

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA
January 23, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, January 23, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

83 Kilbourn Road

Applicant is requesting design review for an approximately 480 square foot addition off the rear of the home.

20 Kilbourn Road

Applicant is requesting design review for a 467 square foot renovation and addition to the home.

CERTIFICATES OF APPROPRIATENESS

192 Knickerbocker Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the expansion of a detached garage, the addition of a screened porch, the addition of a main entry porch and a kitchen expansion at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

COMMERCIAL APPLICATIONS

2851 Clover St (300 Tobey Rd)-Pittsford Oaks

Applicant is requesting the review of design changes to date, the current design material, confirm the overall Northeast corner of the building height.

The next meeting is scheduled for Thursday, February 13, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
JANUARY 9, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, January 9, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Dave Wigg, Kathleen Cristman, John Mitchell, Jim Vekasy, Bonnie Salem

ABSENT: Paul Whitbeck

ALSO PRESENT: Bill Zink, Building Inspector; Anna Piazza, Building Department Assistant; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 2 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00 PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem discussed the current guidelines within Town Code relating to Certificates of Appropriateness (COA) and when they are required for Designated Landmark homes. She stated that the code does not require a COA for designated structures not visible from a public street or alley or from the Erie Canal. Board Member Salem stated that designated homes hold varying levels of significance and noted that many neighboring Towns do not contain this exemption in their code. The Board agreed to send a memo to the Town Board requesting an amendment to this section of the code.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

17 E Park Road

Applicant is requesting design review to add a covered entryway to the front of the home.

Chris Hennessey, of CKH Architecture, introduced the application. Mrs. Hennessey is requesting to make a change to a previously approved project. She is requesting to add a gable roof with a curved arch and a window change.

Chairman Schneider motioned to approve the addition of a covered entryway and window change, as submitted. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

751 Linden Avenue

Applicant is requesting design review for signage for Schoen Auto.

Alan Guidera, of MRB Group Engineering, introduced the application. Mr. Guidera is requesting to replace an existing sign in addition to adding a ten-foot by four-foot sign which will be mounted off the building. The mounted sign will be lit with a wall-washed light and run on a timer.

Chairman Schneider motioned to approve signage for Schoen Auto with the addition of a wall-washed light, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

MEETING MINUTES REVIEW

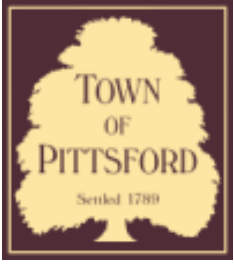
The minutes of December 19, 2024 were approved following a motion by Chairman Schneider. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Dirk Schneider closed the meeting at 6:25PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000173

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 83 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.14-1-24

Zoning District: RN Residential Neighborhood

Owner: Mullard, Thomas M CoTrust

Applicant: Design Works Architecture

Application Type:

Residential Design Review

§185-205 (B)

Commercial Design Review

§185-205 (B)

Signage

§185-205 (C)

Certificate of Appropriateness

§185-197

Landmark Designation

§185-195 (2)

Informal Review

Build to Line Adjustment

§185-17 (B) (2)

Building Height Above 30 Feet

§185-17 (M)

Corner Lot Orientation

§185-17 (K) (3)

Flag Lot Building Line Location

§185-17 (L) (1) (c)

