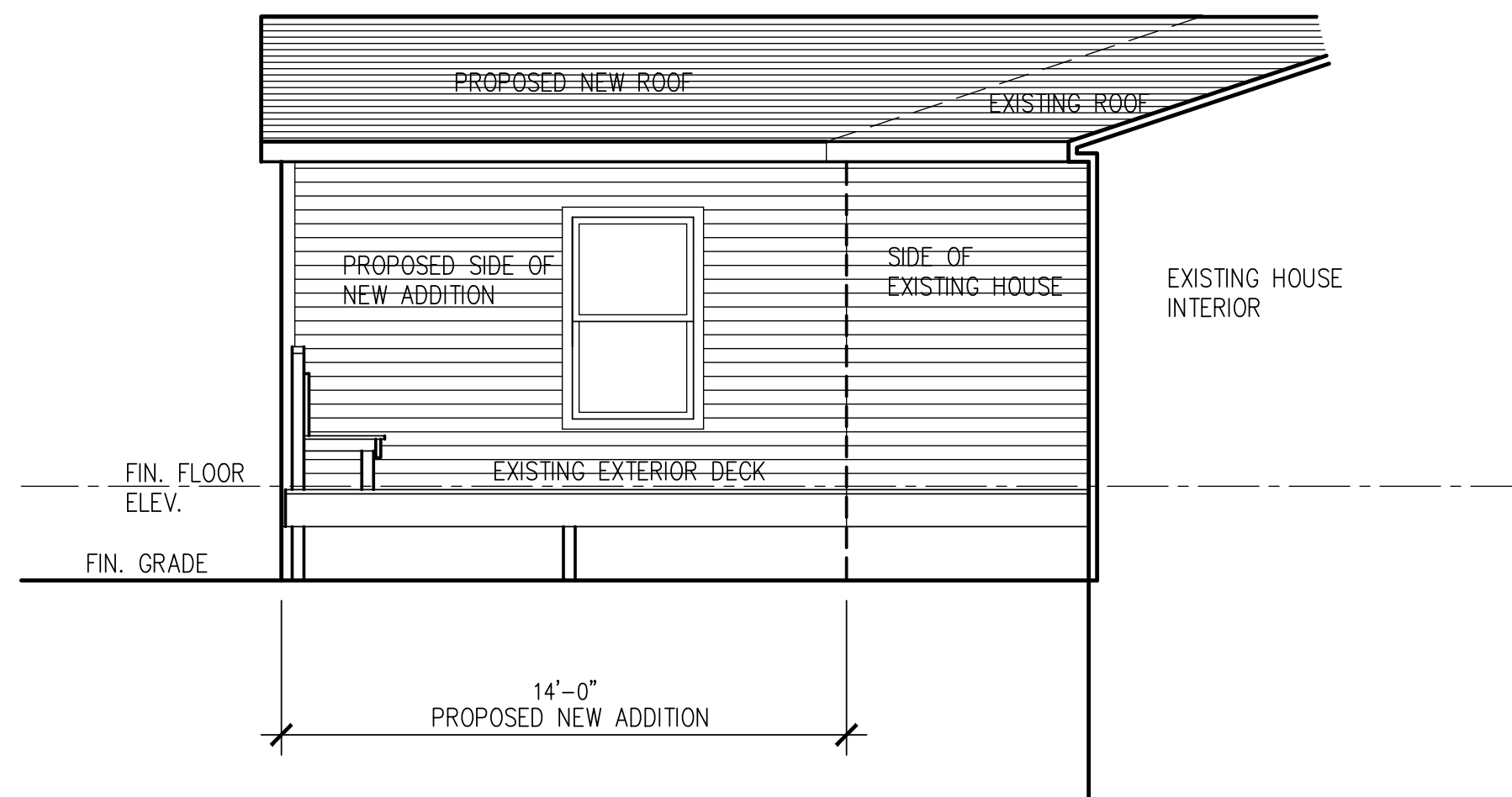
2
A4 RIGHT SIDE (SOUTH) ELEVATION
PROPOSED NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1490	DATE 11/05/2024	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Getnick Residence 116 Stoneleigh Court, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING RIGHT SIDE (SOUTH) EXTERIOR ELEVATION			
DWG. NO. A4			



1
A5 PARTIAL LEFT SIDE (NORTH) ELEVATION
EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"



2
A5 PARTIAL LEFT SIDE (NORTH) ELEVATION
PROPOSED NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1490	DATE 11/05/2024	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Getnick Residence 116 Stoneleigh Court, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING PARTIAL LEFT SIDE (NORTH) EXTERIOR ELEVATION			
DWG. NO. A5			



116 Stoneleigh Court

Left Side of Existing Rear Elevation



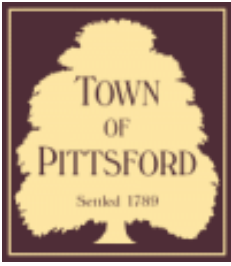
116 Stoneleigh Court

Right Side of Existing Rear Elevation



116 Stoneleigh Court

Right (South) Side of Existing House



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000159

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 49 Callingham Road PITTSFORD, NY 14534

Tax ID Number: 151.12-2-8

Zoning District: RN Residential Neighborhood

Owner: Hochheimer, Mandi C

Applicant: Hochheimer, Mandi C

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

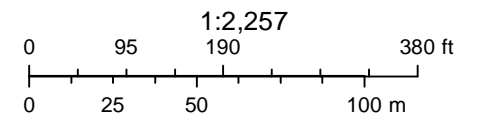
Project Description: Applicant is requesting design review for renovation to existing family room located behind garage to include replacement of exterior doors and windows and sliding glass door to existing deck.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 9, 2024



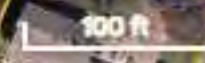
Town of Pittsford GIS

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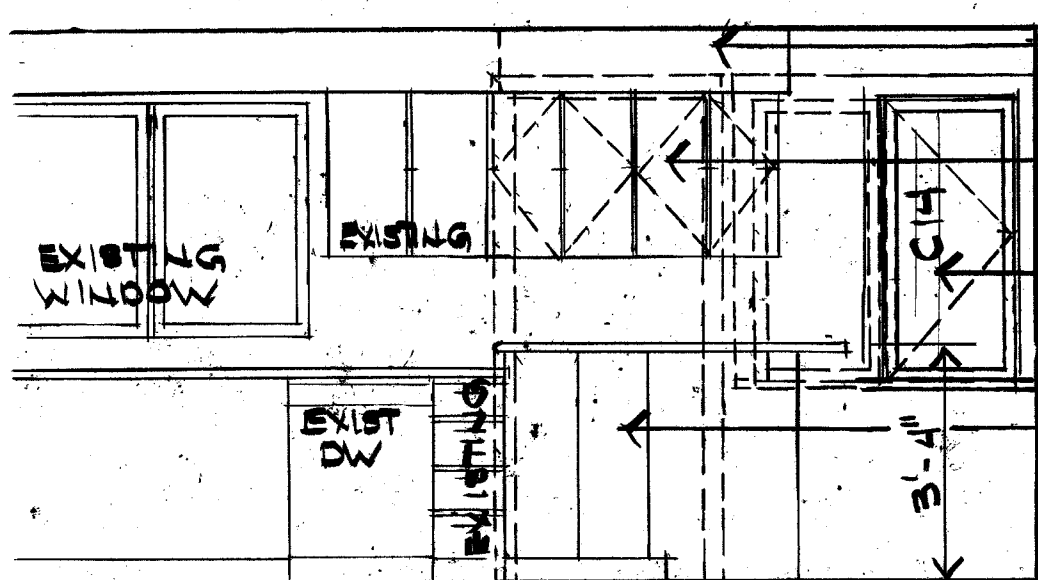


Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

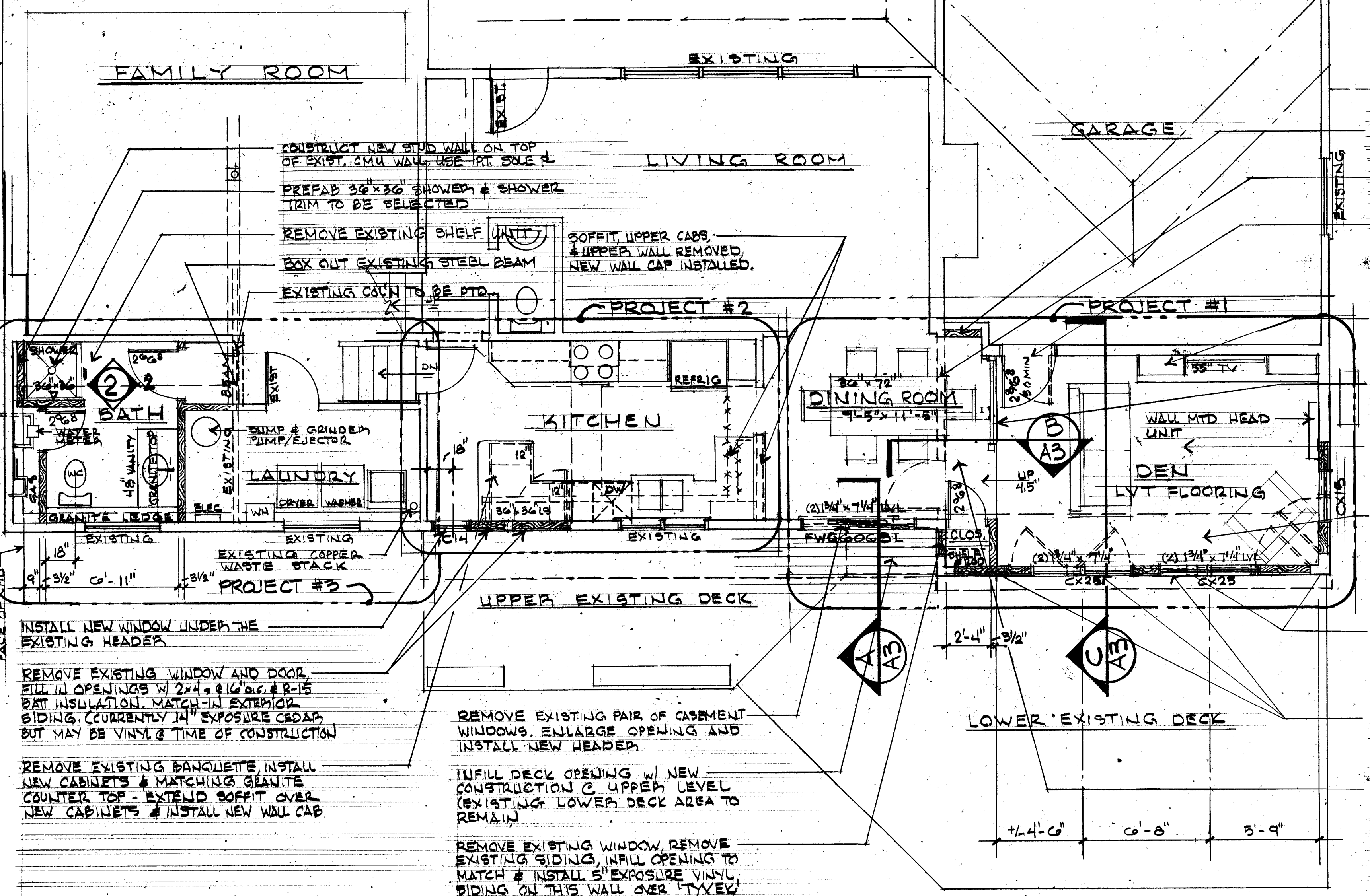


Nearmap



EXTEND SOFFIT OVER NEW CABINETS
 48" WIDE NEW UPPER CABINETS MATCHING THE EXISTING CABS
 EXISTING DOUBLE WINDOW REMOVED AND NEW CASEMENT INSTALLED TRIM TO MATCH THE EXISTING
 NEW 12" BASE CABINET AND 36"x36" LAZY SUSAN BASE - NEW GRANITE COUNTER TOP - NOTE ADDED CABINET HEIGHT

KITCHEN ELEVATION
 SCALE = 1/2" = 1'-0"



ADD 2x4 @ 16" o.c. # R-15 BATT INSULN TO FACE OF THE EXISTING WALL
 REMOVE EXISTING CLOSET & PARTITION
 REMOVE EXISTING DOOR & FRAME, INSTALL NEW (2) 2x6 HEADER IN WIDENED OPENING - INSTALL NEW 30 MINUTE DOOR AND FRAME W/ CLOSER (NOTE WALL WIDTH)
 4'-6" WIDE CUSTOM BUILT CABINET - 16" DEEP W/ 12" DEEP SHELVES ABOVE
 36" HIGH PAINTED WOOD RAILING ANCHORED TO FLOOR STRUCTURE
 SPLIT SYSTEM HEATING AND AC SYSTEM
 FLAT CEILING MATCHING EXISTING DINING ROOM CEILING HEIGHT
 SLOPED CEILING AREA W/ 2" EXTRUDED POLYSTYRENE INSUL
 REMOVE EXISTING HINGED DOOR OPENING, INFILL EXISTING OPENING W/ 2x4 @ 16" o.c. FRAMING & R-15 BATT INSULN
 REMOVE TRIM FINISHED SURFACES FROM THIS WALL, INSTALL 5" EXPOSURE VINYL SIDING OVER 'TYVEK' WEATHER BARRIERS
 REMOVE THREE PAIRS OF HINGED DOORS, INFILL OPENINGS W/ 2x4 @ 16" o.c. FRAMING & R-15 BATT INSULATION
 CONSTRUCT NEW RAISED FLOOR MATCHING INTO THE EXISTING FLOOR, MATCH-IN 2" WIDE OAK FINISHED FLOOR WOVEN INTO THE EXISTING

INSTALL NEW WINDOW UNDER THE EXISTING HEADER
 REMOVE EXISTING WINDOW AND DOOR, FILL IN OPENINGS W/ 2x4 @ 16" o.c. # R-15 BATT INSULATION, MATCH-IN EXTERIOR SIDING, CURRENTLY 14" EXPOSURE CEDAR, BUT MAY BE VINYL @ TIME OF CONSTRUCTION
 REMOVE EXISTING BANQUETTE, INSTALL NEW CABINETS & MATCHING GRANITE COUNTER TOP - EXTEND SOFFIT OVER NEW CABINETS & INSTALL NEW WALL CAB

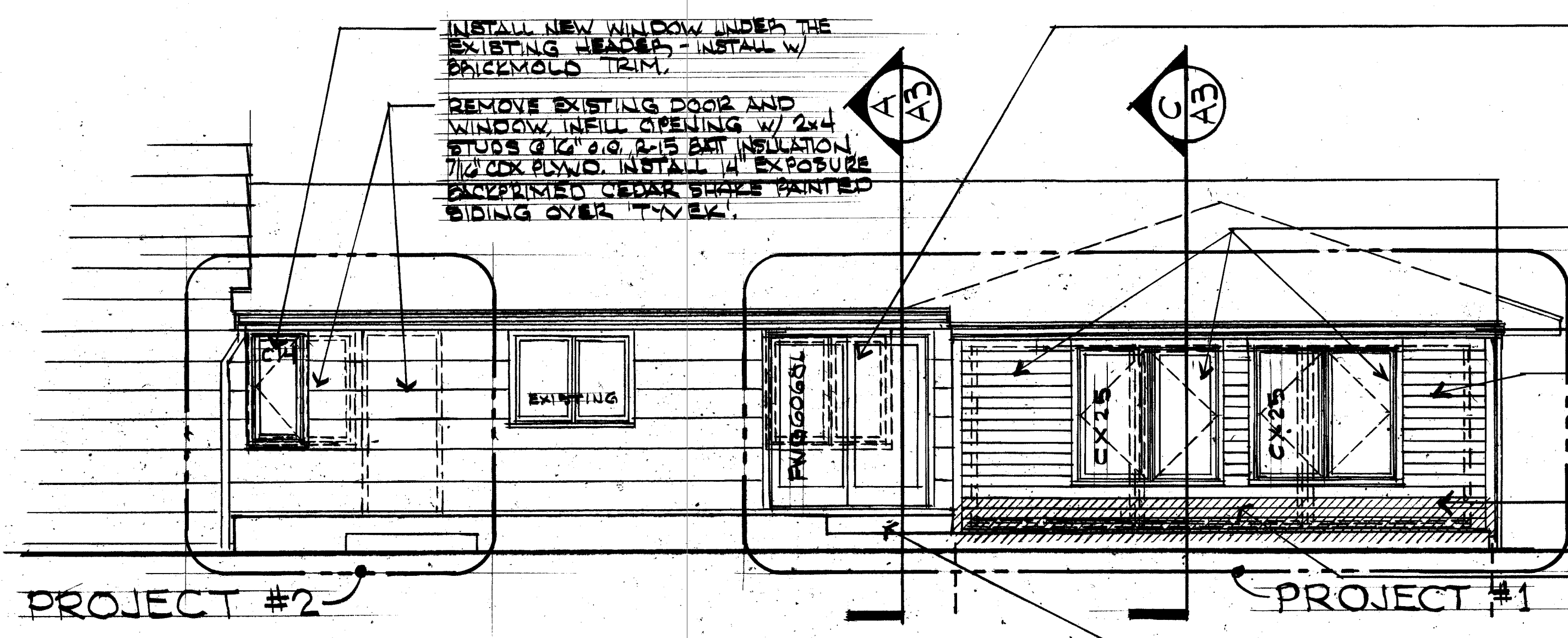
REMOVE EXISTING PAIR OF CASEMENT WINDOWS, ENLARGE OPENING AND INSTALL NEW HEADER
 INFILL DECK OPENING W/ NEW CONSTRUCTION @ UPPER LEVEL (EXISTING LOWER DECK AREA TO REMAIN)
 REMOVE EXISTING WINDOW, REMOVE EXISTING SIDING, INFILL OPENING TO MATCH & INSTALL 5" EXPOSURE VINYL SIDING ON THIS WALL OVER 'TYVEK'

LOWER LEVELS FLOOR PLANS
 SCALE = 1/4" = 1'-0"

RANDALL F. PEACOCK
 ARCHITECT
 545 Spring Meadow Lane
 Webster, New York 14580
 585-746-5984
 randallfpeacock@gmail.com

ALTERATIONS AND IMPROVEMENTS
HOCHHEIMER-FOURNIER
 RESIDENCE
 49 CALLINGHAM ROAD
 PITTSFORD, NEW YORK

PROJECT NUMBER	2024-025
DATE	
DRAWN BY	PEACOCK
SHEET TITLE	FLOOR PLAN
SHEET NUMBER	A1 OF 5



INSTALL NEW WINDOW UNDER THE EXISTING HEADERS - INSTALL W/ BRICKMOLD TRIM.

REMOVE EXISTING DOOR AND WINDOW, INFILL OPENING W/ 2x4 STUDS @ 16" o.c. R-15 BATT INSULATION, 7/16" GYP PLND. INSTALL 1/4" EXPOSURE BACKPRIMED CEDAR SHAKE PAINTED SIDING OVER 'TYVEK'.

REMOVE EXISTING WINDOW, ENLARGE R.O. AND INSTALL (2) 1 3/4" x 7 1/4" LVL HEADERS W/ (2) ROWS 5DS 1/4" x 3 1/2" SCREWS @ 12" o.c. STAGGER TOP AND BOTTOM ROWS. INSTALL NEW SLIDING GLASS DOOR MATCH-IN 1/4" EXPOSURE CEDAR SIDING, BACKPRIMED & PAINTED.

REMOVE (3) PAIRS OF DOORS AND EXISTING TRIM - MODIFY WALL - ADD (2) NEW (2) 1 3/4" x 7 1/4" LVL HEADERS (SEE ABOVE FOR ATTACHMENT)

EXISTING 5" K GUTTERS TO REMAIN

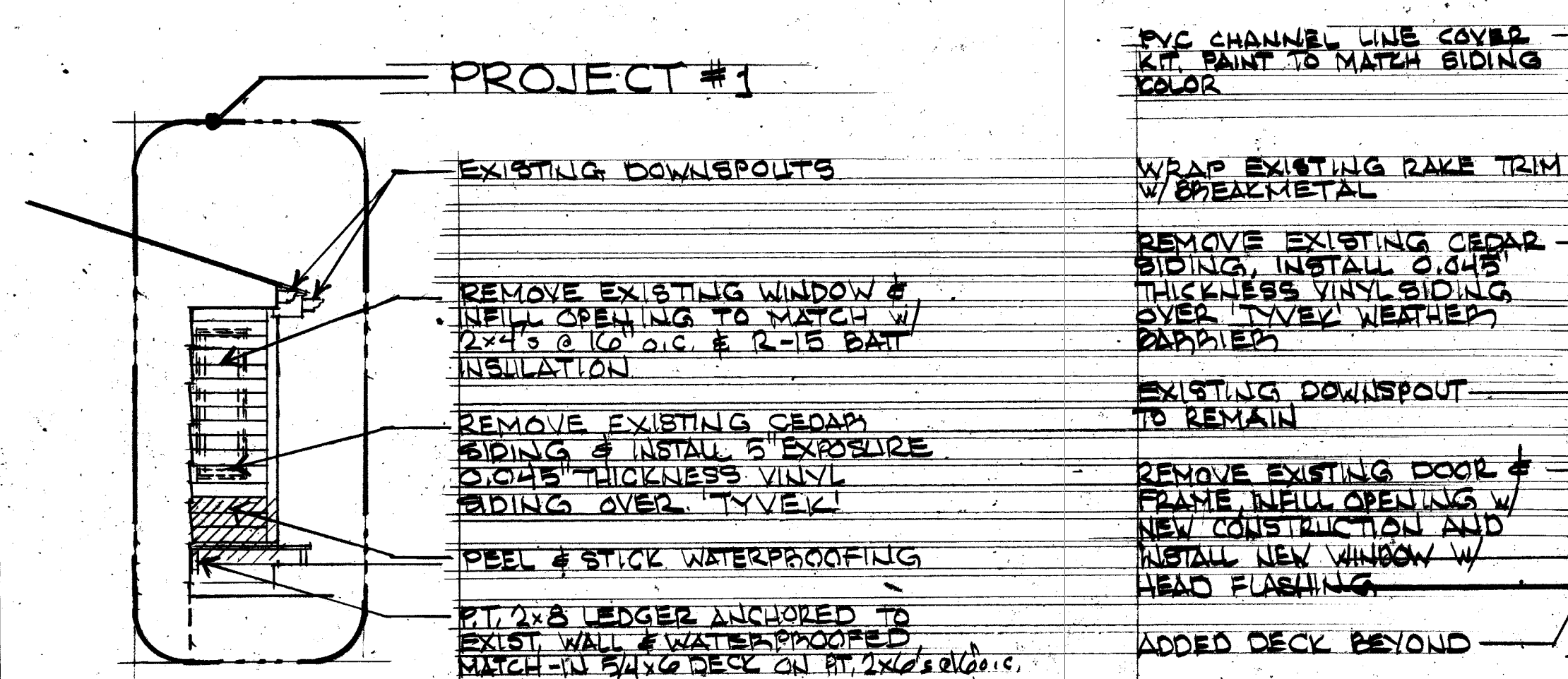
INFILL EXISTING OPENINGS W/ 2x4 STUDS @ 16" o.c. W/ R-15 GLASS FIBER BATT INSULATION, 7/16" GYP PLND SHEATHING W/ 'TYVEK' WEATHER BARRIERS

INSTALL 5" EXPOSURE, 0.045" THICK VINYL SIDING W/ 1/4" CORNER TRIM

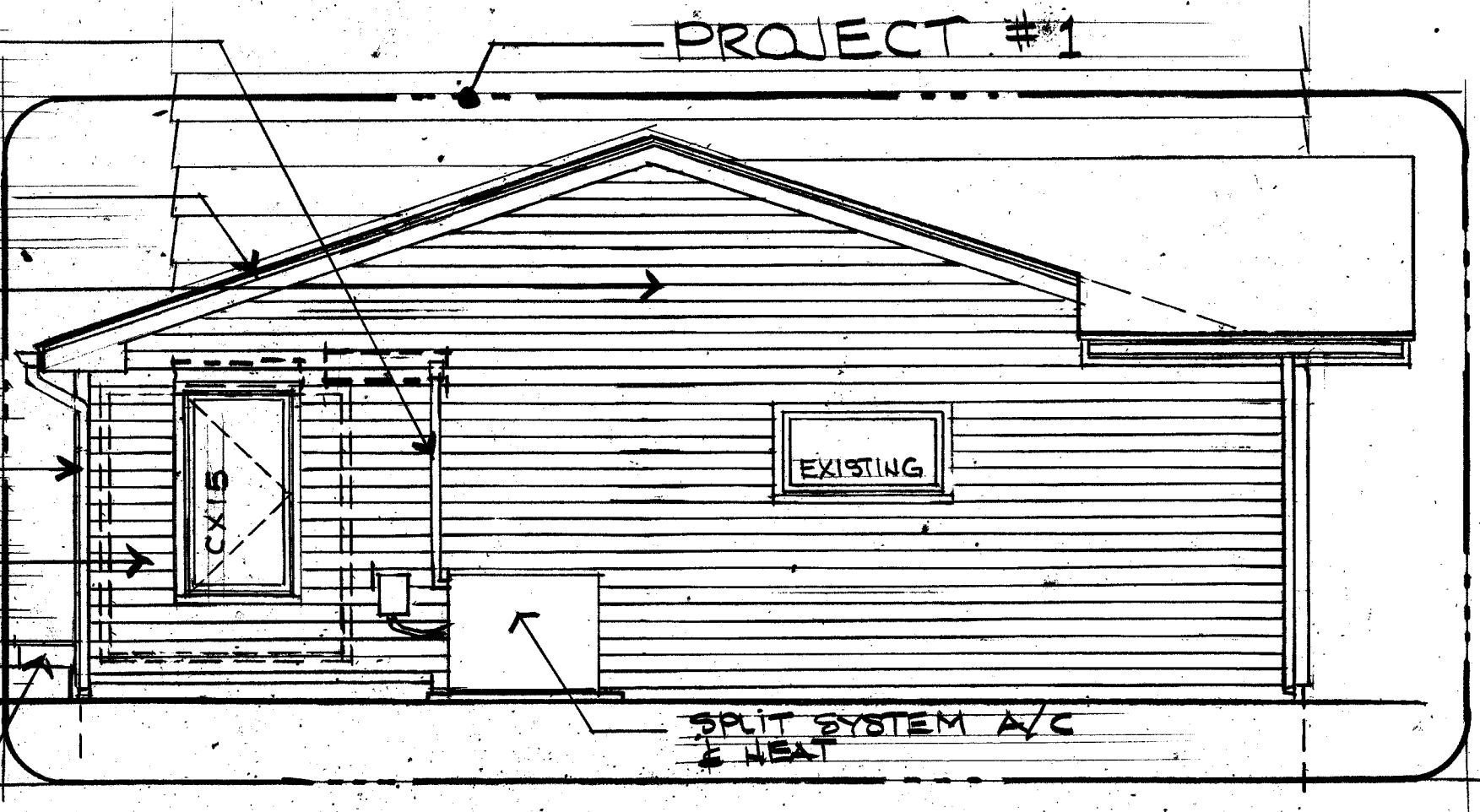
INSTALL PEEL & STICK WATERPROOFING TO 16" ABOVE DECK ALONG ENTIRE WALL

INFILL DECK @ NEW DOOR

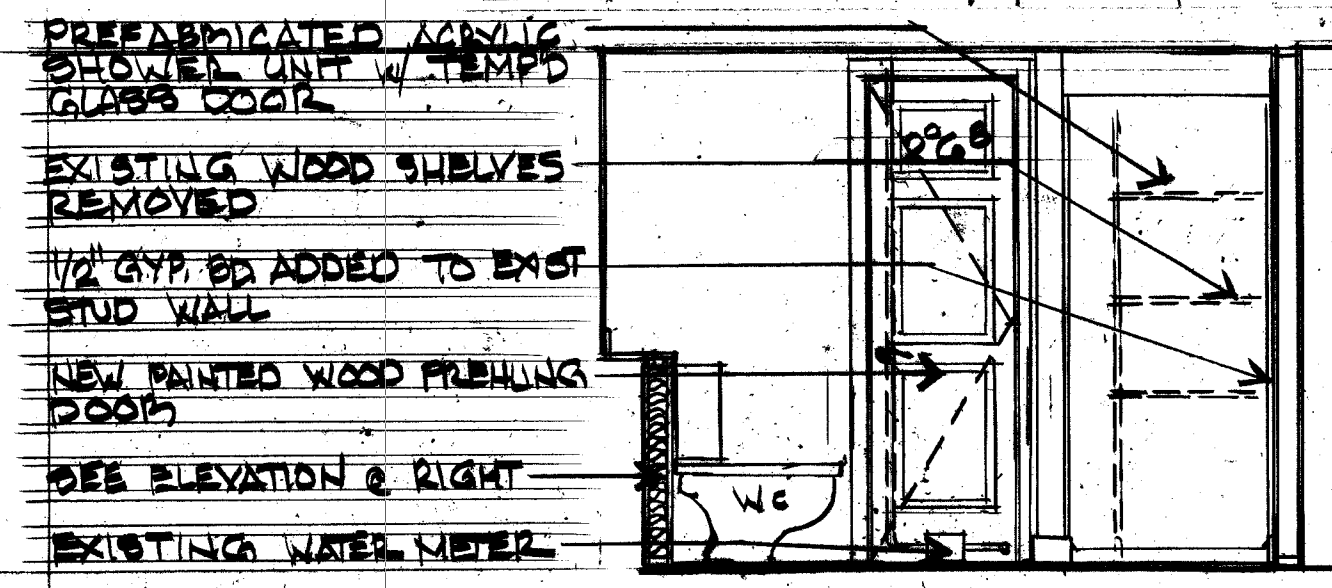
NORTHEAST ELEVATION
 SCALE = 1/4" = 1'-0"



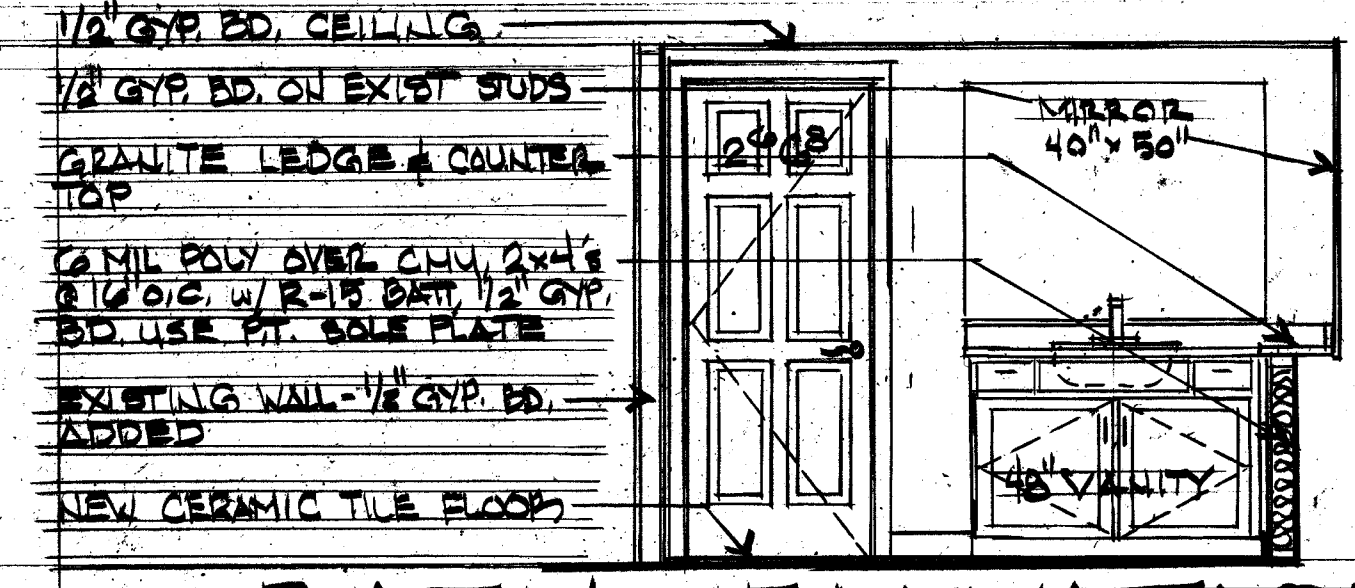
SOUTHEAST ELEV'N
 SCALE = 1/4" = 1'-0"



NORTHWEST ELEVATION
 SCALE = 1/4" = 1'-0"



1 BATH ELEVATION
 SCALE = 3/8" = 1'-0"



2 BATH ELEVATION
 SCALE = 3/8" = 1'-0"

PREFABRICATED ACrylic SHOWER UNIT W/ TEMPS GLASS DOOR

EXISTING WOOD SHELVES REMOVED

1/2" GYP BD ADDED TO EXIST STUD WALL

NEW PAINTED WOOD PREHUNG DOOR

SEE ELEVATION @ RIGHT

EXISTING WATER METER

1/2" GYP BD. CEILING

1/2" GYP BD. ON EXIST STUDS

GRANITE LEDGE & COUNTER TOP

6 MIL POLY OVER CHU 2x4's @ 16" o.c. W/ R-15 BATT 1/2" GYP BD. USE FT. SOLE PLATE

EXISTING WALL - 1/2" GYP BD. ADDED

NEW CERAMIC TILE FLOOR

MIRROR 40" x 50"

48" VANITY

07 THERMAL AND MOISTURE PROTECTION

1. BUILDING WALL INSULATION: all existing 2 x 4 exterior walls exposed on one side to ambient temperatures shall include R-15 3.5-inch-thick glass fiber or mineral wool insulation installed per manufacturer's instructions.
2. VAPOR BARRIER: All walls of heated spaces are to be protected with a 6-mil polyethylene vapor barrier installed on the interior side of the wall. All seams in the vapor barrier are to be sealed with an applied bead of adhesive sealant.
3. SEALANTS: seal all joints between exterior materials, around windows and doors, at wall penetrations, etc. with "G.E. Waterproof and Paintable Silicone II XST" paintable, UV resistant sealant. At all siding joints use a manufacturer approved sealant material.

08 DOORS AND WINDOWS

- 1) WINDOW: Provide Andersen 200 Series Casement windows and Gliding French doors as indicated on the drawings. Window and door units are to include factory primed and painted interiors and vinyl clad exteriors. Window glass shall be Low-E, argon filled insulated glass. Provide a screen.
- 2) Window U-value shall be 0.29 or better.
- 3) Gliding French door U-value shall be 0.29 or better.

09 FINISHES

- 1) Interior gypsum board wall and ceiling surfaces are to be finished with a smooth surface three coat mud finish. Apply one coat of latex drywall primer and two finish coats of premium latex eggshell paint.
- 2) Family Room floor finish is to be 3/8-inch Luxury Vinyl Tile to be selected.
- 3) Dining Room Floor finish is to be 2-inch width oak floor matching the existing. Weave the new flooring into the existing flooring and refinish the entire room.
- 4) Bathroom flooring for project #3 is to be 3/8-inch luxury Vinyl Tile to be selected.
- 5) Provide a prefabricated acrylic shower unit with glass enclosure door for the bathroom in Project #3. All shower hardware, including mixing valve, handheld shower wand and shower nozzle are to be selected. Provide an allowance for them

10 MECHANICAL

- 1) The mechanical systems in the house must be designed in compliance with the requirements of the 2020 New York State Energy Conservation Construction Code.
- 2) Provide a split system heat pump for heating and air conditioning in the family room on the first floor. (This space is currently not heated and cooled properly by the existing HVAC system.) In the family room a wall mounted head unit may be used. The contractor shall size the units properly for the spaces to be conditioned.
- 3) Provide a wall mounted bath exhaust fan located in the wall of the skylight well. Duct the exhaust outlet to a roof exhaust head flashed into the existing roofing.

11 PLUMBING

- 1) All plumbing work shall comply with the requirements of the 2020 Residential Code.
- 2) Provide allowance amounts for the shower mixing valve and trim, lavatory, and faucets.
- 3) Hot and cold-water supply piping is to be provided to the new fixtures, (cold only to toilets.) Supply piping is to be per contractor's selection. Waste and vent piping may be PVC.
- 4) Insulate all supply lines where they are exposed in basement, crawlspace, or concealed walls.

- 5) Provide a vented sewage sump crock and grinder/ejector pump to be located in the basement floor. Connect the ejector pump outflow to the existing waste stack in the laundry room.
- 6) Provide shock-absorbing legs in each branch of the water supply piping to prevent water hammer.
- 7) Provide ball valve shutoffs for supply piping for each of the fixtures. Locate the shutoffs in the basement adjacent to the fixture above or in concealed locations such as in vanities or behind access panels in the walls.
- 8) All supply and waste piping is to be installed in runs parallel or perpendicular to the structure of the building. Support the piping with adequately spaced hangers attached to the building structure.

12 ELECTRICAL

- 1) All electrical work shall conform to the requirements of the National Electrical Code.
- 2) Provide circuits for all new lighting, convenience outlets, and equipment indicated on the drawings. Verify location of outlets and switches with the owner and architect prior to installation.
- 3) Circuiting shall be as determined in the field.
- 4) The final selection of all lighting fixtures shall be made by the owner. All light fixtures are to be supplied with appropriate lamps.
- 5) All lighting fixtures recessed in ceilings under attic areas or in direct contact with insulation shall be sealed insulation contact rated fixtures. Seal the vapor barrier to these fixtures.
- 6) SMOKE DETECTORS: provide an interconnected system of hardwired smoke detectors throughout the house.
- 7) CO DETECTORS: provide hardwired interconnected Carbon Monoxide detectors complying with UL2034 on each level of the structure including the basement.
- 8) A minimum of 90% of the lamps in permanently installed lighting fixtures are required to be high-efficiency lamps.
- 9) The existing electrical service drop, riser and meter must be relocated as part of this project. Coordinate this work with the utility company to move the service drop to the new location.
- 10) Seal all penetrations points where cables enter the building.

RANDALL F. PEACOCK
ARCHITECT

545 Spring Meadow Lane
Webster, New York 14580
585-746-5984
randallfpeacock@gmail.com

ALTERATIONS AND IMPROVEMENTS
HOCHHEIMER-FOURNIER
RESIDENCE
49 CALLINGHAM ROAD
PITTSFORD, NEW YORK

PROJECT NUMBER
2024-025

DATE
NOVEMBER 6, 2024

DRAWN BY
PEACOCK

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
A5 OF 5



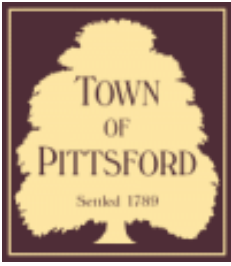
BILLS
FANS
PARKING

49









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000161

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 28 Woodbury Place ROCHESTER, NY 14618

Tax ID Number: 138.61-1-11

Zoning District: RN Residential Neighborhood

Owner: Growney, Julia K

Applicant: Gaetano Abbate Contacting & Consulting

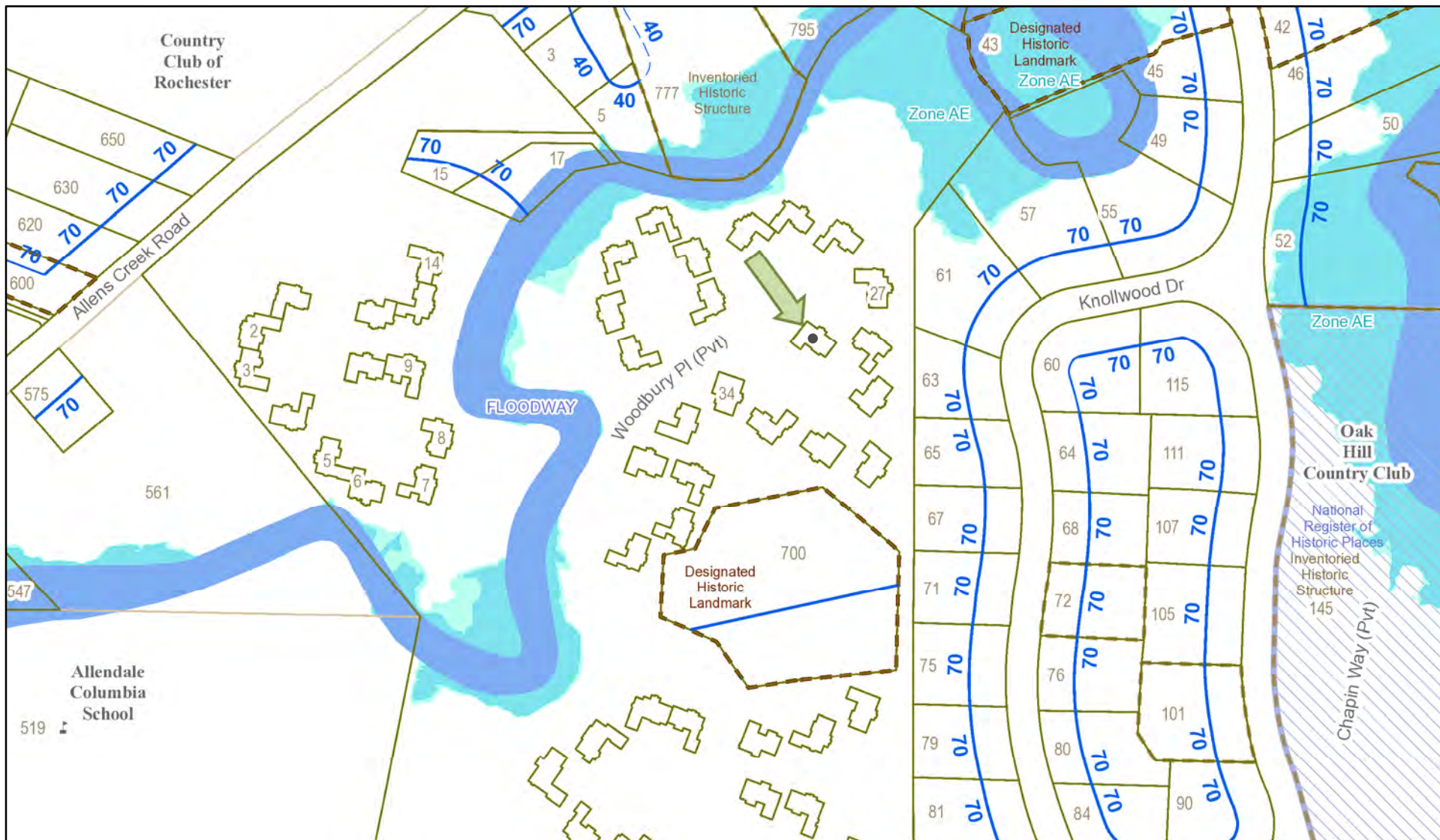
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

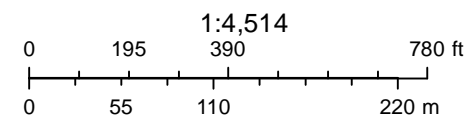
Project Description: Applicant is requesting design review for Interior renovation requiring relocation and resizing of windows. Removal of wood framed deck and addition of a 288 sq. ft covered raised patio.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 9, 2024



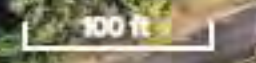
Town of Pittsford GIS

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Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



Nearmap

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
3500 PSI PORCH
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- N/A
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- N/A
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMO-SALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF (PER R502.3.2)
- ALL WORK MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R315 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
- PROVIDE A MIN. ONE HOUR RATED CEILING AND WALL FIRE SEPARATION BETWEEN THE GARAGE AND RESIDENCE PER TABLE R302.6 OF THE 2020 RESIDENTIAL CODE OF NYS
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

RENOVATION / ADDITION

DOUG AND MARY ELLEN WEINS

28 WOODBURY PLACE, PITTSFORD, NY

DRAWING INDEX

1	TITLE PAGE
2	FRONT ELEVATION - proposed and existing
3	REAR ELEVATION - proposed and existing
4	RIGHT SIDE ELEVATION - proposed and existing
5	LEFT SIDE ELEVATION - proposed and existing
6	FLOOR PLAN - proposed
7	FLOOR PLAN - existing

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION M507.3.3 REQUIREMENTS.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (6)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.11



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PROJECT:
RENOVATION/ADDITION
DOUG & MARY ELLEN WEINS
28 WOODBURY PLACE

CLIENT:
M/M WEINS

DRAWING:
TITLE PAGE

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

SCALE: 1/4" = 1'-0"

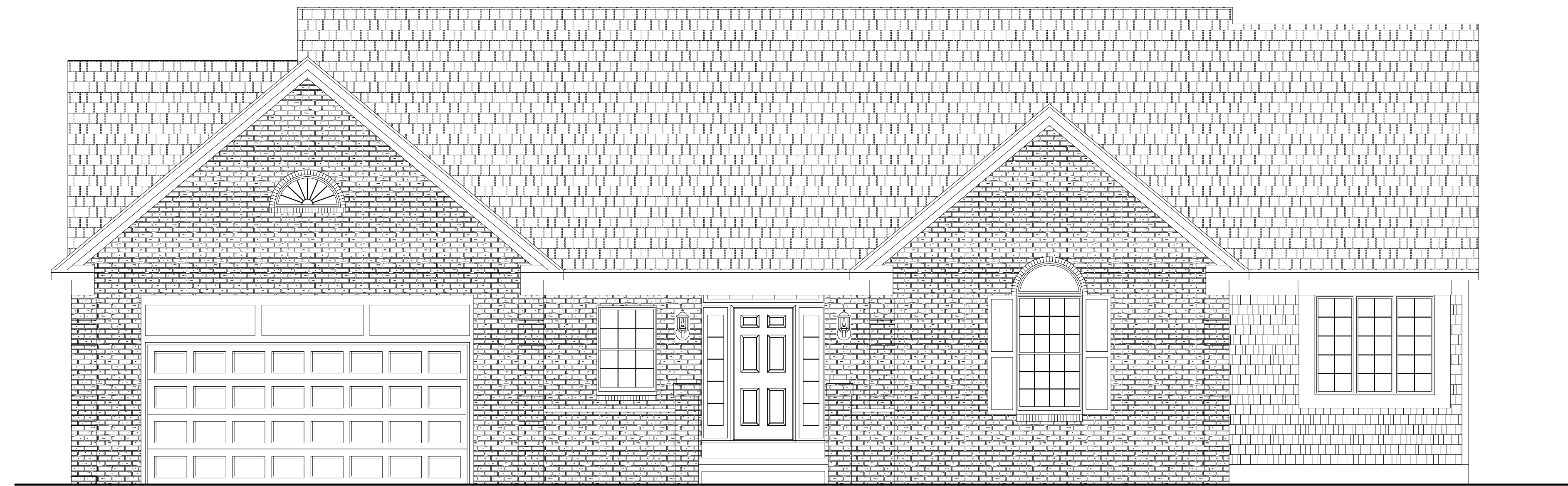
JOB NO.: 24145

SHEET:

1

OF 7 SHEETS





FRONT ELEVATION - EXISTING



FRONT ELEVATION - PROPOSED



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PROJECT:
RENOVATION/ADDITION
DOUG & MARY ELLEN MEINS
28 WOODBURY PLACE

CLIENT:
M/M MEINS

DRAWING:
FRONT ELEVATION -
PROPOSED AND EXISTING

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

SCALE: 1/4" = 1'-0"

JOB NO.: 24145

SHEET:

2

OF 7 SHEETS





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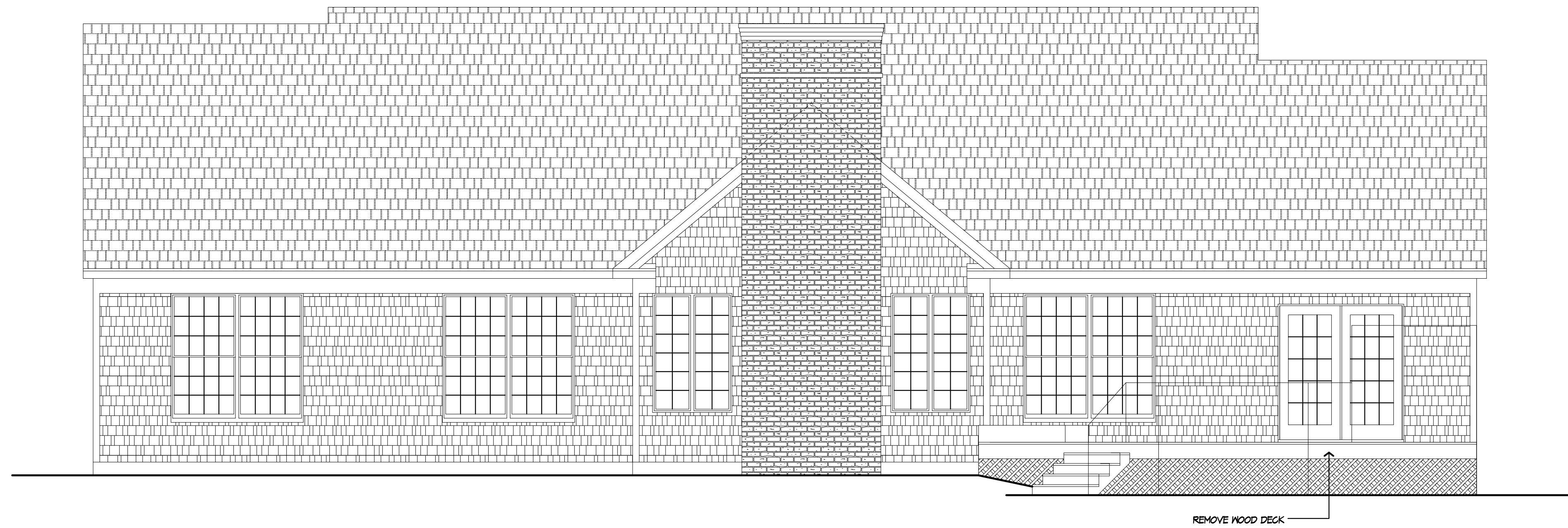
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Pittsford, NY 14534

(585) 264-1330
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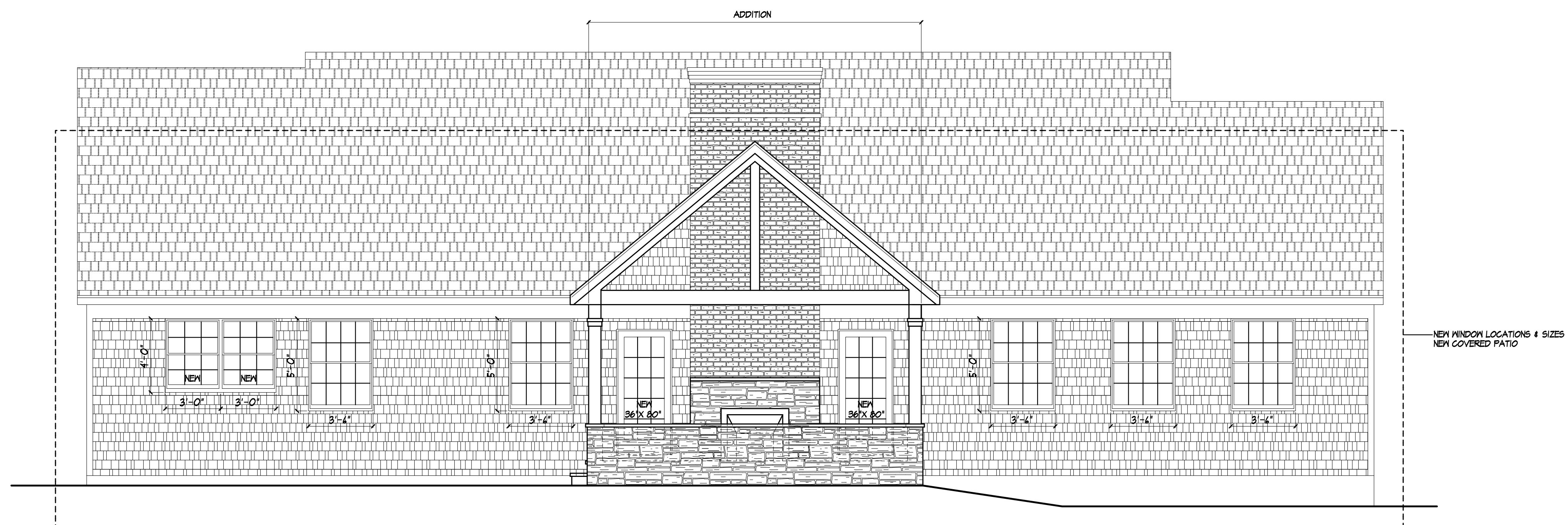
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REAR ELEVATION - EXISTING



REAR ELEVATION - PROPOSED

PROJECT:
RENOVATION/ADDITION
DOUG & MARY ELLEN MEINS
28 WOODBURY PLACE

CLIENT:
M/M MEINS

DRAWING:
REAR ELEVATION -
PROPOSED AND EXISTING

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

SCALE: 1/4" = 1'-0"

JOB NO.: 24145

SHEET:

3

OF 7 SHEETS





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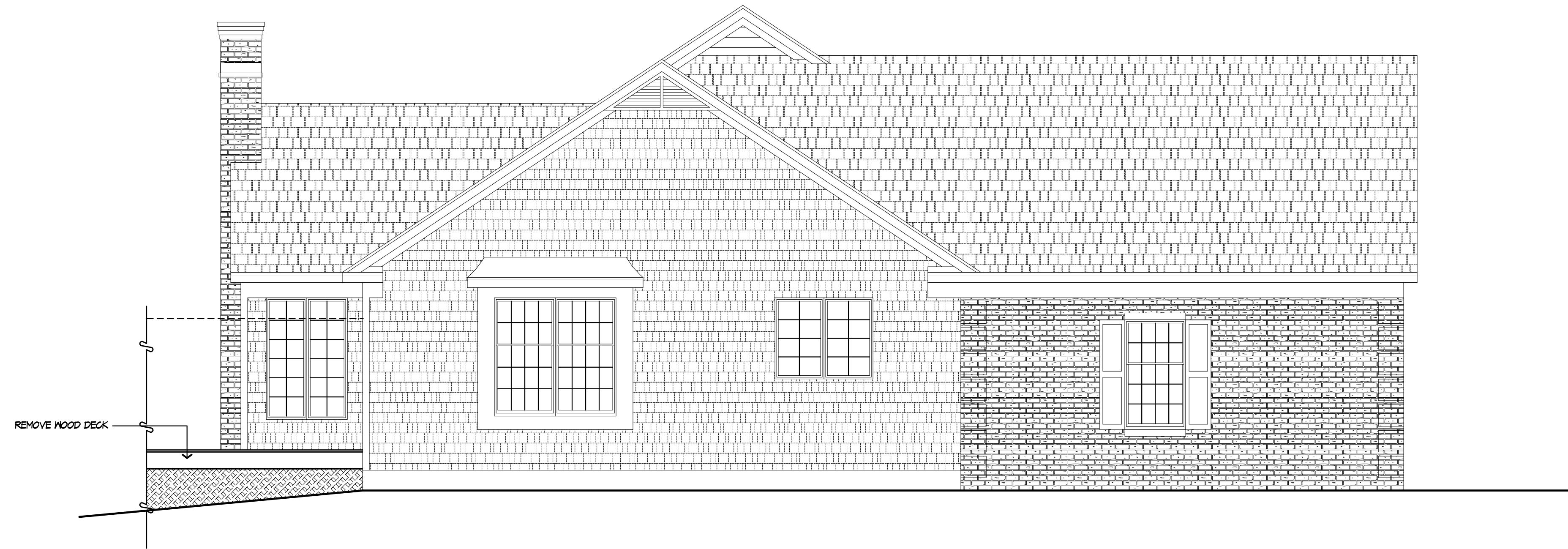
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Pittsford, NY 14534

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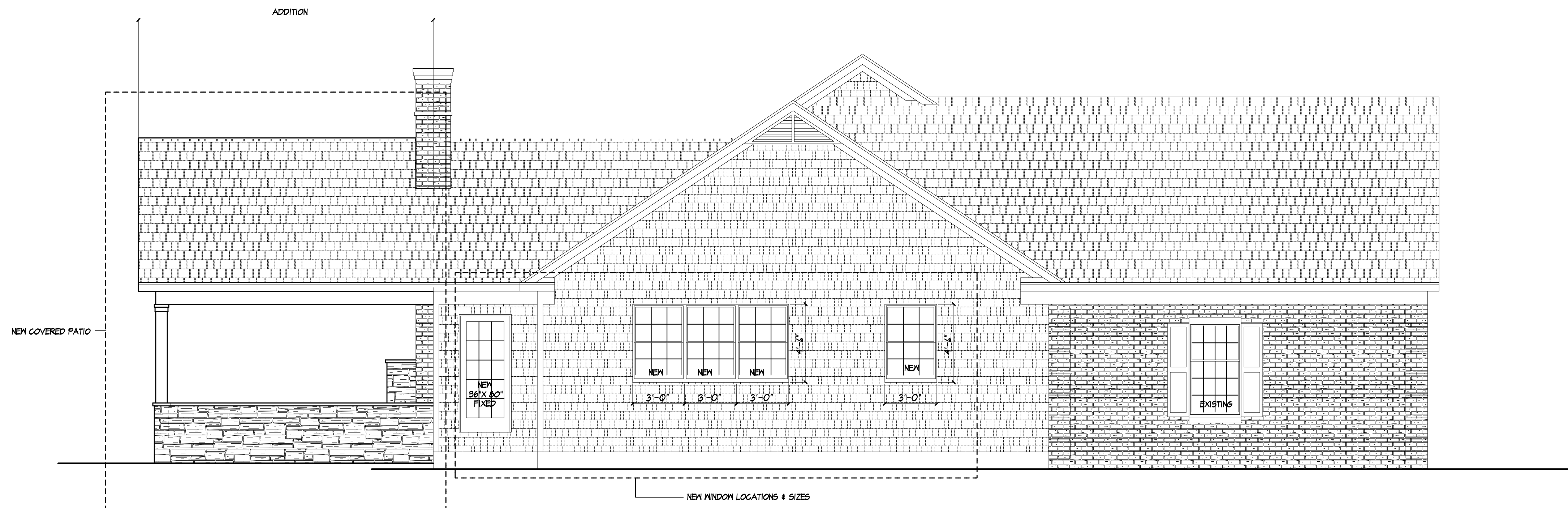
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LEFT SIDE ELEVATION - EXISTING



LEFT SIDE ELEVATION - PROPOSED

PROJECT:
RENOVATION/ADDITION
DOUG & MARY ELLEN MEINS
28 WOODBURY PLACE

CLIENT:
M/M MEINS

DRAWING:
LEFT SIDE ELEVATION -
PROPOSED AND EXISTING

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

SCALE: 1/4" = 1'-0"

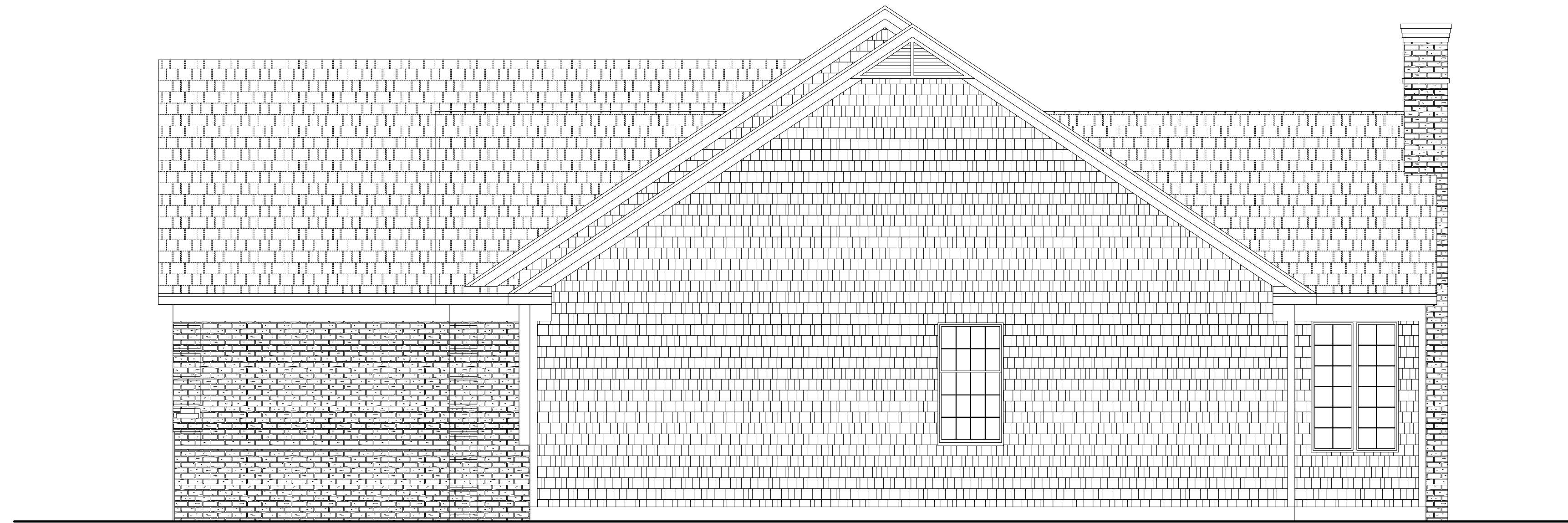
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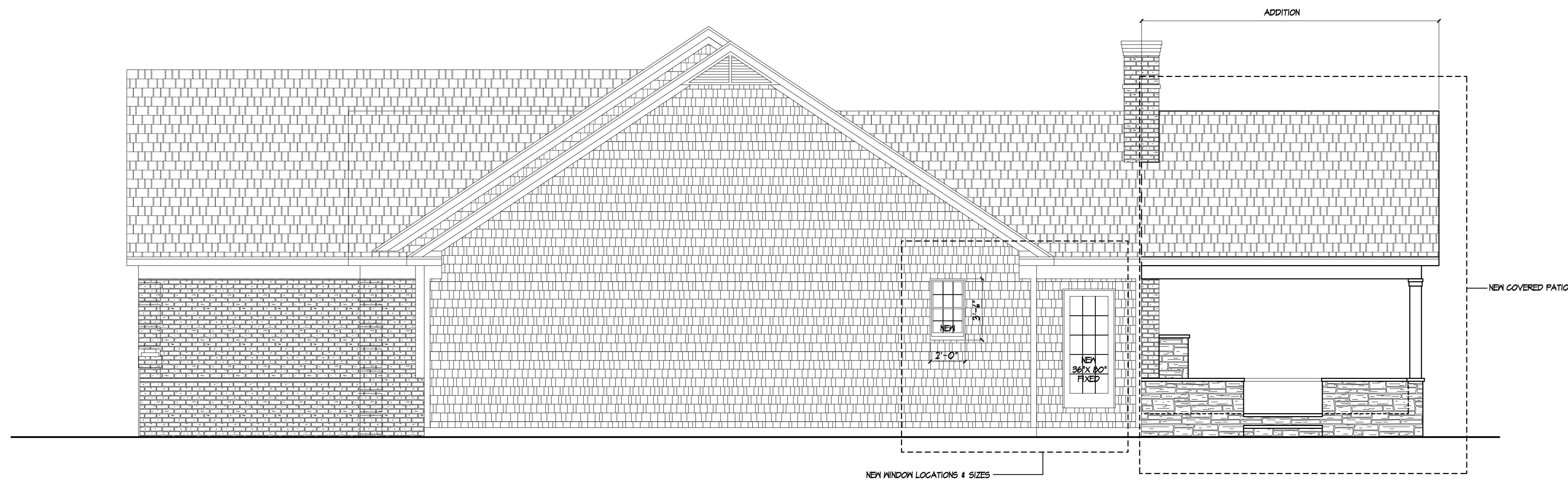
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OF 7 SHEETS





RIGHT SIDE ELEVATION - EXISTING



RIGHT SIDE ELEVATION - PROPOSED



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PROJECT:
RENOVATION/ADDITION
DOUG & MARY ELLEN MEINS
28 WOODBURY PLACE

CLIENT:
M/M MEINS

DRAWING:
RIGHT SIDE ELEVATION -
PROPOSED AND EXISTING

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

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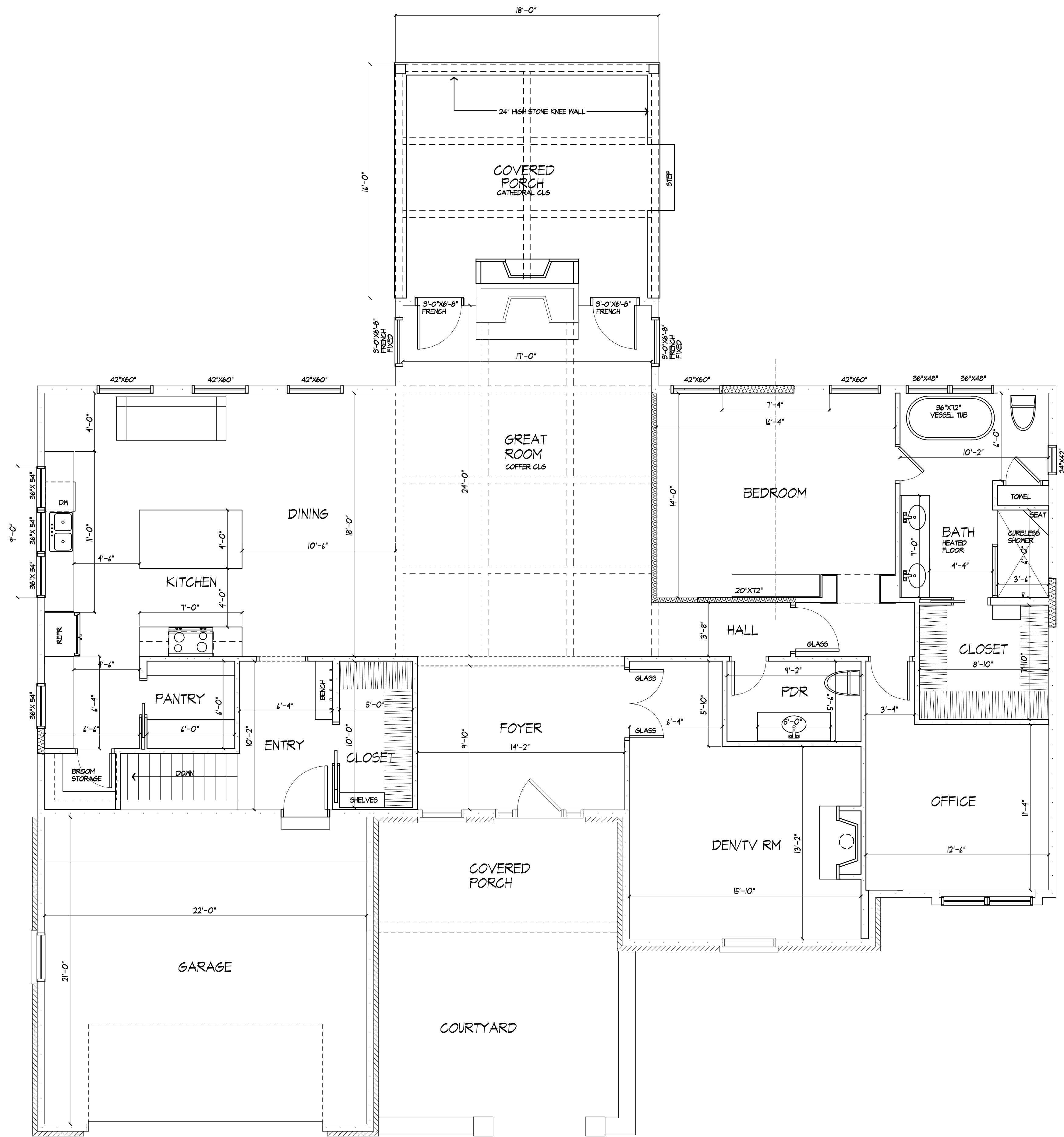
JOB NO.: 24145

SHEET:

5

OF 7 SHEETS





FLOOR PLAN - PROPOSED

AREA: 2384 SQ FT



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PROJECT:
RENOVATION/ADDITION
DUGS & MARY ELLEN HEINS
28 WOODBURY PLACE

CLIENT:
M/M HEINS

DRAWING:
FLOOR PLAN - PROPOSED

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

SCALE: 1/4" = 1'-0"

JOB NO.: 24M45

SHEET:

6

OF 7 SHEETS





FLOOR PLAN - EXISTING

AREA: 2384 SQ FT



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PROJECT:
RENOVATION/ADDITION
DUG & MARY ELLEN HEINS
28 WOODBURY PLACE

CLIENT:
M/M HEINS

DRAWING:
FLOOR PLAN - EXISTING

DRAWN:
JTL/PM

DATE: NOVEMBER 2024

SCALE: 1/4" = 1'-0"

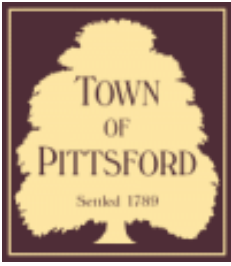
JOB NO.: 24M45

SHEET:

7

OF 7 SHEETS





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000169

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Railroad Mills Road PITTSFORD, NY 14534

Tax ID Number: 178.20-2-48

Zoning District: RN Residential Neighborhood

Owner: Repp, Robin L

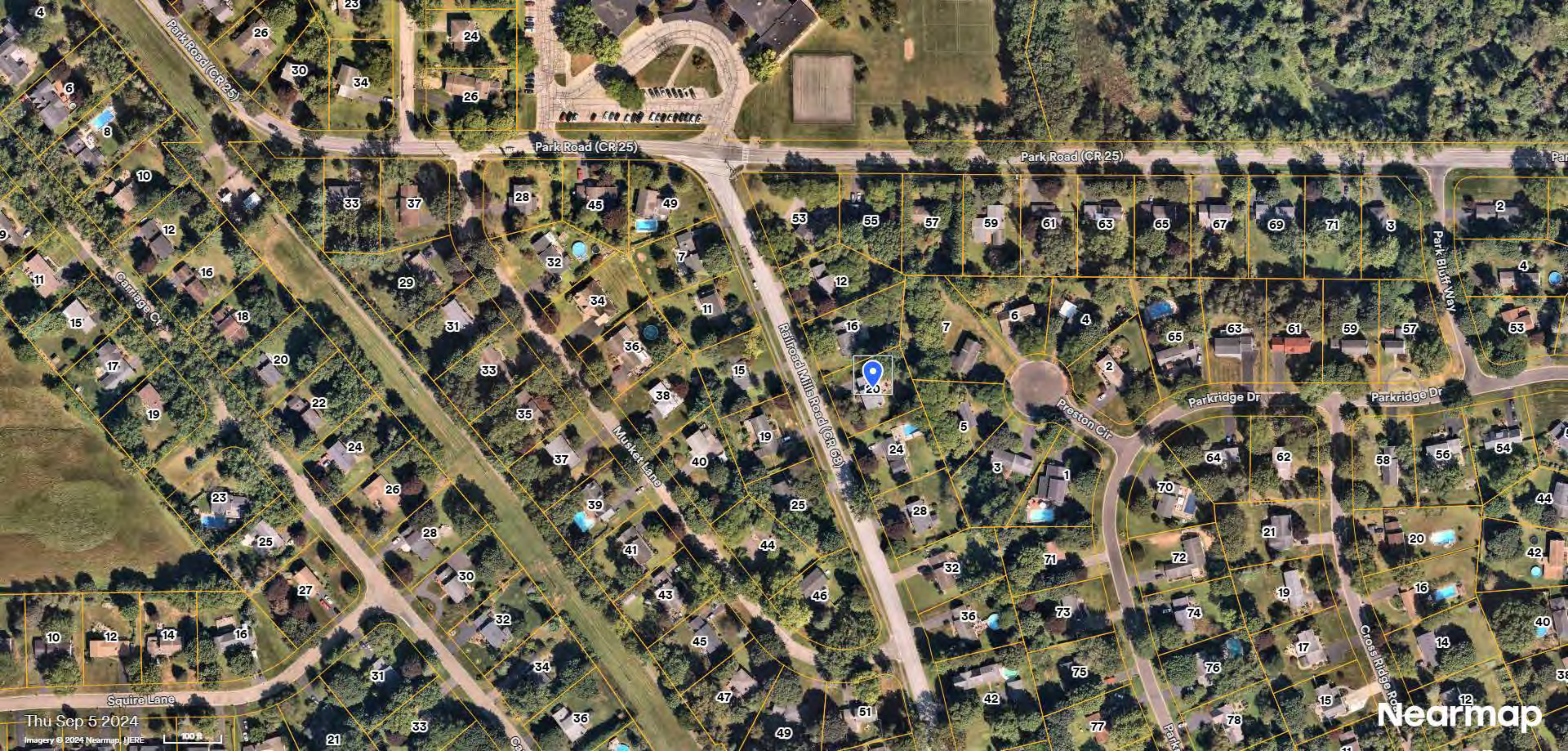
Applicant: Oaks Roofing

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for an approximately 24 square foot front entry overhang.

Meeting Date: December 19, 2024

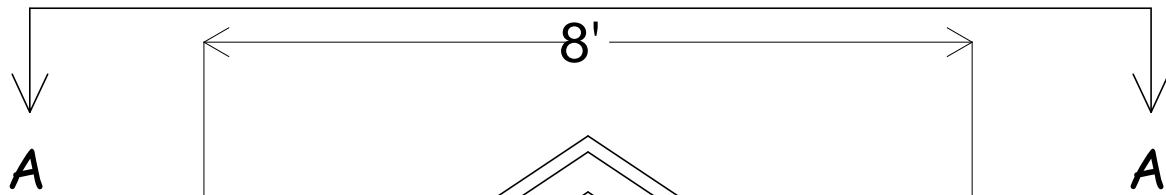


Thu Sep 5 2024

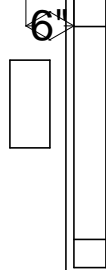
Imagery © 2024 Nearmap, HERE



Nearmap

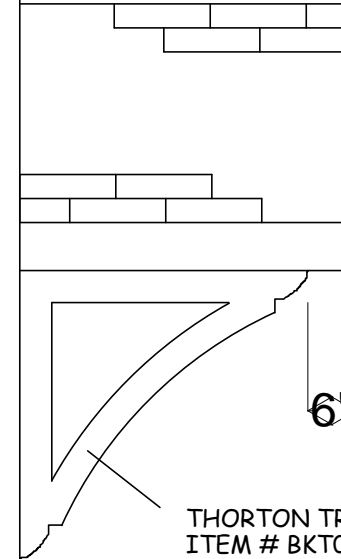


6 X 6 CROSS
TIE AT OUTSIDE
END OF HEADER
(ALUM. WRAP)
OR
ENCLOSE GABLE
& USE SIDING)



NEW LIGHTS

FRONT ELEVATION



THORTON TRADITIONAL BRACKET
ITEM # BKT04X36X36THR01RWR
(OR EQUIVALENT) LAG SCREWED
TO HEADER ABOVE AND TO
BLOCKING OR POSTING IN
EXIST. FRAMED EXT. WALL
DIRECTLY AGAINST SHEATHING
USE 3/8" X 7-1/4" GRK RSS LAG
SCREWS. AT WALL CONNECTION
USE 8 SCREWS - (4 AT TOP, (2) IN
MIDDLE, AND (2) AT BOTTOM OF
THE BRACKET

NORTH ELEVATION

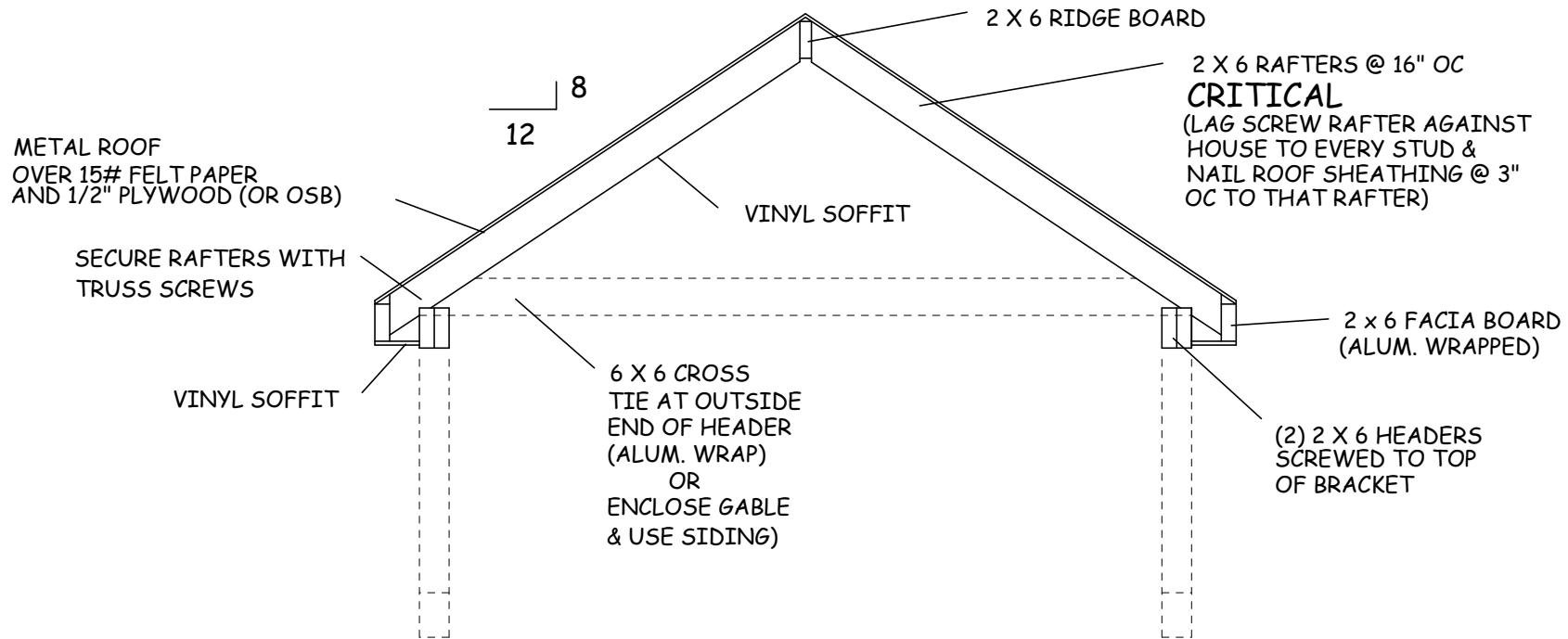
THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED
AND REFERENCED FROM EXISTING BUILDING

11/5/2024



ELEVATION VIEWS		
SCALE: 1/2" = 1'	APPROVED:	DRAWN BY:
DATE: 11/5/24	T. M. LANEY	T. M. LANEY
PORTICO FOR ROBIN REPP		REVISED:
20 RAILROAD MILLS RD, PITTSFORD, NY		A1 2



SECTION A - A

THOMAS M. LANEY, PE
 304 WASHINGTON ST.
 SPENCERPORT, NY 14559
 (585) 319 - 9032

11/5/2024



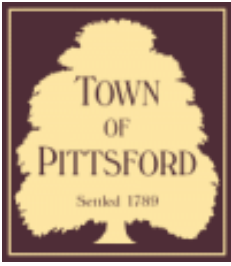
SECTION VIEW

SCALE: 1/2" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 11/5/24	REVISED:	

PORTICO FOR ROBIN REPP

20 RAILROAD MILLS RD, PITTSFORD, NY

A2
2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000168

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 50 Mitchell Road PITTSFORD, NY 14534

Tax ID Number: 164.11-2-14.1

Zoning District:

Owner: Wochner, Mark

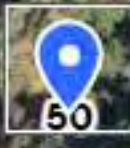
Applicant: DGA Builders LLC

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for an approximately 125 square foot addition off the rear of the home.

Meeting Date: December 19, 2024



Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



Nearmap

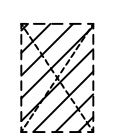
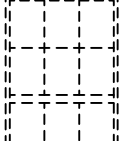
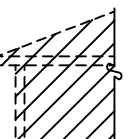
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FRONT ELEVATION - EXISTING
 NO CHANGE TO ELEVATION



LEFT SIDE ELEVATION - EXISTING
 WITH REMOVALS SHOWN

REMOVAL LEGEND	
	R.O. FOR NEW WINDOWS/ DOORS
	EXISTING WINDOW TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED

*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 FRONT/ LEFT SIDE ELEVATIONS
 EXISTING WITH REMOVALS SHOWN

DRAWN: JTL/ P.J.MAIA
CHECKED: P.J.MAIA

DATE: MAY 2024

SCALE: 1/4"=1'-0" OR AS NOTED

JOB NO.: 24M4444

SHEET:

2

OF 11 SHEETS



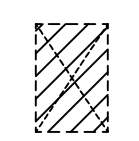
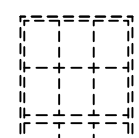
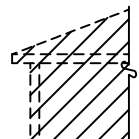
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REAR ELEVATION - EXISTING
 WITH REMOVALS SHOWN



RIGHT SIDE ELEVATION - EXISTING
 WITH REMOVALS SHOWN

REMOVAL LEGEND	
	R.O. FOR NEW WINDOWS/DOORS
	EXISTING WINDOW TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED

*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 REAR/ RIGHT SIDE ELEVATIONS
 EXISTING WITH REMOVALS SHOWN

DRAWN: JTL/PJMAIA	CHECKED: P.JMAIA
-----------------------------	----------------------------

DATE: MAY 2024

SCALE: 1/4"=1'-0" OR AS NOTED

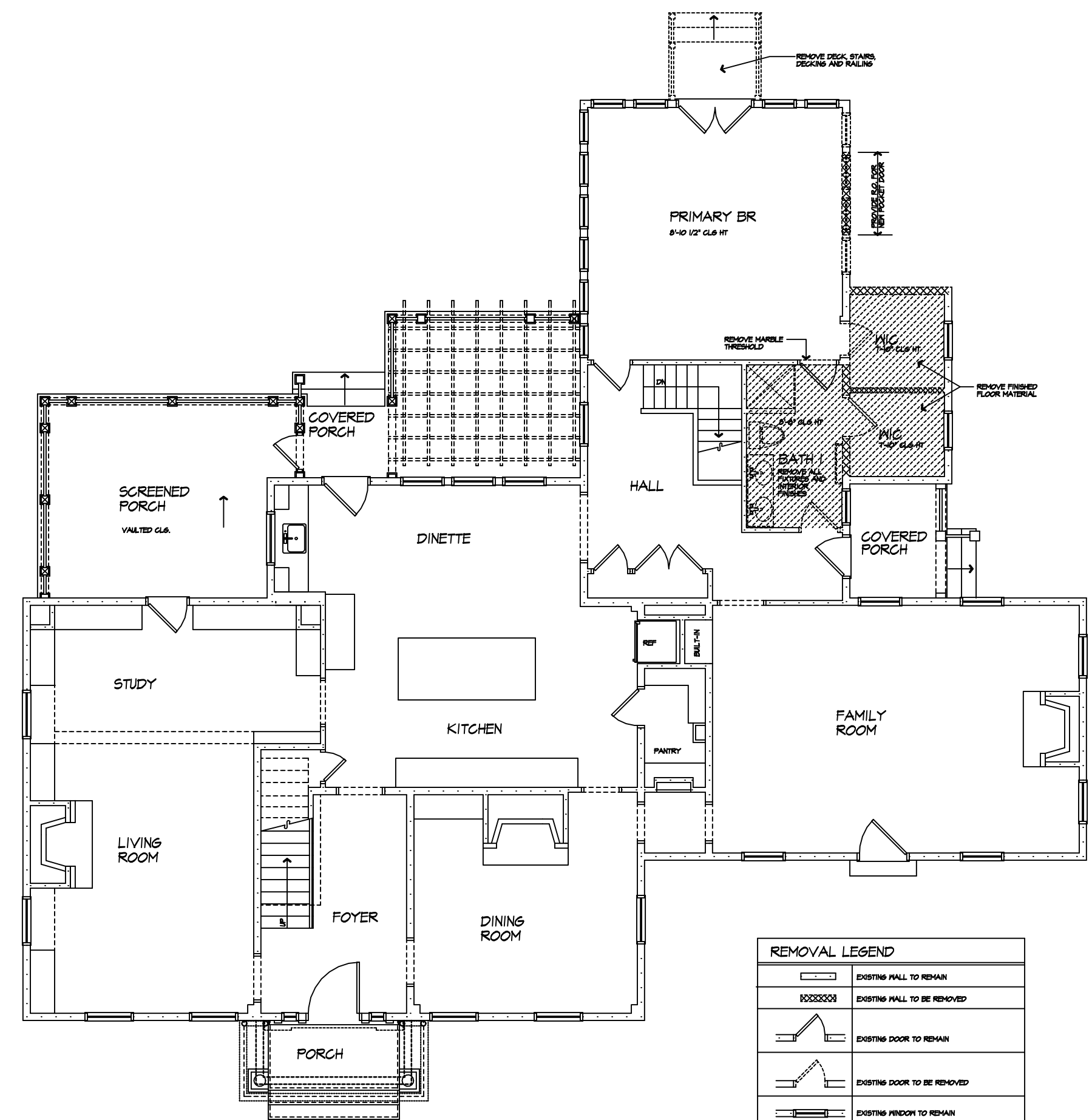
JOB NO.: 24M4444

SHEET:

3

OF 11 SHEETS






EXISTING FIRST FLOOR PLAN
WITH REMOVALS SHOWN

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING FINISH TO REMAIN
	EXISTING FINISH TO BE REMOVED

*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC.




MORABITO ARCHITECTS
PRINCIPALS: J. MORABITO, AIA, ARCHITECT, LE
 LICENSED IN CT, NJ, NY, NC, VA, PA, IL, MD

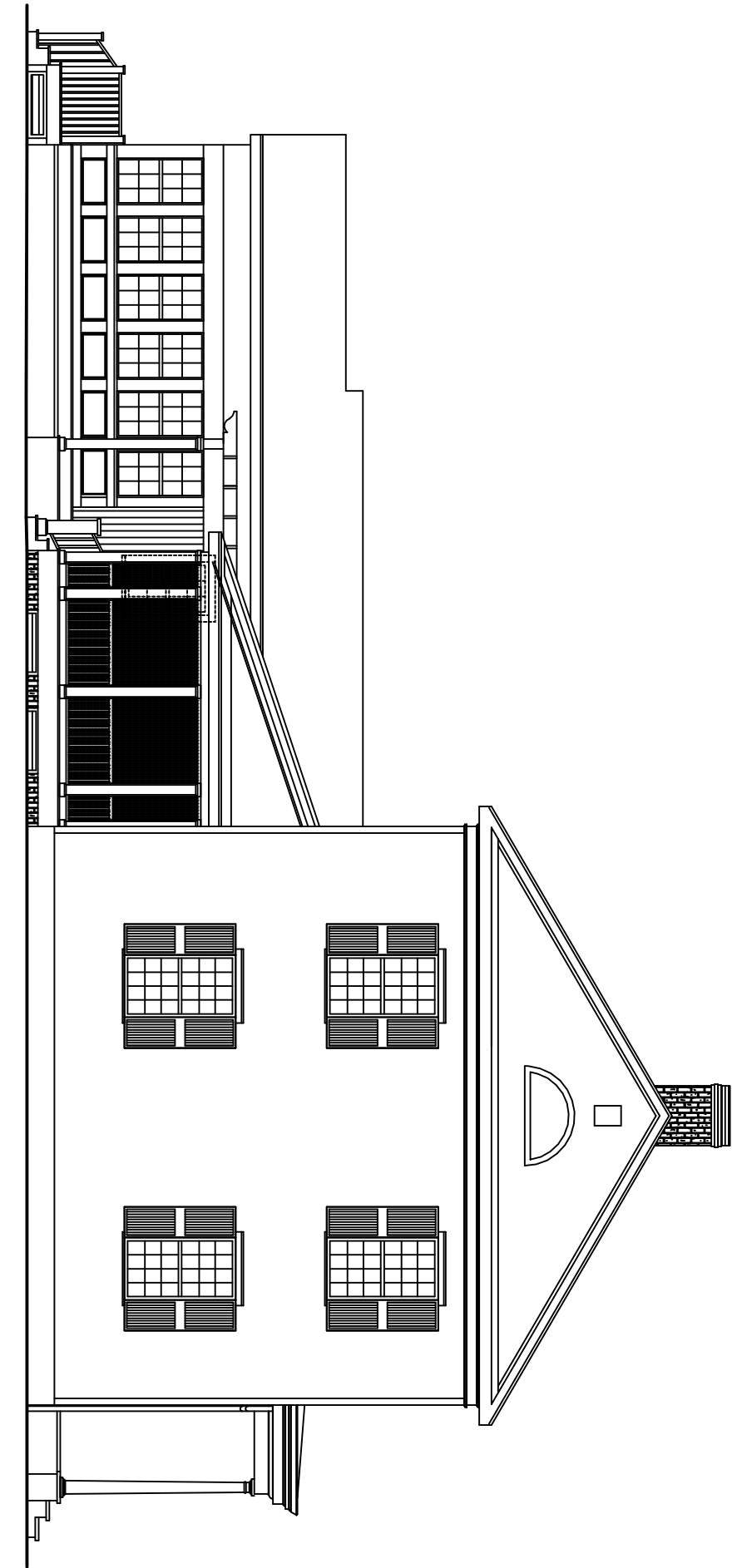
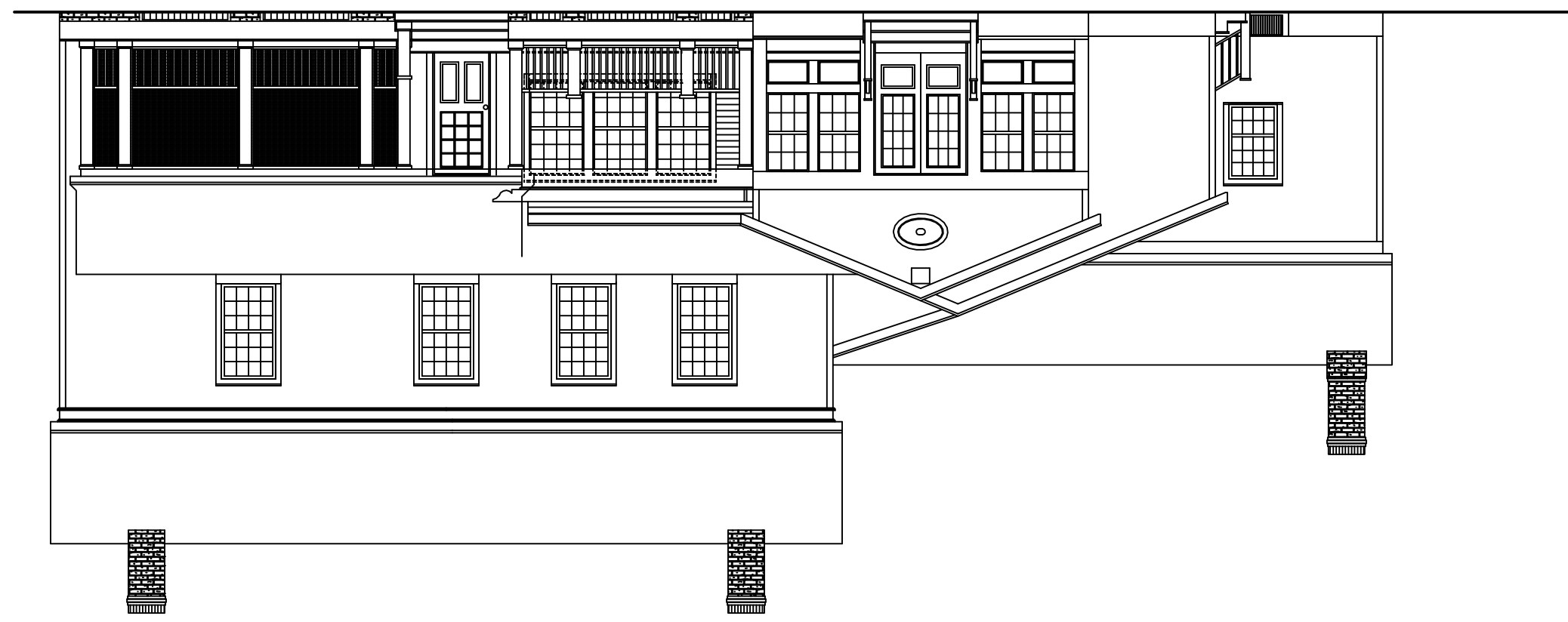
124 Sullivan Trail
 Pittsford, NY 14534
 (585) 264-1330
 (585) 264-1333 Fax
 www.MorabitoArchitects.com

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CONSTRUCTION DOCUMENTS
 PROJECT: 2044444
 CLIENT: JAMES AND ANNA WOLCHER
 2044444
 DRAWING: FIRST FLOOR PLAN EXISTING WITH REMOVALS SHOWN
 DRAWN: JLU/PJW/PA
 CHECKED: PJW/PA
 DATE: MAY 2004
 SCALE: 1/4"=1'-0" OR AS NOTED
 JOB NO.: 2044444
 SHEET: 4
 OF 11 SHEETS



45'



EXISTING ROOF PLAN
WITH REMOVALS SHOWN

← 1/2" = 1'-0" EXISTING ROOF RISES NOTED
← 1/2" = 1'-0" VERIFY STRUCTURE IN POOR AREA

MORABITO ARCHITECTS
121 Sullivan Trail
Pittsford, NY 14534
(585) 264-1330
(585) 264-1333 Fax
www.MorabitoArchitects.com

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CONSTRUCTION DOCUMENTS
NO. 2004

PROJECT:
RENOVATION OF
EXISTING ROOF

CLIENT:
DR. MICHAEL J. AND
MRS. JANE ROSENER
PITTSFORD, NY

DESIGNED BY:
ROOF PLAN - 5/20/04

DRAWN BY:
JULY PAPANIA

CHECKED BY:
PAPANIA

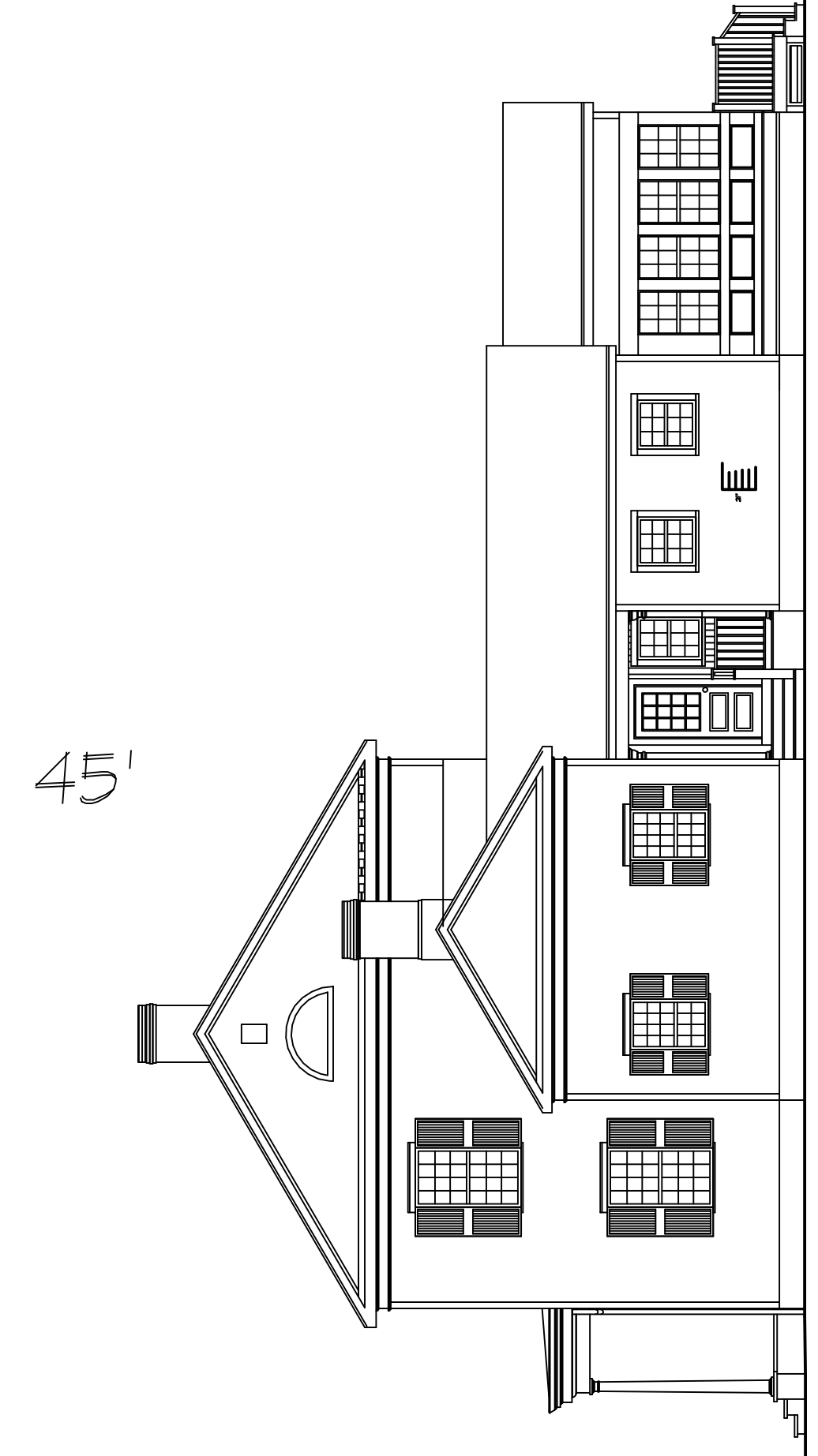
DATE:
MAY 2004

SCALE:
1/4" = 1'-0" OR AS NOTED

JOB NO.:
2004044

SHEET:
5

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CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 BUILDING SECTIONS

DRAWN: JTL/PJMAIA
CHECKED: P.JMAIA

DATE: MAY 2024

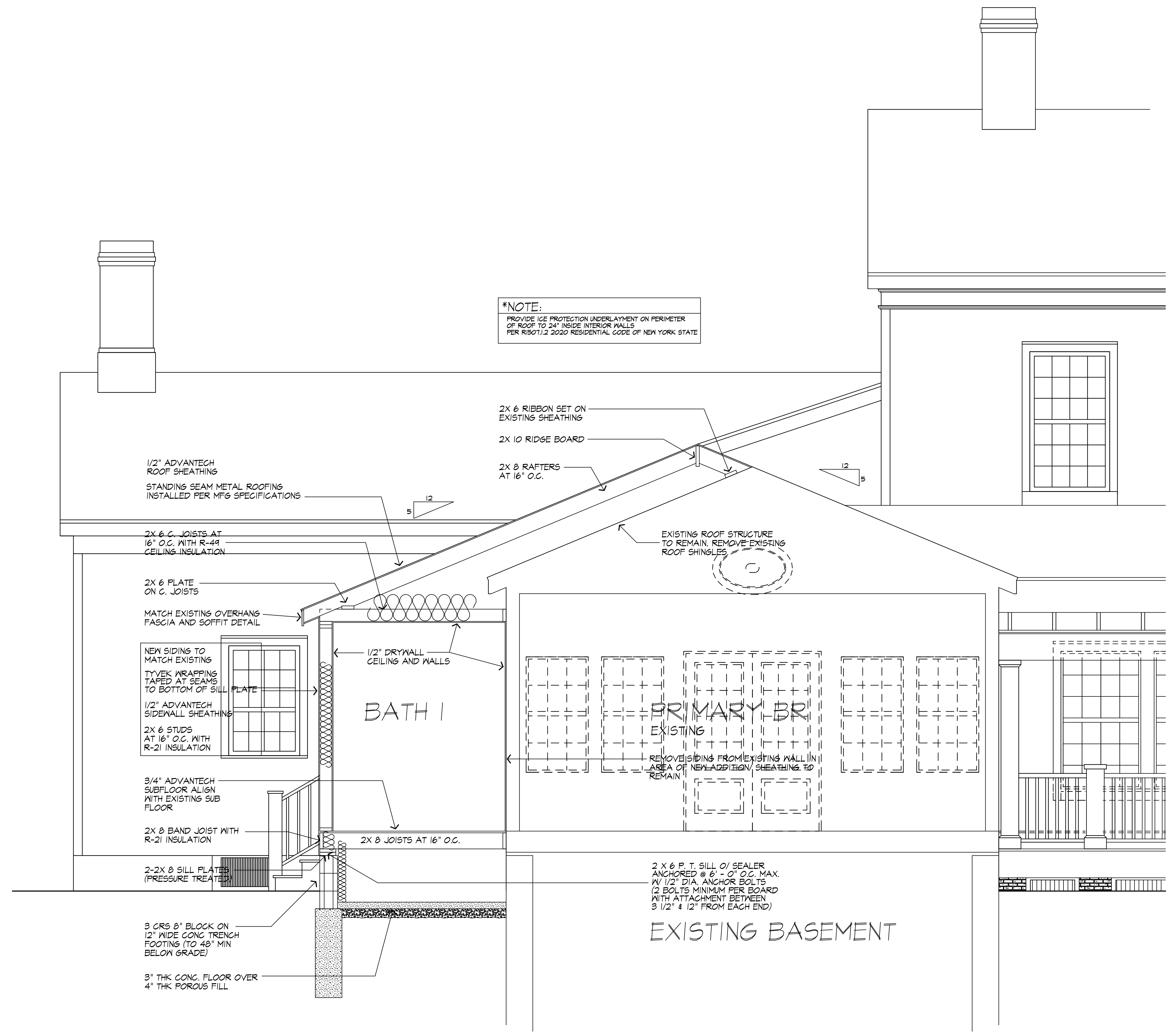
SCALE: 1/4"=1'-0" OR AS NOTED

JOB NO.: 24M4444

SHEET:

11

OF 11 SHEETS



A
BUILDING SECTION
 SCALE: 1/2"=1'-0"

UNLESS OTHERWISE NOTED

ROOFING: SHINGLES TO MATCH EXISTING
 ROOF VENTING: N/A

FASCIAS: SIZE AND MATERIAL TO MATCH EXISTING
 FRIEZEBDS: SIZE AND MATERIAL TO MATCH EXISTING
 CORNERBDS: SIZE AND MATERIAL TO MATCH EXISTING
 CASINGS: SIZE AND MATERIAL TO MATCH EXISTING
 SIDING: SIZE AND MATERIAL TO MATCH EXISTING

OVERHANGS: MATCH EXISTING
 RAKE OVERHANGS: MATCH EXISTING

MIN FT6. DEPTH: 4'-0"

CL6 HT:

1ST FLOOR: MATCH EXISTING
 2ND FLOOR: N/A

WINDOW R.O. HT.
 1ST FLOOR: MATCH EXISTING
 2ND FLOOR: N/A

WINDOW MFR: AS SELECTED (PROVIDE SAFETY GLAZING PER R308.4 WHERE REQUIRED)

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CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 REAR/ RIGHT SIDE ELEVATIONS
 PROPOSED

DRAWN: JTL/FJMA/IA **CHECKED:** FJMA/IA

DATE: MAY 2024

SCALE: 1/4"=1'-0" OR AS NOTED

JOB NO.: 24M4444

SHEET:

7
 OF 11 SHEETS



REAR ELEVATION - PROPOSED



RIGHT SIDE ELEVATION - PROPOSED

UNLESS OTHERWISE NOTED

ROOFING: STANDING SEAM METAL ROOF
 ROOF VENTING: N/A

FASCIAS: SIZE AND MATERIAL TO MATCH EXISTING
 FRIZZBOS: SIZE AND MATERIAL TO MATCH EXISTING
 CORNERBOARDS: SIZE AND MATERIAL TO MATCH EXISTING
 CASINGS: SIZE AND MATERIAL TO MATCH EXISTING
 SIDING: SIZE AND MATERIAL TO MATCH EXISTING

OVERHANGS: MATCH EXISTING
 RAKE OVERHANGS: MATCH EXISTING

MIN FTG. DEPTH: 4'-0"

CLG HT:
 1ST FLOOR: MATCH EXISTING
 2ND FLOOR: N/A

WINDOW R.O. HT.
 1ST FLOOR: MATCH EXISTING
 2ND FLOOR: N/A

WINDOW MFR: AS SELECTED
 (PROVIDE SAFETY GLAZING PER R308.4 WHERE REQUIRED)

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CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 SECOND FLOOR PLAN
 EXISTING