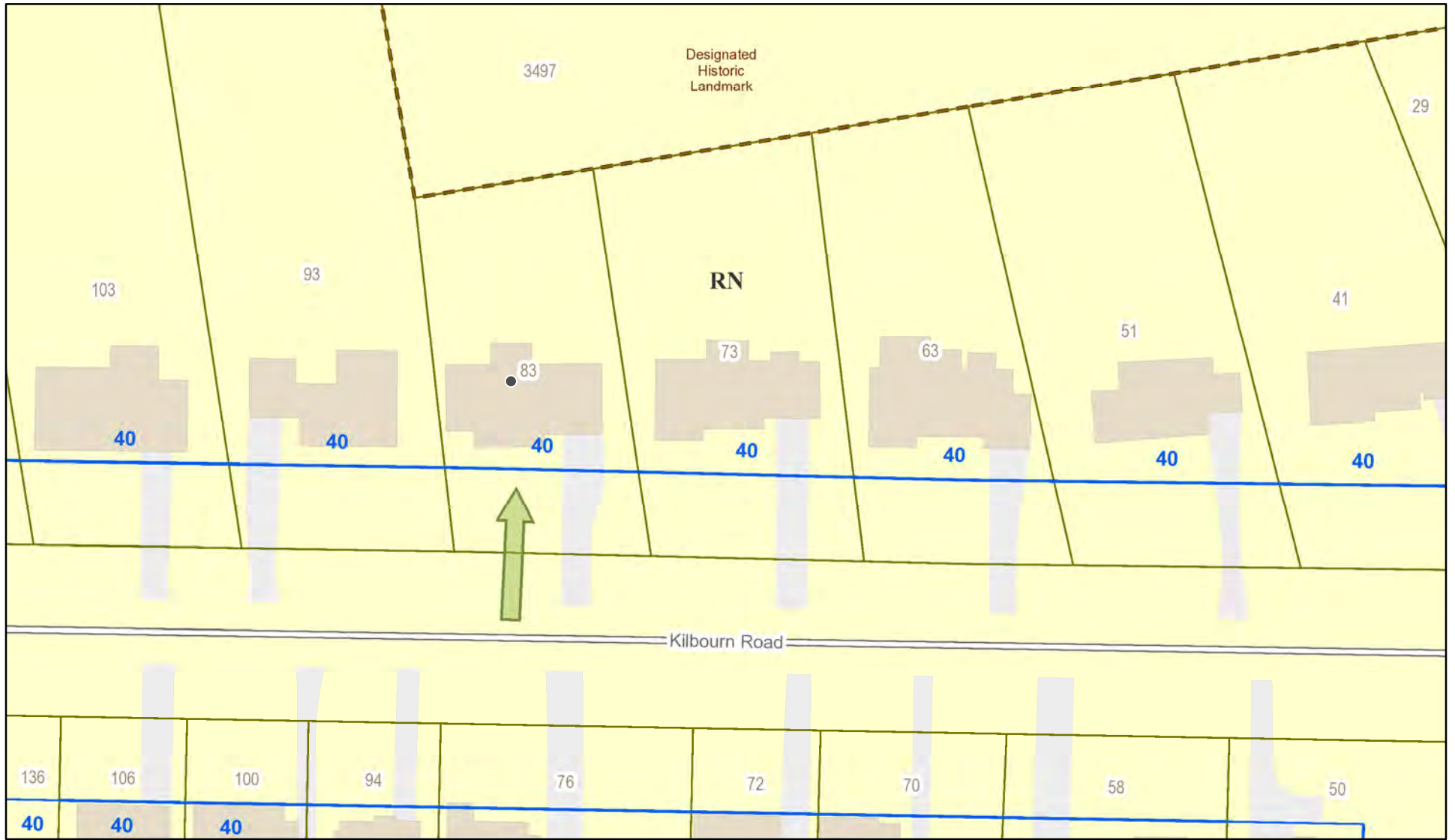
Undeveloped Flag Lot Requirements

§185-17 (L) (2)

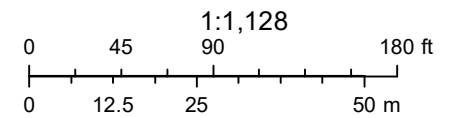
Project Description: Applicant is requesting design review for an approximately 480 square foot addition off the rear of the home.

Meeting Date: January 23, 2025

RN Residential Neighborhood Zoning

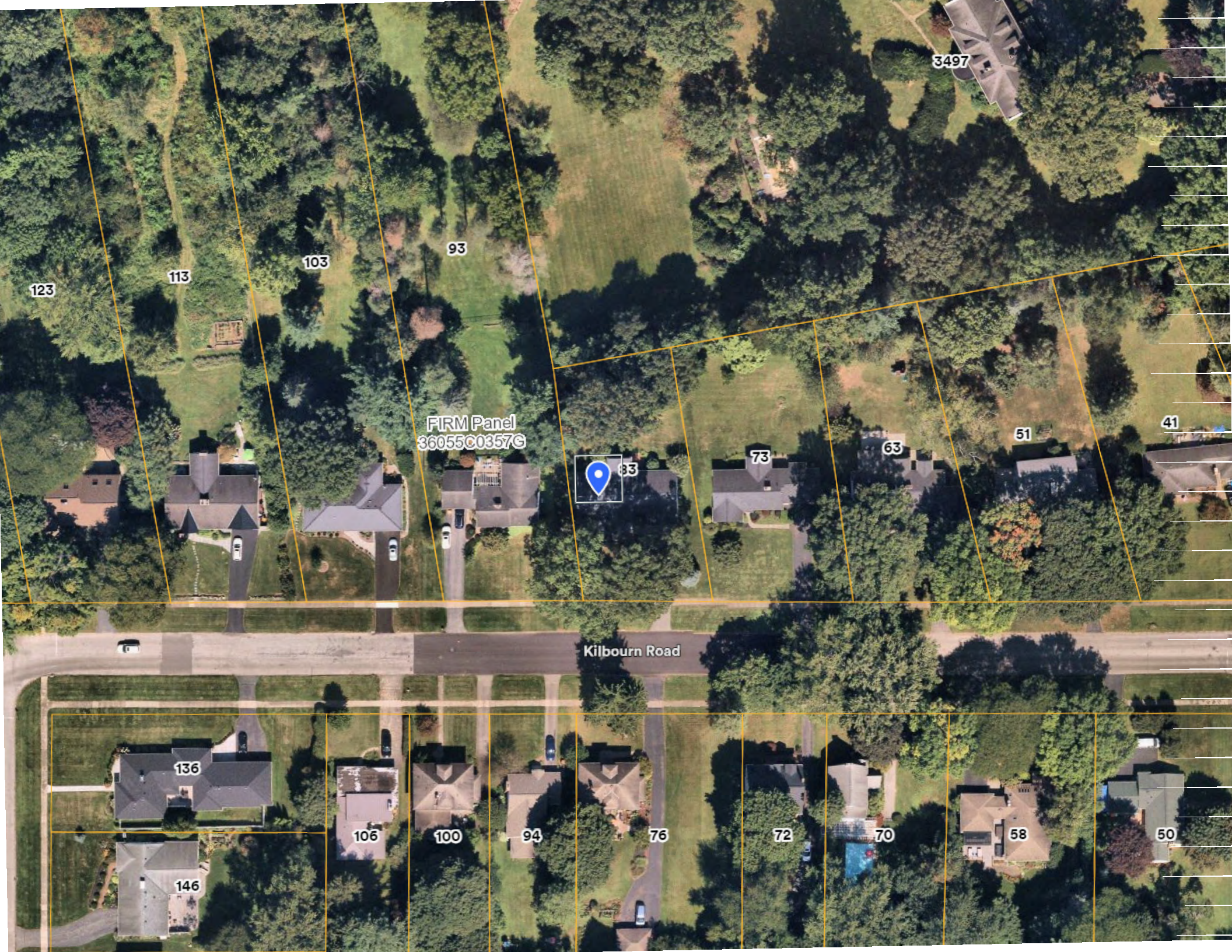


Printed January 14, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



3497

123

113

103

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FIRM Panel
36055C0357G



83

73

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41

Kilbourn Road

136