DRAWN: JTL/PJMAIA	CHECKED: P.JMAIA
-----------------------------	----------------------------

DATE: MAY 2024

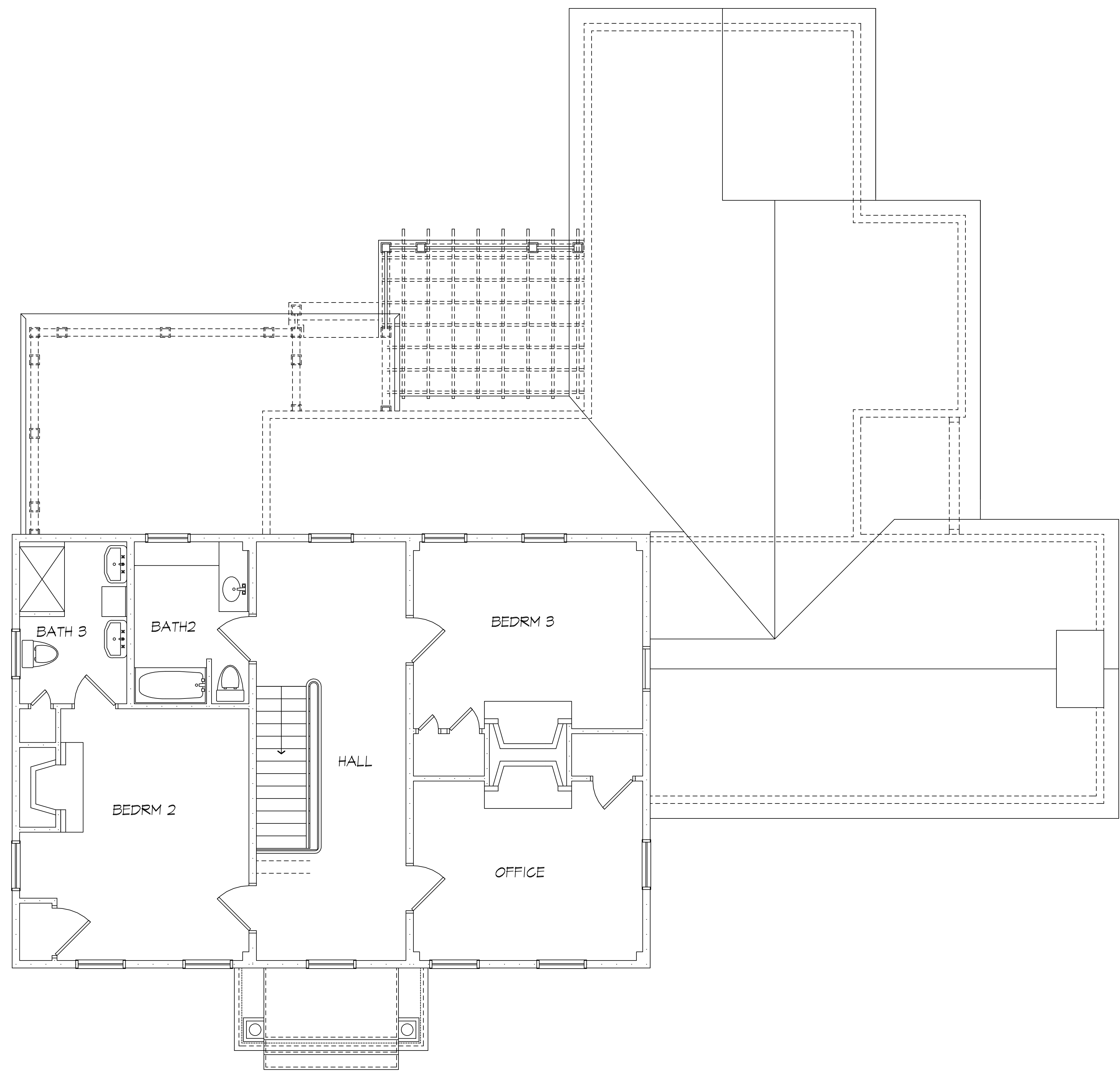
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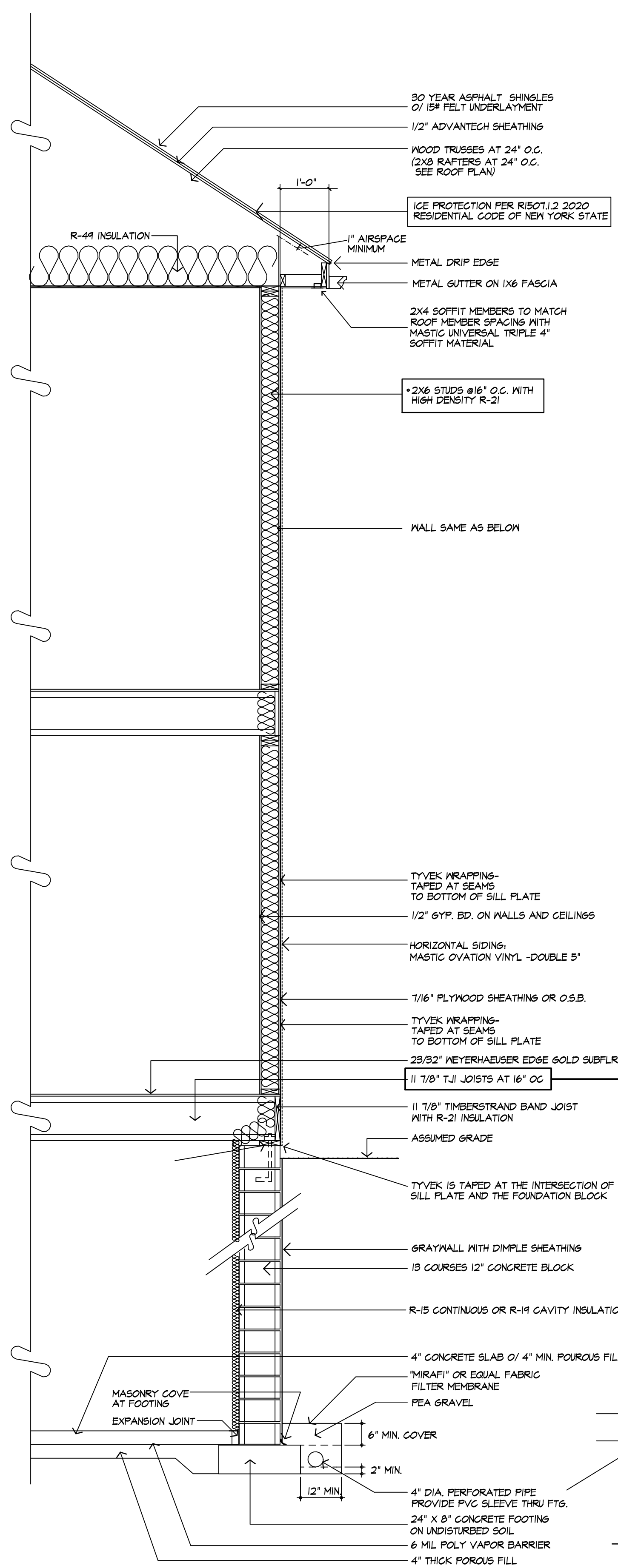
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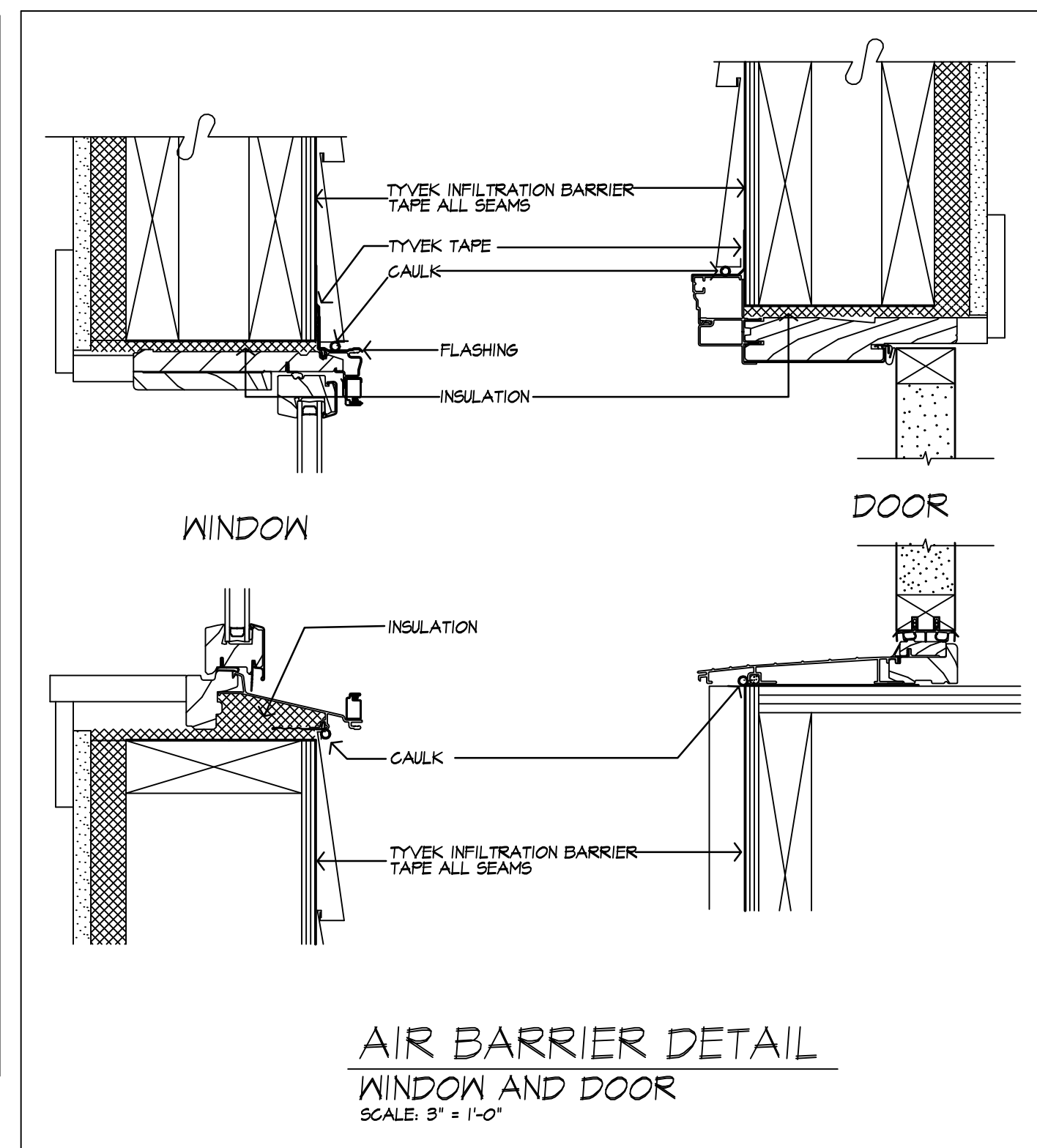
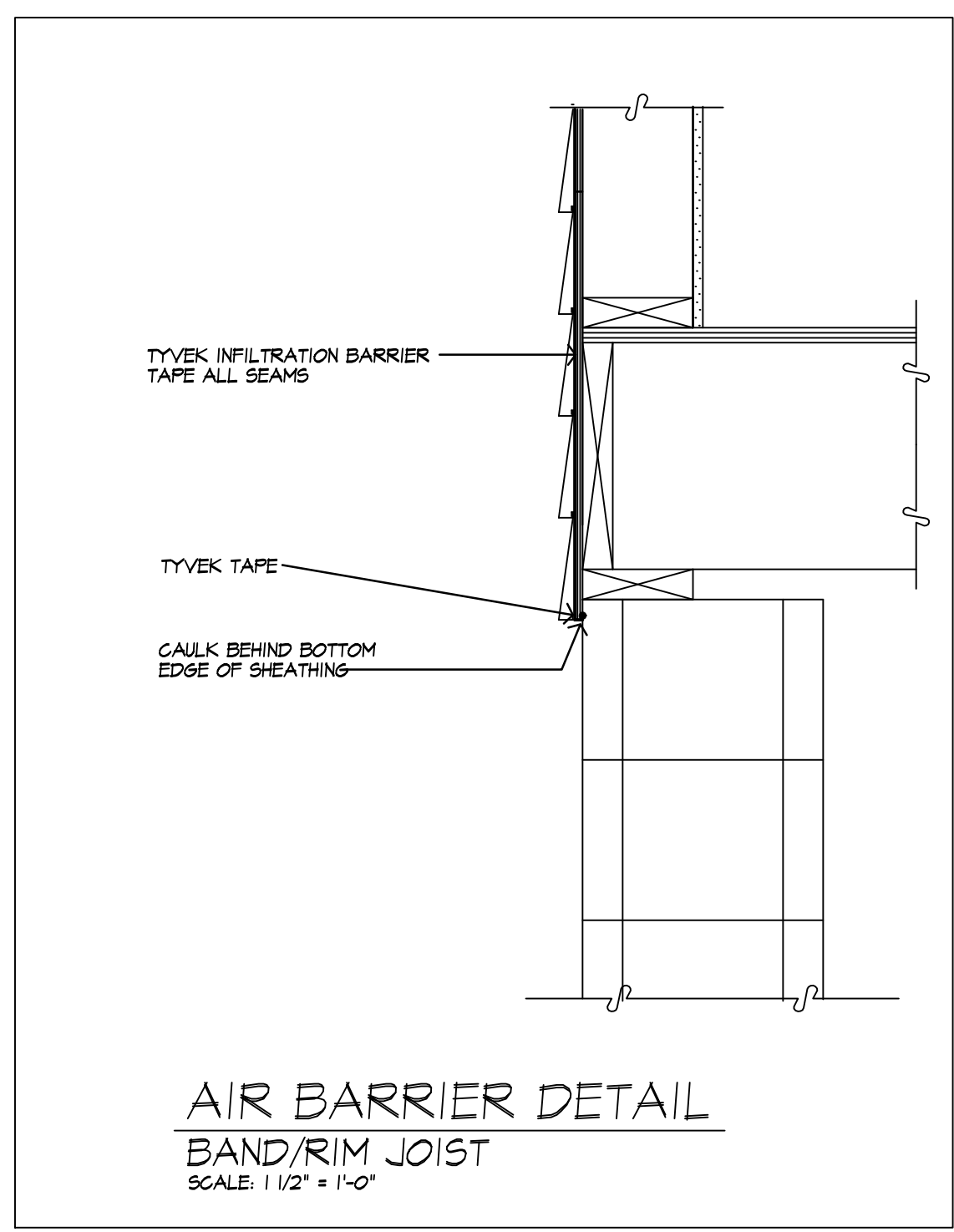
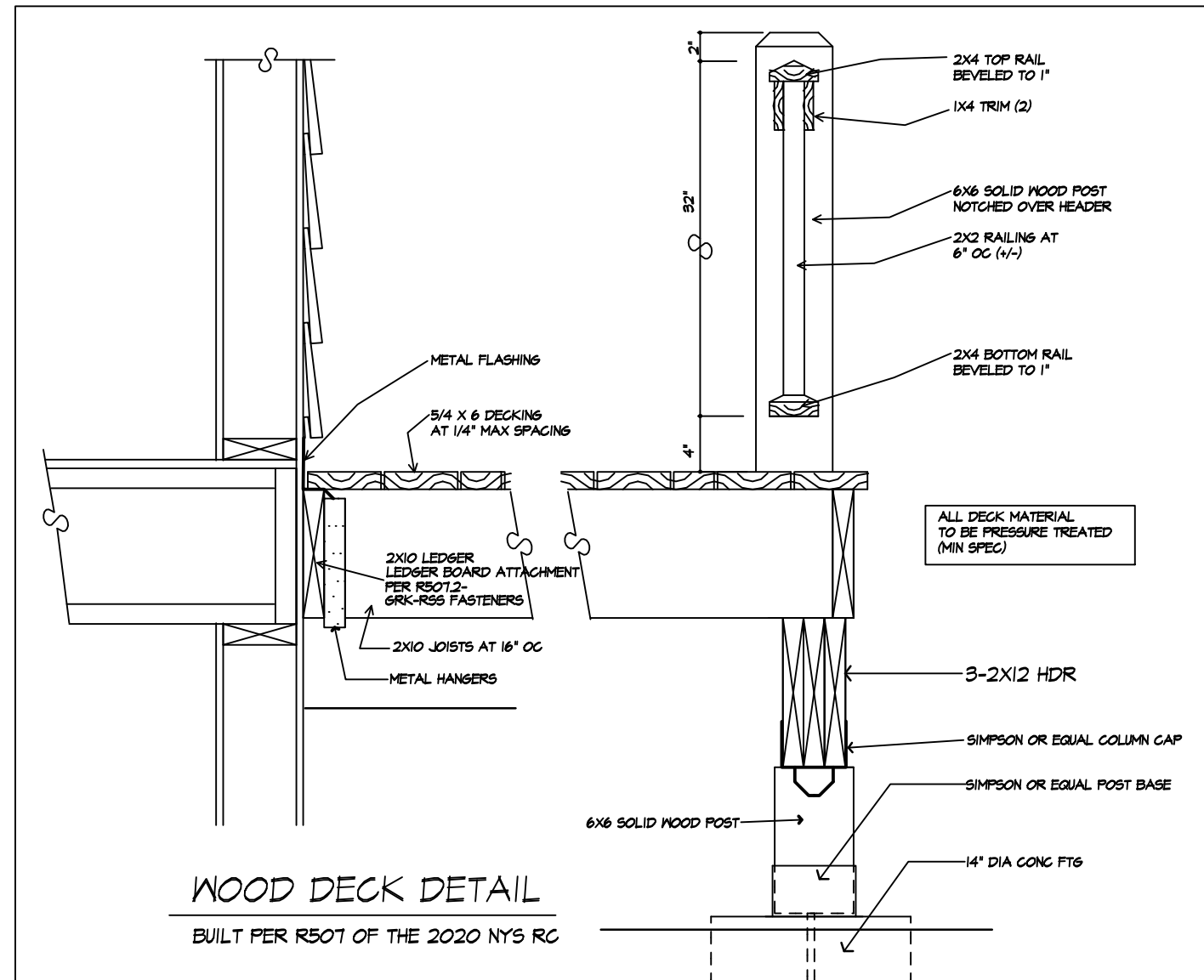
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EXISTING SECOND FLOOR PLAN



FIRE PROTECTION REQUIREMENTS PER R313
AUTOMATIC SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH SECTION F2404 OR NFPA 13D



LIGHTING FIXTURE SCHEDULE

OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE
BASEMENT MINIMUM (5) 60 WATT FIXTURES
STAIRWAYS MINIMUM (1) 60 WATT FIXTURE
HALLWAYS MINIMUM (1) 120 WATT FIXTURE
GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE
LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE
WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE
POWDER ROOM MINIMUM (1) 120 WATT FIXTURE
BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE
DINETTE MINIMUM (1) 120 WATT FIXTURE
KITCHEN MINIMUM (1) 120 WATT FIXTURE
DINING ROOM MINIMUM (1) 120 WATT FIXTURE
ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE
GARAGE MINIMUM (2) 60 WATT FIXTURES

LIGHTING FIXTURE CONTROL NARRATIVE

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS, AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING, SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT THESE SPACES, THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

- TYPICAL NOTES**
- DOOR MANUFACTURER: PELLA ENCOMPASS
SLIDING 0.10 CFM
IN-SWING HINGED 0.15 CFM
PELLA ENTRY DOORS: 0.30 CFM OR LESS
 - WINDOW AIR INFILTRATION
PELLA 250 SERIES/PELLA ENCOMPASS
DOUBLE HUNG 0.30 CFM
CASEMENT, AWNING, FIXED 0.05 CFM
 - GAS FIREPLACE(S): HEAT-IN-GLO SLIMLINE 750 Btu (61.2 BTU)
• TIGHT FITTING NON-COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
 - JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
 - CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM/OIL BOARD
CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATTS
 - MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-5.
 - BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
 - DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
 - THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2018 ENERGY CONSERVATION CODE.
 - ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-5. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
 - THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS.

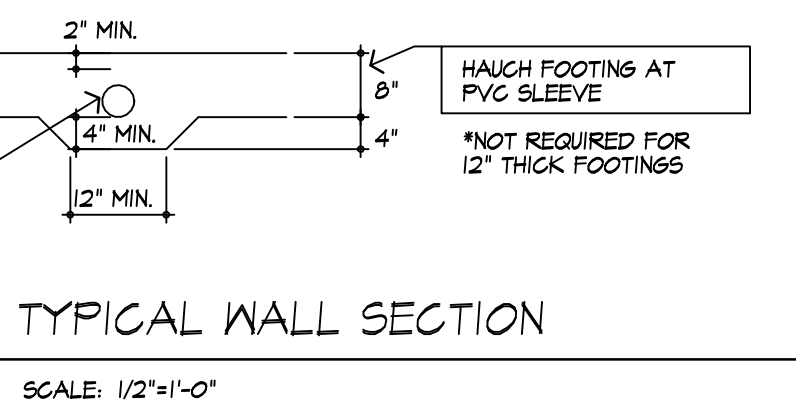
EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH
THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1506.2
EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M1504.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	50	60	70	80	90	100	110	120	130	140	50	60	70	80	90	100	110	120	130	140
FAN AIRFLOW RATING CFM @ 0.25 INCH WC ^A																				
DIAMETER ^B (INCHES)	MAXIMUM LENGTH ^{C, D, E} (FEET)																			
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	56	4	X	X	X	X	X	X	X	104	51	10	X	X	X	X	X	X	X	X
5	NL	81	42	16	2	X	X	X	NL	152	41	51	20	4	X	X	X	X	X	X
6	NL	NL	158	41	25	10	1	X	NL	NL	168	112	23	25	4					
7	NL	NL	NL	161	70	40	14	NL	NL	NL	168	112	23	25	4					
8 AND ABOVE	NL	NL	NL	NL	NL	184	111	64	NL	NL	NL	NL	NL	NL	168	112	23	25	4	

FIG. S1 - 1504.2 (M)
A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/ASHRAE 20-2006/ASHRAE 51
B. FOR NONRECTANGULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
C. THE TABLE VALUES THAT EXCEED 10 FEET SHALL BE ROUNDED UP TO ALLOWED DUCT LENGTHS SHALL BE DERIVED FROM FIG. S1.10
D. E. X = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP



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 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

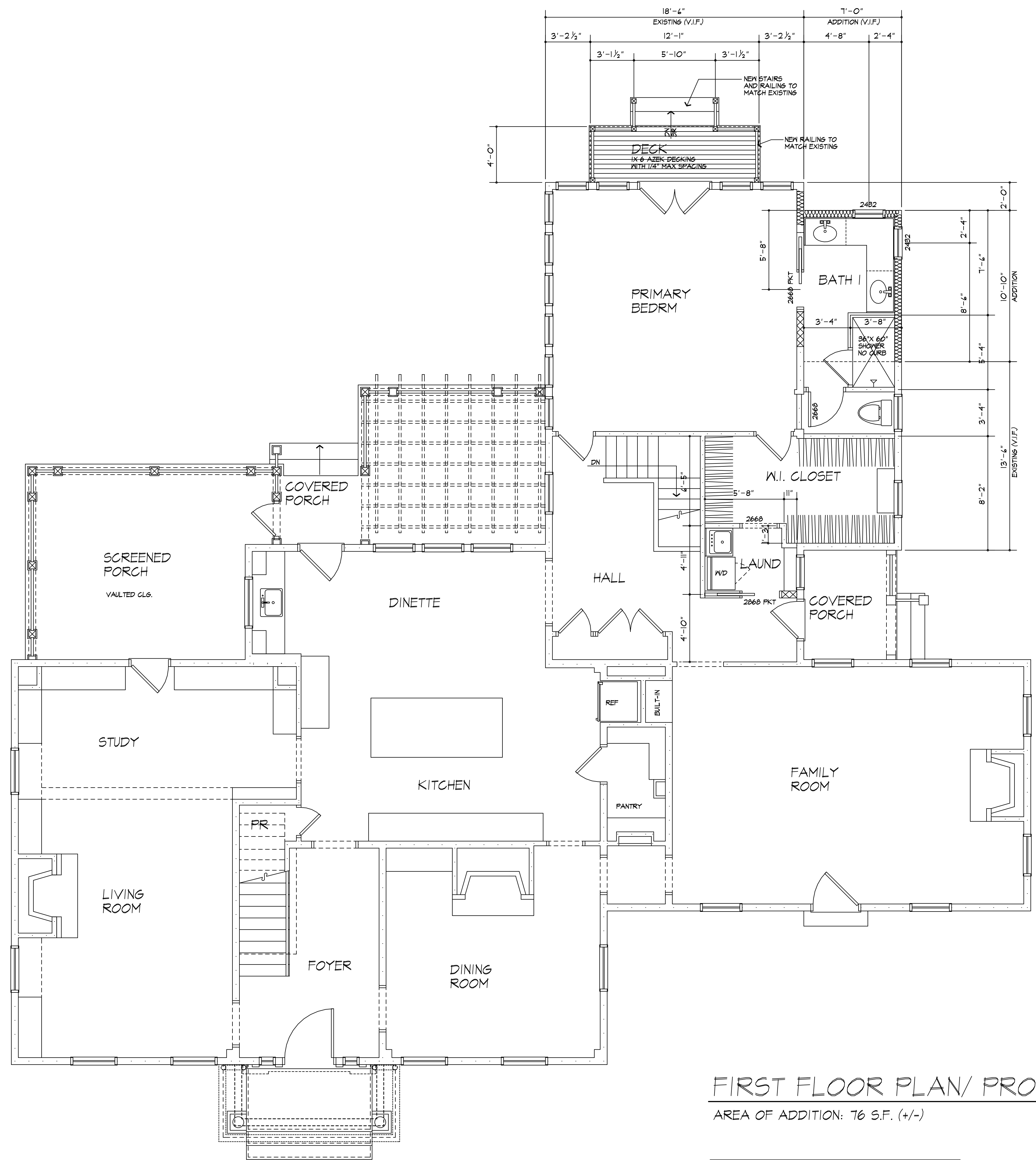
CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 1ST FLOOR PLAN
 PROPOSED

DRAWN: JTL/FJMAIA
CHECKED: FJMAIA

DATE: MAY 2024
SCALE: 1/4"=1'-0" OR AS NOTED
JOB NO.: 24M4444
SHEET:

9
 OF 11 SHEETS



HEADER SCHEDULE
 UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" PLY. WD. GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" PLY. WD. GUSSETS - 2X4 WALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

EXISTING WALL	(3) STUDS @ 16" O.C. W/ INSULATION (NEW)
2X4 STUDS @ 16" O.C. (NEW)	(3) STUDS @ 16" O.C. (NEW)
2X6 STUDS @ 16" O.C. (NEW)	(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS OF WOOD FRAMING

FIRST FLOOR PLAN/ PROPOSED
 AREA OF ADDITION: 76 S.F. (+/-)

GAS F.P. NOTE:
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK

PLUMBING NOTE:
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

NOTICE:

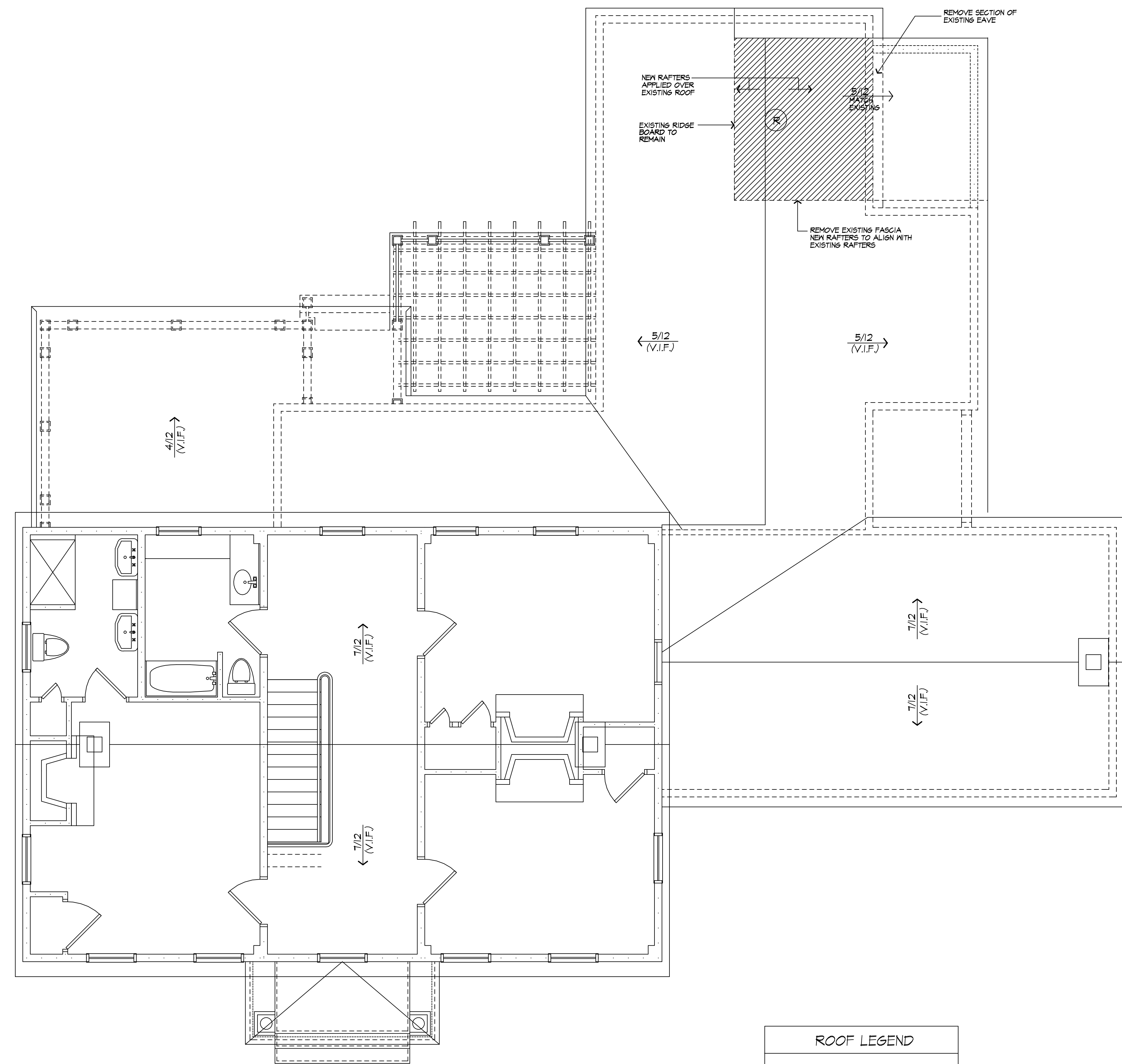
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 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



PROPOSED ROOF PLAN

ROOF LEGEND	
* /12 →	2x8 RAFTERS AT 16' O.C. 1/4" PITCH NOTED
(R)	2x10 RIDGE BOARD
*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R1807.1.2 2020 RESIDENTIAL CODE OF NEW YORK STATE	

CONSTRUCTION DOCUMENTS
 12/2/2024

PROJECT:
 PROPOSED ADDITION
 50 MITCHELL RD
 PITTSFORD, NY

CLIENT:
 MARK AND KARA MOCHNER
 50 MITCHELL RD
 PITTSFORD, NY

DRAWING:
 ROOF PLAN - PROPOSED

DRAWN: JTL/P.J.MAIA	CHECKED: P.J.MAIA
-------------------------------	-----------------------------

DATE: MAY 2024

SCALE: 1/4"=1'-0" OR AS NOTED

JOB NO.: 24M4444

SHEET:

10

OF 11 SHEETS





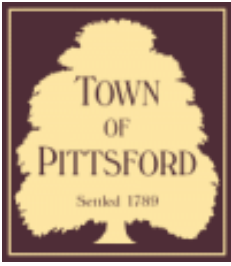












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000171

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 35 Sunset Boulevard PITTSFORD, NY 14534

Tax ID Number: 164.09-3-72

Zoning District: RN Residential Neighborhood

Owner: Newcomb, Michael A

Applicant: David J Crowe

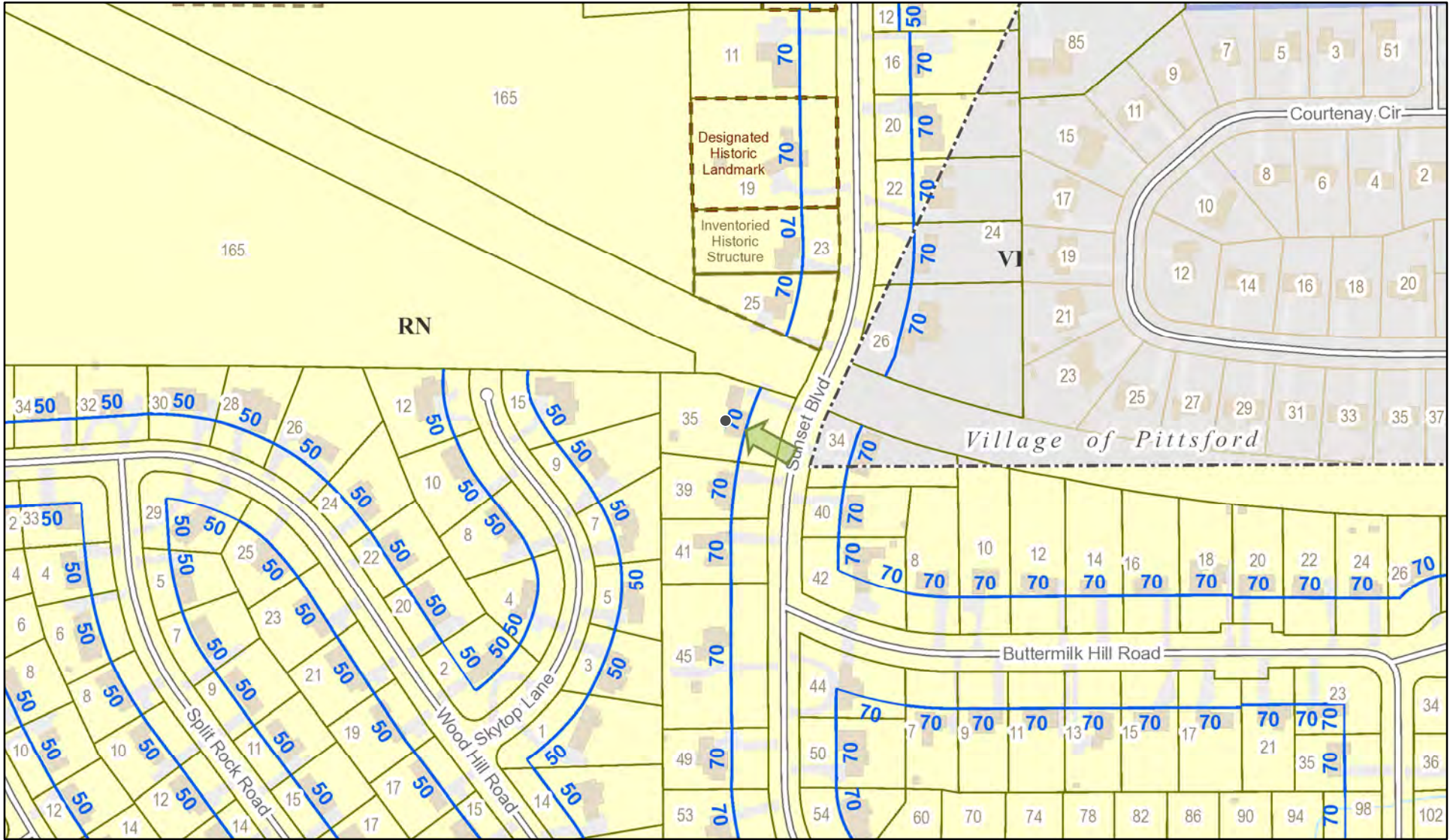
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

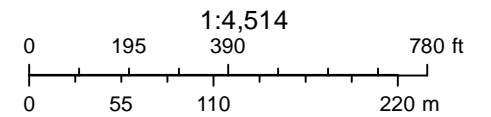
Project Description: Applicant is requesting design review for an approximately 340 square foot addition off the west side of the home. Also 5 Windows to be replaced on first and second floor.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 11, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

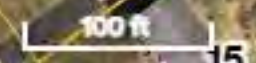


35

Village Boundary

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



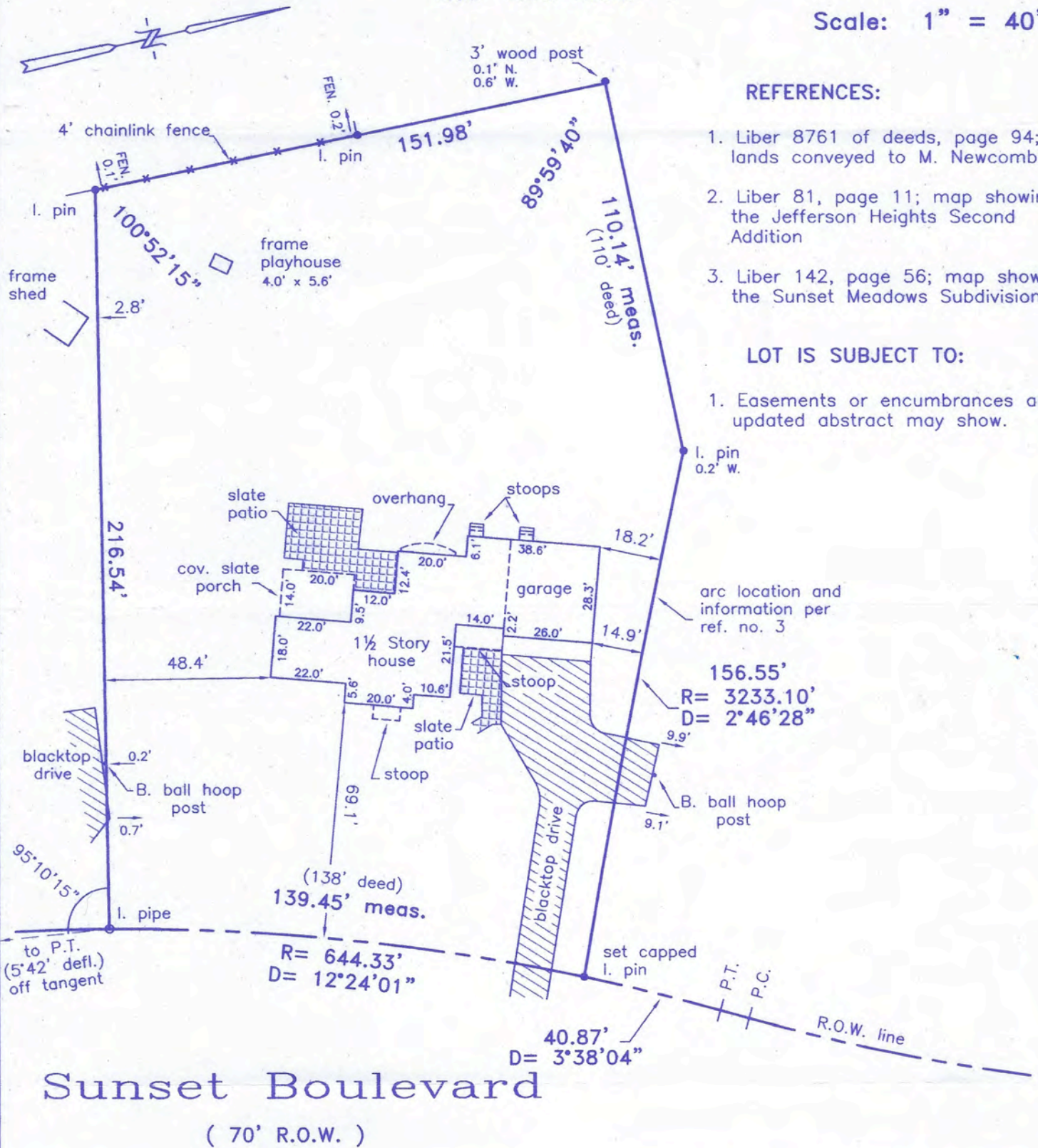
Nearmap

INSTRUMENT LOCATION MAP

35 Sunset Boulevard

Being Lot 18, Jefferson Heights Second Addition
 Situated in Town Lot 22, Township 12, Range 5
 Town of Pittsford, Monroe County
 New York State

Scale: 1" = 40'



REFERENCES:

1. Liber 8761 of deeds, page 94; lands conveyed to M. Newcomb
2. Liber 81, page 11; map showing the Jefferson Heights Second Addition
3. Liber 142, page 56; map showing the Sunset Meadows Subdivision

LOT IS SUBJECT TO:

1. Easements or encumbrances an updated abstract may show.

arc location and information per ref. no. 3

156.55'
 R= 3233.10'
 D= 2°46'28"

(138' deed)
 139.45' meas.
 R= 644.33'
 D= 12°24'01"

40.87'
 D= 3°38'04"

THIS MAP IS CERTIFIED TO:

* Michael A. & Rachel D. Newcomb

I certify this map was made June 28, 2012 from notes of an instrument survey completed on June 27, 2012.

Edwin A. Summerhays

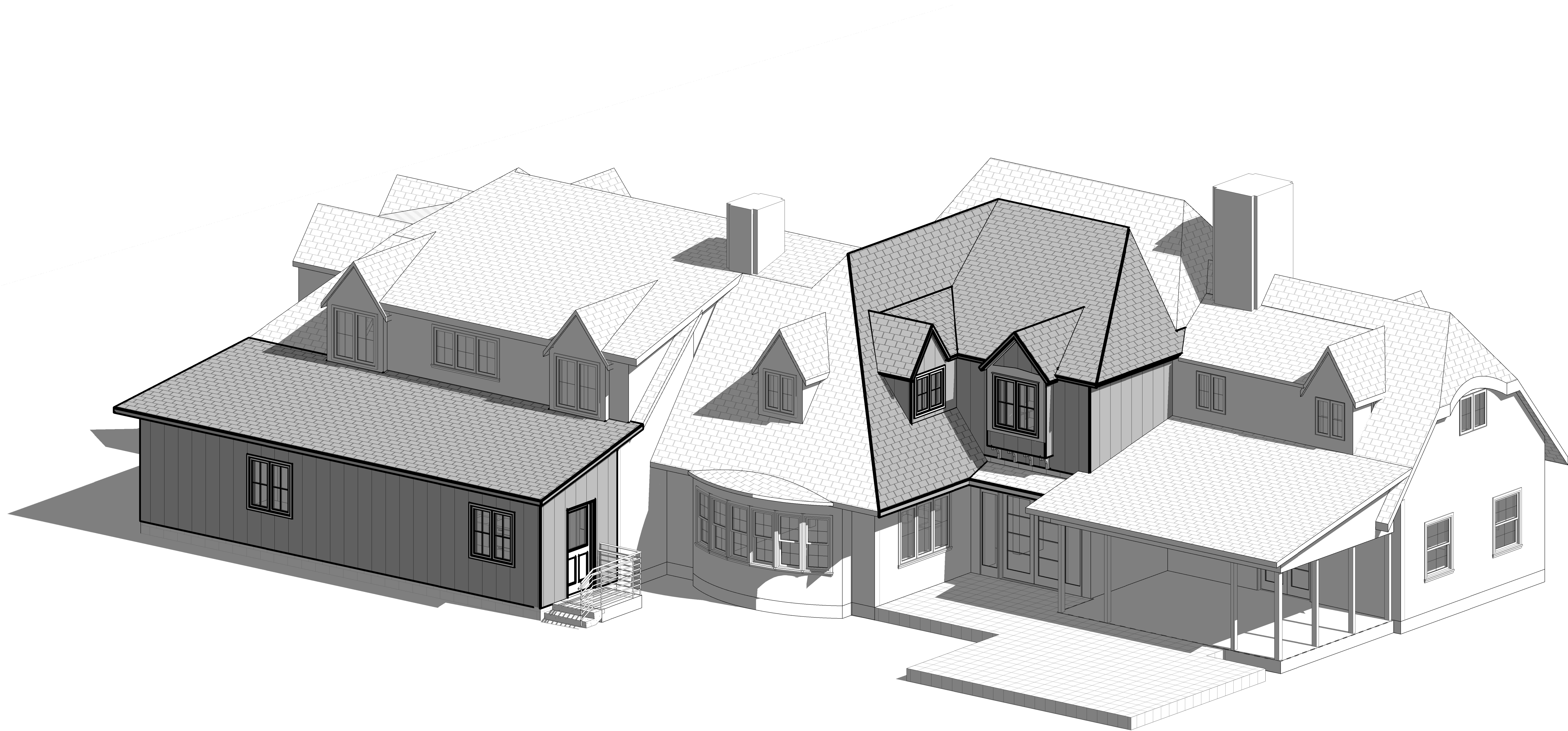
EDWIN A. SUMMERHAYS
 Land Surveyor
 L.S. no. 49446

2509 Browncroft Blvd., Suite 209
 Rochester, N.Y. 14625
 (585) 586-1450



Newcomb Residence

35 Sunset Boulevard
Pittsford, NY 14534



Newcomb Residence
35 Sunset Boulevard
Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date
1	Issued for Review	12.11.24

Progress Print
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Project No:

Scale:

Date: 12.11.2024 Drawn By: KCC

Drawing Title:

Cover

Drawing No:
G001



Project Information:

Newcomb Residence
35 Sunset Boulevard
Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date
1	Issued for Review	12.11.24

Progress Print
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Project No:

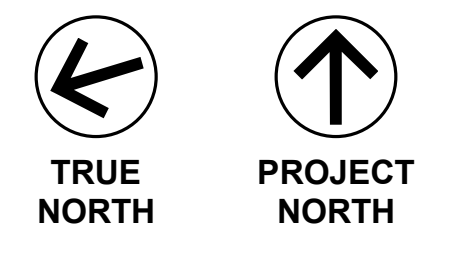
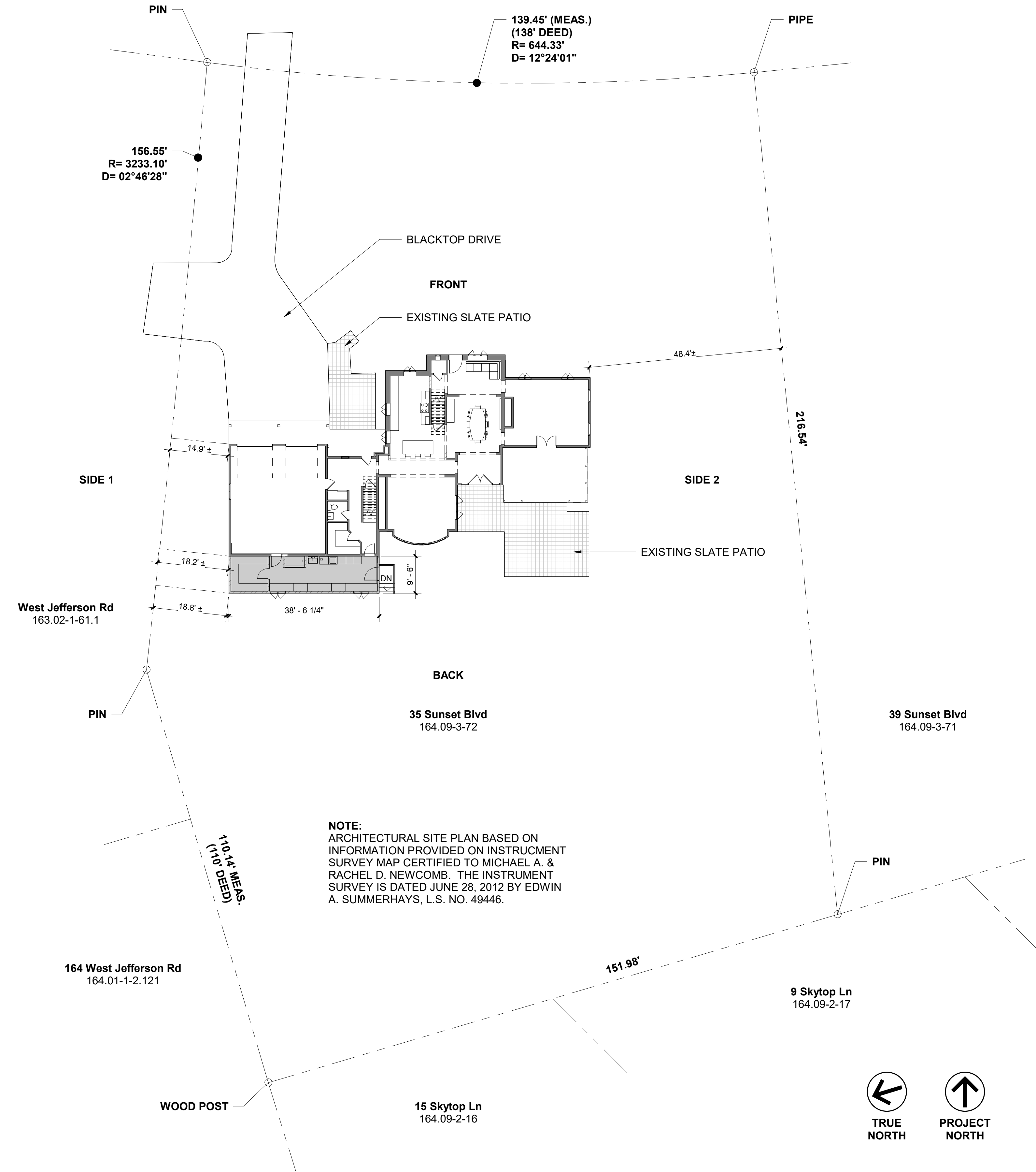
Scale: 1/16" = 1'-0"

Date: 12.11.2024 Drawn By: KCC

Drawing Title:
Architectural Site Plan

Drawing No:
A001

SUNSET BOULEVARD (70' R.O.W.)



1 Project North - Architectural Site Plan
A001 1/16" = 1'-0"

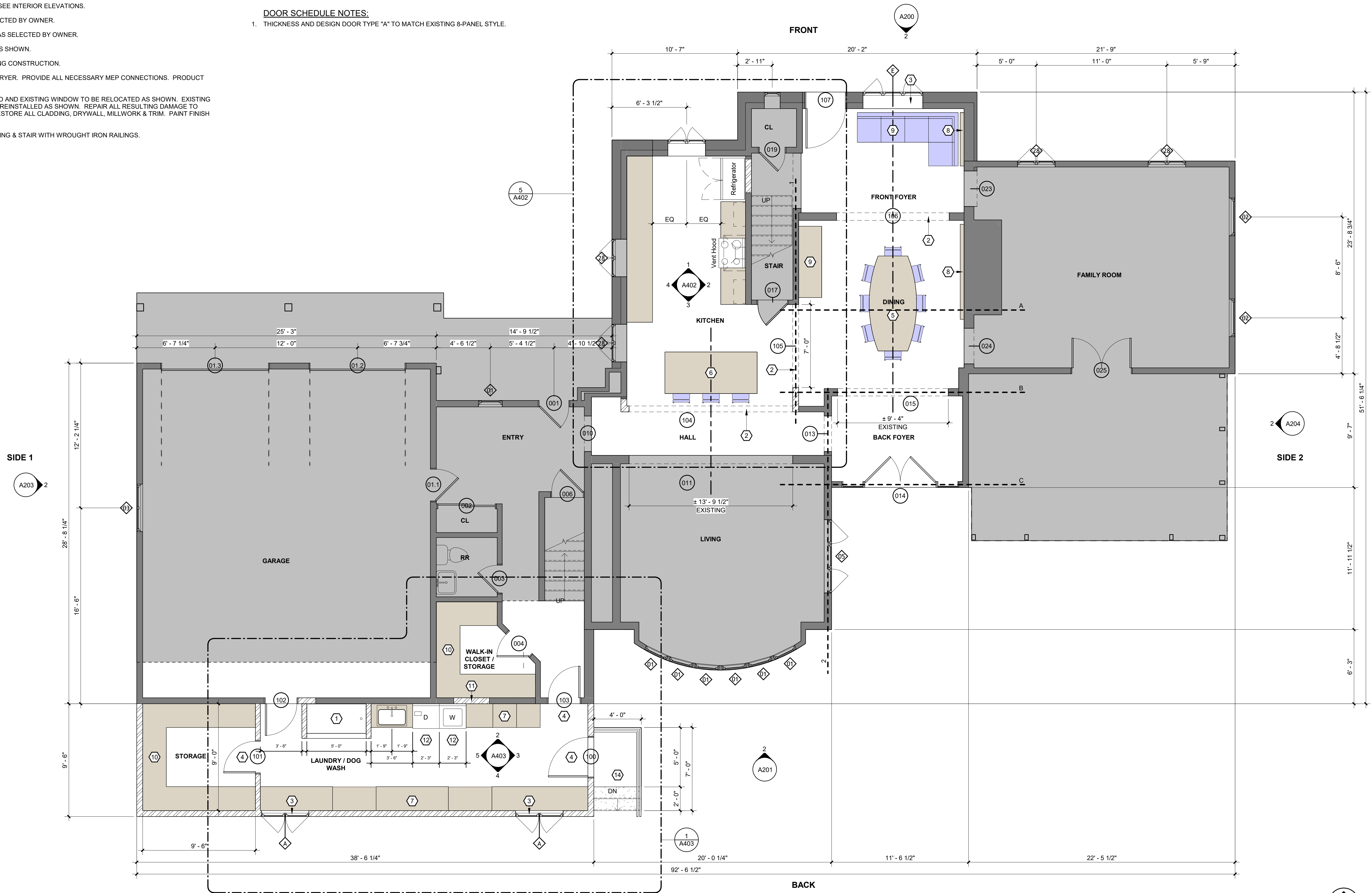
CONSTRUCTION KEYNOTES (#)

- FURNISH AND INSTALL DOG WASH STATION. DOG WASH STATION WILL HAVE HOT & COLD WATER SUPPLY, MIXING VALVE, SHOWER WAND ELBOW, DRAIN AND HOSE BIB. FINISHES TO BE SLIP-RESISTANT, AS SELECTED BY OWNER.
- FURNISH AND INSTALL OPENING AS DIMENSIONED.
- FURNISH AND INSTALL WINDOW AS SCHEDULED.
- FURNISH AND INSTALL DOOR AS SCHEDULED.
- FURNISH AND INSTALL DINING ROOM TABLE AS SELECTED BY OWNER.
- FURNISH AND INSTALL MILLWORK ISLAND.
- FURNISH AND INSTALL MILLWORK. SEE INTERIOR ELEVATIONS.
- FURNISH AND INSTALL ART AS SELECTED BY OWNER.
- FURNISH AND INSTALL FURNITURE AS SELECTED BY OWNER.
- FURNISH AND INSTALL MILLWORK AS SHOWN.
- INFILL OPENINGS TO MATCH EXISTING CONSTRUCTION.
- FURNISH AND INSTALL WASHER & DRYER. PROVIDE ALL NECESSARY MEP CONNECTIONS. PRODUCT AS SELECTED BY OWNER.
- EXISTING DORMER TO BE EXPANDED AND EXISTING WINDOW TO BE RELOCATED AS SHOWN. EXISTING WINDOW SHALL BE SALVAGED AND REINSTALLED AS SHOWN. REPAIR ALL RESULTING DAMAGE TO INTERIOR & EXTERIOR OF WALL - RESTORE ALL CLADDING, DRYWALL, MILLWORK & TRIM. PAINT FINISH ALL WORK (INTERIOR & EXTERIOR).
- FURNISH AND INSTALL STONE LANDING & STAIR WITH WROUGHT IRON RAILINGS.