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106

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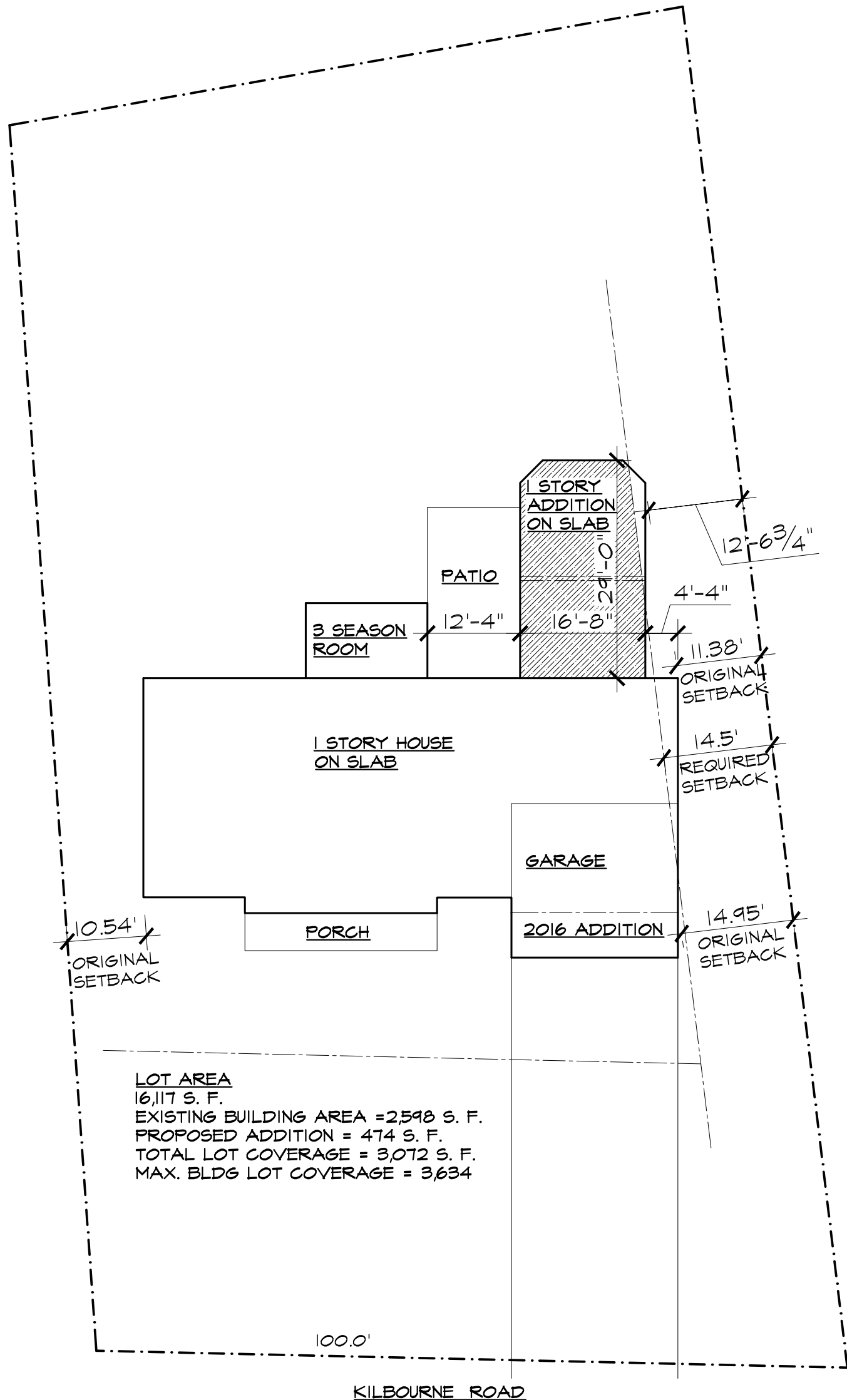
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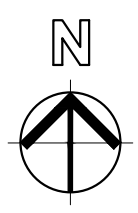


LOT AREA
 16,117 S. F.
 EXISTING BUILDING AREA = 2,598 S. F.
 PROPOSED ADDITION = 474 S. F.
 TOTAL LOT COVERAGE = 3,072 S. F.
 MAX. BLDG LOT COVERAGE = 3,634