1st FLOOR DOOR SCHEDULE - NEW DOORS									
MARK	DOOR TYPE	DOOR MATERIAL	ROOM NAME	HEIGHT	WIDTH	DOOR FINISH	Door Hardware Group	NOTES	
100	B	WOOD	LAUNDRY / DOG WASH	7'-0"	3'-4"	-	-	REUSE DOOR 005 - SEE DEMO PLANS	
101	A	WOOD	STORAGE	6'-8"	2'-8"	PAINT - WHITE	A		
102	A	WOOD	GARAGE	6'-8"	2'-8"	PAINT - WHITE	A		
103	A	WOOD	ENTRY	6'-8"	2'-8"	PAINT - WHITE	A		
104	-	-	KITCHEN	7'-0"	13'-9 1/2"	-	-	OPENING	
105	-	-	DINING	7'-0"	7'-0"	-	-	OPENING	
106	-	-	DINING	7'-0"	9'-6"	-	-	OPENING	
107	C	WOOD	FRONT FOYER	7'-0"	3'-4"	-	-		

DOOR SCHEDULE NOTES:

- THICKNESS AND DESIGN DOOR TYPE "A" TO MATCH EXISTING 8-PANEL STYLE.



PRINT DATE: 12/11/2024 2:14:32 PM
 FILE NAME: Z:\Shared\Projects\Current\35 Sunset Blvd\Drawings\RV\Modell\35 Sunset Blvd - Pittsford NY.rvt

1
A101
1st Floor Plan
1/4" = 1'-0"



DJCA
 DJC ARCHITECTURE PLLC
 99 Garmsay Road, Suite 100, Pittsford, NY 14534
 Phone: 585.514.0234

Cornerstone
 99 Garmsay Road, Suite 100, Pittsford, NY 14534
 Phone: 585.514.0223

Project Information:

Newcomb Residence
 35 Sunset Boulevard
 Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date
1	Issued for Review	12.11.24

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Project No:	
Scale:	1/4" = 1'-0"
Date:	12.11.2024
Drawn By:	KCC
Drawing Title:	
First Floor Plan	
Drawing No:	
A101	

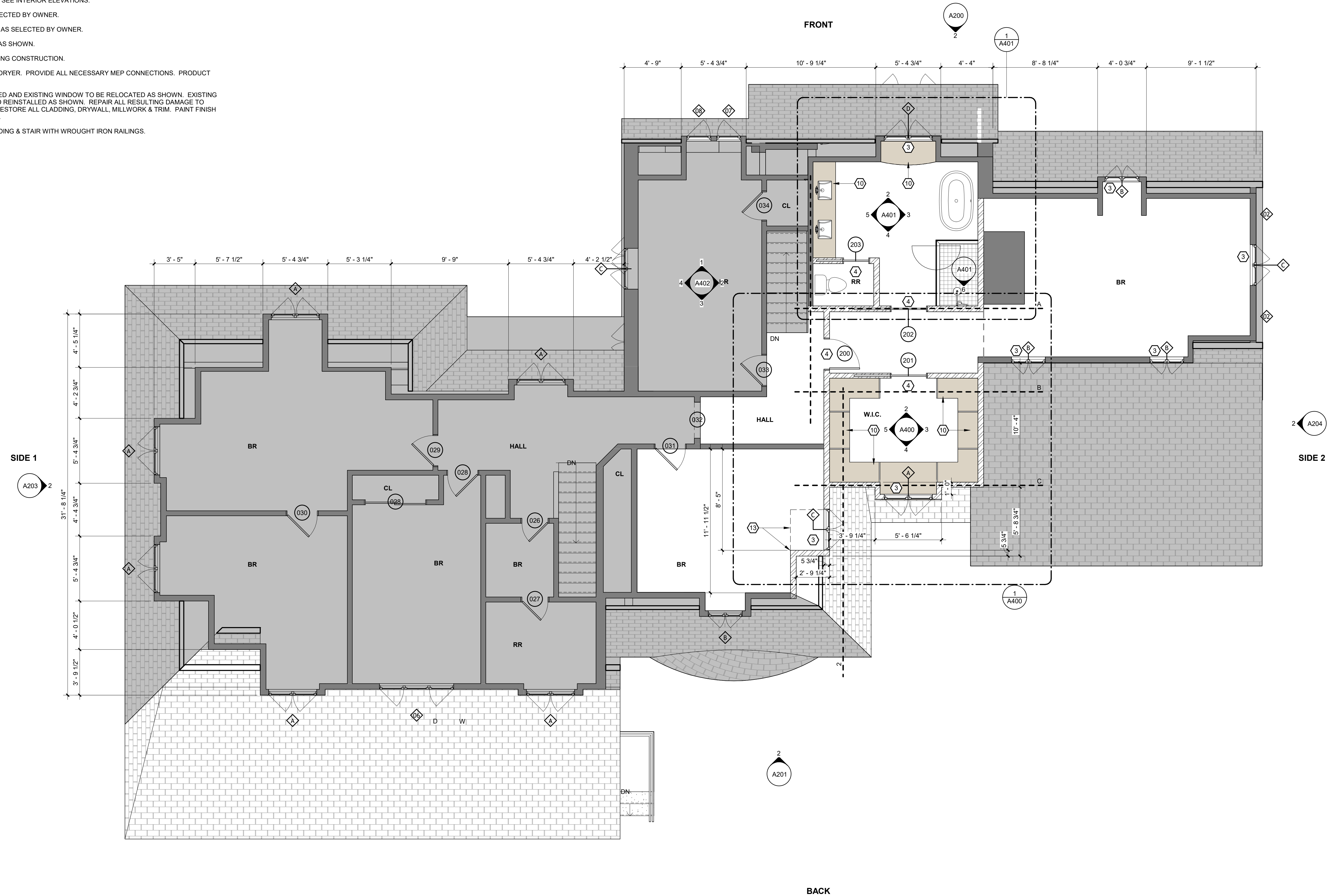
CONSTRUCTION KEYNOTES (#)

- FURNISH AND INSTALL DOG WASH STATION. DOG WASH STATION WILL HAVE HOT & COLD WATER SUPPLY, MIXING VALVE, SHOWER WAND ELBOW, DRAIN AND HOSE BIB. FINISHES TO BE SLIP-RESISTANT, AS SELECTED BY OWNER.
- FURNISH AND INSTALL OPENING AS DIMENSIONED.
- FURNISH AND INSTALL WINDOW AS SCHEDULED.
- FURNISH AND INSTALL DOOR AS SCHEDULED.
- FURNISH AND INSTALL DINING ROOM TABLE AS SELECTED BY OWNER.
- FURNISH AND INSTALL MILLWORK ISLAND.
- FURNISH AND INSTALL MILLWORK. SEE INTERIOR ELEVATIONS.
- FURNISH AND INSTALL ART AS SELECTED BY OWNER.
- FURNISH AND INSTALL FURNITURE AS SELECTED BY OWNER.
- FURNISH AND INSTALL MILLWORK AS SHOWN.
- INFILL OPENINGS TO MATCH EXISTING CONSTRUCTION.
- FURNISH AND INSTALL WASHER & DRYER. PROVIDE ALL NECESSARY MEP CONNECTIONS. PRODUCT AS SELECTED BY OWNER.
- EXISTING DORMER TO BE EXPANDED AND EXISTING WINDOW TO BE RELOCATED AS SHOWN. EXISTING WINDOW SHALL BE SALVAGED AND REINSTALLED AS SHOWN. REPAIR ALL RESULTING DAMAGE TO INTERIOR & EXTERIOR OF WALL - RESTORE ALL CLADDING, DRYWALL, MILLWORK & TRIM. PAINT FINISH ALL WORK (INTERIOR & EXTERIOR).
- FURNISH AND INSTALL STONE LANDING & STAIR WITH WROUGHT IRON RAILINGS.

2ND FLOOR DOOR SCHEDULE - NEW DOORS								
MARK	DOOR TYPE	DOOR MATERIAL	ROOM NAME	HEIGHT	WIDTH	DOOR FINISH	Door Hardware Group	NOTES
200	A	WOOD	HALL	6'-8"	2'-6"	PAINT - WHITE A		
201	A	WOOD	HALL	6'-8"	3'-0"	PAINT - WHITE B		
202	A	WOOD	TOILET	7'-0"	3'-0"	PAINT - WHITE C		
203	A	WOOD	TOILET	7'-0"	2'-2"	PAINT - WHITE C		

DOOR SCHEDULE NOTES:

- THICKNESS AND DESIGN DOOR TYPE "A" TO MATCH EXISTING 8-PANEL STYLE.



1
A102 2nd Floor Plan
1/4" = 1'-0"



DJCA
DJCA ARCHITECTURE, PLLC
99 Garmsay Road, Suite 100, Pittsford, NY 14534
Phone: 585.514.0234

Cornerstone
99 Garmsay Road, Suite 100, Pittsford, NY 14534
Phone: 585.514.0223

Project Information:

Newcomb Residence
35 Sunset Boulevard
Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date
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Project No:	
Scale: 1/4" = 1'-0"	
Date: 12.11.2024	Drawn By: KCC
Drawing Title: Second Floor Plan	
Drawing No: A102	

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Project Information:

Newcomb Residence
35 Sunset Boulevard
Pittsford, NY 14534

Revision Schedule

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1	Issued for Review	12.11.24

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Project No:

Scale: 1/4" = 1'-0"

Date: 12.11.2024 Drawn By: KCC

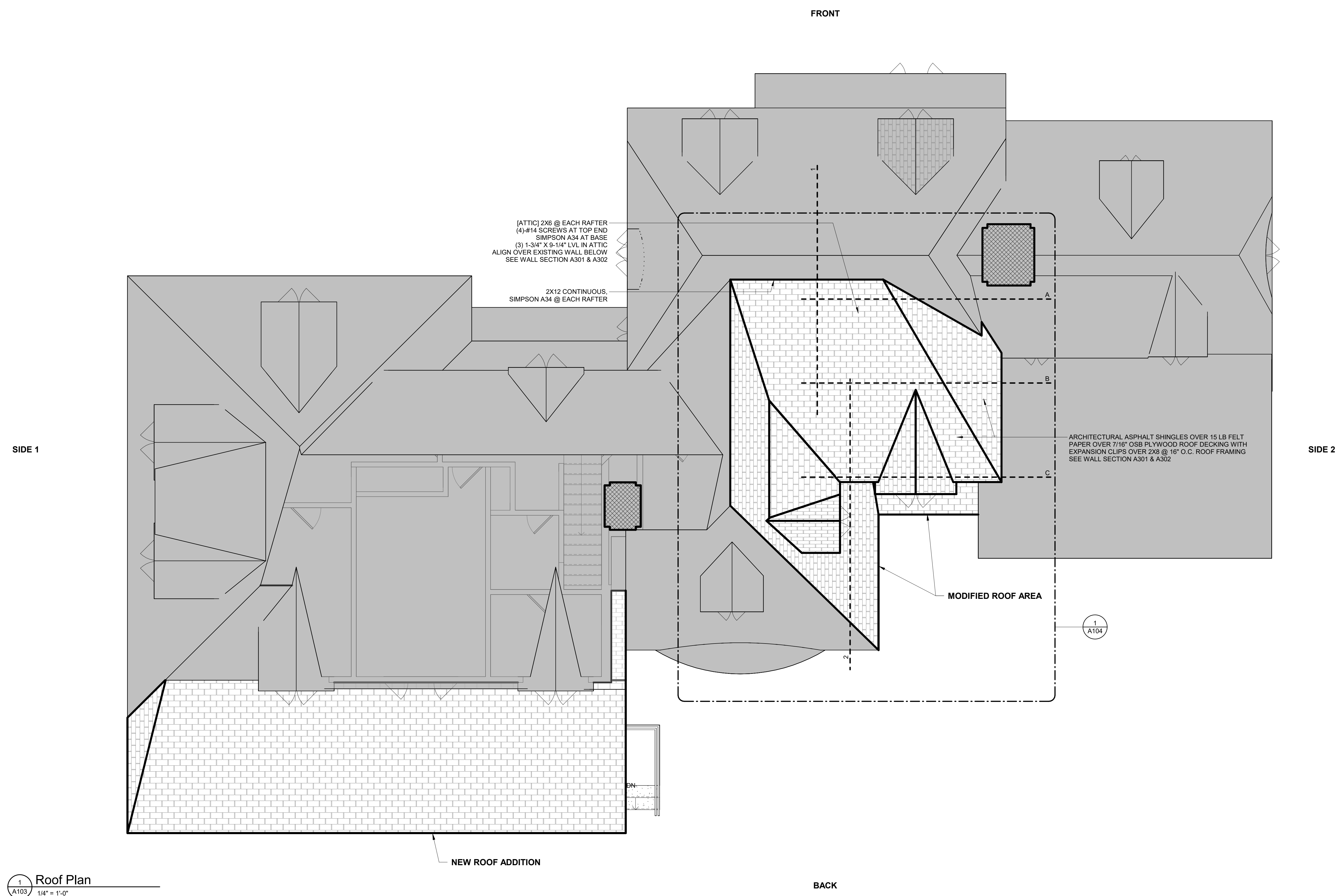
Drawing Title:

Roof Plan

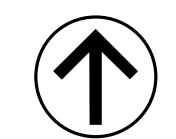
Drawing No:

A103

PRINT DATE: 12/11/2024 2:14:34 PM
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Roof Plan
1/4" = 1'-0"



PROJECT NORTH

GENERAL ELEVATION NOTES

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATED DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
- INSTALL CONCEALED FLASHING UP A MINIMUM OF 12" ON ALL WALLS AT INTERSECTING ROOFS.



1 Front Elevation (Existing)
A200 1/4" = 1'-0"

EXISTING WINDOW TO BE REMOVED & REPLACED AS REQUIRED.

EXISTING WINDOW TO BE REMOVED & REPLACED AS REQUIRED.

EXISTING WINDOW TO BE REMOVED & ADJACENT MASONRY VENEER TO BE REMOVED TO ACCOMMODATE WORK. SILL TO BE LOWERED.

EXISTING WINDOW TO BE REMOVED & ADJACENT MASONRY TO BE REMOVED TO ACCOMMODATE WORK. SILL TO BE LOWERED, WINDOW LOCATION

NOTE:
ALL ARCHITECTURAL MATERIALS & DETAILS SHALL MATCH EXISTING.



2 Front Elevation
A200 1/4" = 1'-0"

EXISTING (NO WORK)

EXISTING (NO WORK)

EXISTING (NO WORK)

EXISTING (NO WORK)

DJCA
DJCA ARCHITECTURE, PLLC
99 Garsney Road, Suite 100, Pittsford, NY 14534
Phone: 585.514.0234

Cornerstone
99 Garsney Road, Suite 100, Pittsford, NY 14534
Phone: 585.514.0223

Project Information:

Newcomb Residence
35 Sunset Boulevard
Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date
1	Issued for Review	12.11.24

Progress Print
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PRINT DATE: 12/11/2024 2:14:34 PM

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Project No:

Scale: 1/4" = 1'-0"

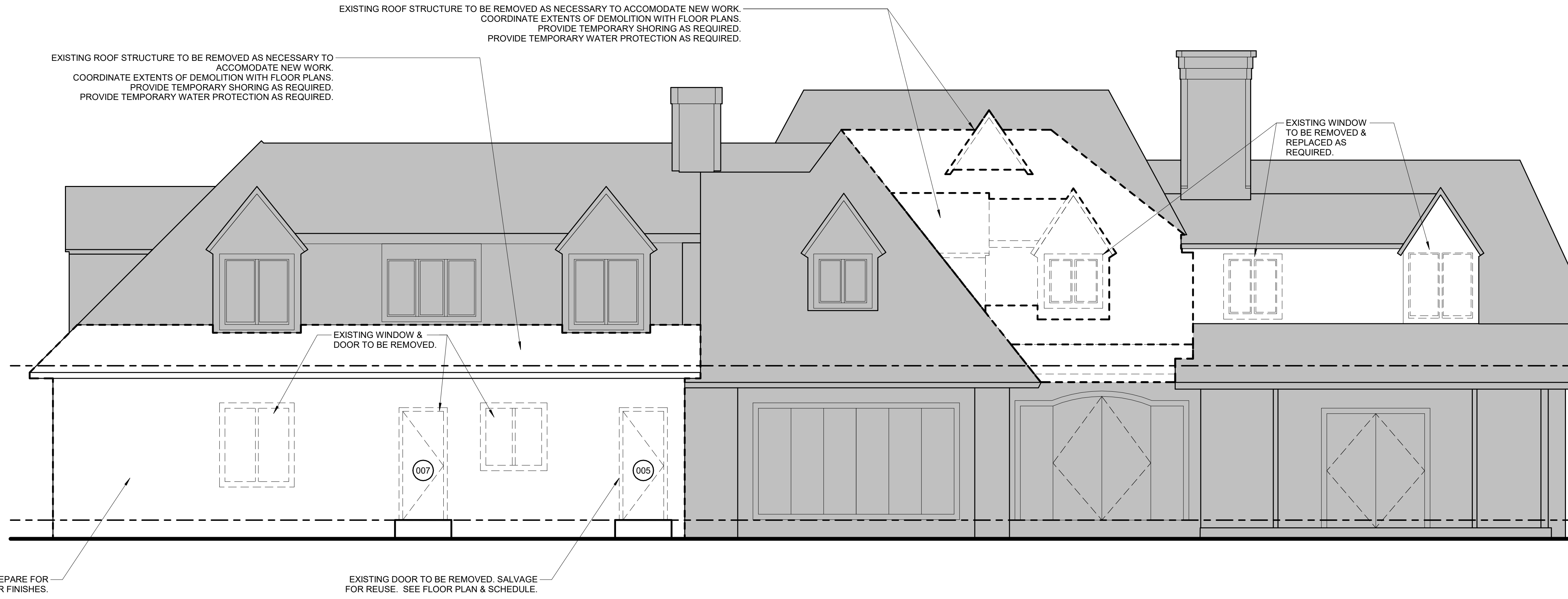
Date: 12.11.2024 Drawn By: KCC

Drawing Title:
Exterior Elevations - Front

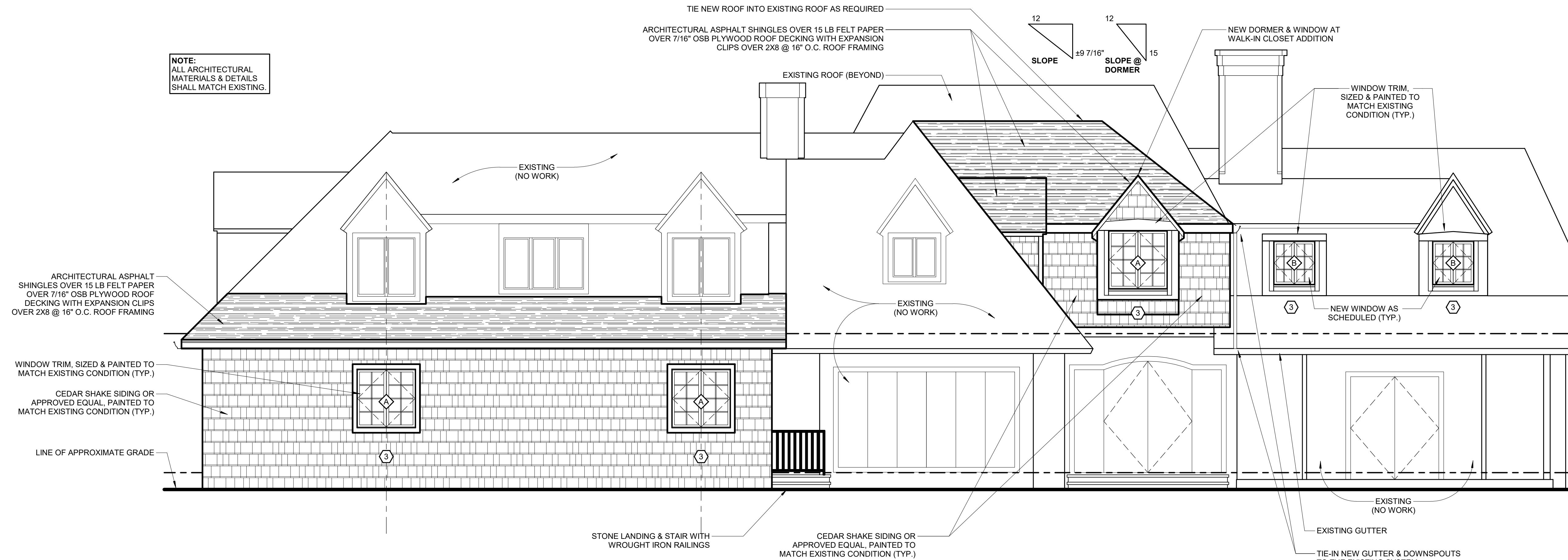
Drawing No:
A200

GENERAL ELEVATION NOTES

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATED DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
- INSTALL CONCEALED FLASHING UP A MINIMUM OF 12" ON ALL WALLS AT INTERSECTING ROOFS.



1 Rear Elevation (Existing)
A201 1/4" = 1'-0"



2 Rear Elevation
A201 1/4" = 1'-0"

DJCA
DJCA ARCHITECTURE PLLC
99 Garnsey Road, Suite 100, Pittsford, NY 14534
Phone: 585.514.0234

Cornerstone
99 Garnsey Road, Suite 100, Pittsford, NY 14534
Phone: 585.514.0223

Project Information:

Newcomb Residence
35 Sunset Boulevard
Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date
1	Issued for Review	12.11.24

Progress Print
NOT FOR CONSTRUCTION
PRINT DATE: 12/11/2024 2:14:34 PM

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO REPRODUCE THESE DRAWINGS IN ANY WAY.

Project No:

Scale: 1/4" = 1'-0"

Date: 12.11.2024 **Drawn By:** KCC

Drawing Title:

Exterior Elevations - Rear

Drawing No:

A201

GENERAL ELEVATION NOTES

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATED DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
- INSTALL CONCEALED FLASHING UP A MINIMUM OF 12" ON ALL WALLS AT INTERSECTING ROOFS.

Revision Schedule		
No.	Revision/Submission	Date
1	Issued for Review	12.11.24

Progress Print
NOT FOR CONSTRUCTION
 PRINT DATE: 12/11/2024 2:14:34 PM

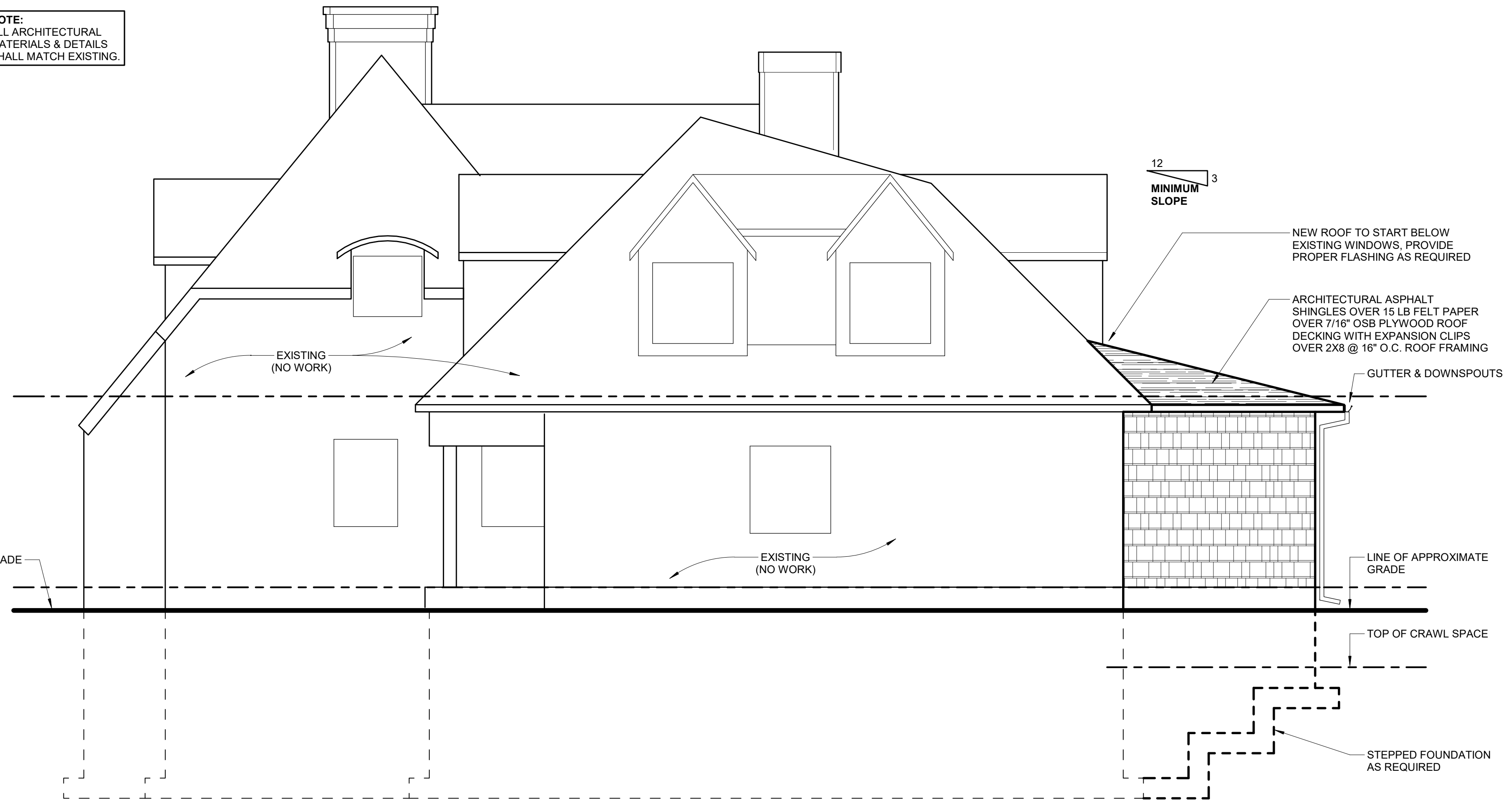
WARNING:
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT TO REPRODUCE THESE DRAWINGS IN ANY WAY.

Project No:	
Scale:	1/4" = 1'-0"
Date:	12.11.2024
Drawn By:	KCC
Drawing Title: Exterior Elevations - Side 1	
Drawing No: A203	



1 Side 1 Elevation (Existing)
 A203 1/4" = 1'-0"

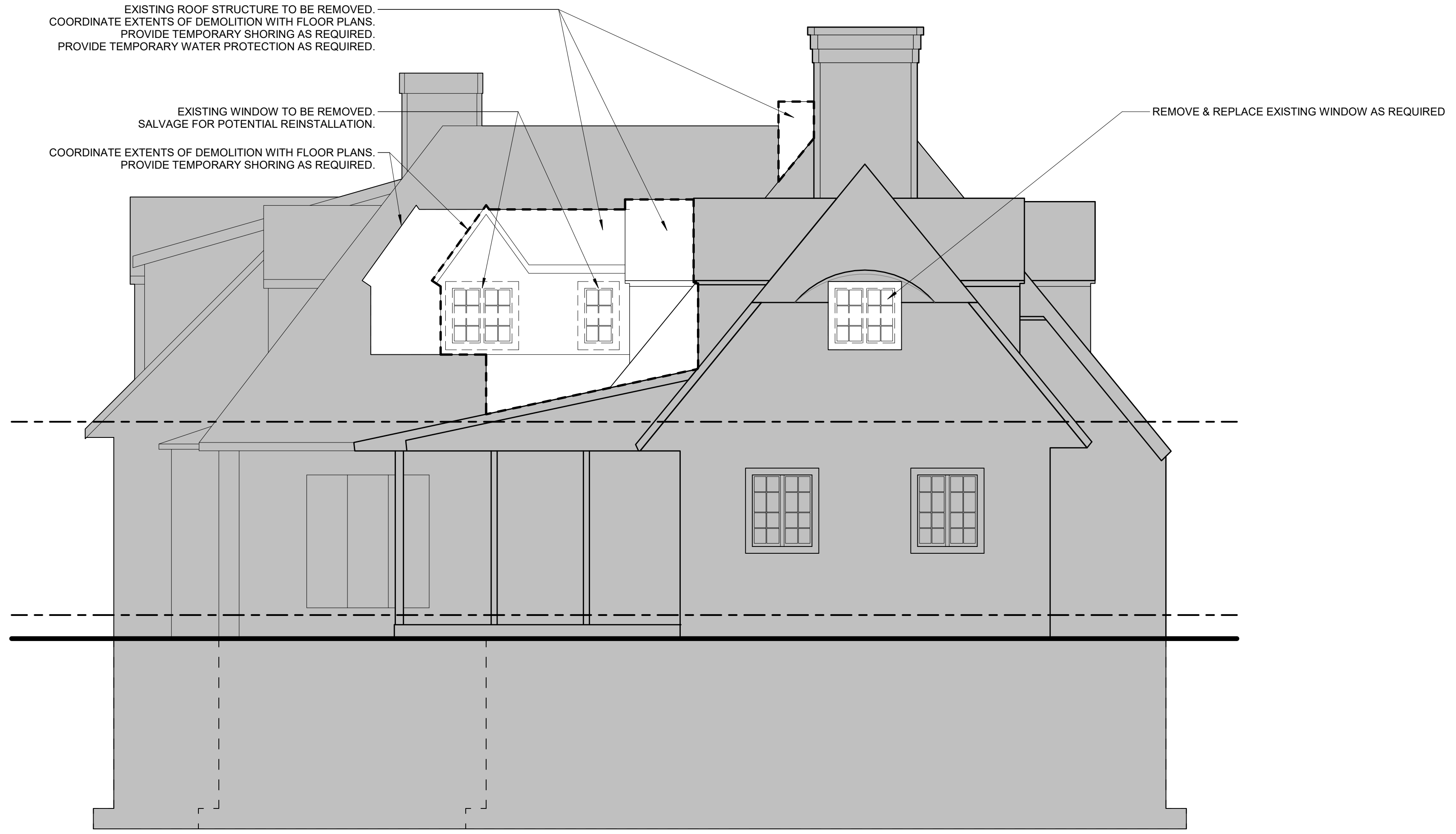
NOTE:
 ALL ARCHITECTURAL MATERIALS & DETAILS SHALL MATCH EXISTING.



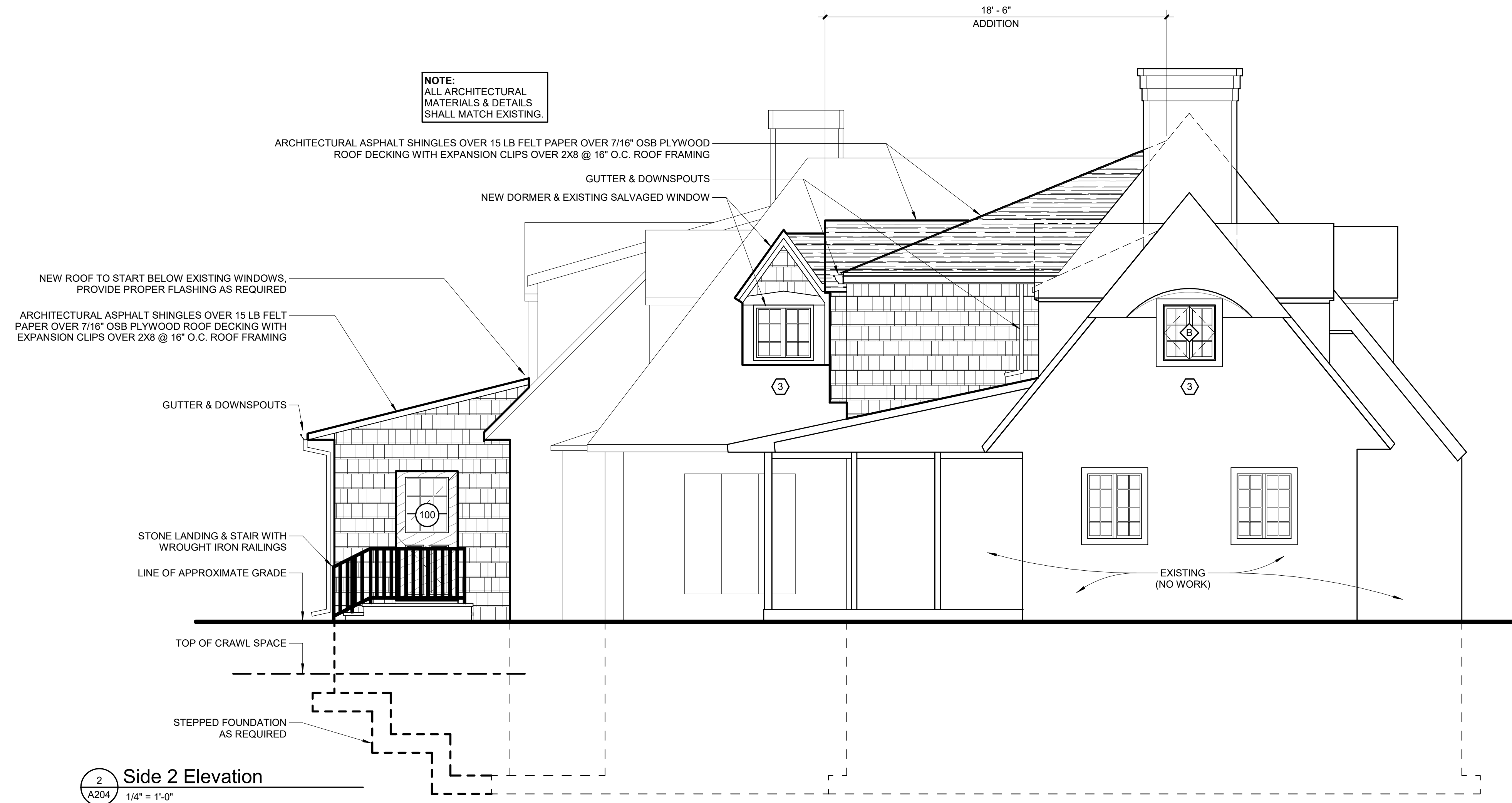
2 Side 1 Elevation
 A203 1/4" = 1'-0"

GENERAL ELEVATION NOTES

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATED DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
- INSTALL CONCEALED FLASHING UP A MINIMUM OF 12" ON ALL WALLS AT INTERSECTING ROOFS.



1 Side 2 Elevation (Existing)
A204 1/4" = 1'-0"



2 Side 2 Elevation
A204 1/4" = 1'-0"

Project Information:

Revision Schedule	
No.	Date
1	12.11.24

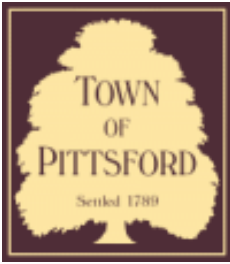
Progress Print
NOT FOR CONSTRUCTION
PRINT DATE: 12/11/2024 2:14:34 PM

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT TO REPRODUCE THESE DRAWINGS IN ANY WAY.

Project No:
Scale: 1/4" = 1'-0"
Date: 12.11.2024 Drawn By: KCC

Drawing Title:
Exterior Elevations - Side 2

Drawing No:
A204



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000163

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 63 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.04-1-38

Zoning District: IZ Incentive Zoning

Owner: Clover St Development Corp

Applicant: Spall Homes Corp/Spall Realtors Corp

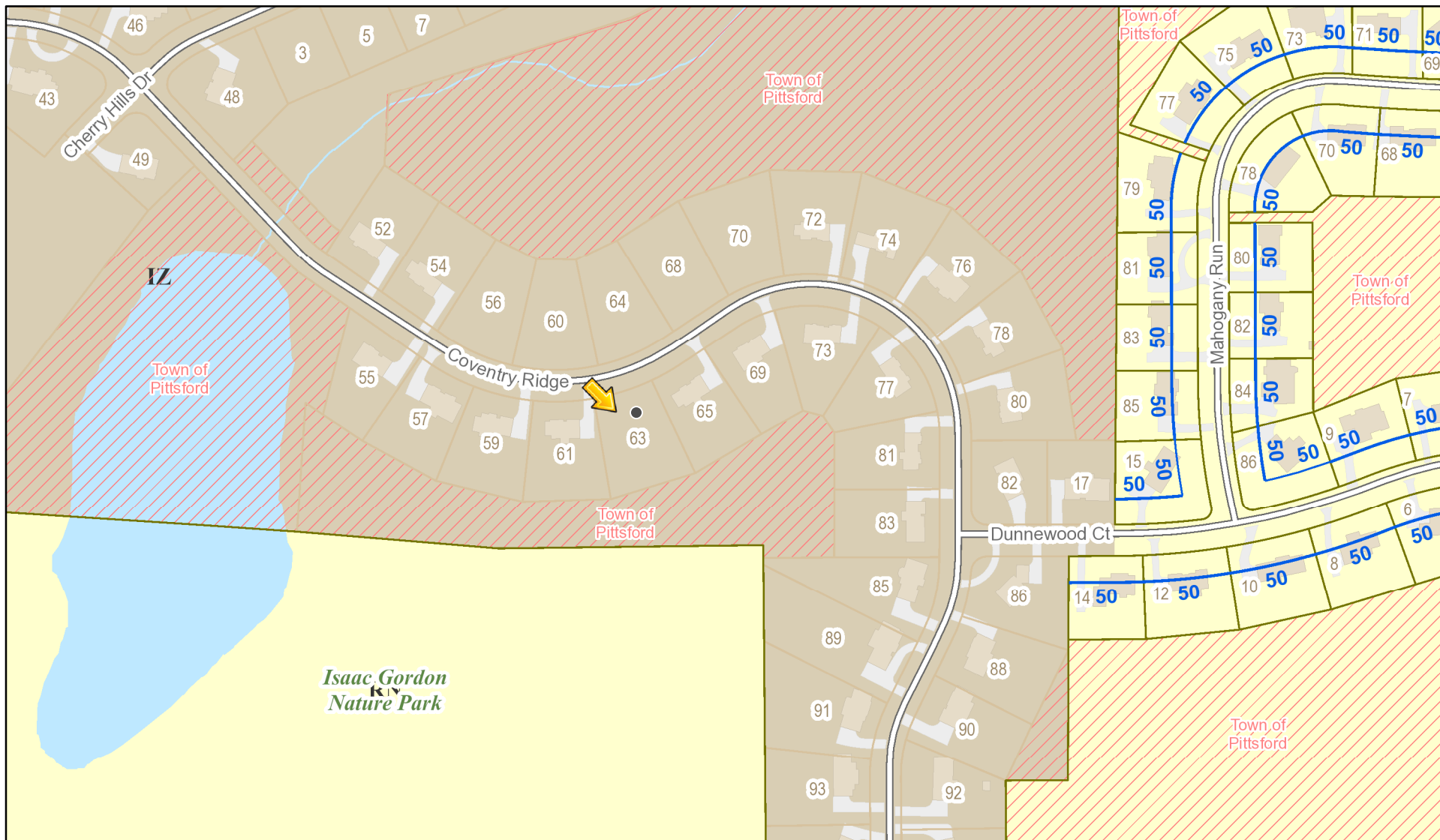
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

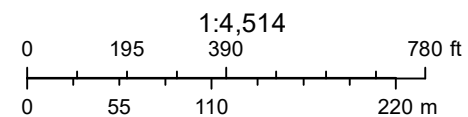
Project Description: Applicant is requesting design review for the construction of a two story single family home approximately 4384 square feet that is located in the Coventry Ridge Subdivision.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 10, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Coventry Ridge



63 COVENTRY RIDGE

LOT 83

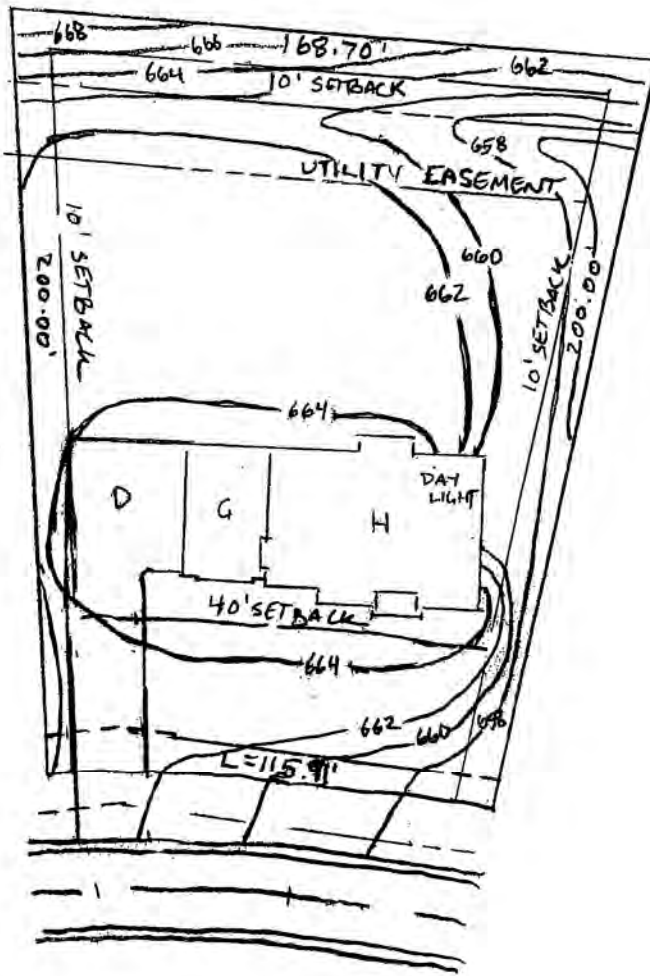
1" = 50'

27,877 SF

FG = 664.5

T.O.W. = 665.17

D/L = 658.0





CUSTOM HOUSE

LOT 83 COVENTRY RIDGE
PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP.

PLAN 4384 / PROJECT 15513

SHEET INDEX

C-1 COVER SHEET	5/6 SECOND FLOOR
1/6 ELEVATIONS	6/6 SECTIONS
2/6 ELEVATIONS & ROOF PLAN	N-1 DETAILS
3/6 FOUNDATION PLAN	N-2 REINFORCING NOTES
4/6 FIRST FLOOR PLAN	

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY'S).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

SECTION R316 - FOAM PLASTIC:
THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL. AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER HEATING SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.

CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEU WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS)

R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS.

PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS, AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING. GRIP SIZE TO BE PER SECTION R311.7.8.5 OF 2020 RCNYS.

STAIR ILLUMINATION PER SECTION R311.7.9 OF 2020 RCNYS.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

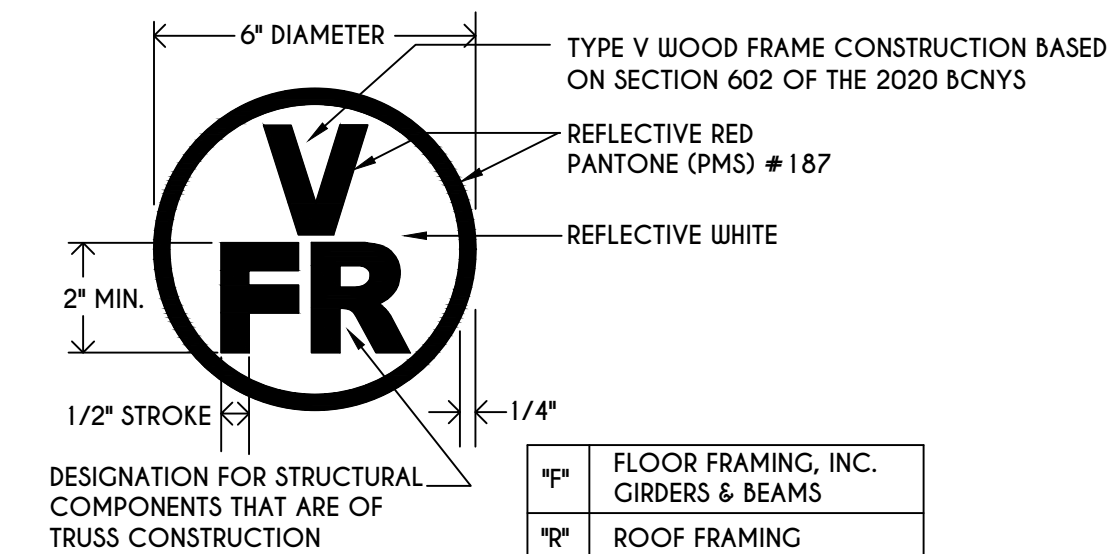
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



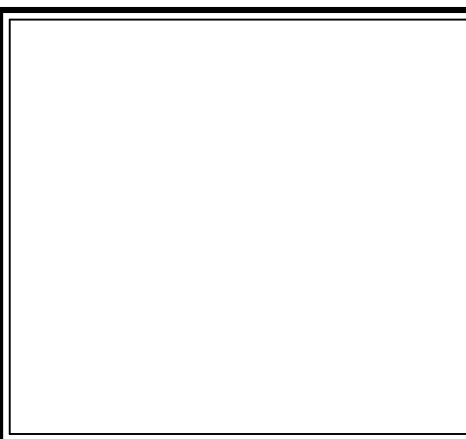
"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

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CLIENT/LOCATION:

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COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

GLA PLAN 4384

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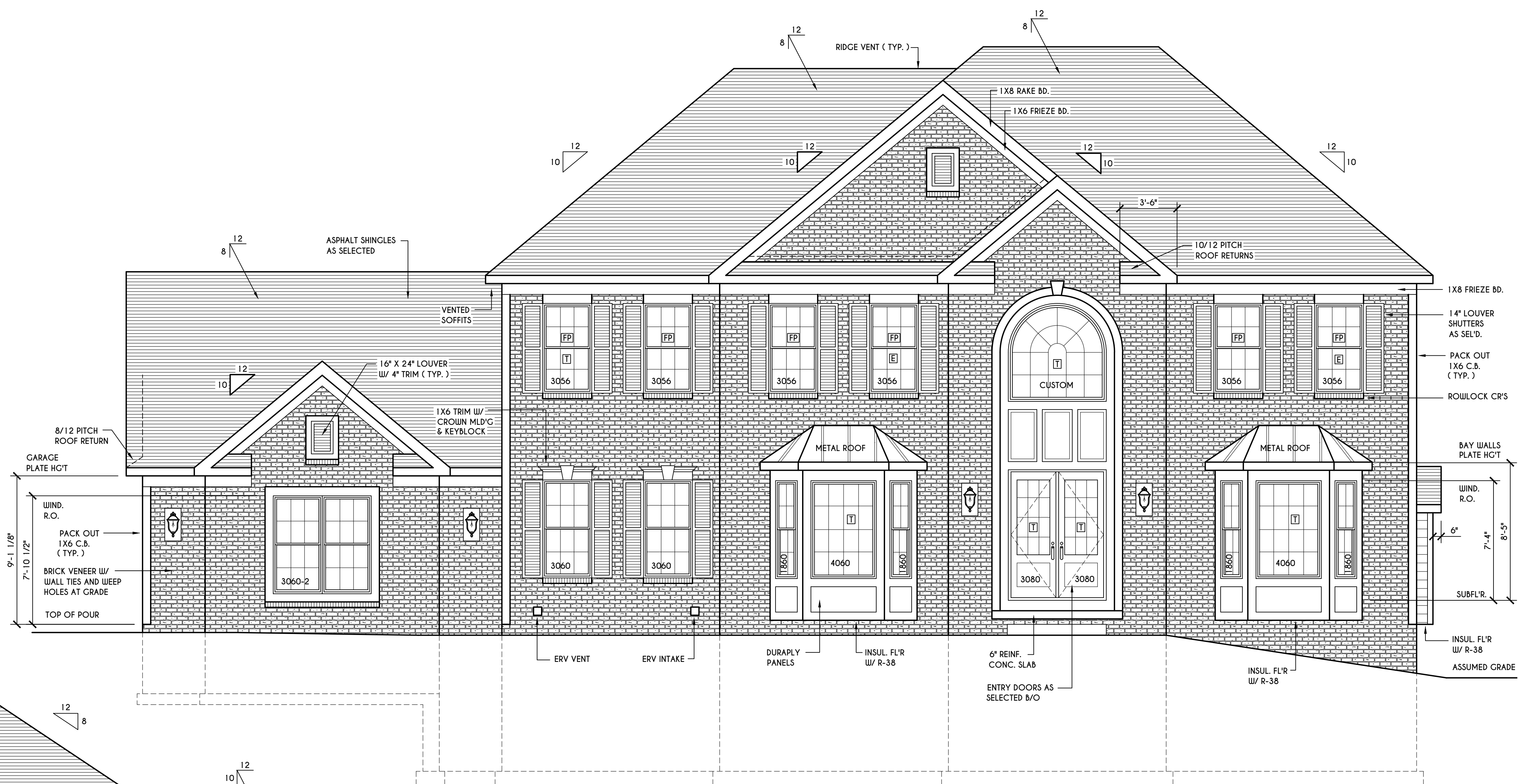
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

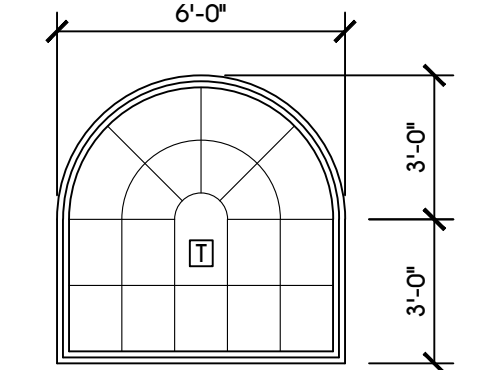
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 2237 SQ.FT.
 SECOND FLOOR LIVING AREA = 2147 SQ.FT.
 TOTAL LIVING AREA = 4384 SQ.FT.
 TOTAL CONDITIONED VOLUME (CONTRACTOR TO VERIFY) = 63,307 CU.FT.

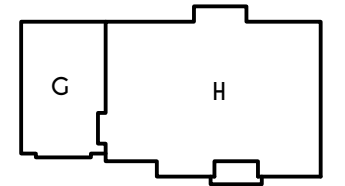


CUSTOM ARCHTOP

SCALE: 1/4" = 1'-0"

HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M 1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M 1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

WINDOWS: HARVEY OR EQUAL
 U-FACTOR 0.28
 SHGC 0.21

DOORS: SELECTION BY OWNER

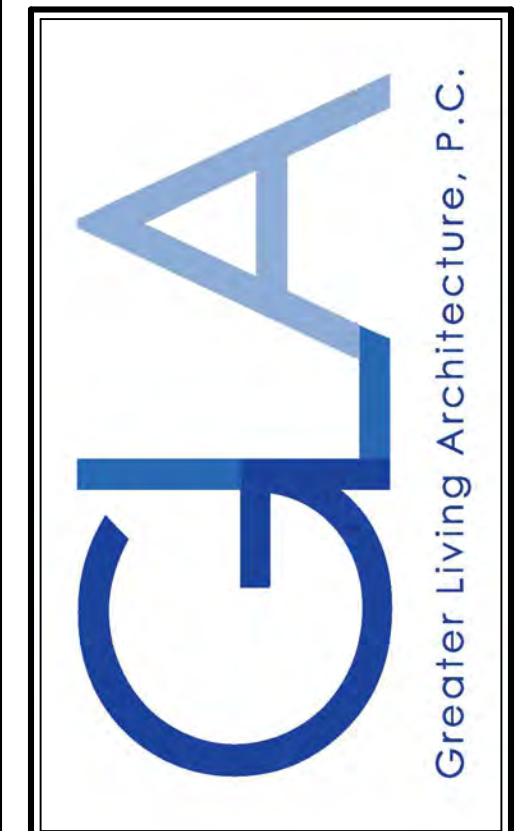
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY.