KILBOURNE ROAD

SITE SKETCH

SCALE: $\frac{1}{16}'' = 1'-0''$



DESIGN WORKS
 ARCHITECTURE

6 North Main Street, Suite 104, Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com

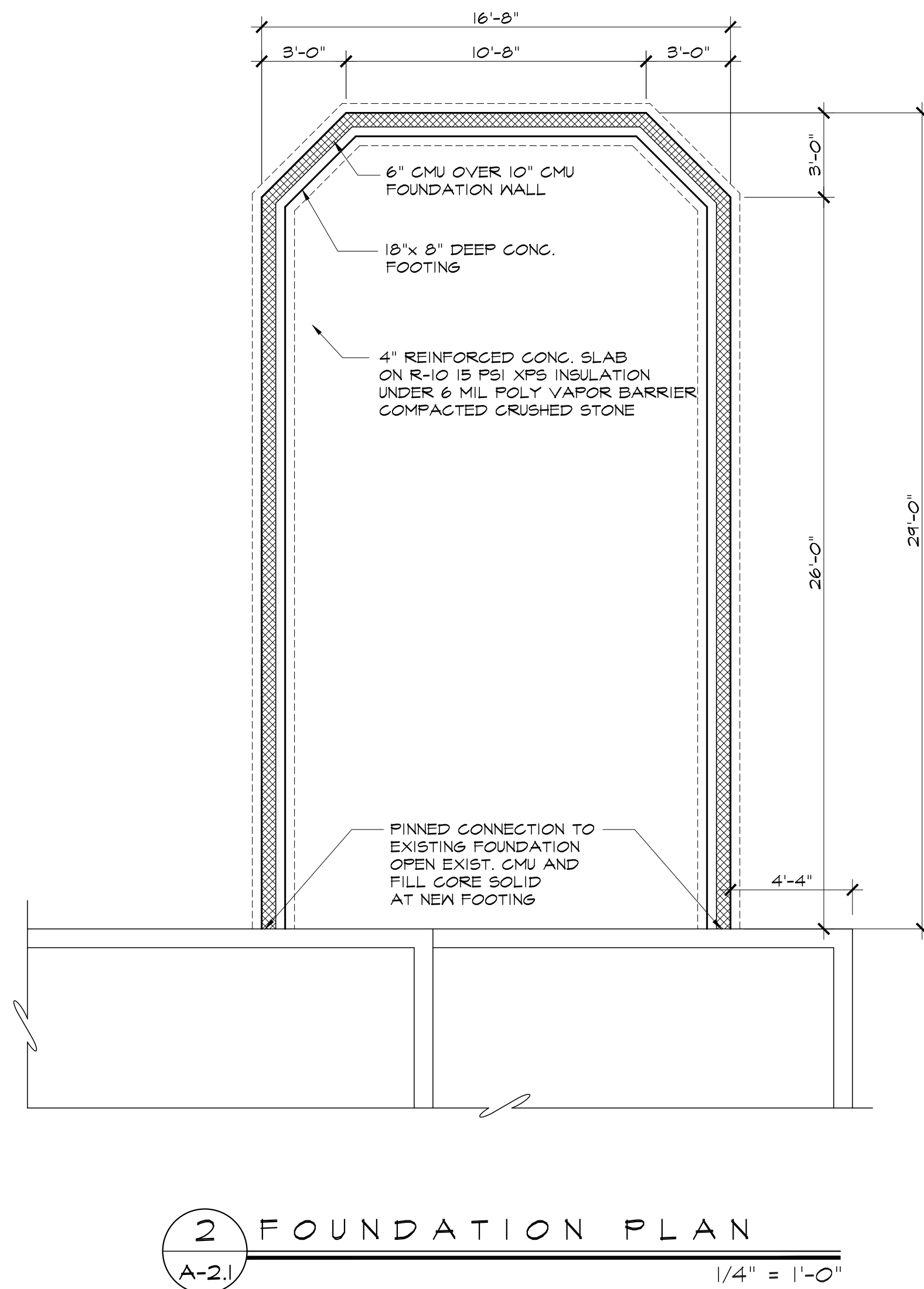
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83 KILBOURNE ROAD
 MULLARD RESIDENCE

DECEMBER 10, 2024 DESIGN DEVELOPMENT

FOUNDATION NOTES:

- ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
- THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
- FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
- THE CONCRETE USED FOR FOOTINGS AND FOUNDATION WALLS (NOT EXPOSED TO THE WEATHER) SHALL HAVE A MINIMUM STRENGTH OF 2500 PSI AND SHALL BE AIR ENTRAINED AS REQUIRED THE RESIDENTIAL CODE OF NEW YORK STATE.
- TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
- BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
- PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
- CRACK SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
- UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
- REQUIRED ACCESS TO CRAWL SPACES IS 18"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
- PROVIDE PERIMETER FOUNDATION PERFORATED 1/2" DRAINPIPE FITTED AT 1/8" IN 12" DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. **SUPERIOR WALL FOUNDATION SYSTEMS SHALL PLACE 4" DIA. PVC SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.
- CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB FOR FUTURE CONNECTION IF NECESSARY.
- ALL COMPACTED SOIL TO BE COMPACTED IN 12" LIFTS.
- 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA.) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 1" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
- CMU FOUNDATION WALL SYSTEM - SEE CMU NOTES & TYPICAL DETAILS.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1), SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
- EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE, SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
- BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT DESIGN WORKS ARCHITECTURE.
- BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
- MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD KEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE GRADE.



2 FOUNDATION PLAN
A-2.1 1/4" = 1'-0"

CAST-IN-PLACE CONCRETE AND REINFORCING:

- BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS AND EMBEDDED ITEMS.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"x 45 DEGREES UNLESS OTHERWISE NOTED.
- ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
- ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
- WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
- SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6x6 W2.9x2.9 WELDED WIRE MESH.
- THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED.
 - FOOTINGS 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER 2"
 - WALLS 1 1/2"
 - SLABS 3/4"

C.M.U. NOTES:

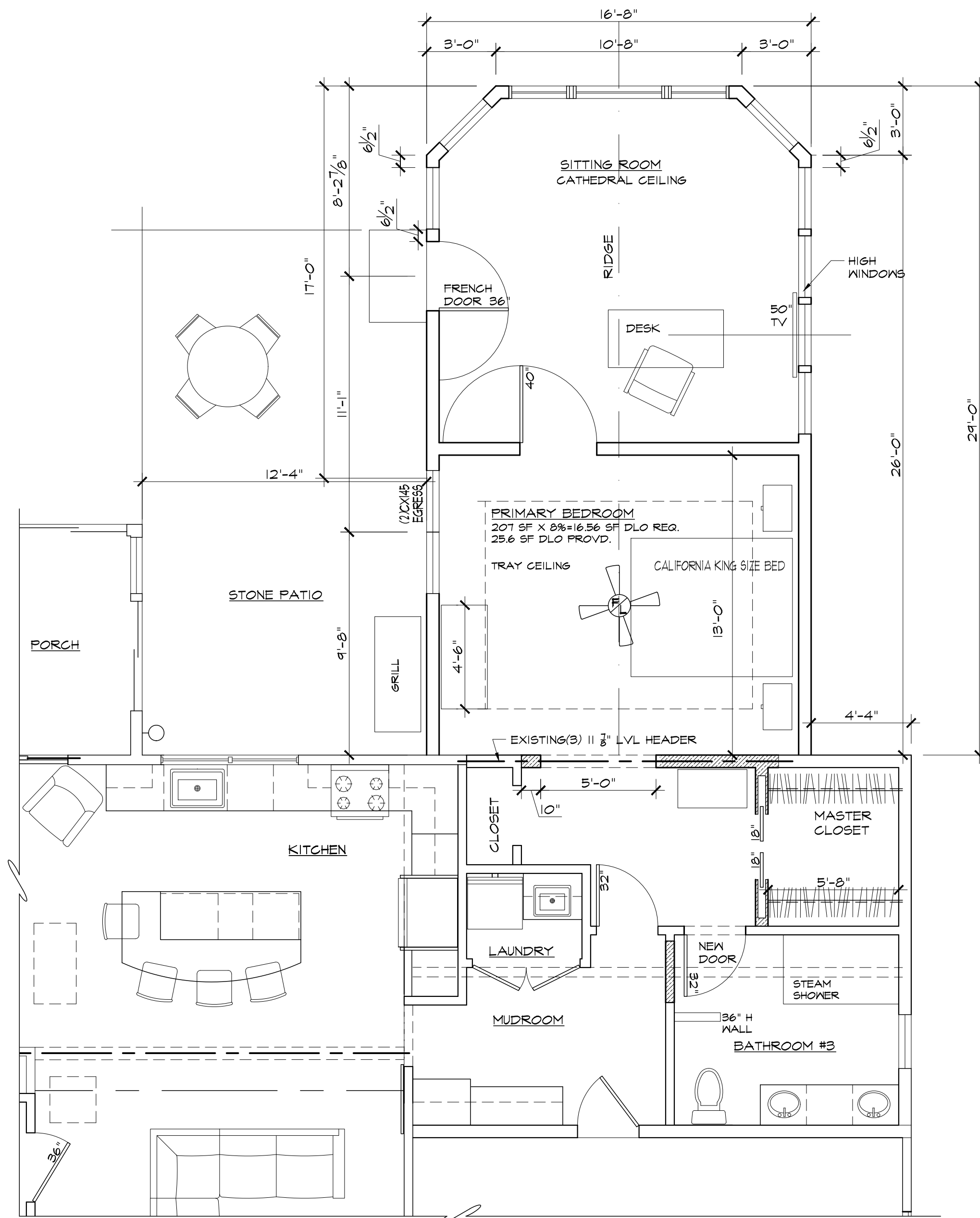
- CONCRETE MASONRY UNITS - HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"x16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
- MORTAR - MORTAR SHALL BE TYPE S.
- TRUSSED HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
- BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/8" UNIFORM THICKNESS.
- WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
- ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.