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)

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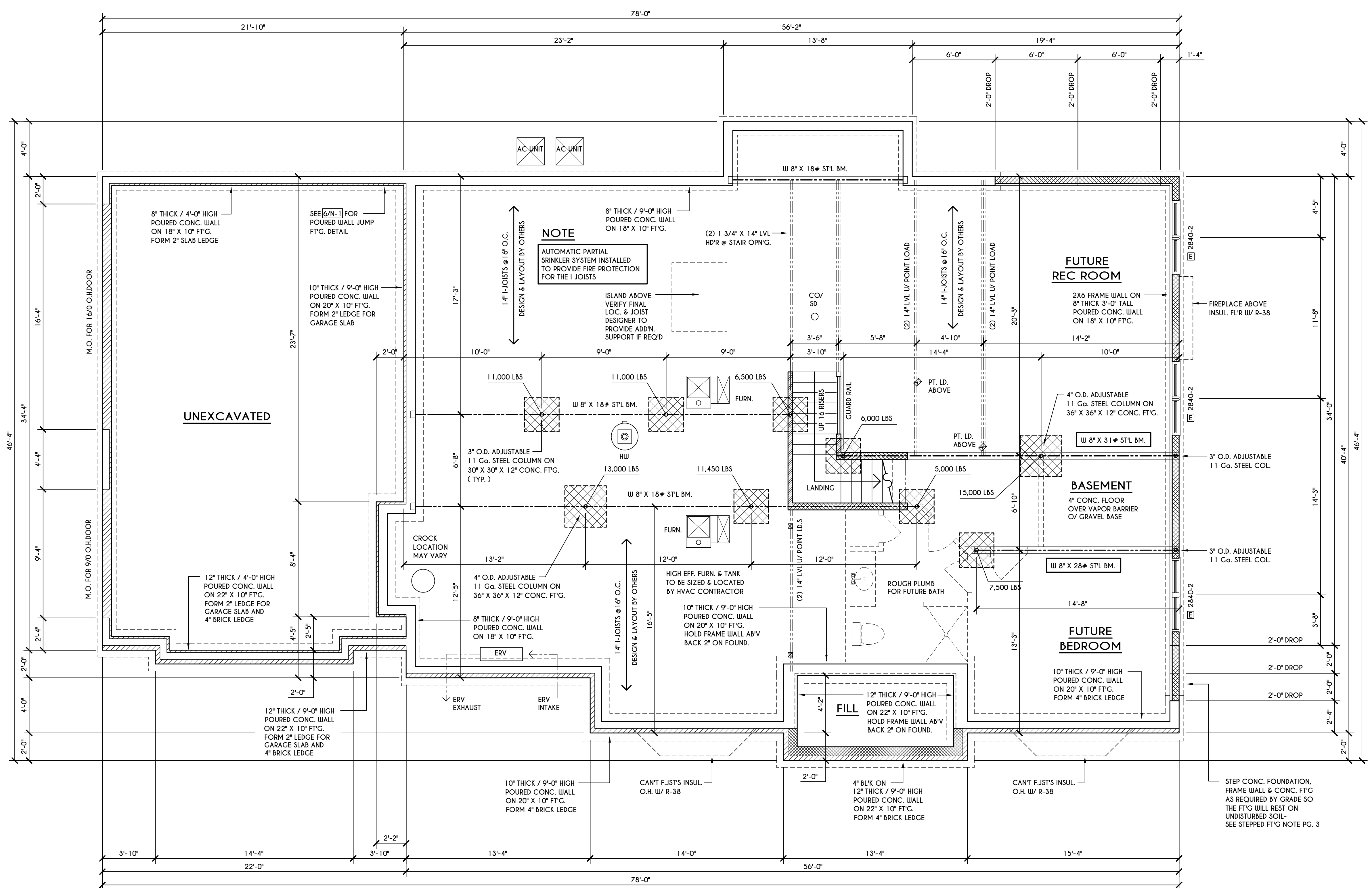
BUILDER:

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 BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 4384

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PROJECT: 15513	sheet: 3 / 6



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- - - DROPPED HEADER
- ==== FLUSH HEADER
- ==== 2X4 STUDS @ 16" O.C.
- ==== 2X6 STUDS @ 16" O.C.

GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE D8'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. R15.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

STEPPED FOOTING NOTE:
 R403.1.5 OF RCNYS SLOPE:
 THE TOP SURFACE OF THE FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE).

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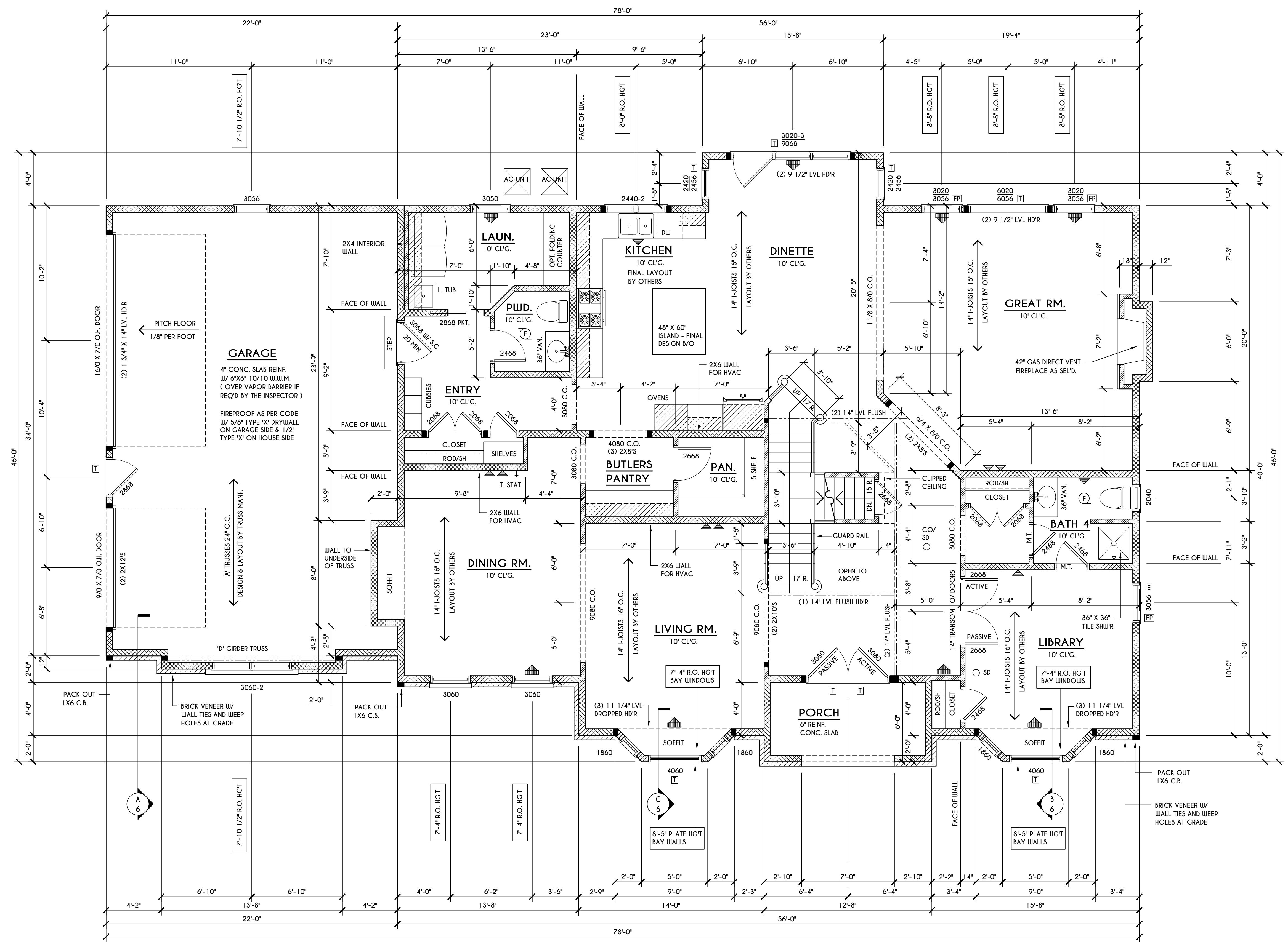
CLIENT/LOCATION:
 LOT 83
 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 4384

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FIRST FLOOR PLAN
 2237 SQ. FT.
 SCALE: 1/4" = 1'-0"

GENERAL FIRST FLOOR PLAN NOTES:
 FIRST FLOOR PLATE HGT TO BE 10'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

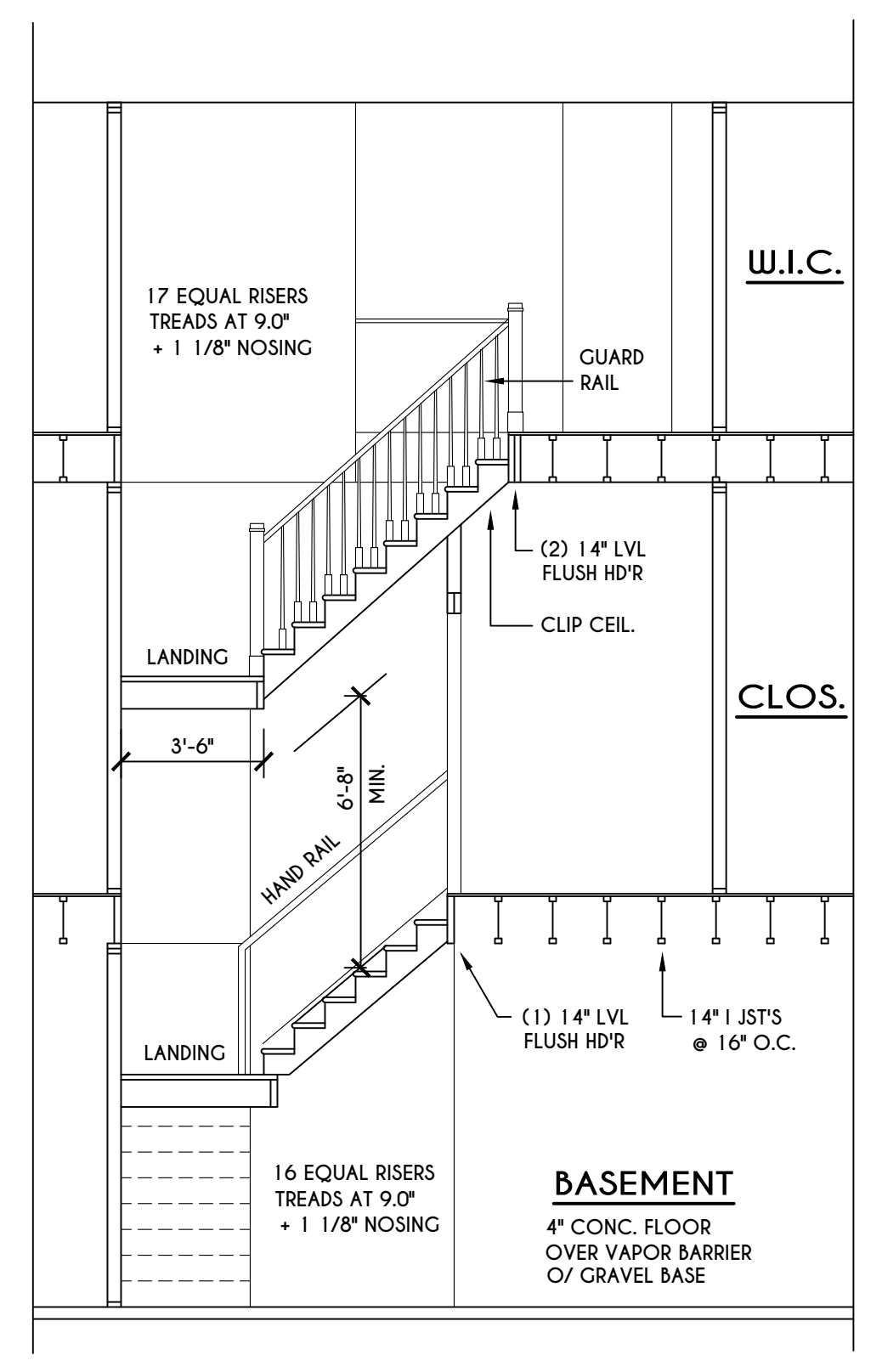
WINDOW / DOOR LEGEND:

	= MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ. FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

FRAMING LEGEND:

	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.

ENGINEERED FL'R JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW.
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD



STAIR SECTION
 SCALE: 1/4" = 1'-0"

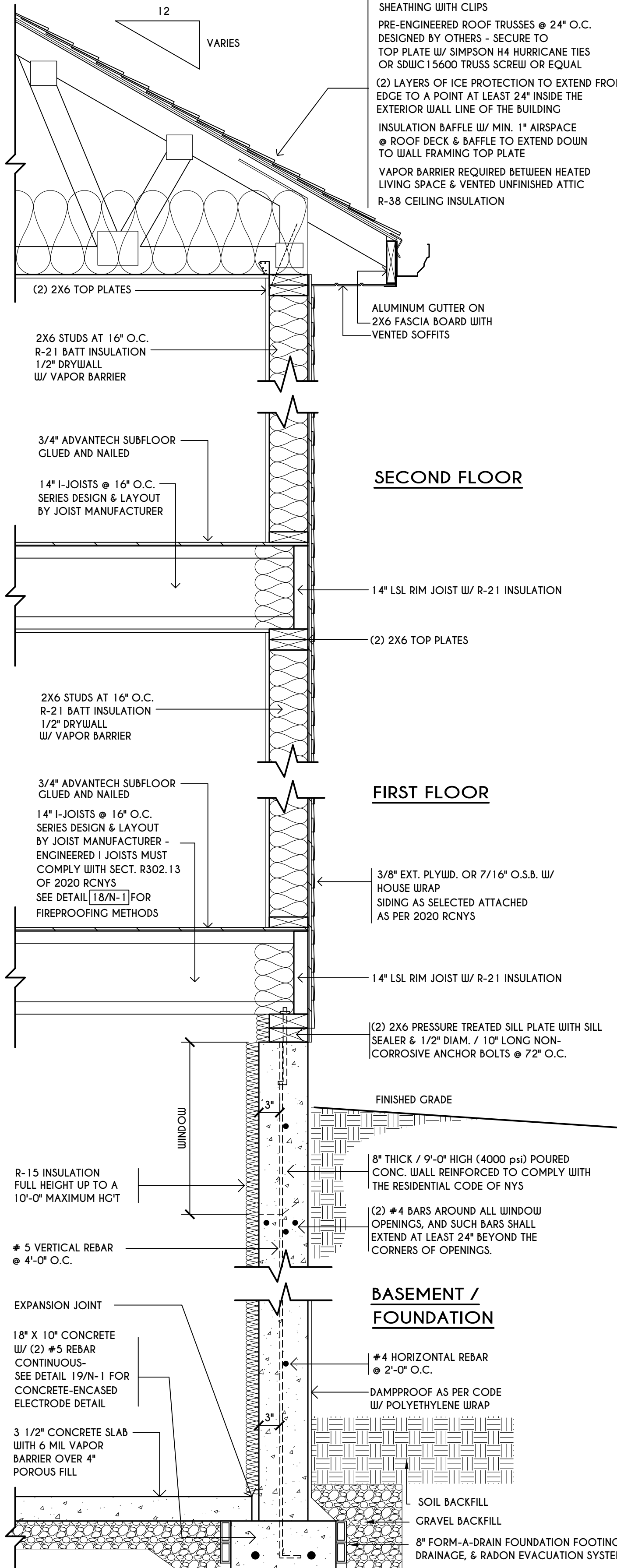
BASEMENT
 4" CONC. FLOOR OVER VAPOR BARRIER OR GRAVEL BASE

W.I.C.

CLOS.

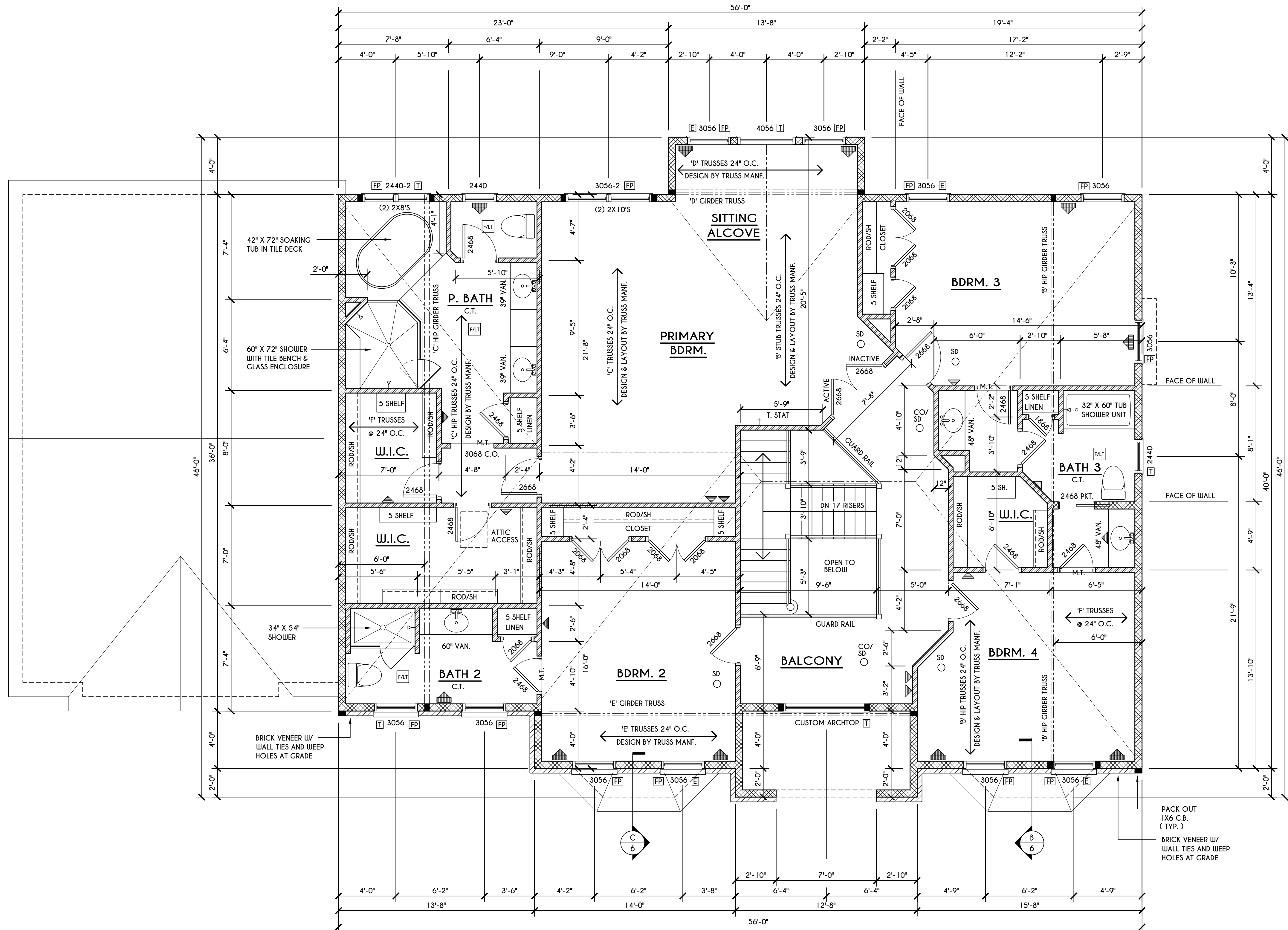
TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWC 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC R-38 CEILING INSULATION



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



SECOND FLOOR PLAN

2147 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 LOT 83
 COVENTRY RIDGE
 PITTSFORD, NY

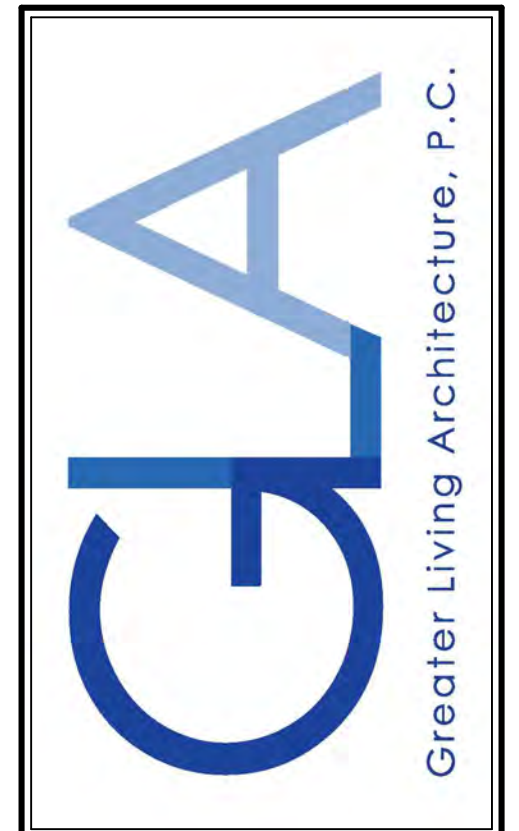
BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 4384

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 24
PROJECT: 15513	sheet: 5 / 6

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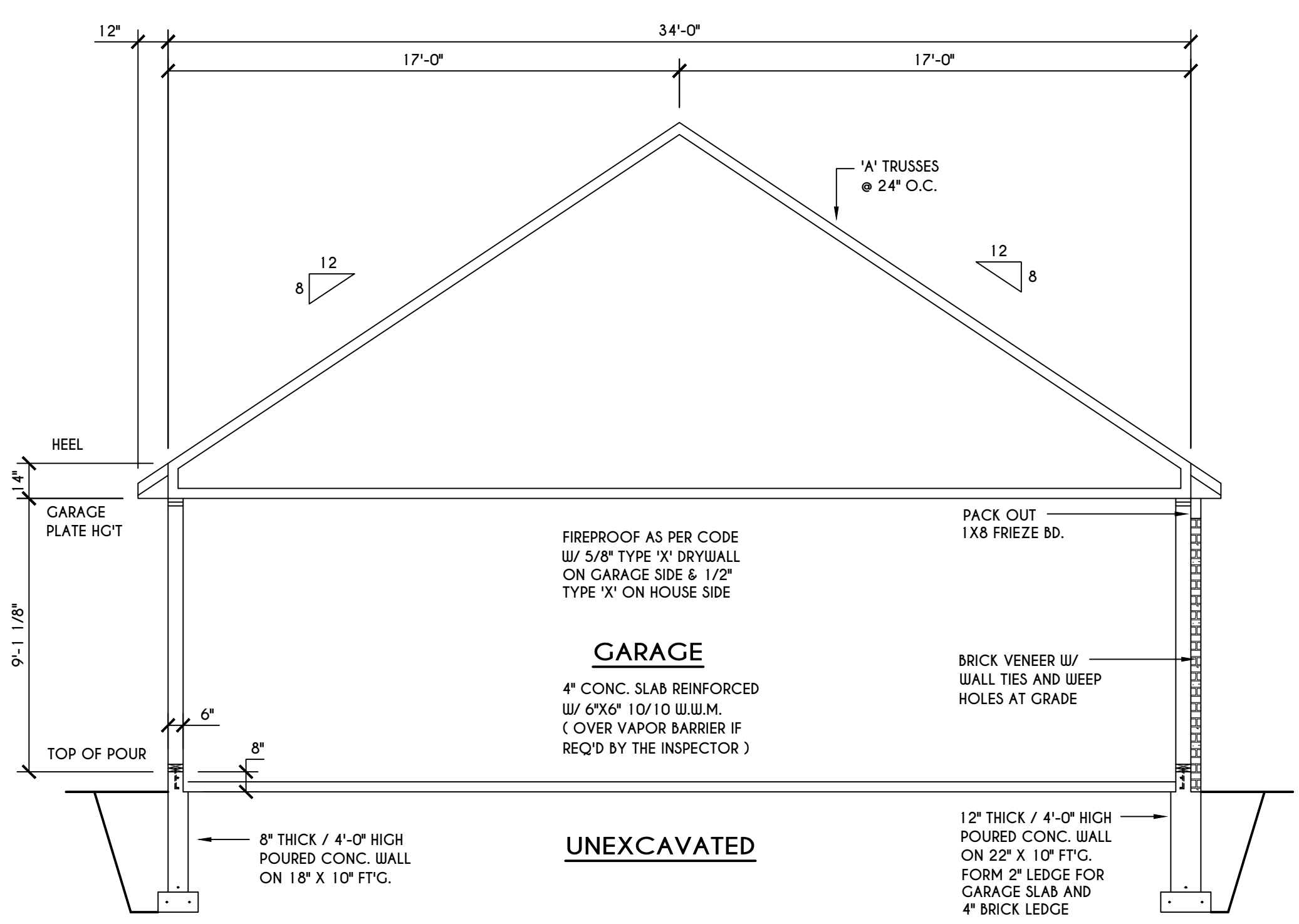
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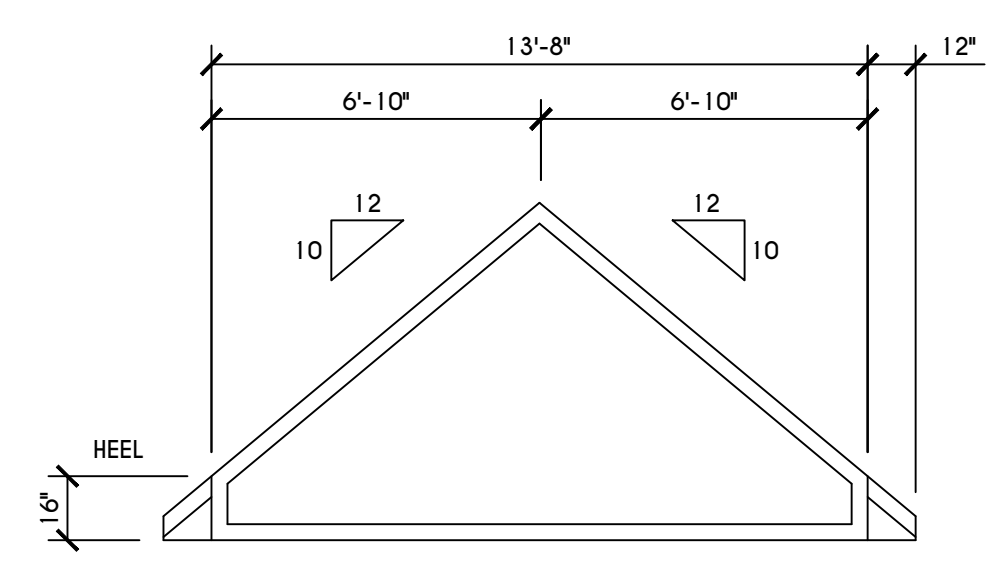
BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECTIONS
 GLA PLAN 4384

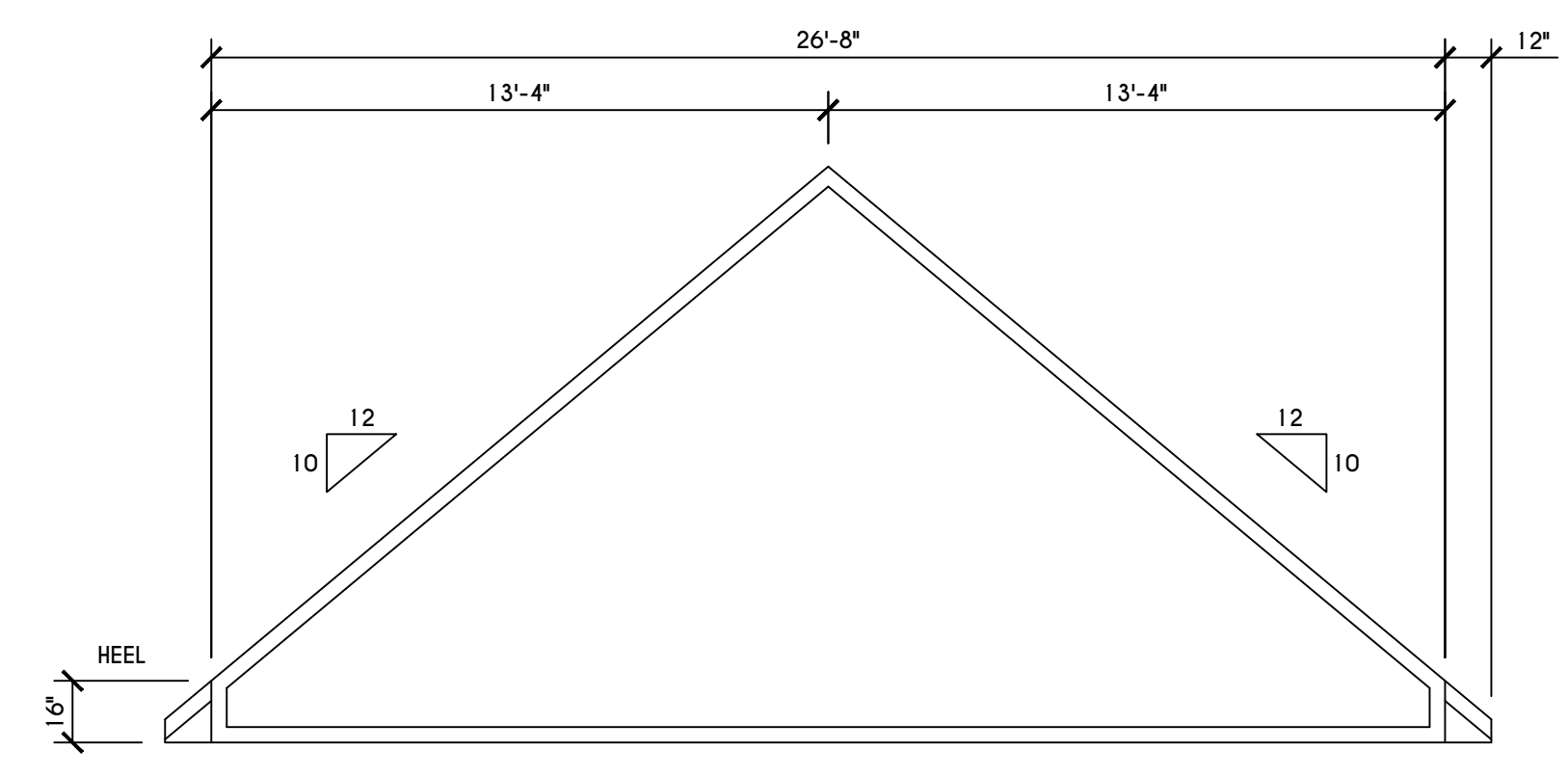
drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 24
PROJECT: 15513	sheet: 6 / 6



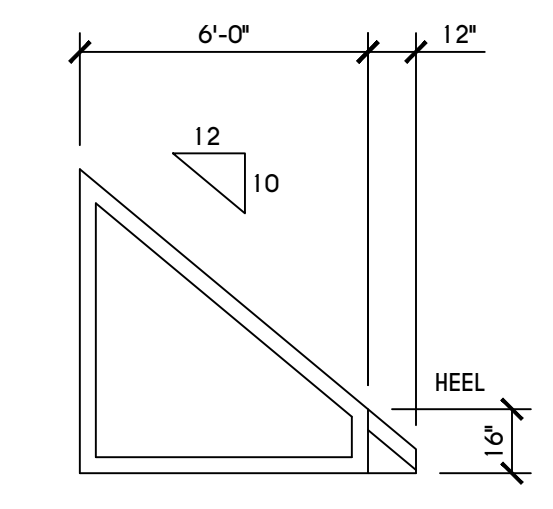
A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



'D' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



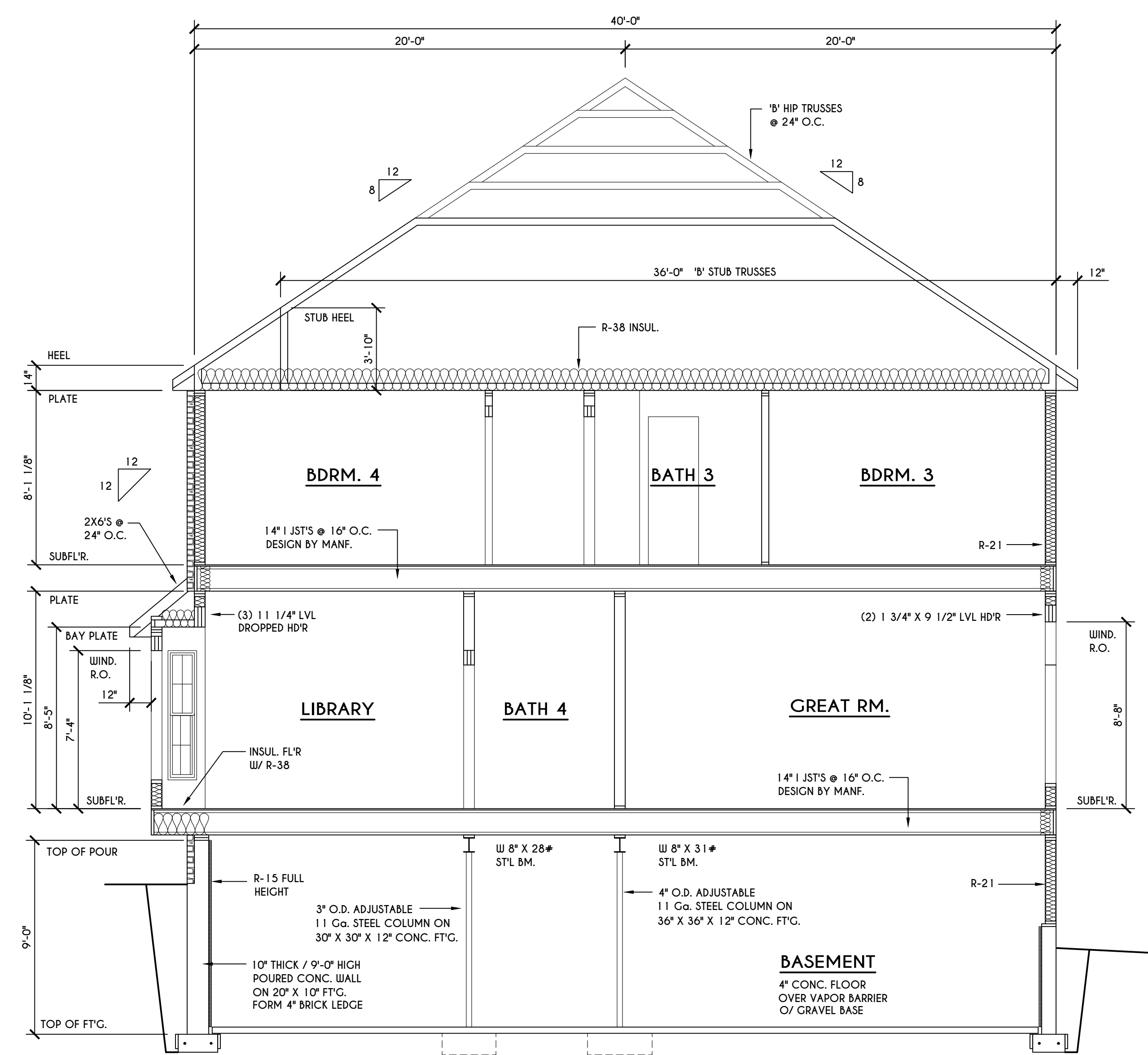
'E' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



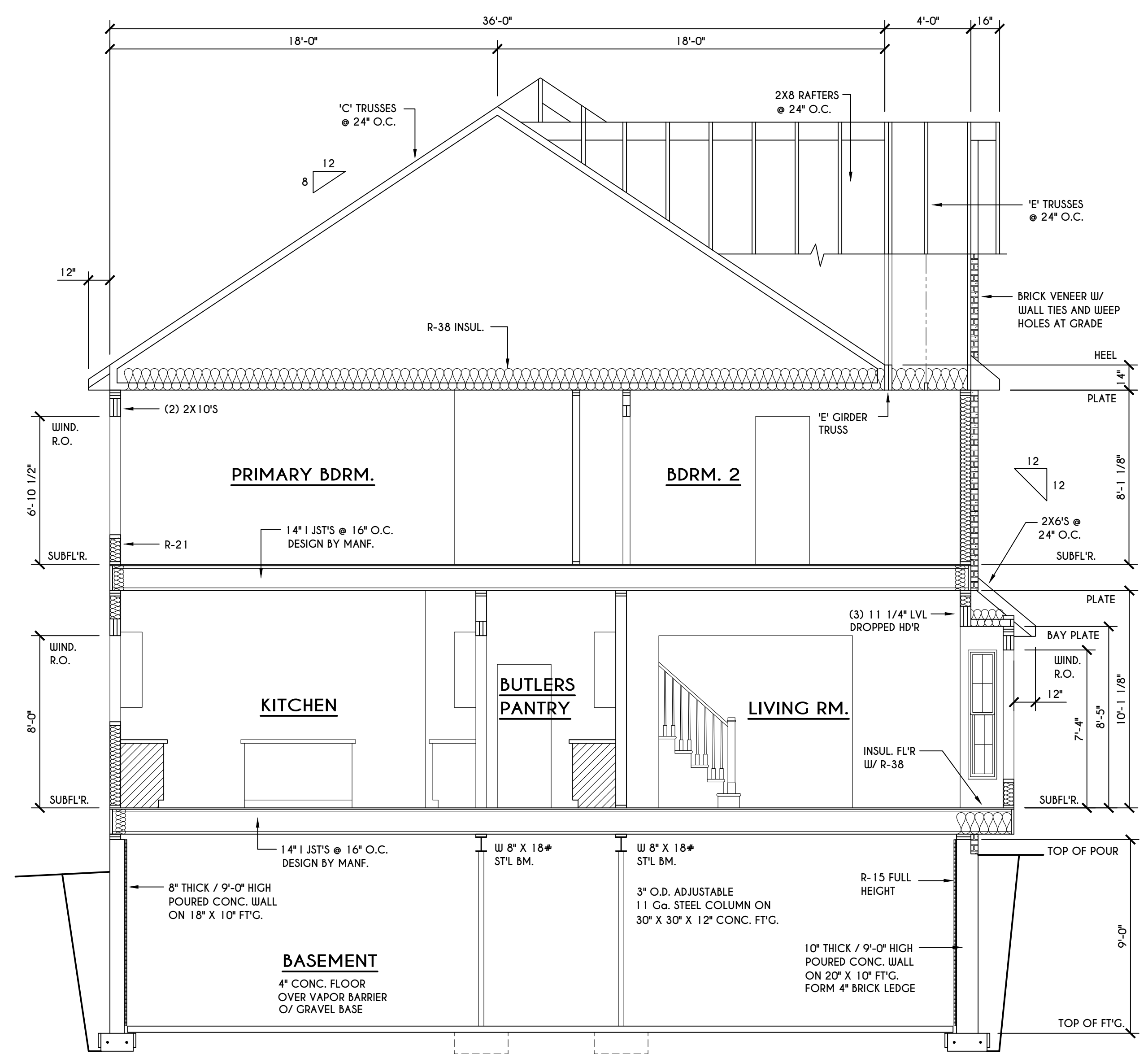
'F' TRUSS
 SCALE: 1/4" = 1'-0"

TRUSS NOTES:

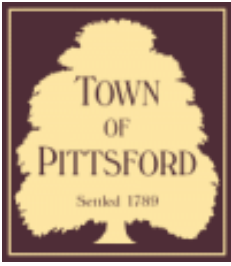
TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



C BUILDING SECTION
 SCALE: 1/4" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000170

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 64 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.04-1-25

Zoning District: IZ Incentive Zoning

Owner: TOC Capital Ventures LLC

Applicant: TOC Capital Ventures LLC

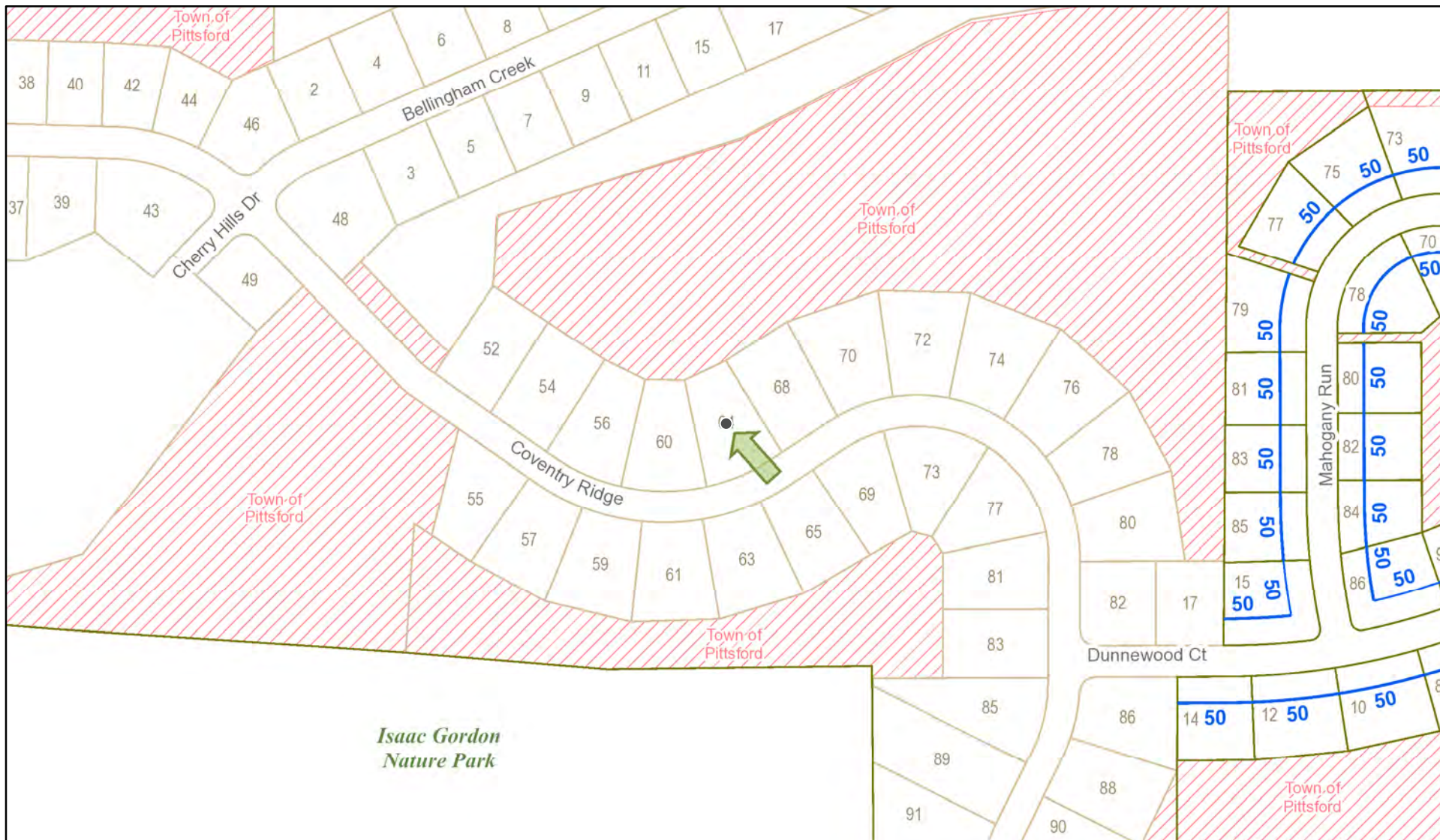
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

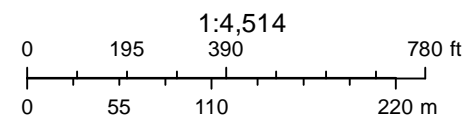
Project Description: Applicant is requesting design review for the construction of a two story single family home approximately 4529 square feet that is located in the Coventry Ridge Subdivision.

Meeting Date: December 19, 2024

RN Residential Neighborhood Zoning



Printed December 9, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



Nearmap

Dunnewood Ct

Coventry Ridge

Bellingham Creek

Coventry Ridge

Cherry Hills Dr

16

38

40

42

44

46

2

4

6

15

11

9

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64 COVENTRY RIDGE

LOT 52

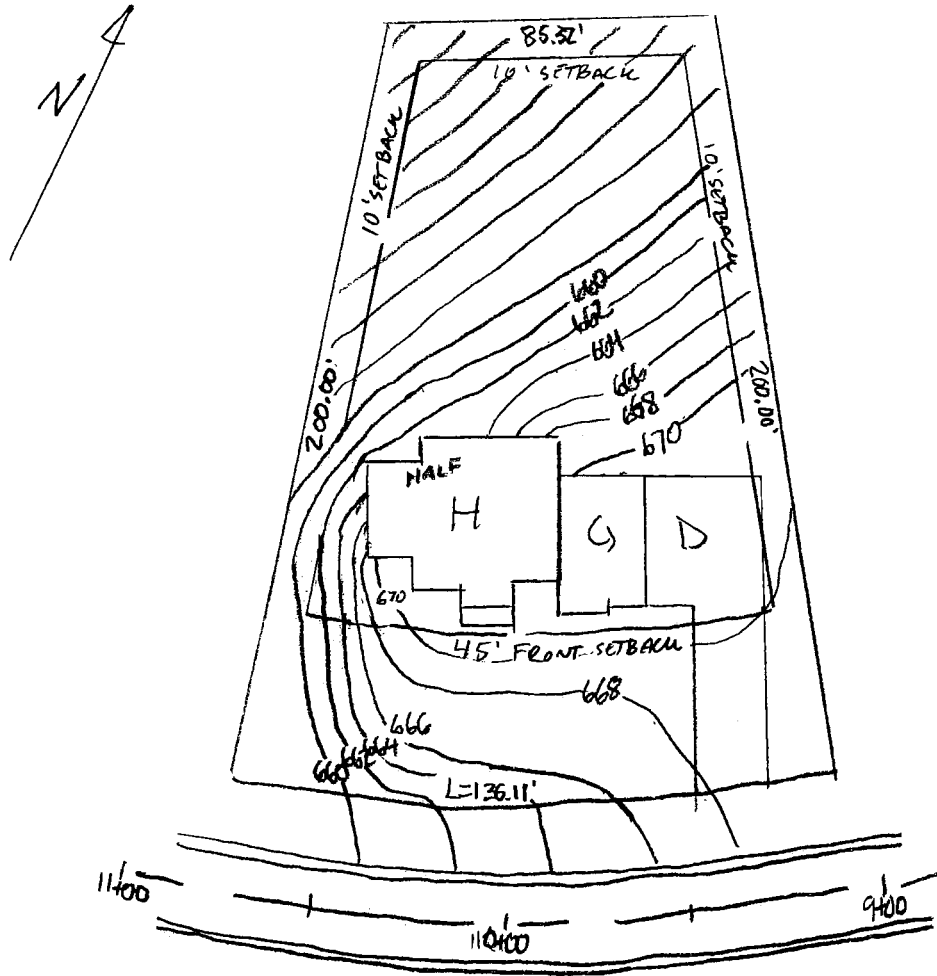
1" = 50'

24,696 SF

FG = 670.5

T.O.W. = 671.17

D/L = 664.0





THE LAWSON - SPEC HOME

LOT 52 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 3743 / PROJECT 15346 G

SHEET INDEX

- C- 1 COVER SHEET
- 1/6 FRONT & REAR ELEVATIONS
- 2/6 SIDE ELEVATIONS & SECTIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N- 1 DETAILS
- N- 2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY'S).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

SECTION R316 - FOAM PLASTIC:
THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL. AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E 279, OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

- DURING TESTING:
1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. TIGHTNESS TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS)

R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS. PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS, AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING. GRIP SIZE TO BE PER SECTION R311.7.8.5 OF 2020 RCNYS.

STAIR ILLUMINATION PER SECTION R311.7.9 OF 2020 RCNYS. GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

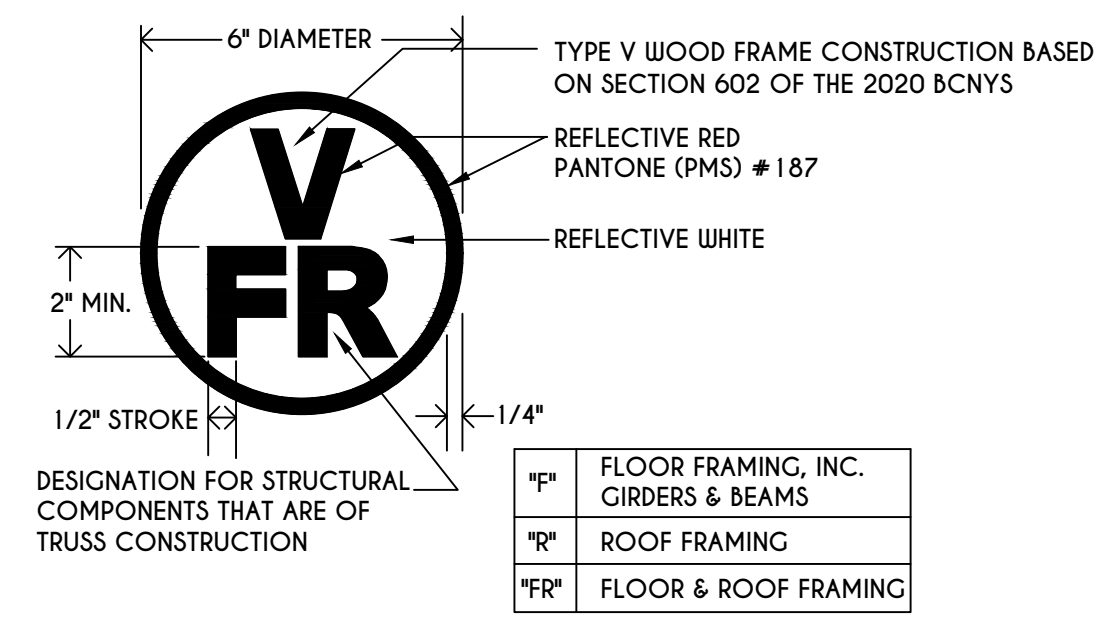
DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

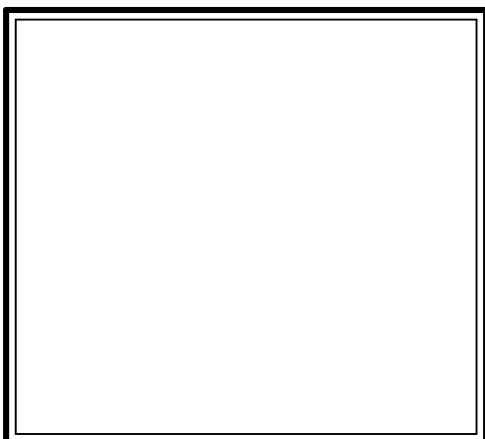
IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

THE LAWSON - SPEC HOME
LOT 52 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

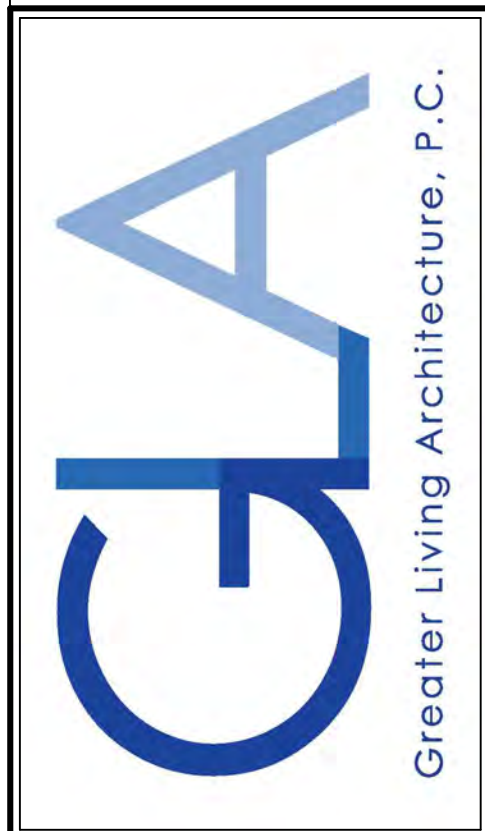
COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

GLA PLAN 3743

drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 24
PROJECT: 15346G	sheet: C 1

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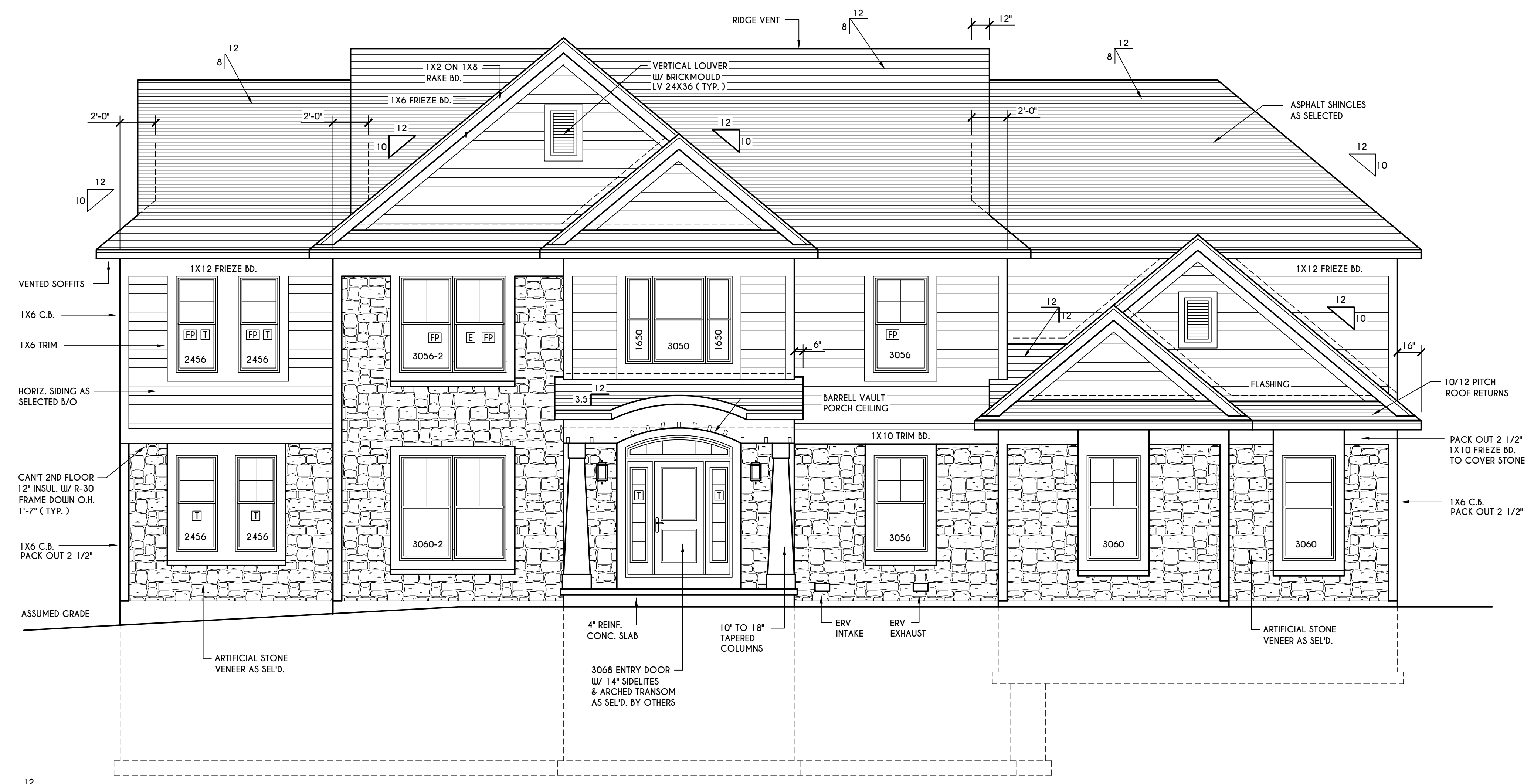
CLIENT/LOCATION:
 THE LAWSON - SPEC HOME
 LOT 52 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 3743

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 1831 SQ.FT.
 SECOND FLOOR LIVING AREA = 1912 SQ.FT.
 TOTAL LIVING AREA = 3743 SQ.FT.
 TOTAL CONDITIONED VOLUME = 55,370 CU.FT.



TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

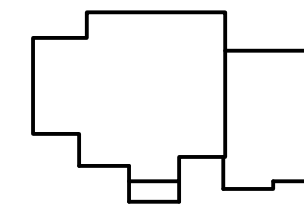
WINDOWS: HARVEY OR EQUAL
 U-FACTOR 0.28
 SHGC 0.21

DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SWING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2020 ECCNYS

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

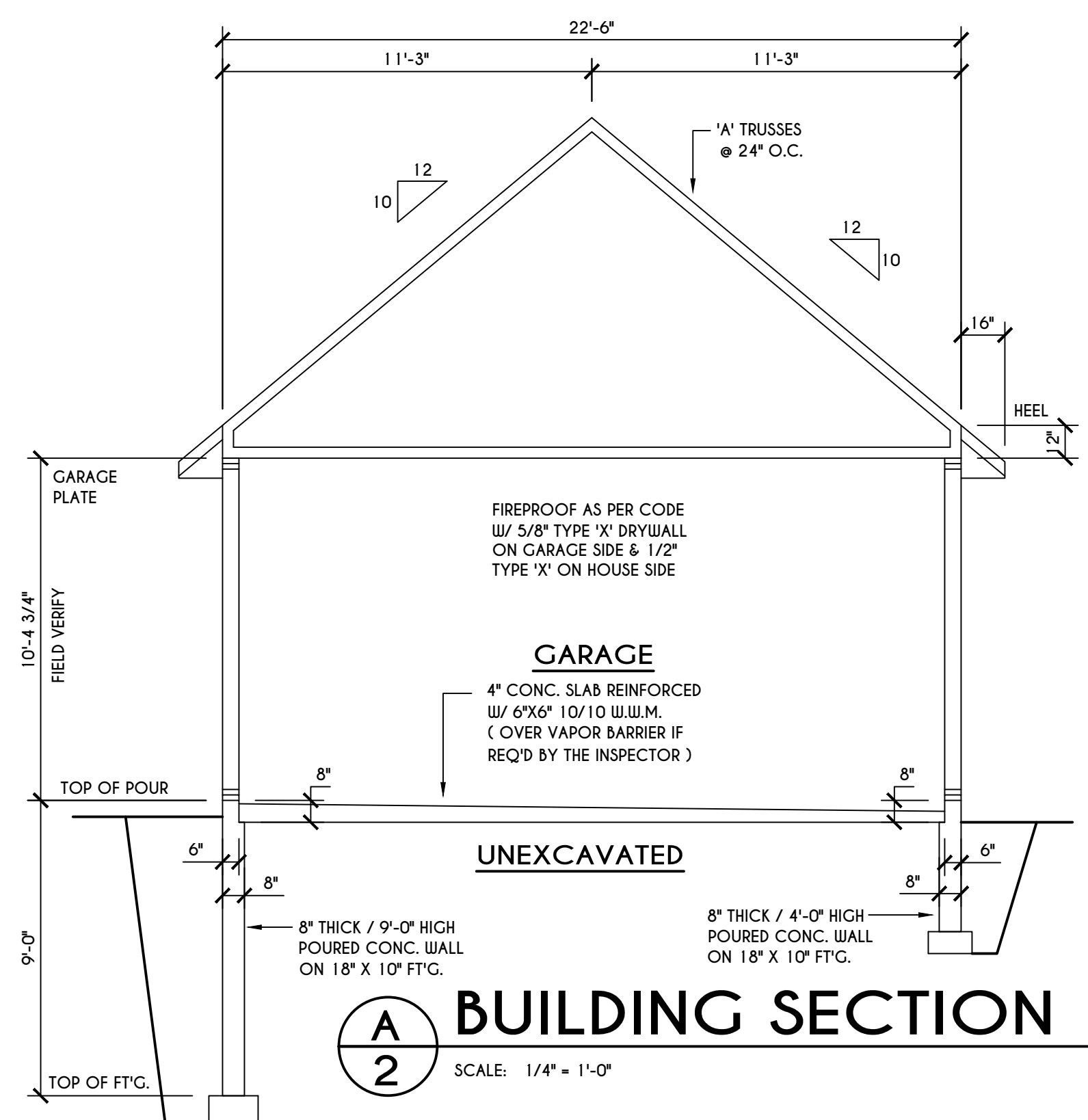
GENERAL NOTES:
 ALL BAKES TO BE 12" & OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

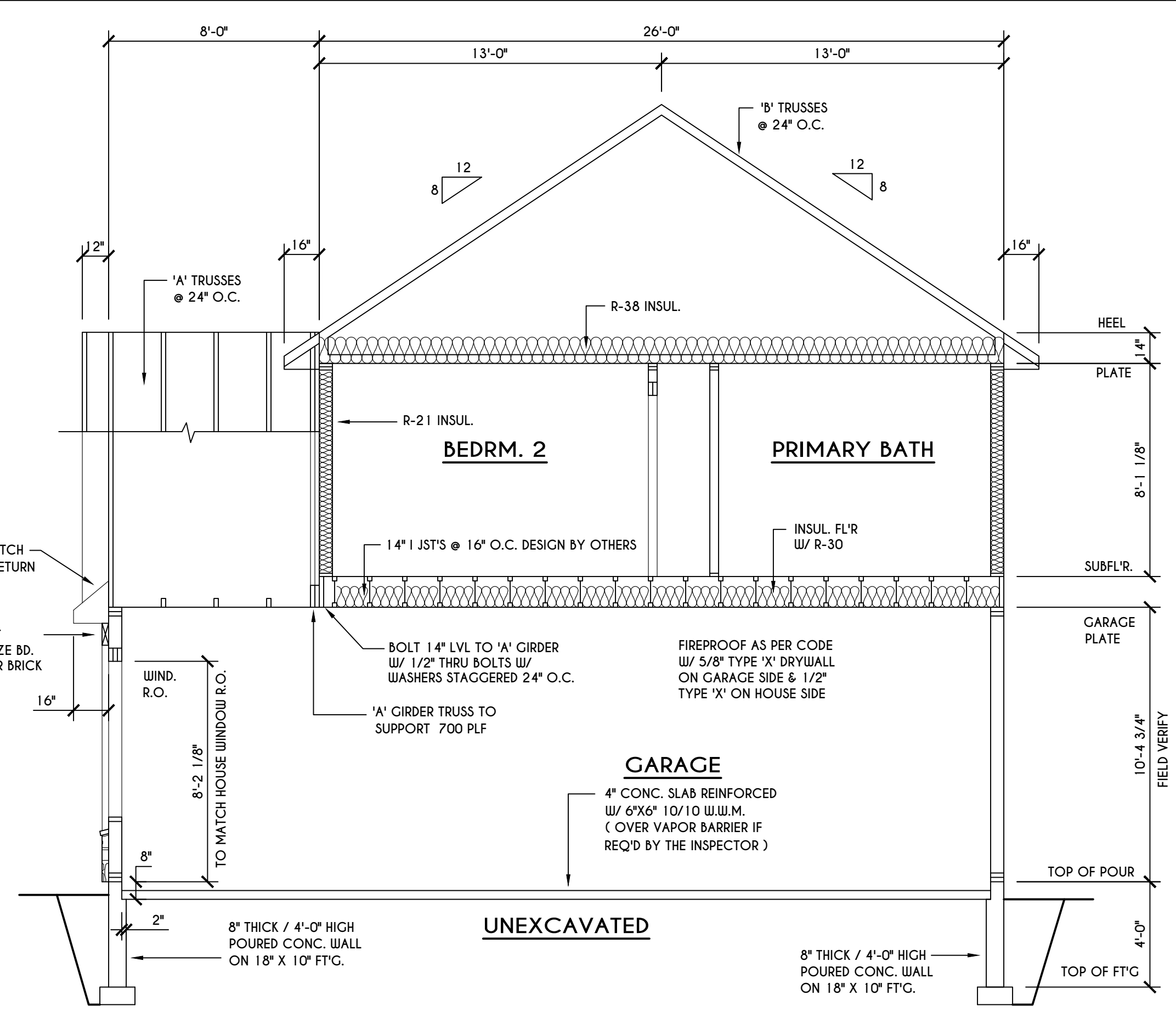


HOUSE FOOTPRINT

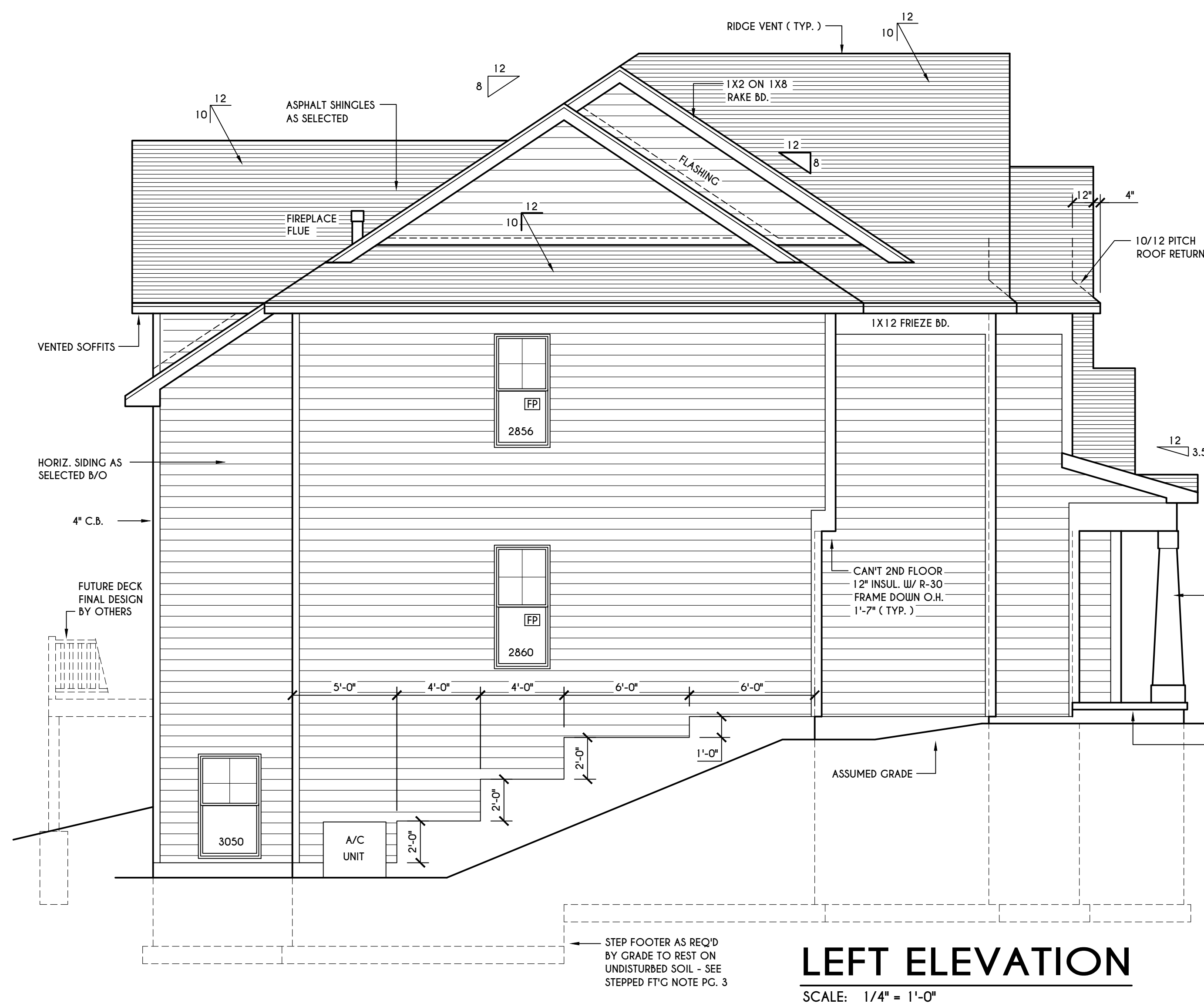
SCALE: 1" = 50'-0"



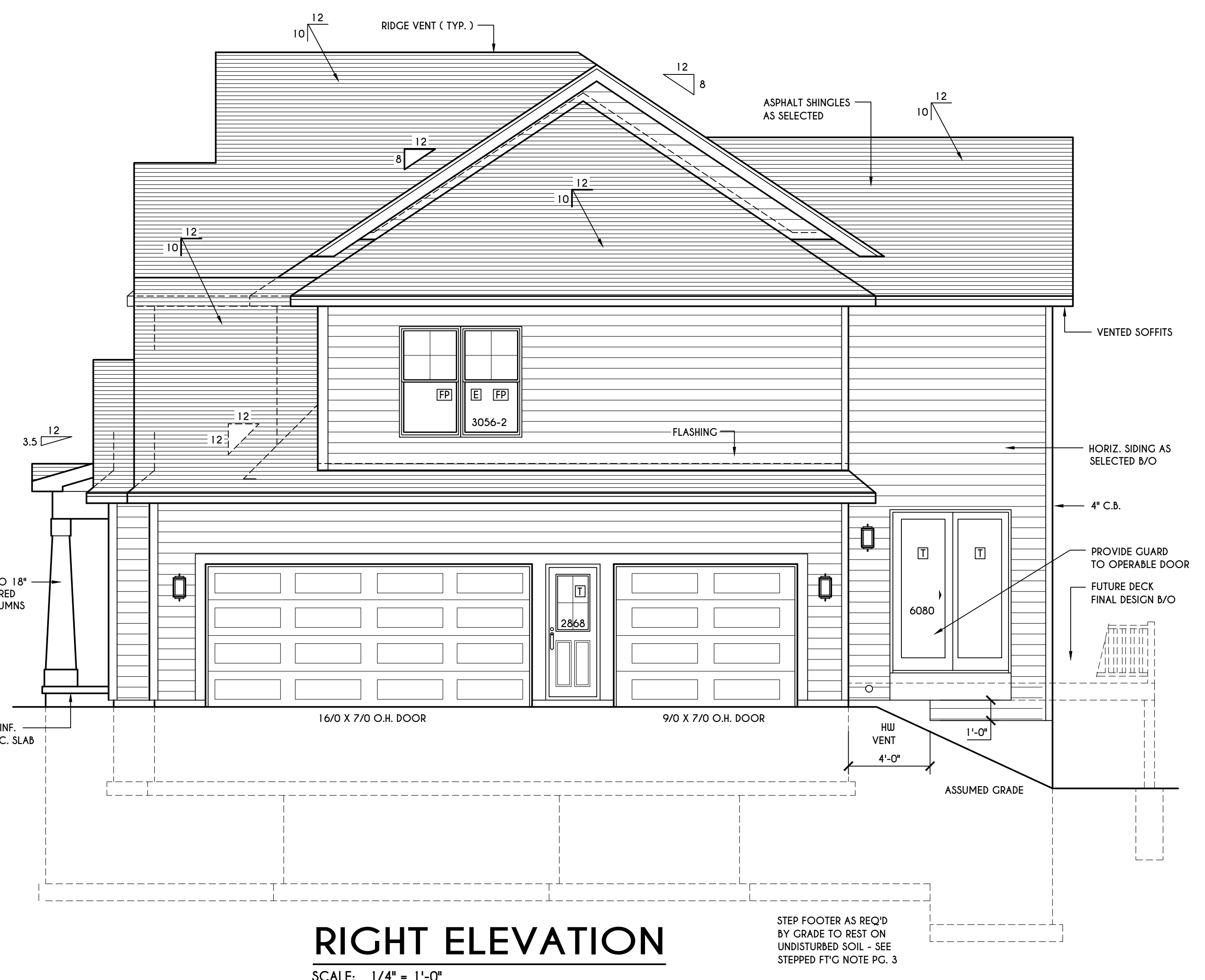
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

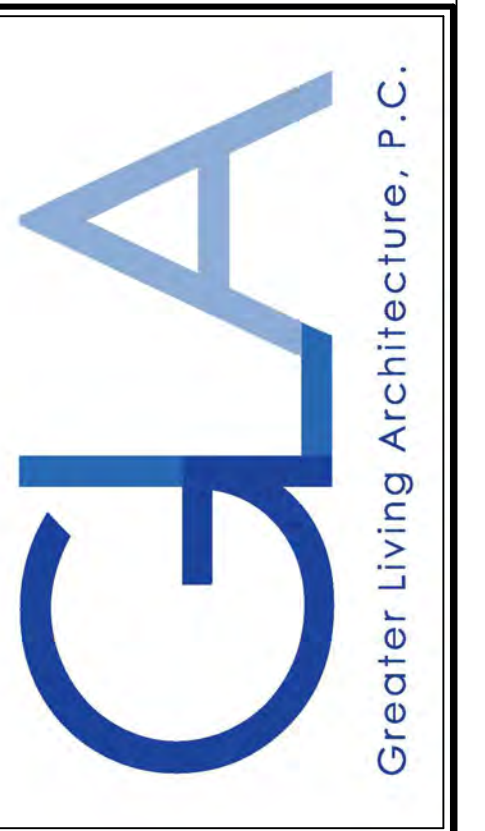


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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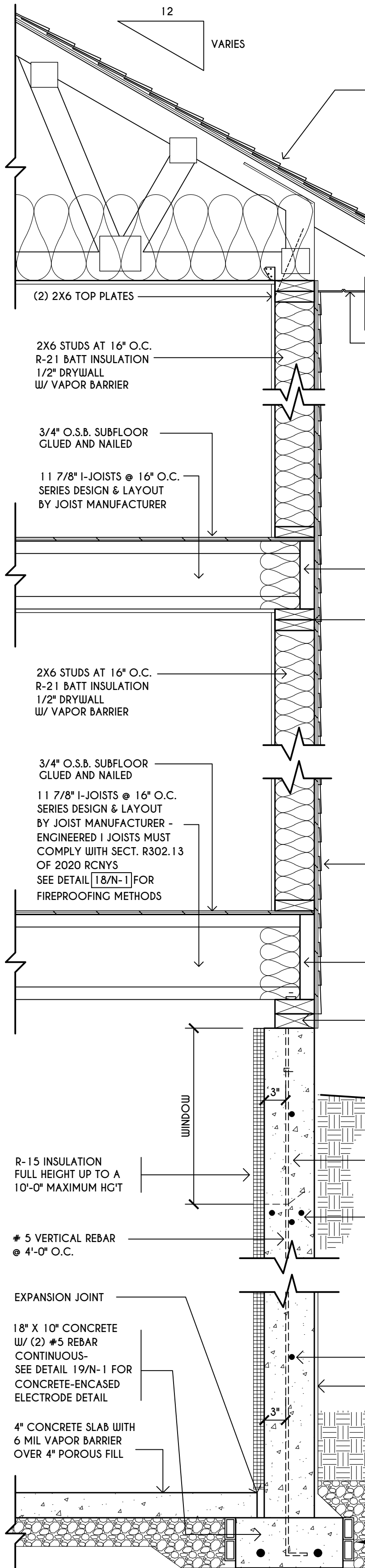
BUILDER:
COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS
GLA PLAN 3743

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TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDIUC 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC
 R-38 CEILING INSULATION



FIRST FLOOR

11 7/8" L-JOISTS @ 16" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER - ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

3/8" EXT. PLYUD. OR 7/16" O.S.B. W/ HOUSE WRAP SIDING AS SELECTED ATTACHED AS PER 2020 RCNYS

(2) 2X6 PRESSURE TREATED SILL PLATE WITH SILL SEALER & 1/2" DIAM. / 10" LONG NON-CORROSIVE ANCHOR BOLTS @ 72" O.C.

8" THICK / 9'-0" HIGH (4000 psi) POURED CONC. WALL REINFORCED TO COMPLY WITH THE RESIDENTIAL CODE OF NYS
 (2) #4 BARS AROUND ALL WINDOW OPENINGS, AND SUCH BARS SHALL EXTEND AT LEAST 24" BEYOND THE CORNERS OF OPENINGS.

BASEMENT / FOUNDATION

#4 HORIZONTAL REBAR @ 2'-0" O.C.
 DAMPROOF AS PER CODE W/ POLYETHYLENE WRAP
 SOIL BACKFILL
 GRAVEL BACKFILL
 8" FORM-A-DRAIN FOUNDATION FOOTING, DRAINAGE, & RADON EVACUATION SYSTEM

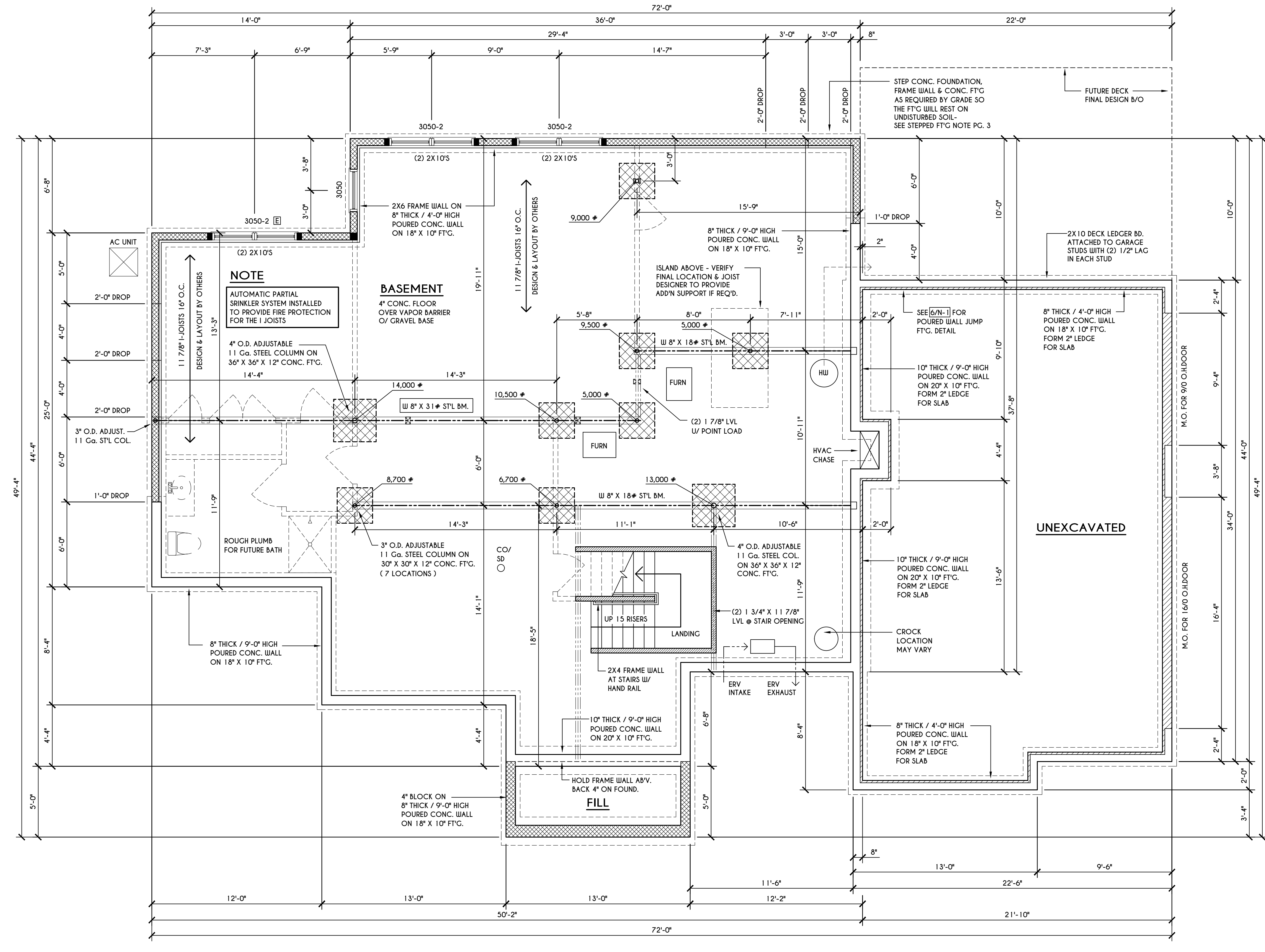
TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

STEPPED FOOTING NOTE:

R403.1.5 OF RCNYS SLOPE:

THE TOP SURFACE OF THE FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE).



NOTE
 AUTOMATIC PARTIAL SINKER SYSTEM INSTALLED TO PROVIDE FIRE PROTECTION FOR THE I JOISTS
 4" O.D. ADJUSTABLE 11 Gg. STEEL COLUMN ON 36" X 36" X 12" CONC. FTG. 14'-4"

BASEMENT

4" CONC. FLOOR OVER VAPOR BARRIER O/ GRAVEL BASE

11 7/8" L-JOISTS 16" O.C. DESIGN & LAYOUT BY OTHERS

2X6 FRAME WALL ON 8" THICK / 4'-0" HIGH POURED CONC. WALL ON 18" X 10" FTG.

8" THICK / 9'-0" HIGH POURED CONC. WALL ON 18" X 10" FTG.

10" THICK / 9'-0" HIGH POURED CONC. WALL ON 20" X 10" FTG. FORM 2" LEDGE FOR SLAB

8" THICK / 4'-0" HIGH POURED CONC. WALL ON 18" X 10" FTG. FORM 2" LEDGE FOR SLAB

10" THICK / 9'-0" HIGH POURED CONC. WALL ON 20" X 10" FTG. FORM 2" LEDGE FOR SLAB

8" THICK / 9'-0" HIGH POURED CONC. WALL ON 18" X 10" FTG.

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8" THICK / 9'-0" HIGH POURED CONC. WALL ON 18" X 10" FTG.

BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

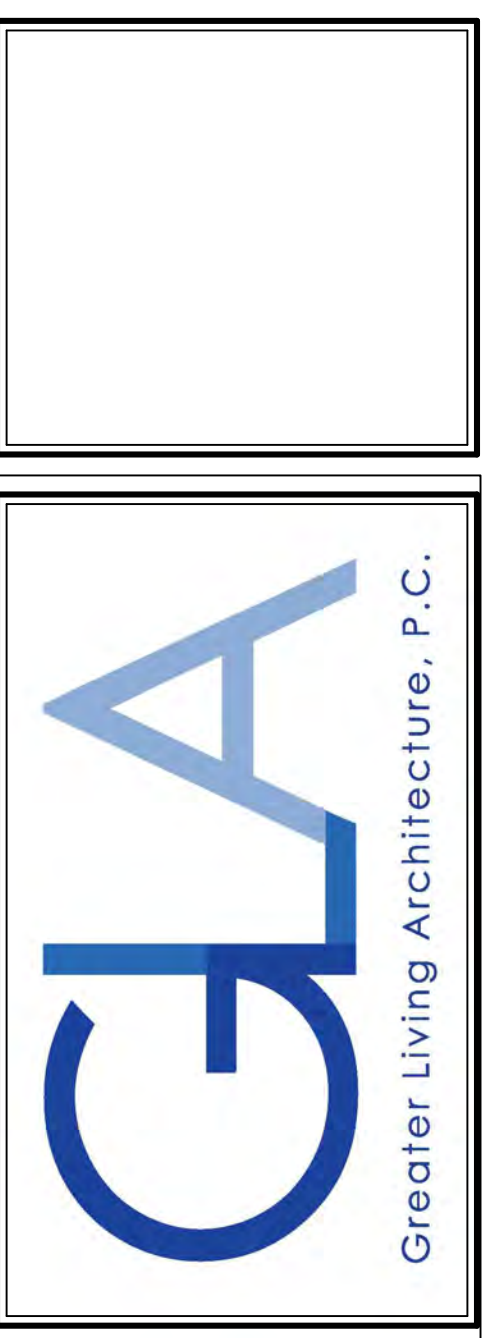
GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 THE LAWSON - SPEC HOME
 LOT 52 COVENTRY RIDGE
 PITTSFORD, NY

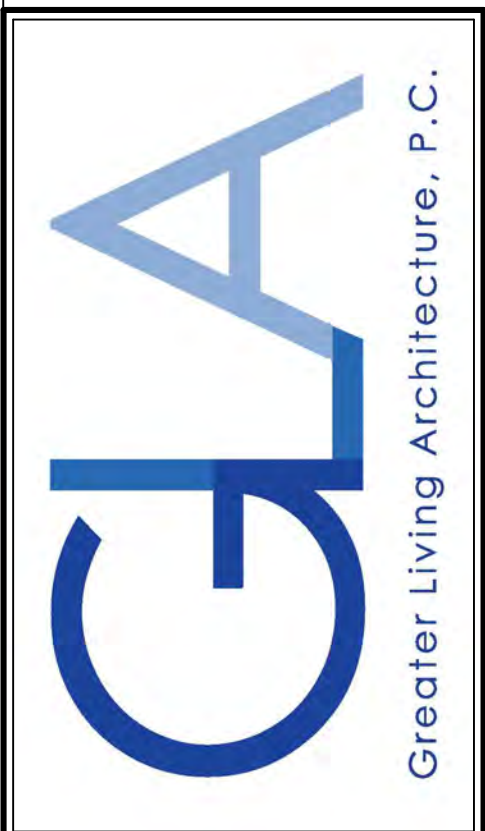
BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 3743

drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 24
PROJECT: 15346C	sheet: 3 / 6

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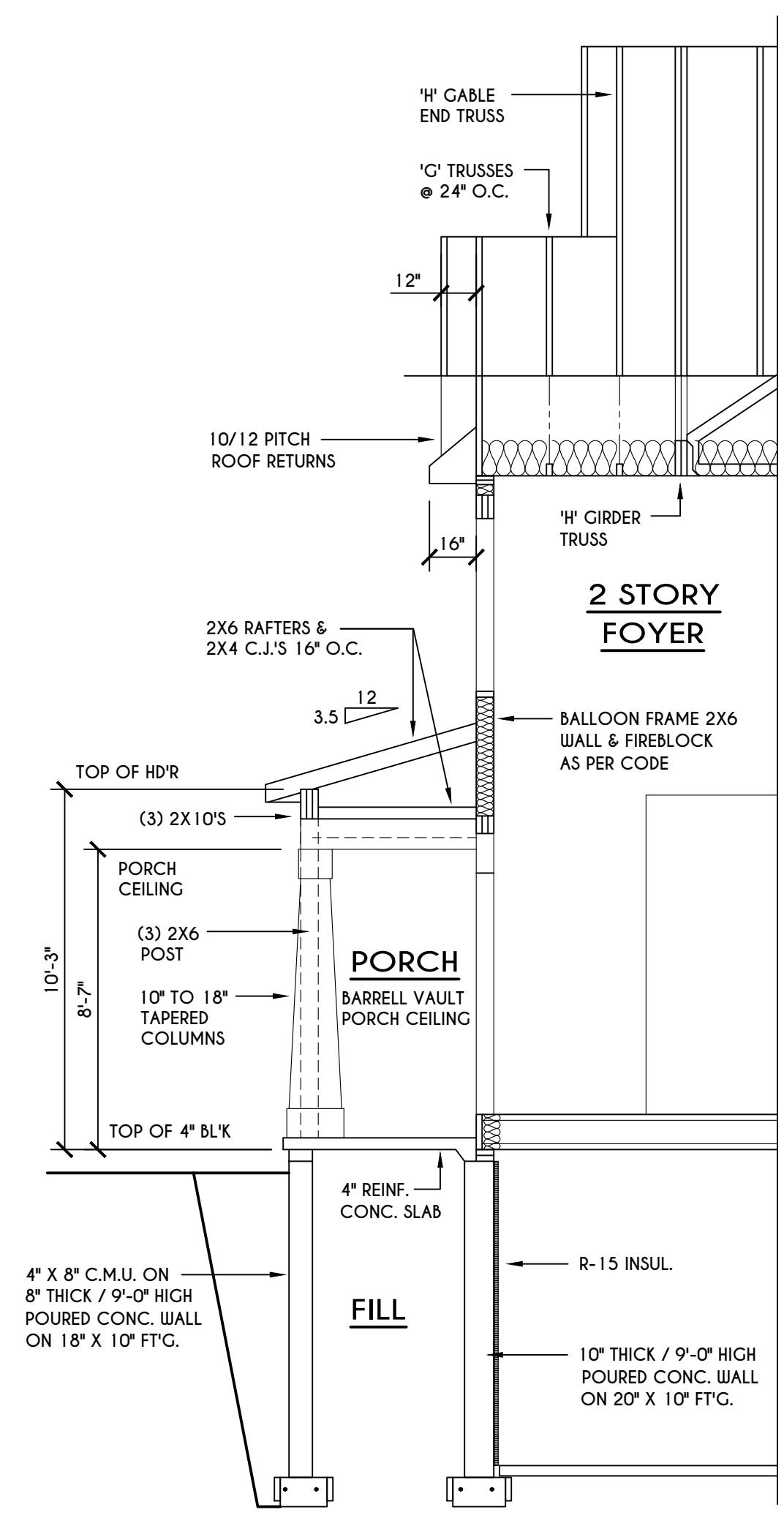
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BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

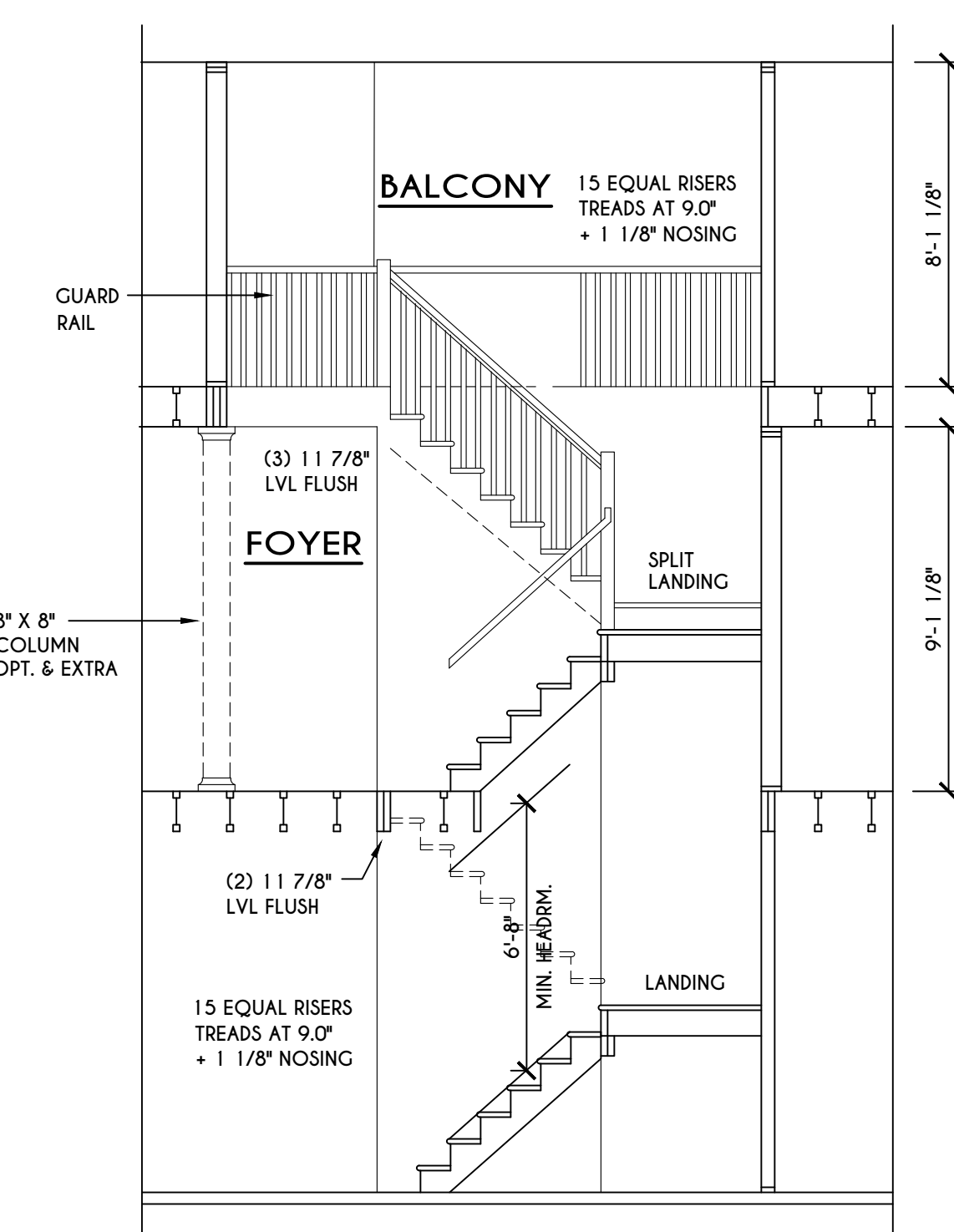
FIRST FLOOR PLAN

GLA PLAN 3743

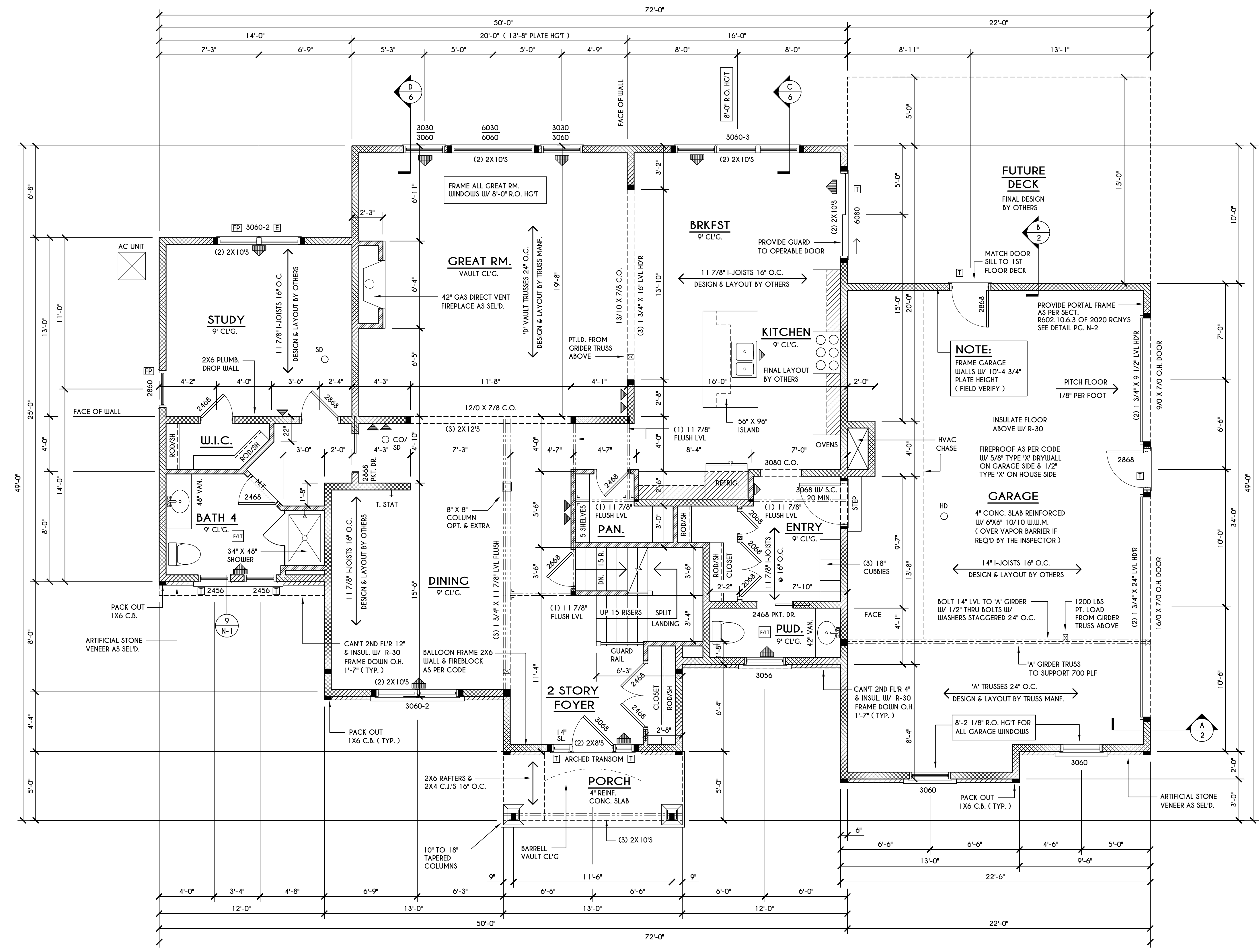
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scale: AS NOTED	date: 12 / 24
PROJECT: 15346G	sheet: 4 6



PORCH SECTION
 SCALE: 1/4" = 1'-0"



STAIR SECTION
 SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

1831 SQ. FT.

SCALE: 1/4" = 1'-0"

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 7'-4" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10'-0" OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

FRAMING LEGEND:

- [Hatched Box] - PROVIDE SOLID POSTING - CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- [Dashed Line] - DROPPED HEADER
- [Dotted Line] - FLUSH HEADER
- [Hatched Box] - 2X4 STUDS @ 16" O.C.
- [Hatched Box] - 2X6 STUDS @ 16" O.C.

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

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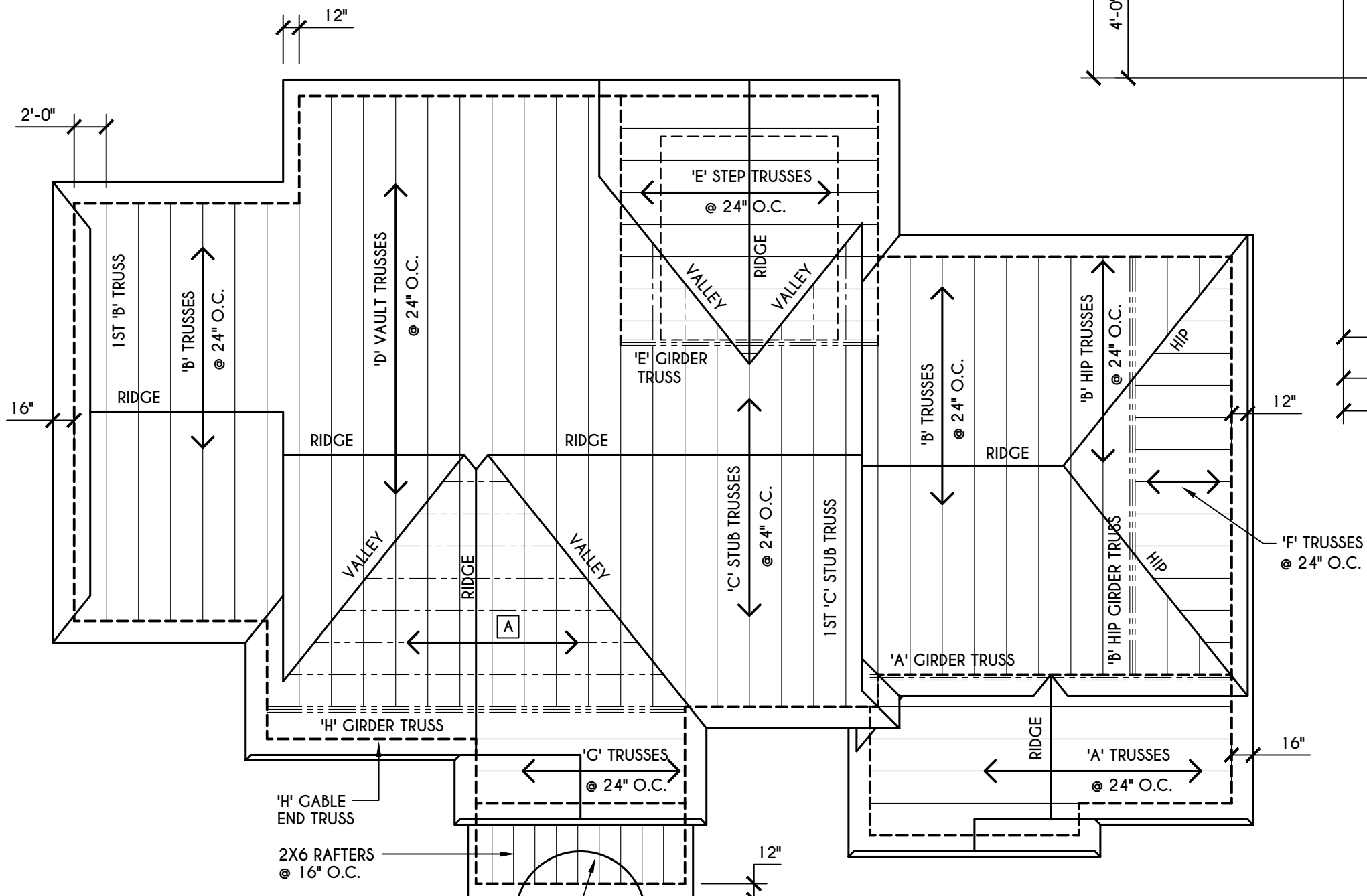
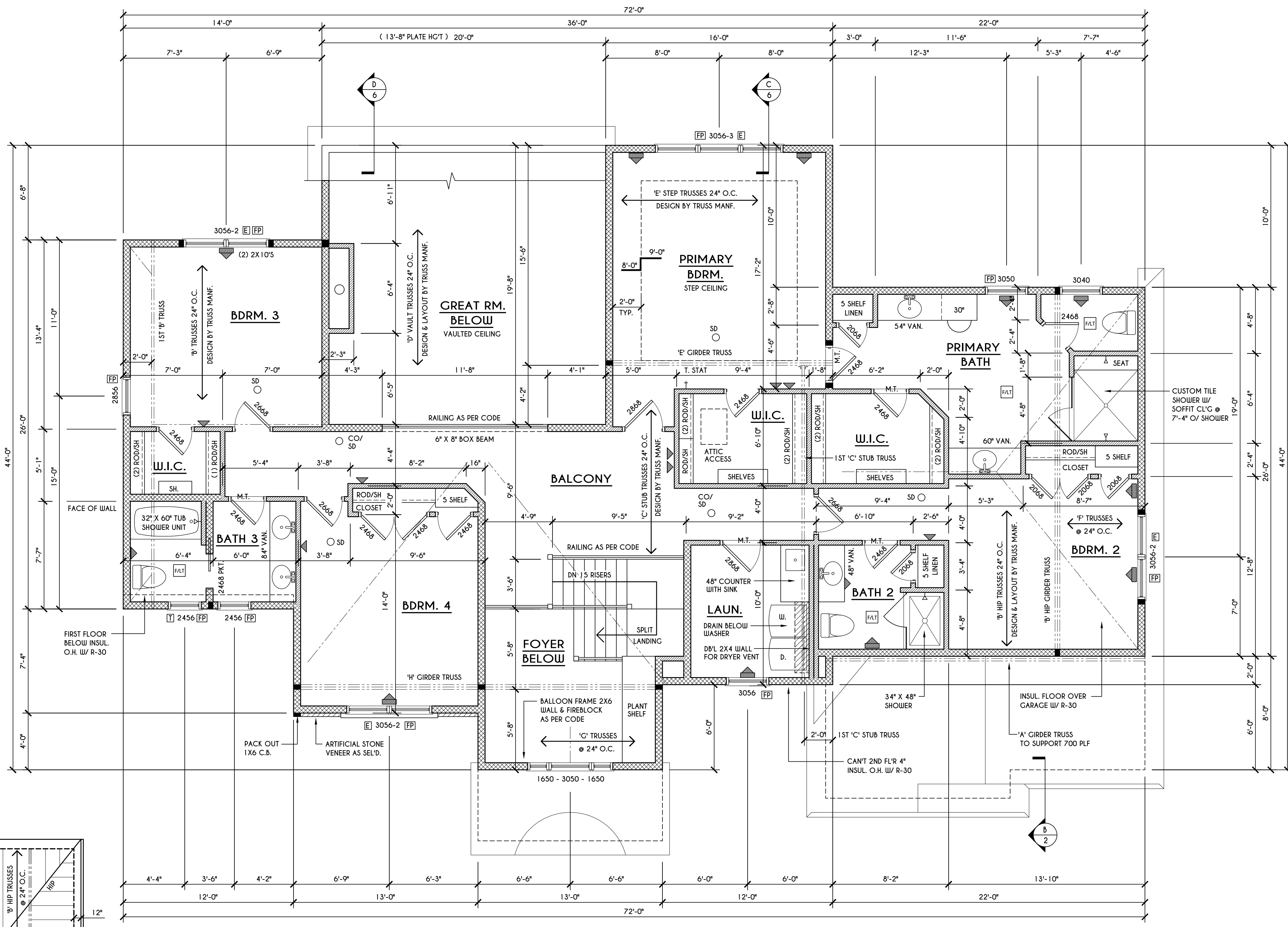
CLIENT/LOCATION:
 THE LAWSON - SPEC HOME
 LOT 52 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3743

drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 24
PROJECT: 15346C	sheet: 5 / 6



ROOF PLAN

SCALE: 1/8" = 1'-0"

A 2X8 LAYOVER RAFTERS 24" O.C.

GENERAL ROOF NOTES:

ALL RAKES TO BE 12° & OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO RLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

SECOND FLOOR PLAN

1912 SQ.FT.
 SCALE: 1/4" = 1'-0"

GENERAL SECOND FLOOR PLAN NOTES:

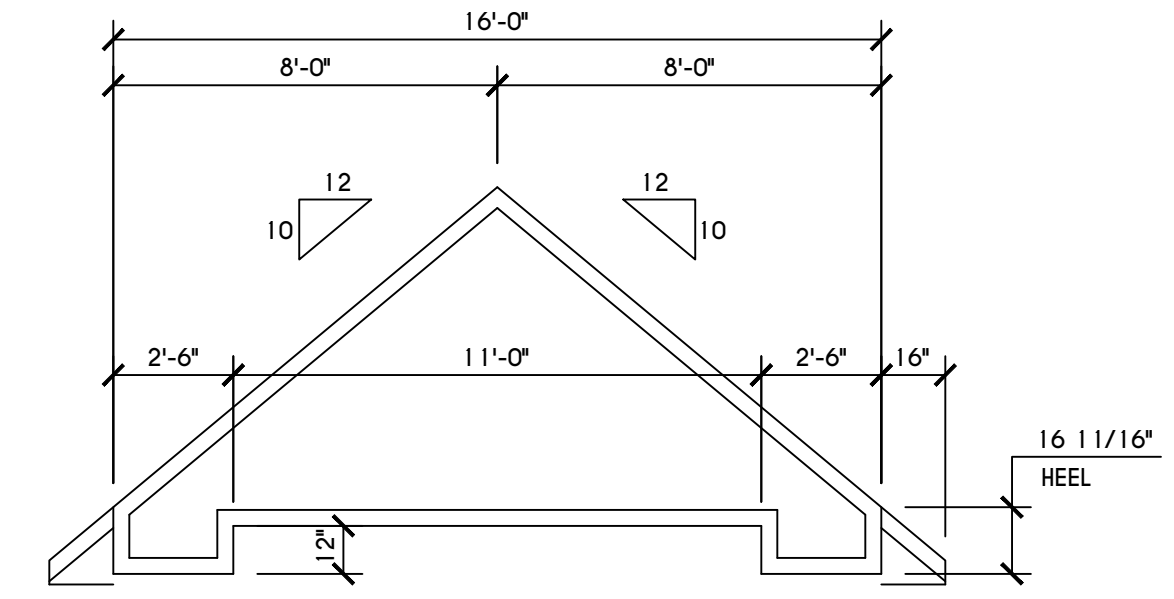
SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

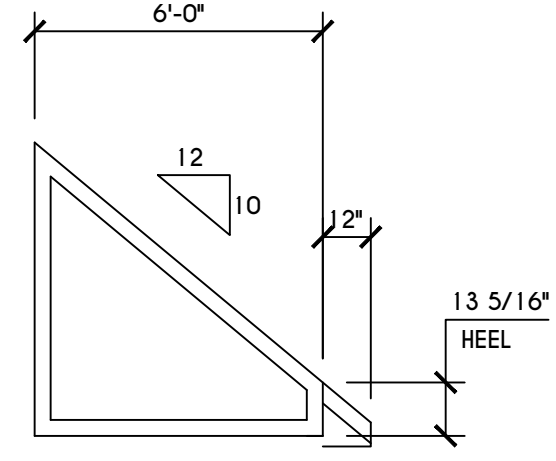
- MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
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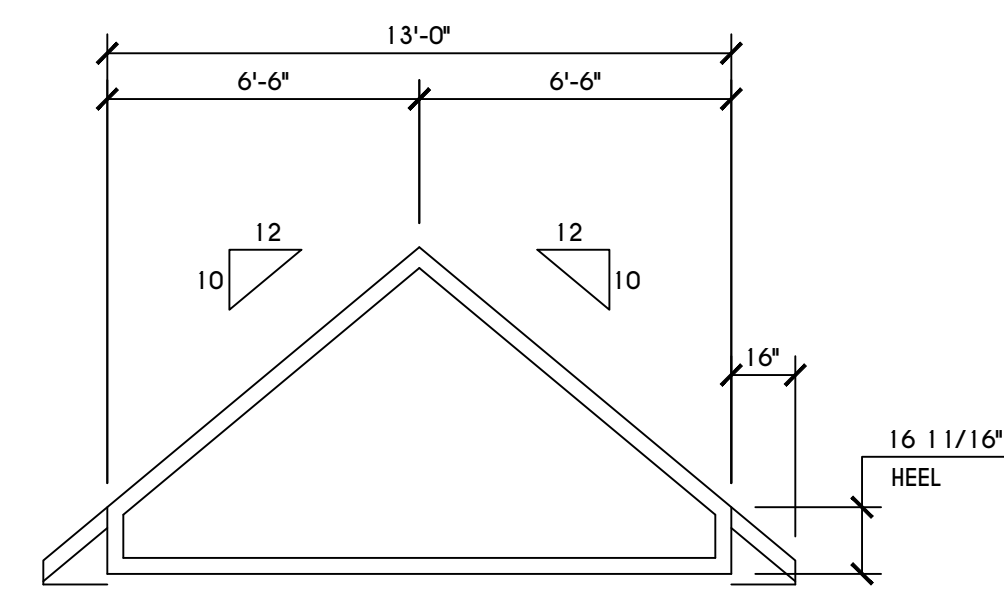
TRUSS NOTES:
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



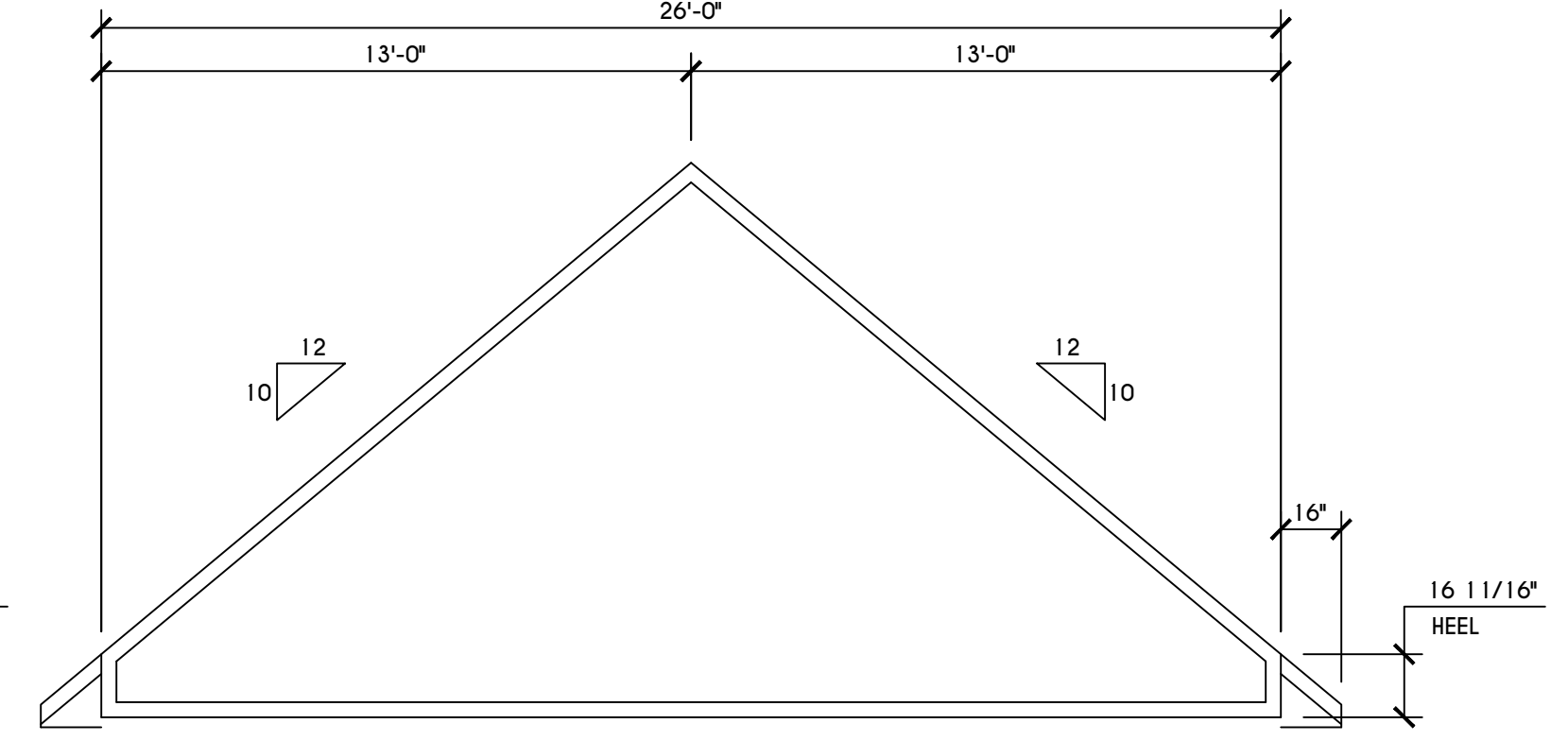
E' STEP TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



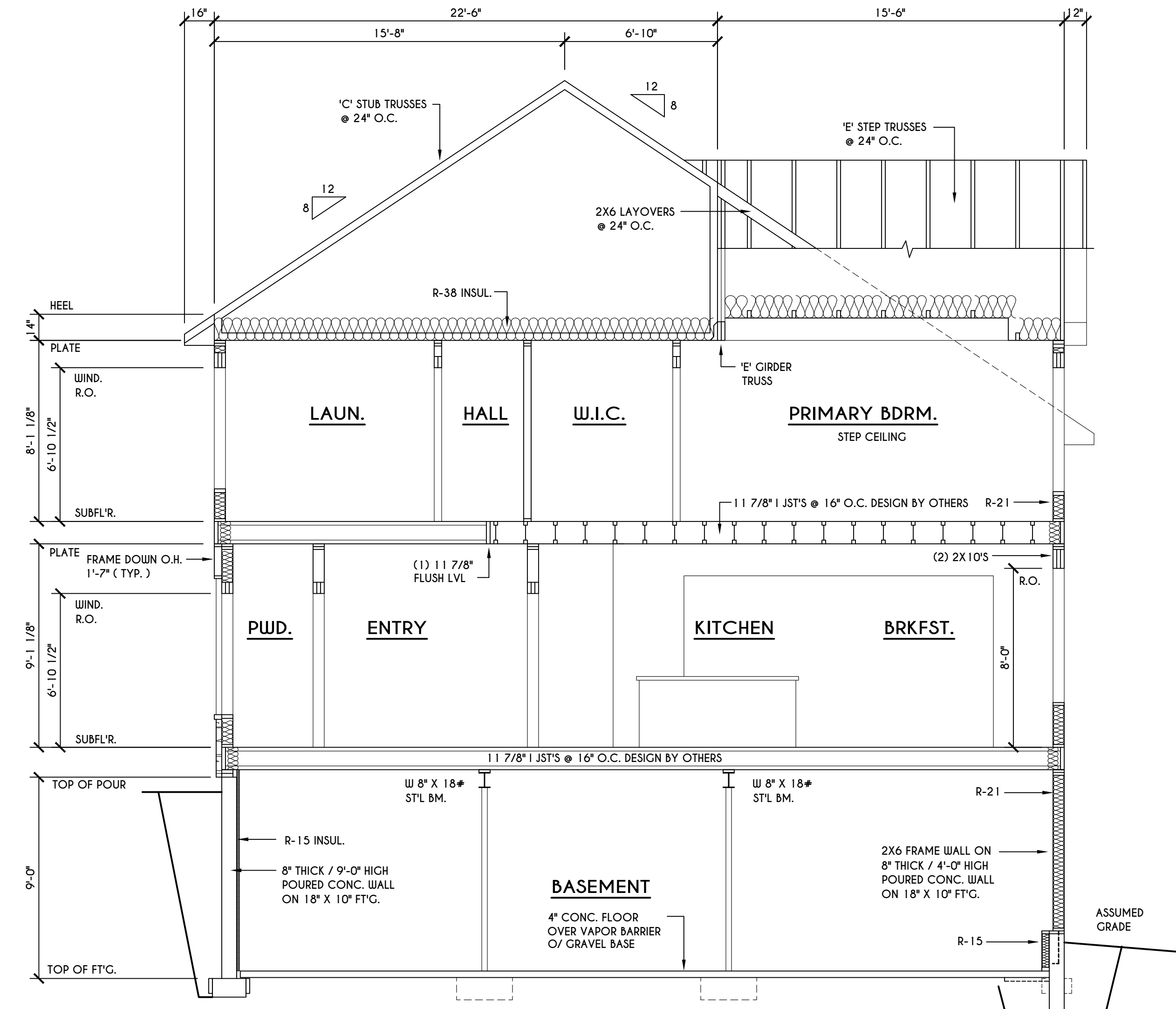
F' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



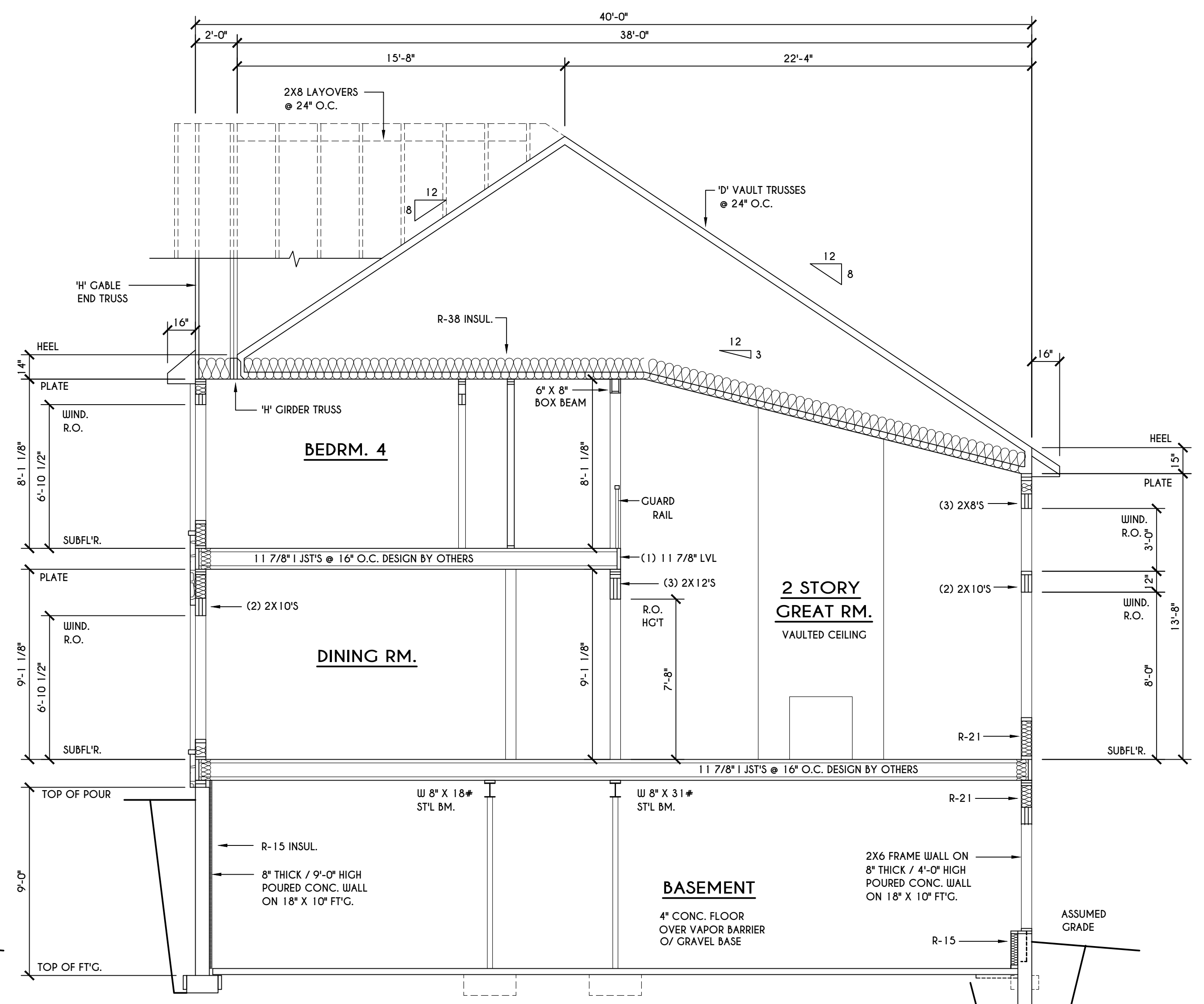
G' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



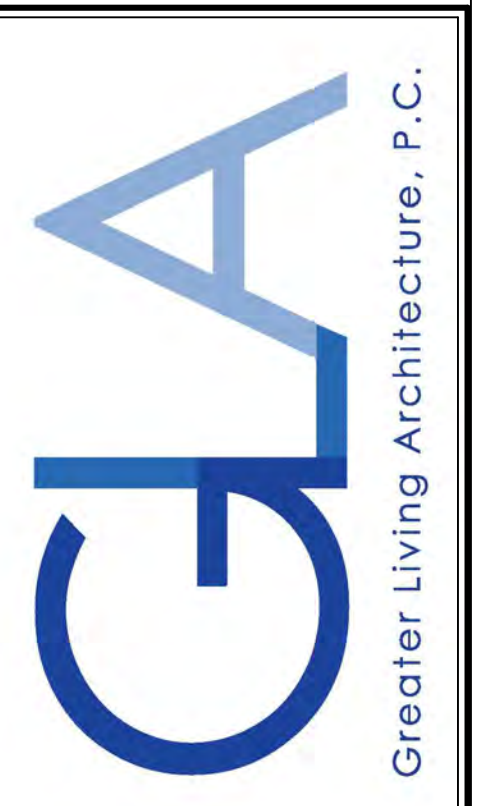
H' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



C BUILDING SECTION
 SCALE: 1/4" = 1'-0"



D BUILDING SECTION
 SCALE: 1/4" = 1'-0"



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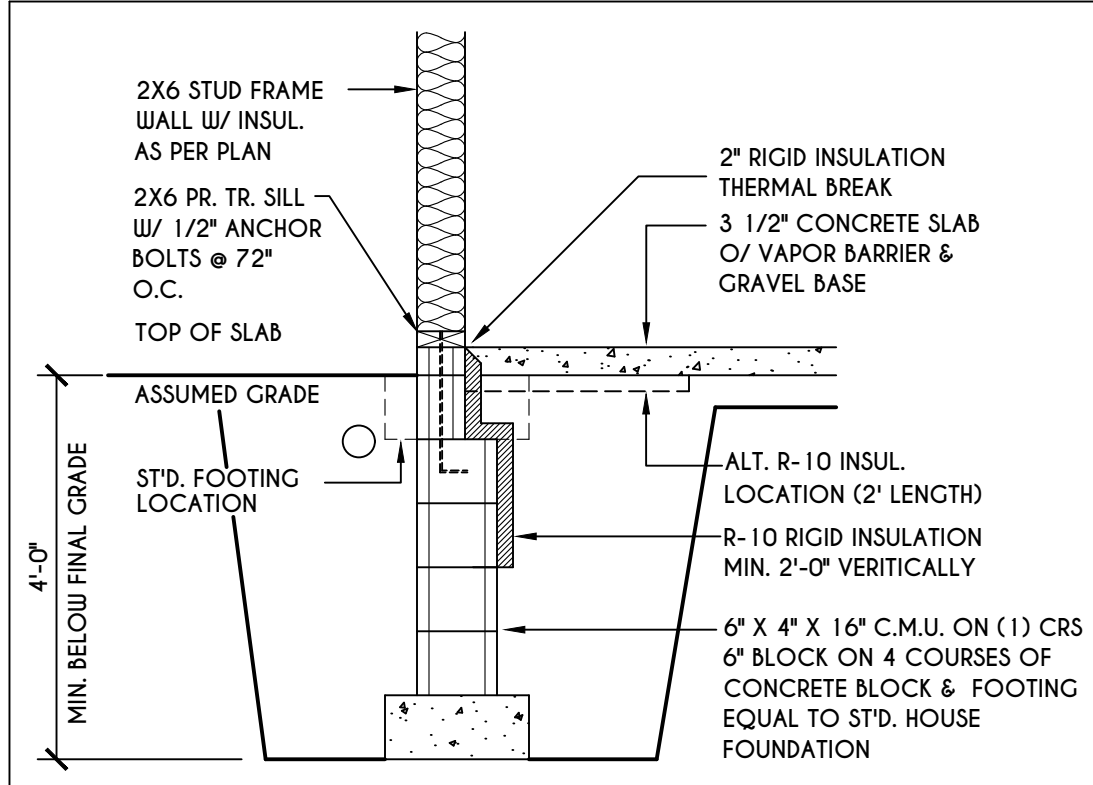
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 THE LAWSON - SPEC HOME
 LOT 52 COVENTRY RIDGE
 PITTSFORD, NY

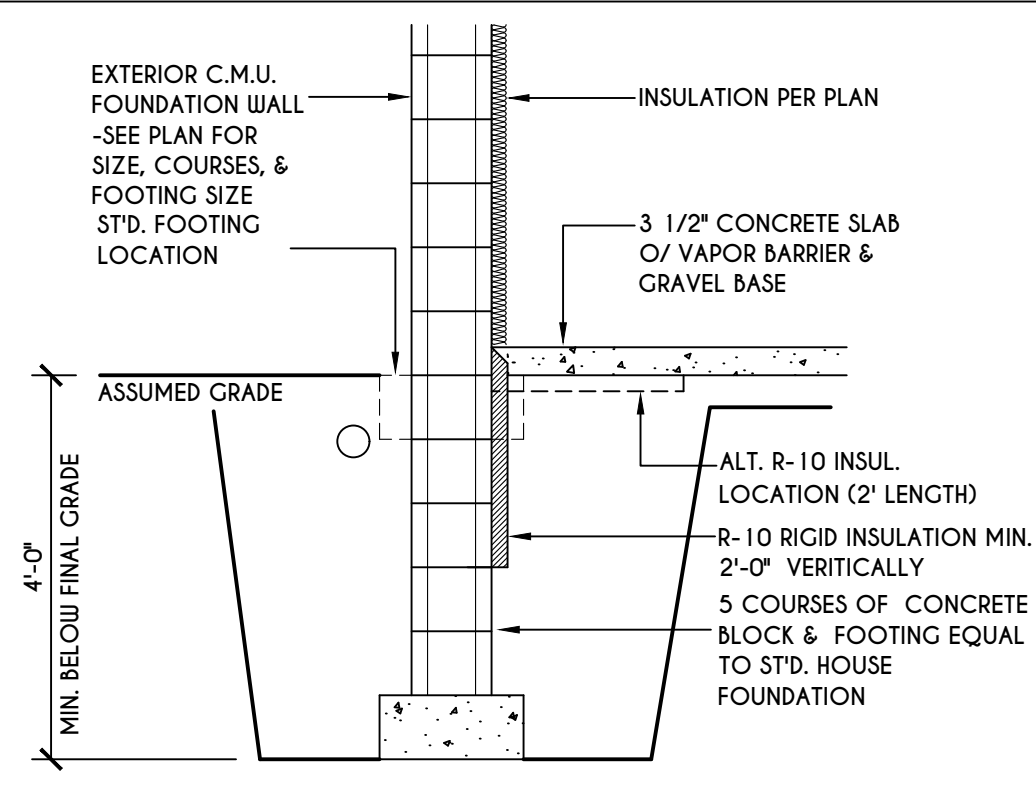
BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECTIONS
 GLA PLAN 3743

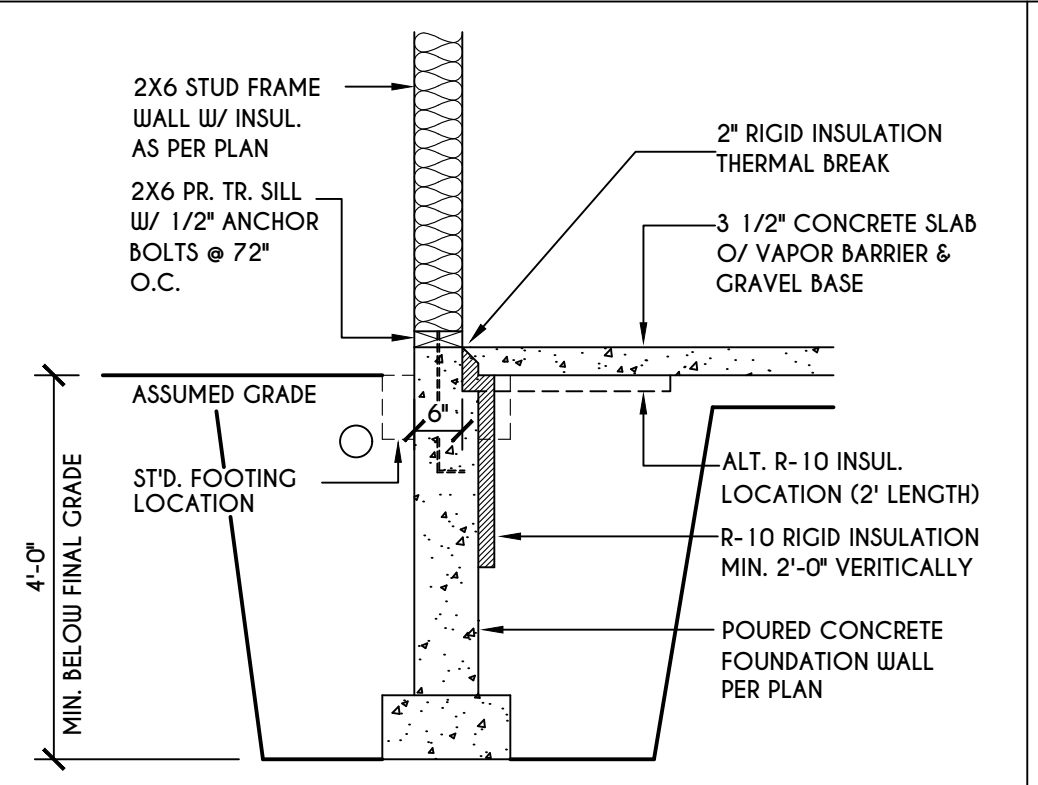
drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 24
PROJECT: 15346G	sheet: 6 / 6



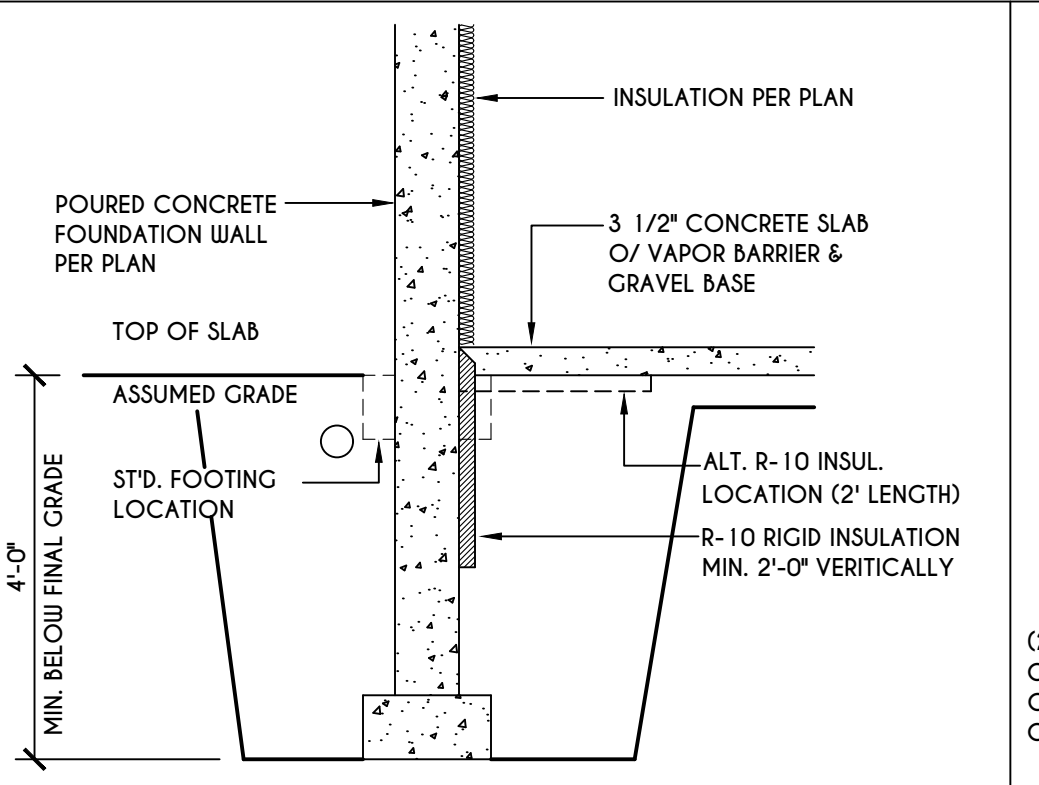
1
N-1
2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



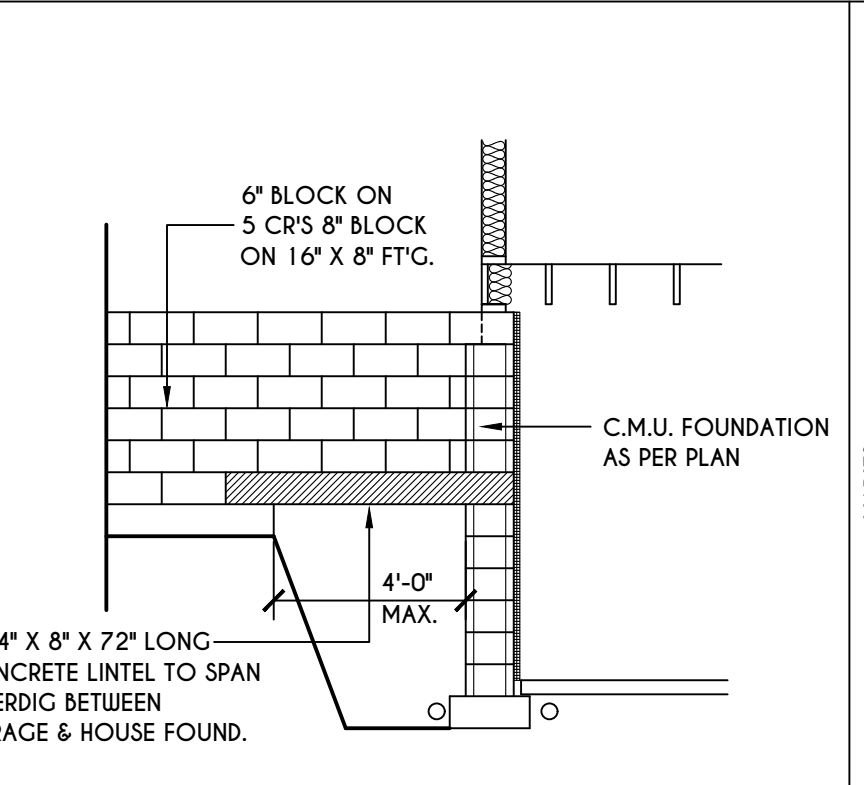
2
N-1
C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



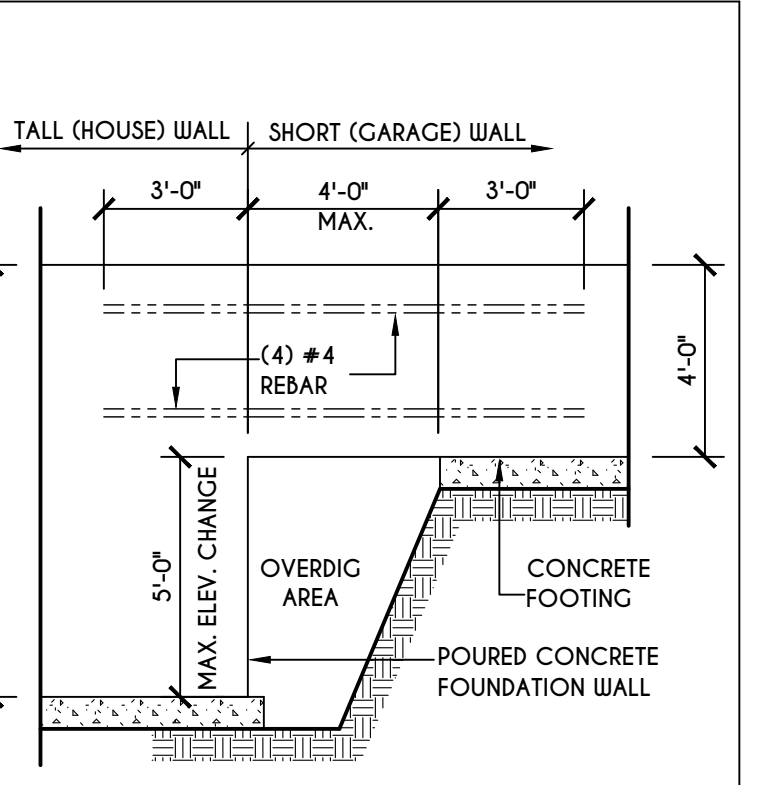
3
N-1
2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



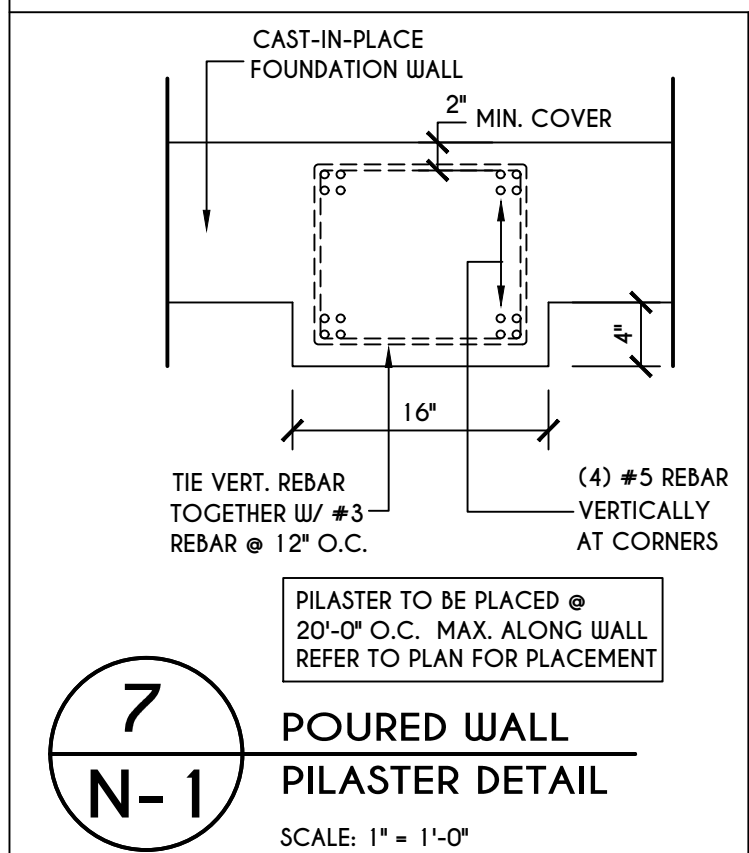
4
N-1
POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



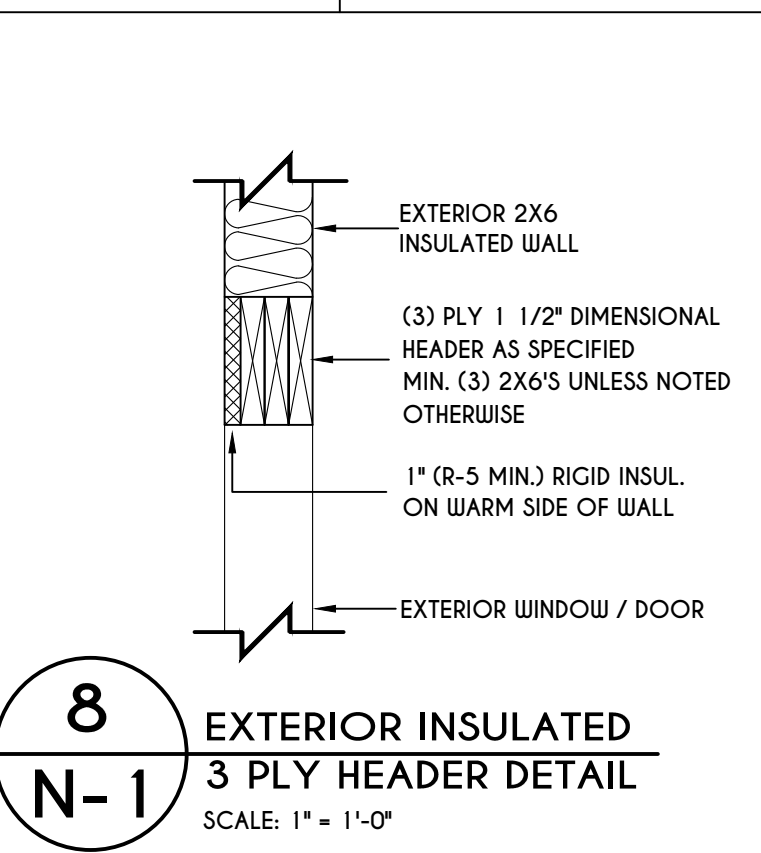
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



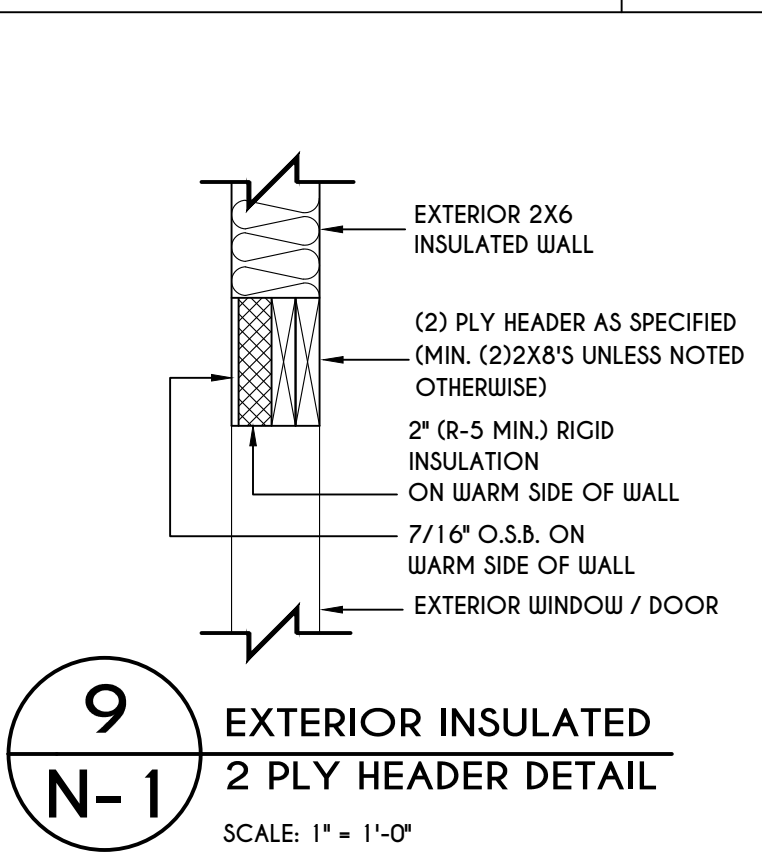
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



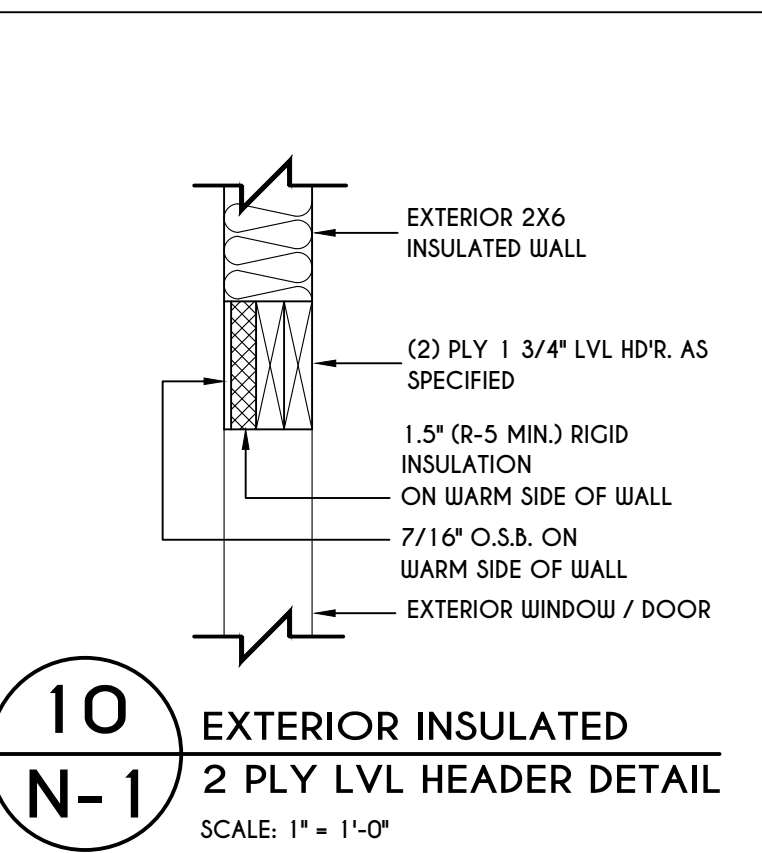
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



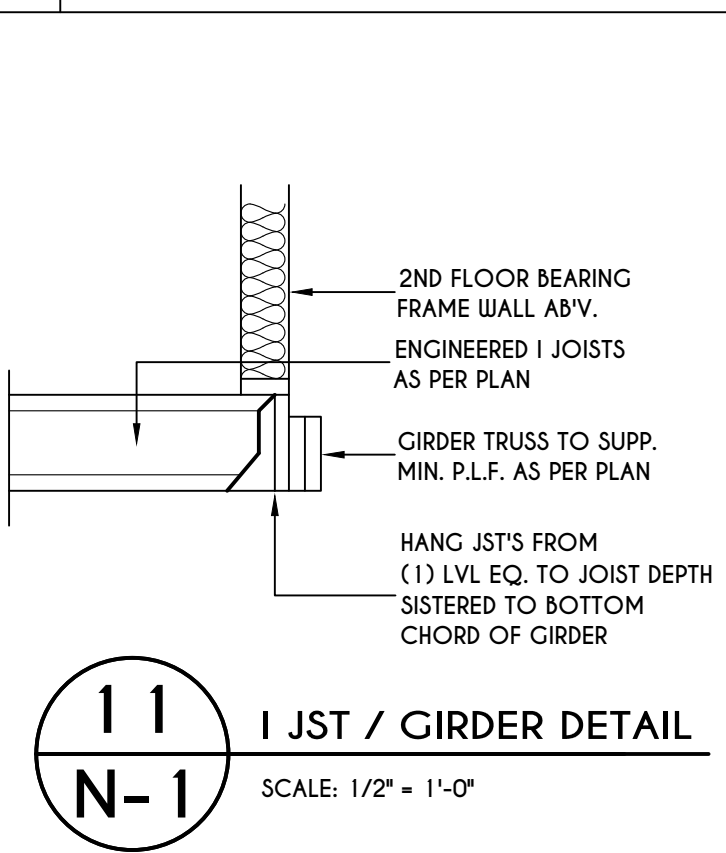
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



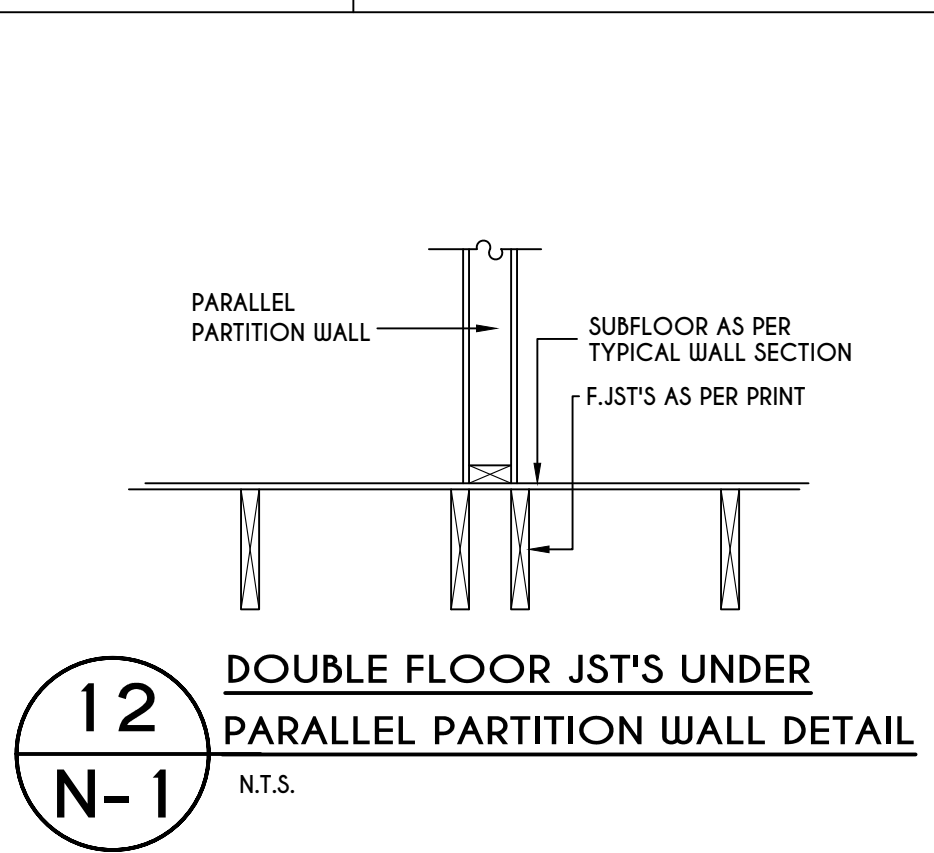
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



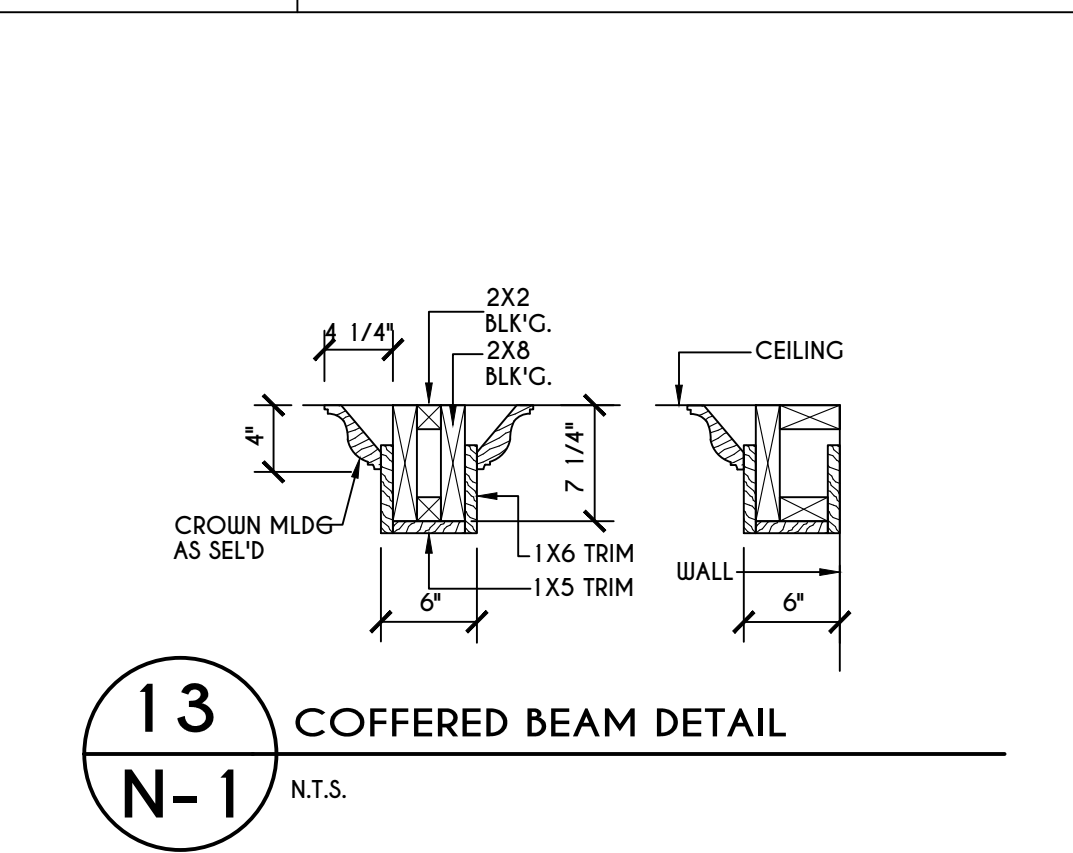
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



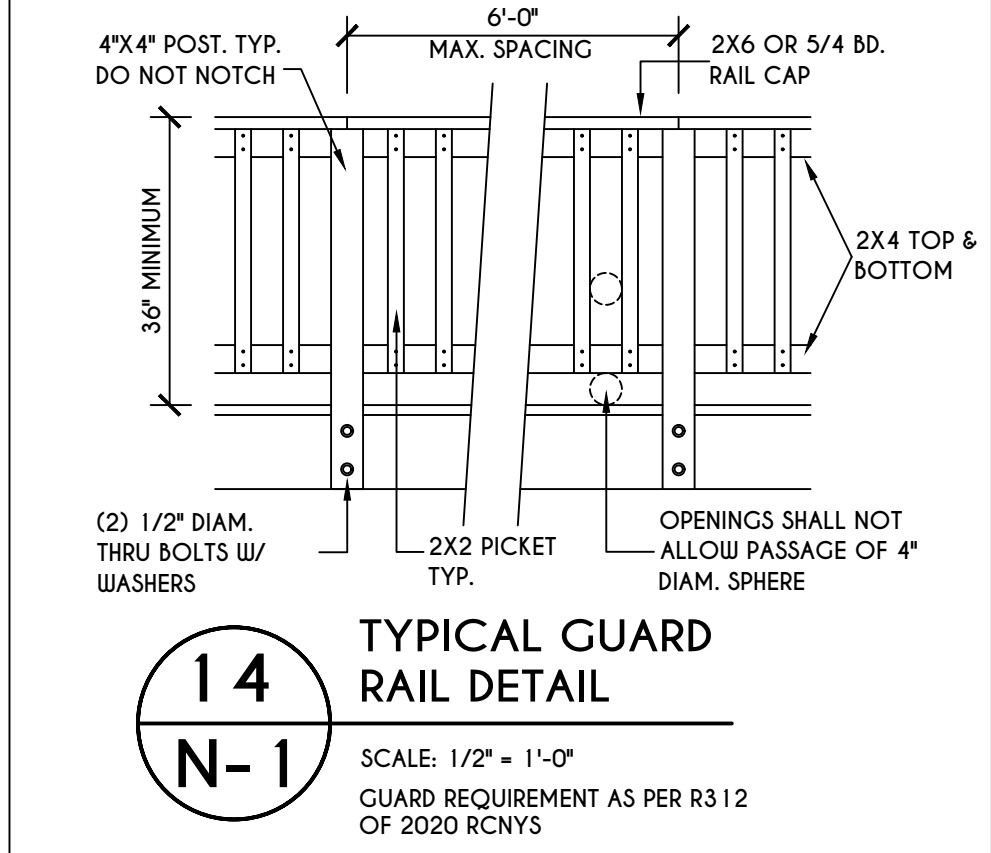
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



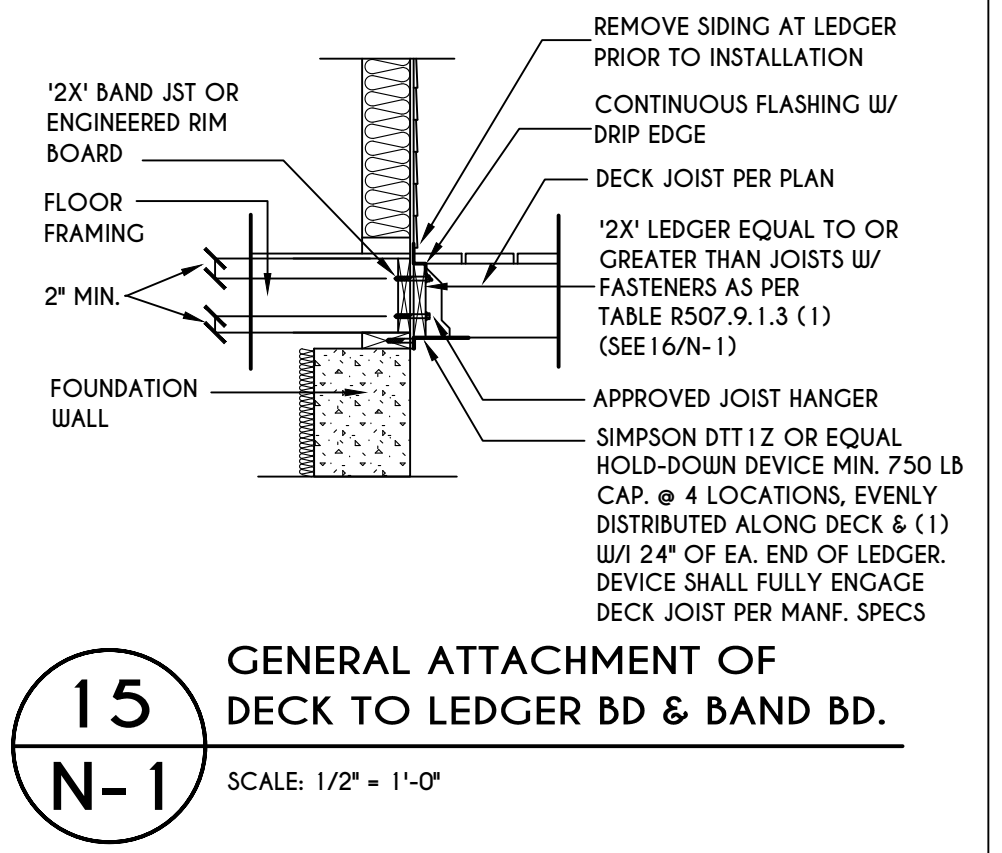
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



13
N-1
COFFERED BEAM DETAIL
N.T.S.



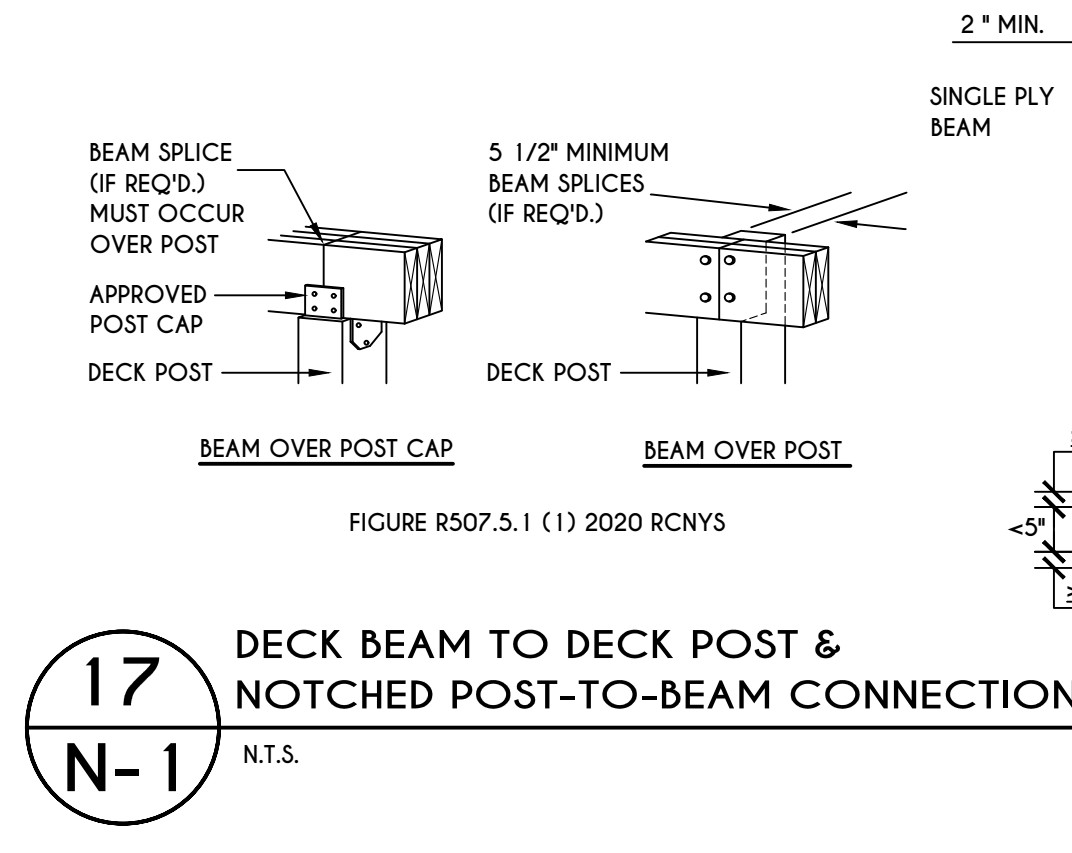
14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

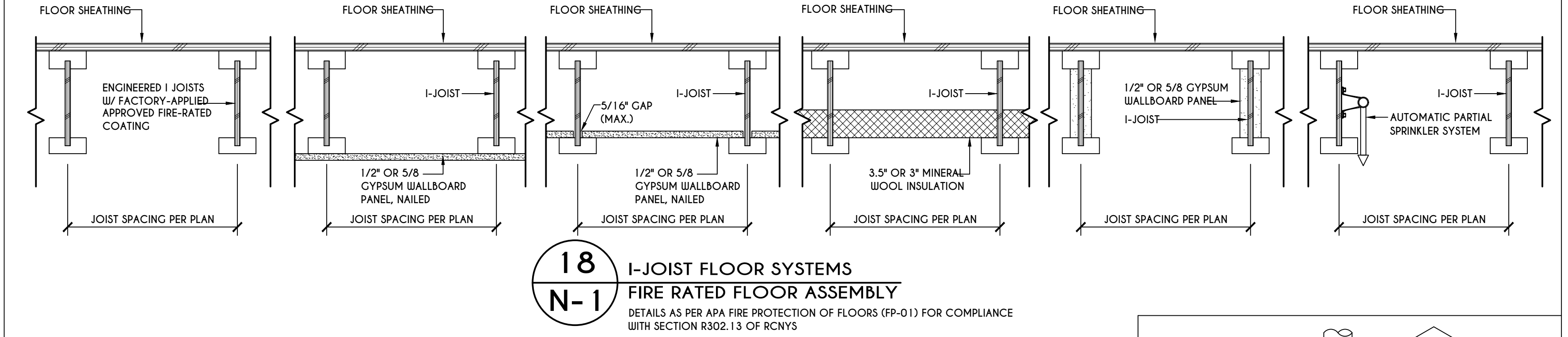


17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

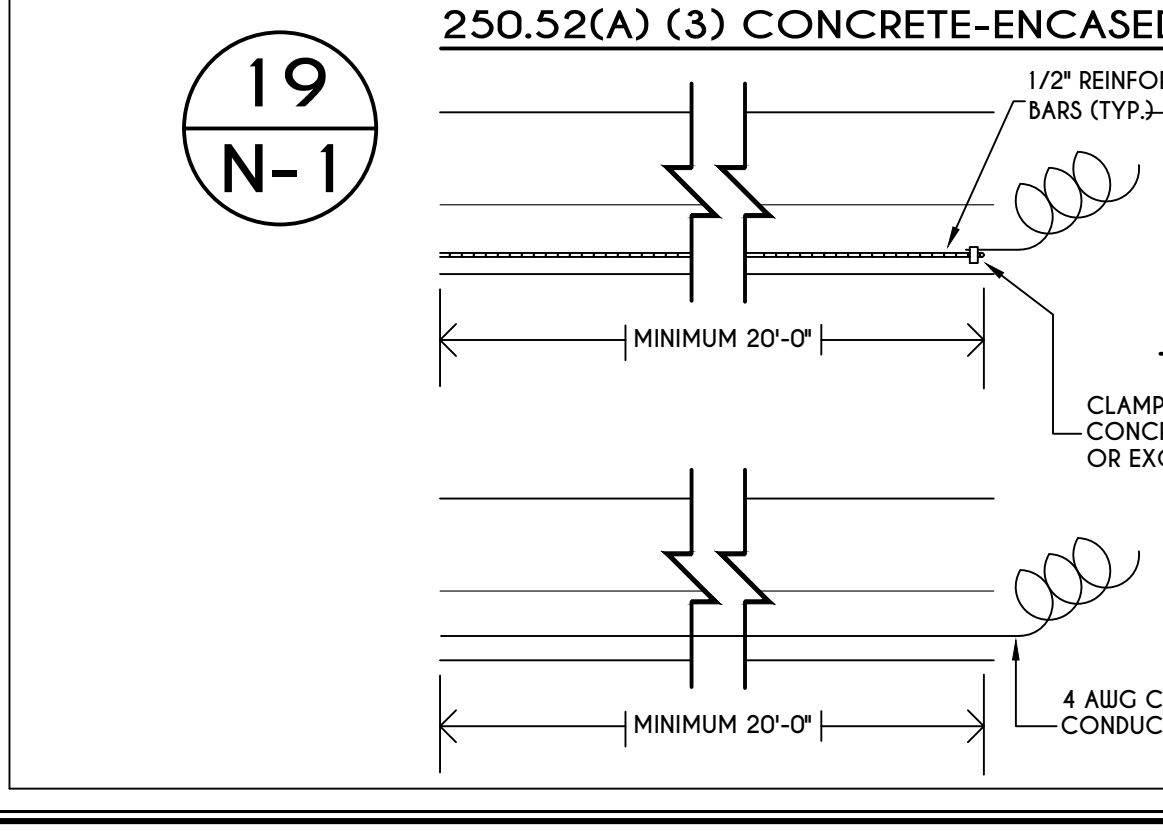
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

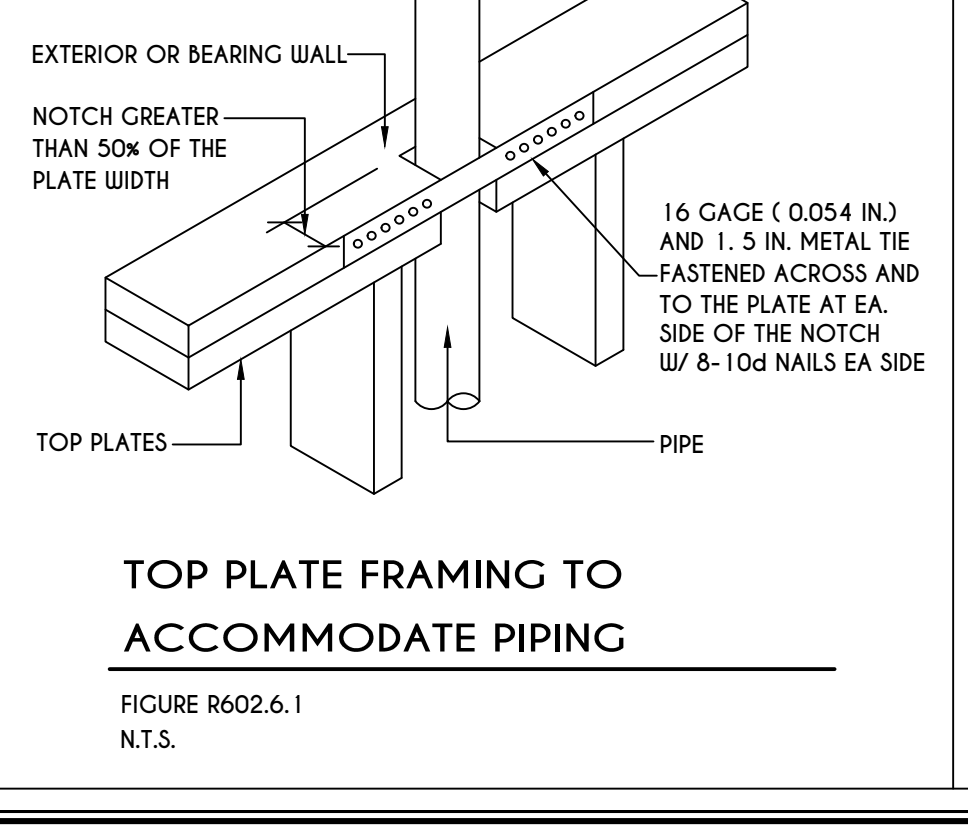
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



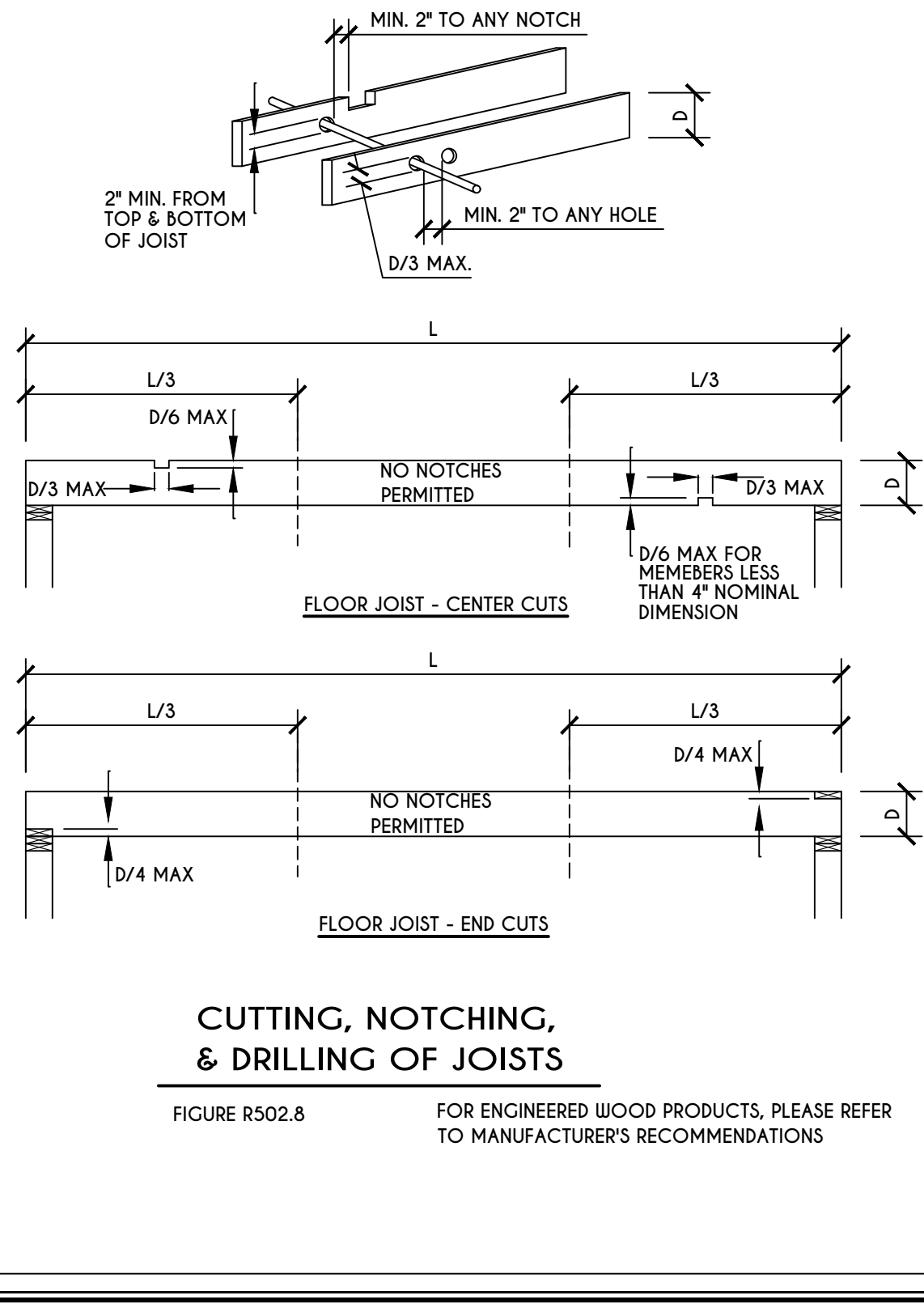
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



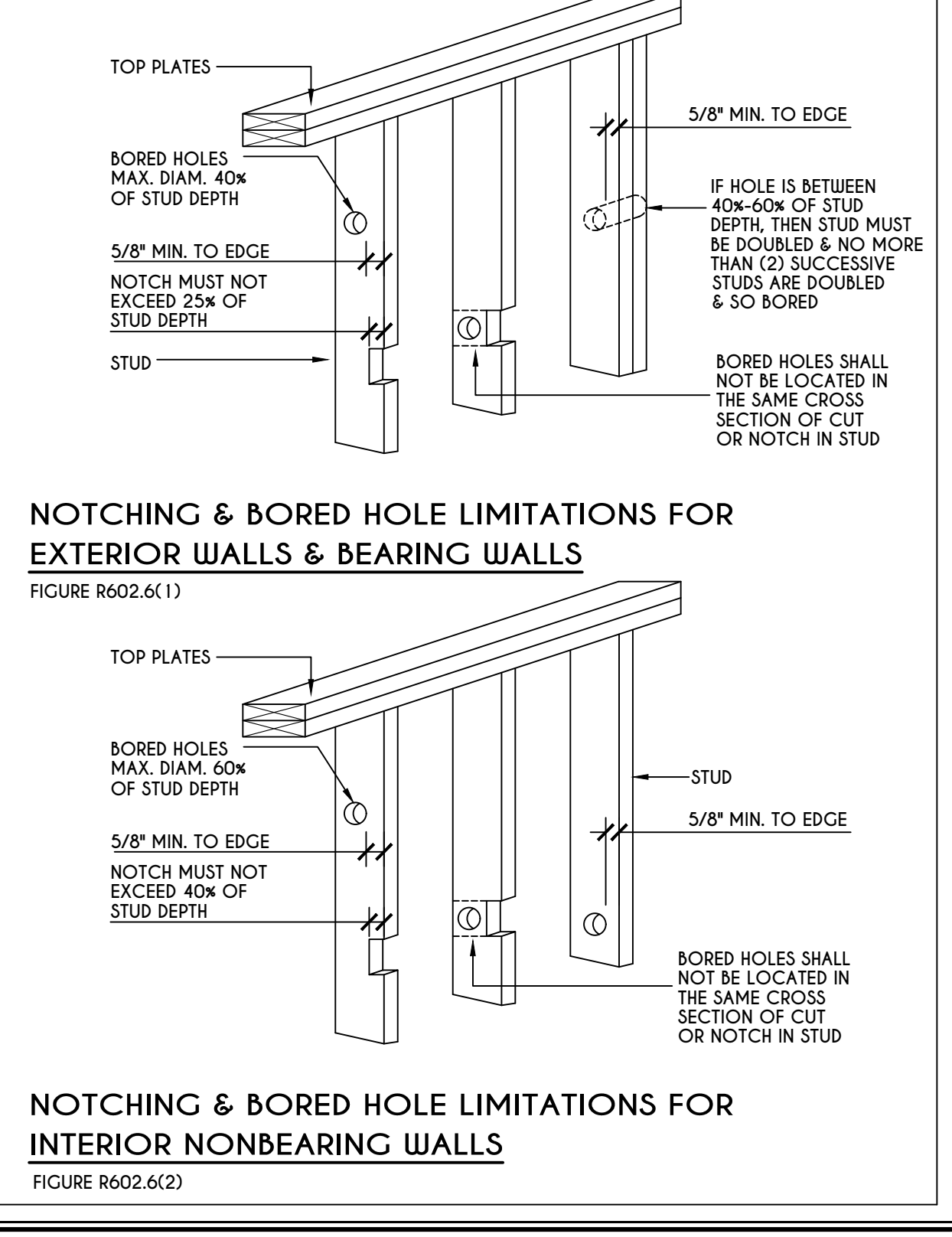
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASEMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR
MINIMUM 20'-0"



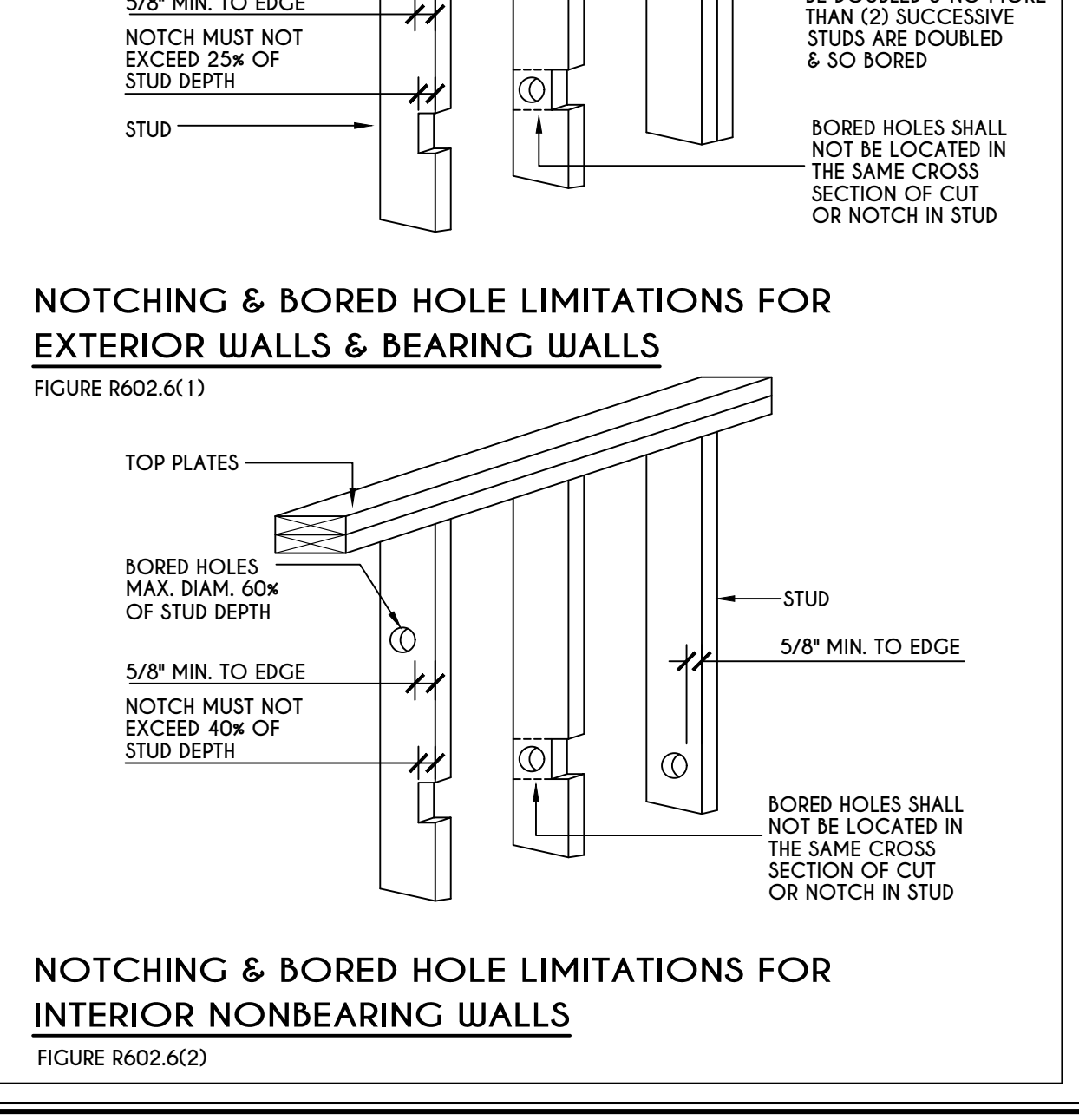
TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

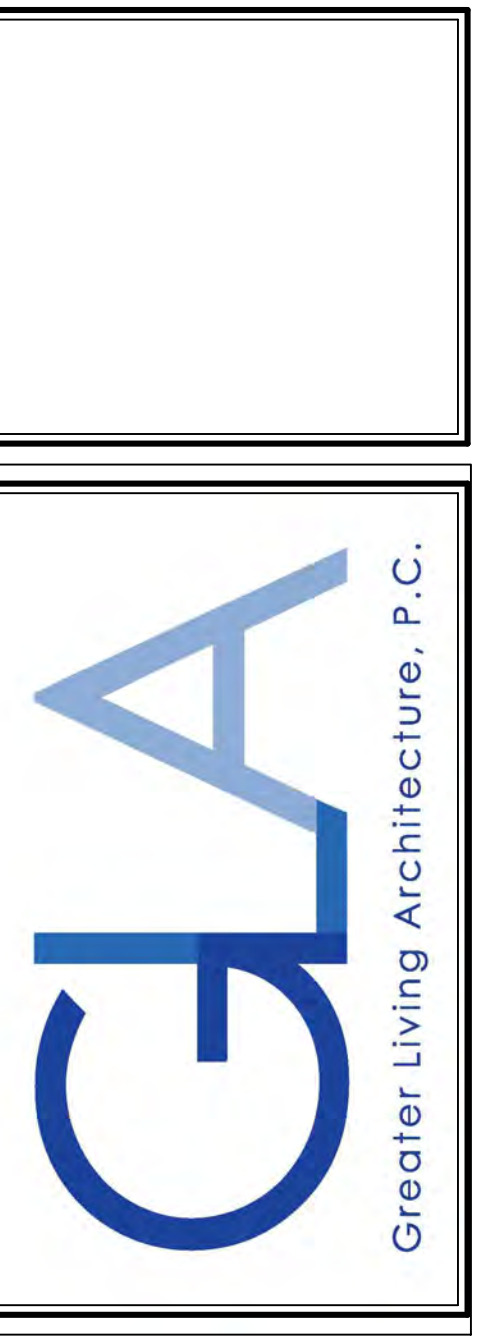


NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:
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LOT 52 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:
COVENTRY RIDGE
BUILDING CORP.

DETAILS
GLA PLAN 3743

drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 24
PROJECT: 15346G	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 32" O.C.	
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
	8'-8"	#5 @ 48" O.C.	#5 @ 32" O.C.	#5 @ 24" O.C.	
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
	9'-4"	#5 @ 48" O.C.	#5 @ 24" O.C.	#5 @ 16" O.C.	
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
	7'	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 32" O.C.	
	10'-0"	#5 @ 48" O.C.	#5 @ 32" O.C.	#5 @ 24" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, I AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 48" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 32" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
	9'-4"	#5 @ 56" O.C.	#5 @ 40" O.C.	#5 @ 24" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
	7'	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 48" O.C.	
	10'-0"	#5 @ 56" O.C.	#5 @ 48" O.C.	#5 @ 40" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, I AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 8.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 64" O.C.	
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
	9'-4"	#5 @ 72" O.C.	#5 @ 64" O.C.	#5 @ 48" O.C.	
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
	7'	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 64" O.C.	
	10'-0"	#5 @ 72" O.C.	#5 @ 64" O.C.	#5 @ 40" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, I AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (2).
d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
f. INTERPOLATION IS NOT PERMITTED.
g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
i. CONCRETE COVERS FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVERS FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE I OR m.
l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSTALLED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC BATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING		
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

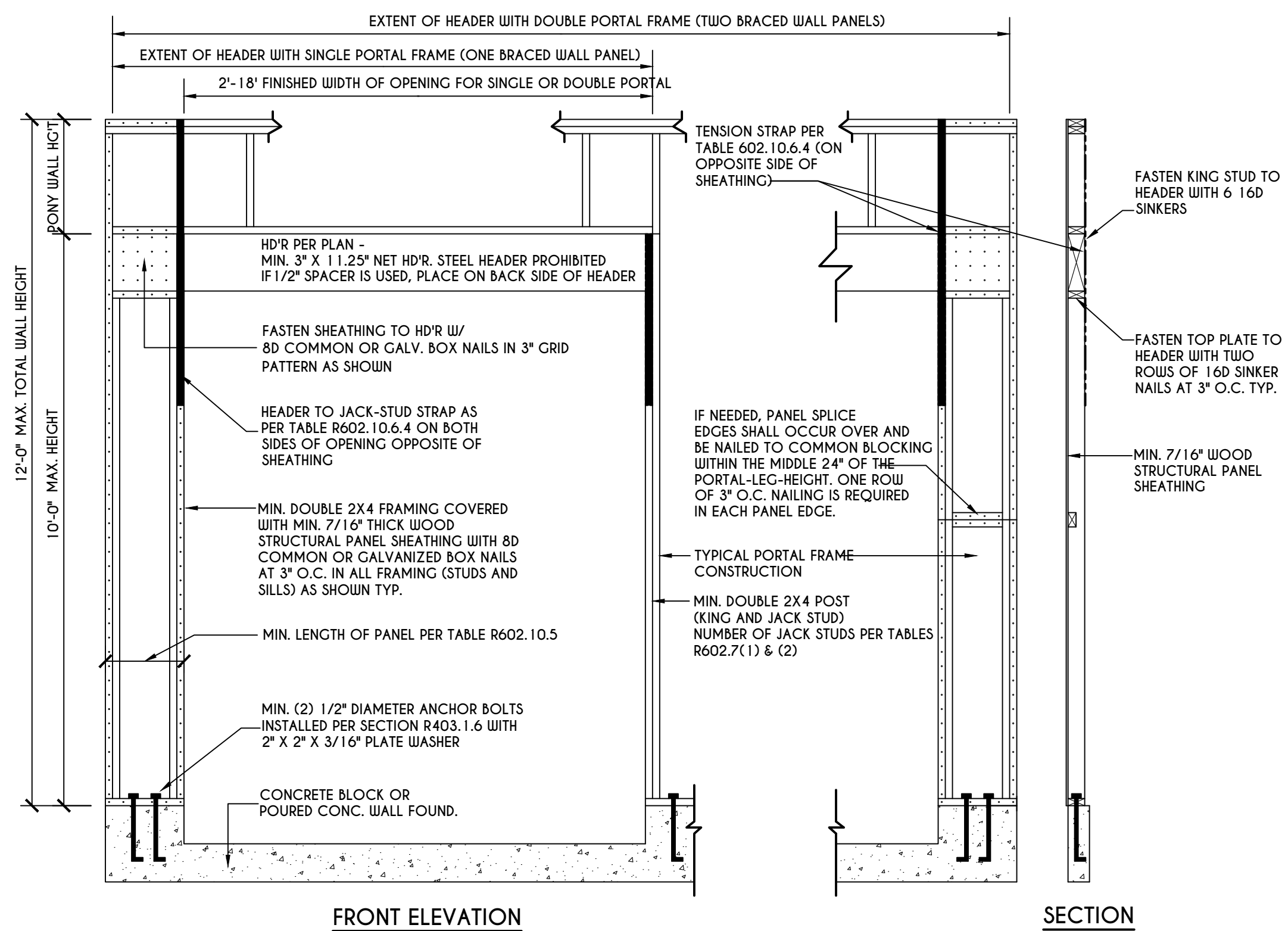
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

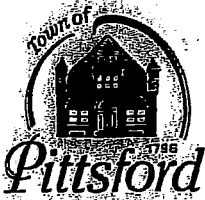
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, CM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GM	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS





NOTICE OF UTILIZATION OF TRUSS CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION

Owner: SPALL REALTORS CORP.

Property Address: 64 COVENTRY RIDGE (LOT 52)

Please take notice that the (check applicable line);

- New residential structure
- Addition to existing structure
- Rehabilitation to existing residential structure

To be constructed or performed at the subject property referenced above will utilize (check each applicable line):

- Truss type construction (TT)
- Pre-engineered wood construction (PW)
- Timber construction (TC)

In the following location(s) (check applicable line):

- Floor framing, including girders and beams (F)
- Roof Framing (R)
- Floor and roof framing (FR)

Dated: 11-10-24

Signature (signature of person submitting form to the authority having jurisdiction)

Matthew Winseman

Name: (Print or type name of person signing and submitting form)

MATTHEW WINSEMAN

Capacity: (Check applicable line)

Owner: _____

Owner's Representative:



Generated by REScheck-Web Software
Compliance Certificate

Project GLA PLAN 3743 / PROJECT 15346G

Energy Code: **2018 IECC**
 Location: **Pittsford, New York**
 Construction Type: **Single-family**
 Project Type: **New Construction**
 Project SubType: **None**
 Conditioned Floor Area: **3,743 ft2**
 Glazing Area: **17%**
 Climate Zone: **5 (6734 HDD)**
 Permit Date:
 Permit Number:
 All Electric: **false**
 Is Renewable: **false**
 Has Charger: **false**
 Has Battery: **false**
 Has Heat Pump: **false**



Construction Site:
 LOT 52 COVENTRY RIDGE
 PITTSFORD, NY

Owner/Agent:
 SPEC HOME
 COVENTRY RIDGE BUILDING CORP.

Designer/Contractor:
 GREATER LIVING ARCHITECTURE
 3033 BRIGHTON HENRIETTA TL
 ROAD
 ROCHESTER, NY 14623

Compliance: Passes using UA trade-off

Compliance: **5.9% Better Than Code** Maximum UA: **575** Your UA: **541**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	2,418	38.0	0.0	0.025	0.026	60	63
1ST Floor Walls (with rim joist): Wood Frame, 16" o.c.	1,973	21.0	0.0	0.057	0.060	90	95
Front Door: Solid Door (under 50% glazing)	20			0.166	0.300	3	6
Fire Door: Solid Door (under 50% glazing)	20			0.166	0.300	3	6
6080 Sliding Door: Glass Door (over 50% glazing)	48			0.300	0.300	14	14
Window: Vinyl Frame	298			0.280	0.300	83	89
2nd Floor Walls (with rim joist): Wood Frame, 16" o.c.	1,824	21.0	0.0	0.057	0.060	89	94
Window 1: Vinyl Frame	261			0.280	0.300	73	78

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Basement Frame Wall: Wood Frame, 16" o.c.	448	21.0	0.0	0.057	0.060	20	21
Window 2: Vinyl Frame	105			0.280	0.300	29	32
Floor Over Garage and Cantilevers: All-Wood Joist/Truss	628	30.0	0.0	0.033	0.033	21	21
Basement Wall: Solid Concrete or Masonry Wall height: 9.0' Depth below grade: 6.0' Insulation depth: 9.0'	1,116	0.0	15.0	0.050	0.050	56	56

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

CHRIS KEIL - VICE PRESIDENT
Name - Title


Signature

12/4/24
Date



Inspection Checklist

Energy Code: 2018 IECC






Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹ 	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] ¹ 	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2] ² 	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 [FO4] ¹ 	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during Insulation Inspection. Not required in warm-humid locations in Climate Zone 3.	R-____ R-____	R-____ R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [FO5] ¹ 	Conditioned basement wall insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.9 [FO6] ¹ 	Conditioned basement wall insulation depth of burial or distance from top of wall.	____ ft	____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] ² 	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] ² 	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23] ¹	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] ¹	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12] ¹	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [FR13] ¹	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 [FR15] ³	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] ¹	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.3 [FR18] ²	Hot water pipes are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ²	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.6 [IN1] ¹	Floor insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.8 [IN2] ¹	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ¹	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [F12] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] ¹	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F117] ¹	Blower door test @ 50 Pa. ≤5 ach in Climate Zones 1-2, and ≤3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [F127] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.4 [F14] ¹	Duct tightness test result of ≤4 cfm/100 ft ² across the system or ≤3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] ¹	Air handler leakage designated by manufacturer at ≤2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [FI30] ²	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $\leq 104^{\circ}\text{F}$.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [FI6] ¹	90% or more of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [FI7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [FI18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2018 IECC Energy Efficiency Certificate

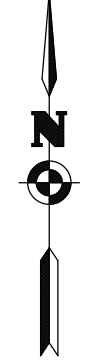
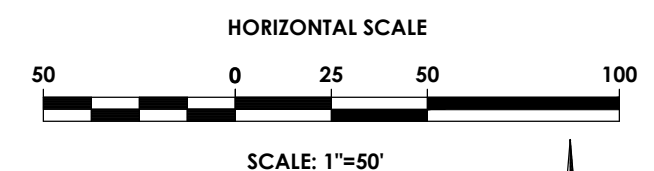
Insulation Rating	R-Value
Above-Grade Wall	21.00
Below-Grade Wall	15.00
Floor	30.00
Ceiling / Roof	38.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.28	
Door	0.30	

Heating & Cooling Equipment	Efficiency
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Name: _____ Date: _____

Comments



STATE ROUTE 252 WEST JEFFERSON ROAD
(WIDTH VARIES)

STATE ROUTE 65 SOUTH CLOVER STREET
(WIDTH VARIES)

**PROPOSED
3 STORY
RESIDENTIAL BUILDING**

2 STORY WOOD
FRAME BUILDING
LOWER LEVEL HEIGHT 12'
UPPER LEVEL HEIGHT 12'

2 STORY WOOD
FRAME BUILDING
LOWER LEVEL HEIGHT 12'
UPPER LEVEL HEIGHT 12'

2 STORY WOOD
FRAME BUILDING
LOWER LEVEL HEIGHT 12'
UPPER LEVEL HEIGHT 12'

2 STORY
BRICK
BUILDING

T.A. NO. 163.02-1-23
L. 11846 D., P. 235
AREA = 1.157- ACRES

N/F LOT R-1
1 SINGULAR DRIVE
T.A. NO. 163.02-1-36
L. 11846 D., P. 244
36.555- ACRES

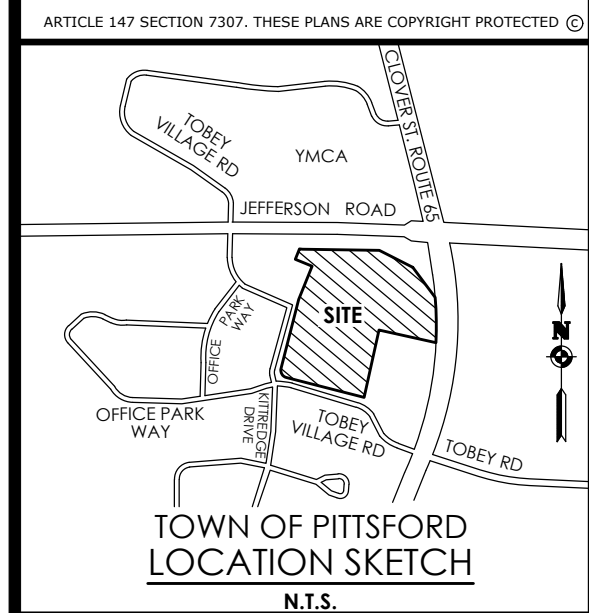
T/A 163.02-1-24.2
N/F CL HOLDINGS LLC
20 TOBEY VILLAGE RD.

1 STORY
FRAME
T/A 163.02-1-32
N/F CL HOLDINGS LLC
10 OFFICE PARK WAY

#20 OFFICE PARK WAY
N/F
CL HOLDINGS LLC
T.A. NO. 163.02-1-033

LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED POROUS ASPHALT PAVEMENT
- PROPOSED MILL AND RESURFACE LIMITS
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT



Client:
2851 Clover, LLC
2851 Monroe Avenue
Rochester, NY 14618
Phone: (585)-271-1111

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: David Cox, P.E.
Project Manager: Andrew Burns, P.E.
Designed by: Shari Kleis

Revisions			
No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

**SITE PLAN
OVERLAY**

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

Project No:
20233554.0001

Drawing No.
C 001

Scale:
1" = 50'

Date
AUGUST 26, 2024

NOT FOR CONSTRUCTION

Pittsford Oaks – Design Reviews Progressions



July 19, 2023



September 1, 2023



November 8, 2023



December 6, 2023



March 21, 2024



April 24, 2024



October 15, 2024



November 18, 2024



2 NORTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

4TH FLOOR WALL HGT. +31'-0 7/8"
 FOURTH FLOOR LEVEL +22'-0 1/2"
 THIRD FLOOR LEVEL +11'-0 5/8"
 SECOND FLOOR LEVEL +0'-0"



6 WEST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"






4TH FLOOR WALL HGT. +31'-0 7/8"
 FOURTH FLOOR LEVEL +22'-0 1/2"
 THIRD FLOOR LEVEL +11'-0 5/8"
 SECOND FLOOR LEVEL +0'-0"



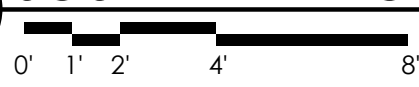
1 EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

60'-0" MIN. REQUIRED HEIGHT REDUCTION
 38'-0" ORIGINAL BUILDING HEIGHT
 17'-4"
 9'-5 67/128"
 4TH FLOOR WALL HGT. +31'-0 7/8"
 FOURTH FLOOR LEVEL +22'-0 1/2"
 THIRD FLOOR LEVEL +11'-0 5/8"
 SECOND FLOOR LEVEL +0'-0"
 GARAGE LEVEL -12'-0"



- 4TH FLOOR WALL HGT. 
+31' - 0 7/8"
- FOURTH FLOOR LEVEL 
+22' - 0 1/2"
- THIRD FLOOR LEVEL 
+11' - 0 5/8"
- SECOND FLOOR LEVEL 
+0' - 0"
- GARAGE LEVEL 
-12' - 0"

1 SOUTH ELEVATION



1/16" = 1'-0"

November 14th DRB submission



1 EAST ELEVATION
1/16" = 1'-0"



1 EAST ELEVATION
1/16" = 1'-0"

December 5th DRB submission



1 EAST ELEVATION
1/16" = 1'-0"

December 19th DRB submission



2 NORTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

4TH FLOOR WALL HGT. +31'-0 7/8"
 FOURTH FLOOR LEVEL +22'-0 1/2"
 THIRD FLOOR LEVEL +11'-0 5/8"
 SECOND FLOOR LEVEL +0'-0"



6 WEST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

4TH FLOOR WALL HGT. +31'-0 7/8"
 FOURTH FLOOR LEVEL +22'-0 1/2"
 THIRD FLOOR LEVEL +11'-0 5/8"
 SECOND FLOOR LEVEL +0'-0"



1 EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

60'-0" MIN. REQUIRED HEIGHT REDUCTION
 ORIGINAL BUILDING HEIGHT
 38'-0"
 17'-4"
 9'-5 67/128"
 +581'
 +573'
 4TH FLOOR WALL HGT. +31'-0 7/8"
 FOURTH FLOOR LEVEL +22'-0 1/2"
 THIRD FLOOR LEVEL +11'-0 5/8"
 SECOND FLOOR LEVEL +0'-0"
 GARAGE LEVEL -12'-0"



- 4TH FLOOR WALL HGT. +31' - 0 7/8"
- FOURTH FLOOR LEVEL +22' - 0 1/2"
- THIRD FLOOR LEVEL +11' - 0 5/8"
- SECOND FLOOR LEVEL +0' - 0"
- GARAGE LEVEL -12' - 0"

1 SOUTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"







2 NORTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



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- SECOND FLOOR LEVEL +0' - 0"
- GARAGE LEVEL -12' - 0"

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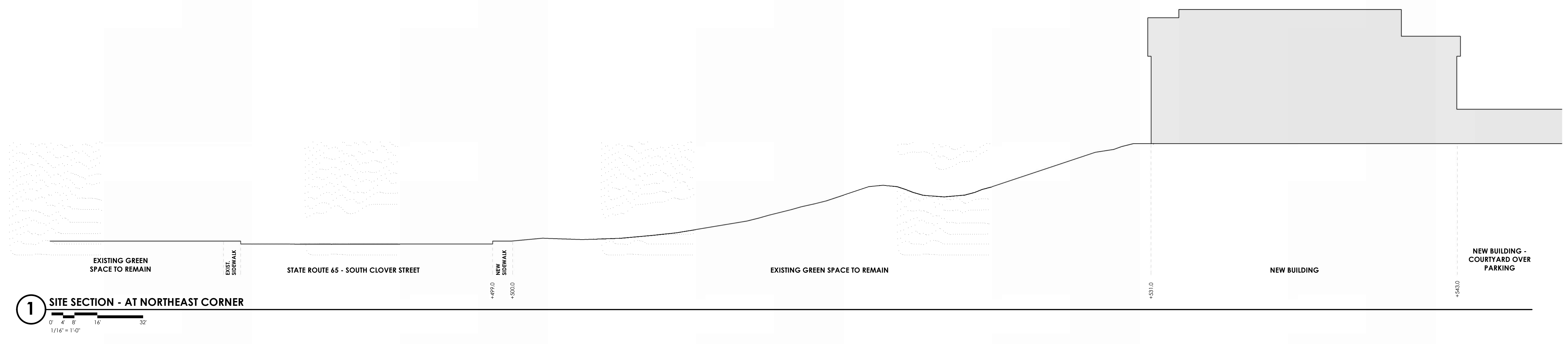
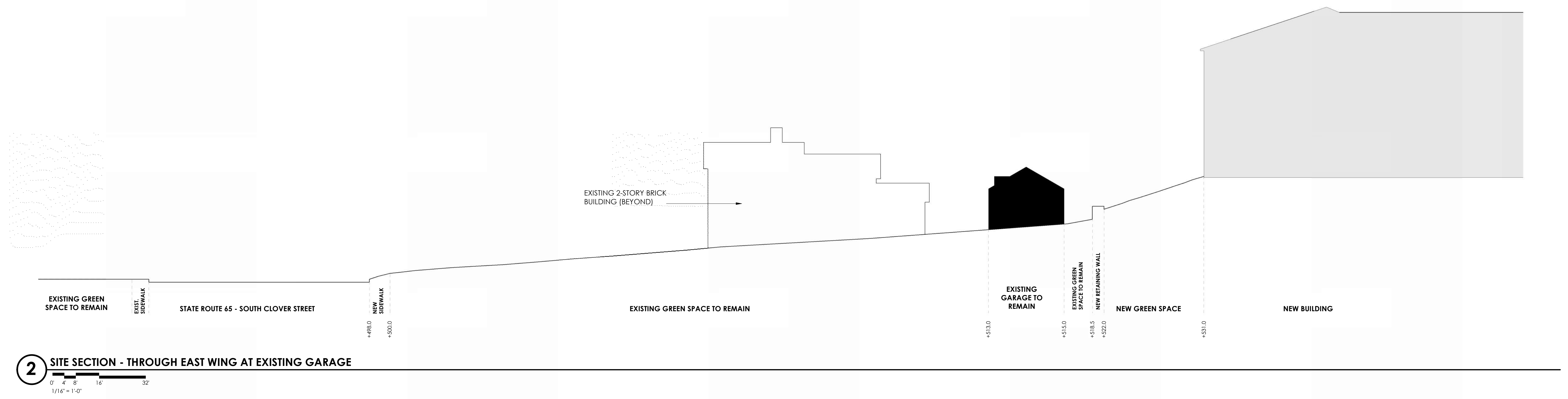
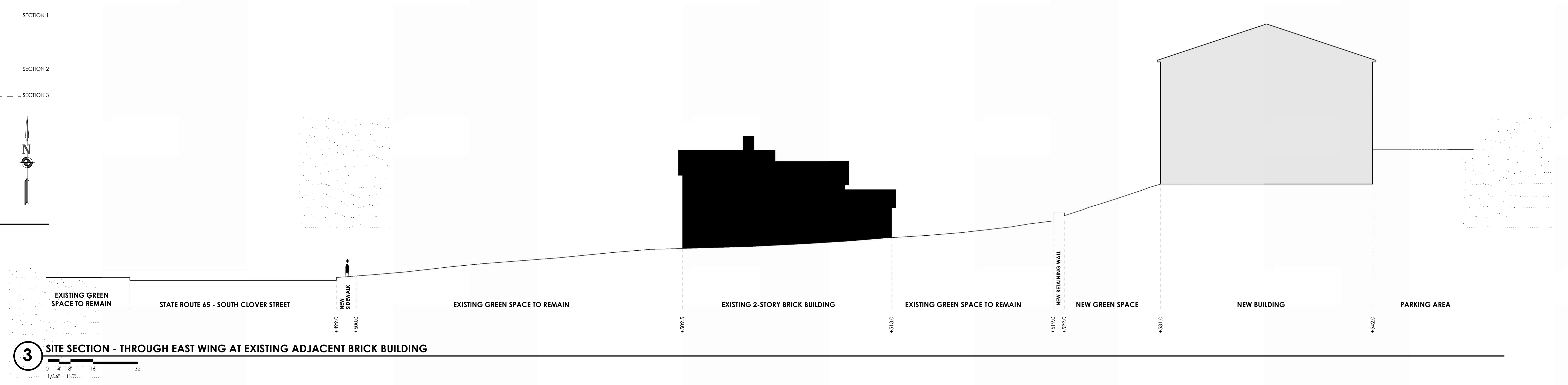
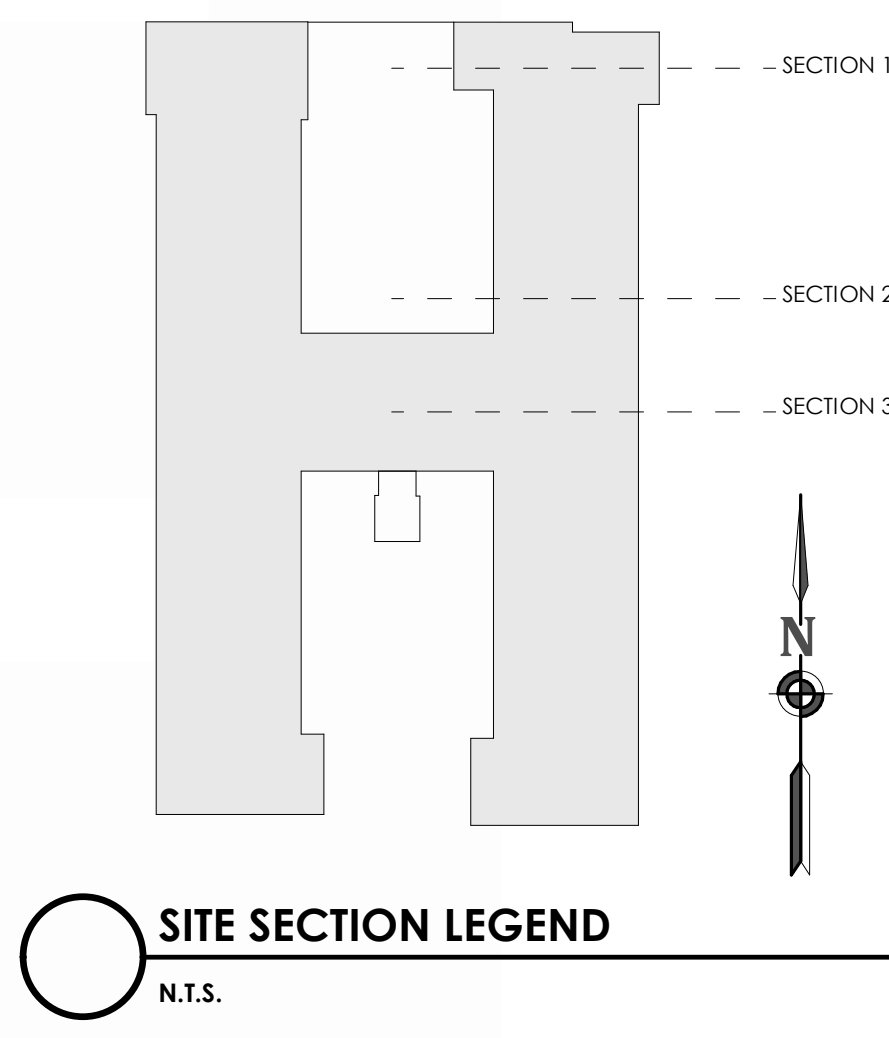


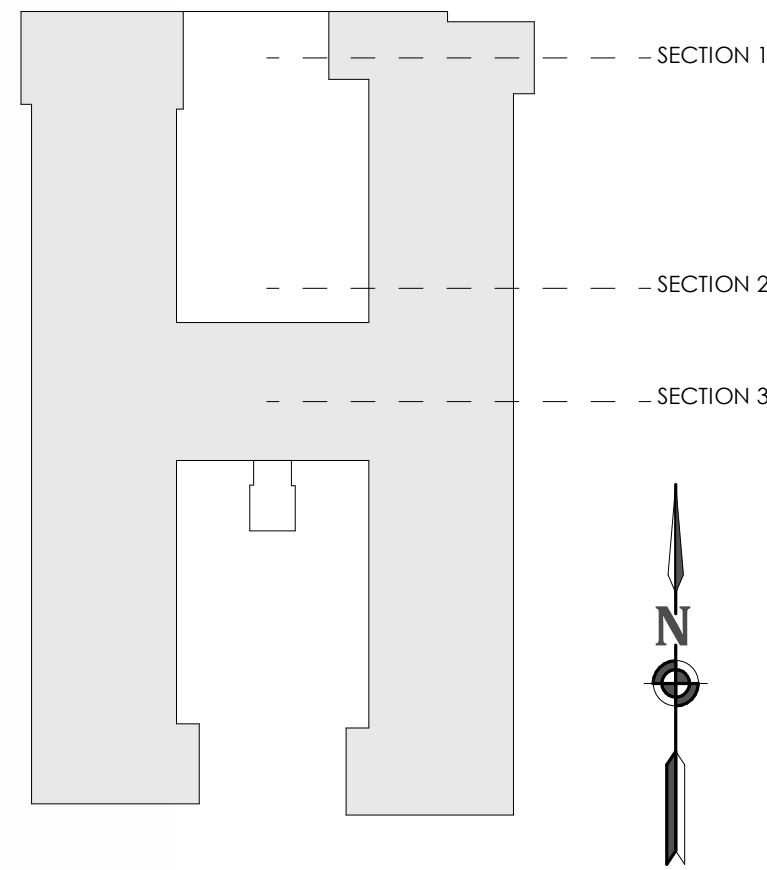
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- SECOND FLOOR LEVEL +0' - 0" 
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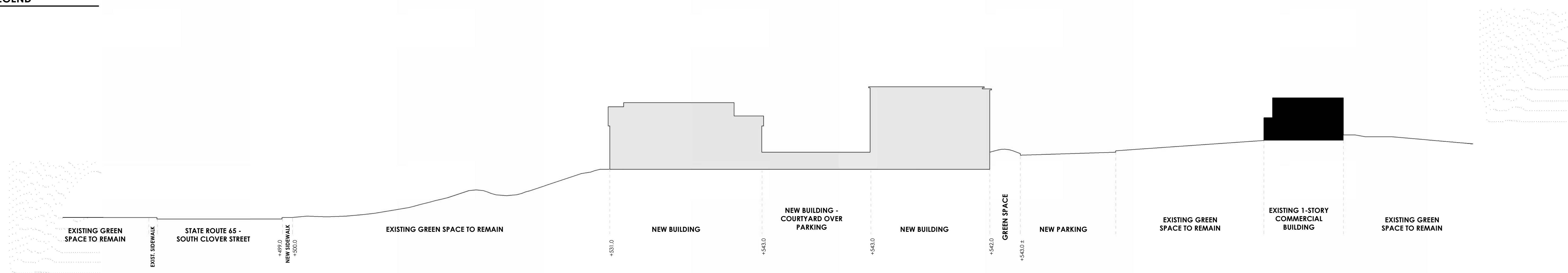








SITE SECTION LEGEND
N.T.S.



1 SITE SECTION - AT NORTHEAST CORNER