TILE SPECIFICATION:

- USE UNMODIFIED MORTAR FOR SETTING TILE OVER AN IMPERMEABLE WATERPROOF MEMBRANE OR ANTI-FRACTURE MEMBRANE. DO NOT USE A POLYMER MODIFIED THIN SET.
- DO NOT USE A POLYMER MODIFIED THIN SET MORTAR.
- ADD 3/8" GAP BEHIND STUCCO/THIN STONE LAYER AND IN FRONT OF WRB - WATER RESISTIVE BARRIER. PROVIDE A RAINGREEN SYSTEM, MTI SURE CAVITY OR APPROVED EQUAL AS A DRAINAGE MEDIUM IN THE GAP BETWEEN THE WRB LAYER AND THE EXTERIOR SURFACE.
- PROVIDE A VENTILATED KEEF SCREED (MTI L&R KEEF SCREED OR APPROVED EQUAL) AT THE BASE OF ALL WALLS FOR VENTILATION. WRB MUST BE LAPPED OVER THE KEEF SCREED.
- PROVIDE A MOISTURE DIVERTER AT THE HEAD OF ALL WINDOWS AND DOORS EXTENDING 4" BEYOND EITHER SIDE OF THE OPENING TO DIVERT MOISTURE TO THE DRAINAGE SYSTEM. (MTI MOISTURE DIVERTER OR APPROVED EQUAL).
- PROVIDE A WINDOW DRAINAGE PLANE AT THE SILL OF ALL WINDOWS TO PREVENT ENTRAPPED MOISTURE. (MTI DRAINAGE PLANE OR APPROVED EQUAL).

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER.
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.).
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.).
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.).
- DOUBLE JACK STUDS AT ALL 4'-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.).
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.).
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.).
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.



1 FIRST FLOOR PLAN
A-2.1 1/4" = 1'-0"

PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS	
No.	Description

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104 :: Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com

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Tom & Elizabeth
MULLARD RESIDENCE

89 Kilbourne Road
Town of Pittsford
Monroe County, NY

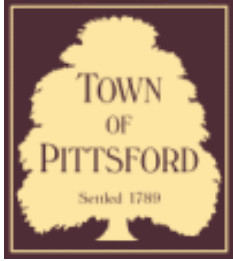
Project No.	2419
Date:	12-08-24
Scale:	AS NOTED
Drawn by:	JAS
Checked by:	CBS

File: Construction Documents
FLOOR PLAN

A-2.1







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000007

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.14-1-42

Zoning District: RN Residential Neighborhood

Owner: Agostino and Enza Mineo

Applicant: Agostino Mineo

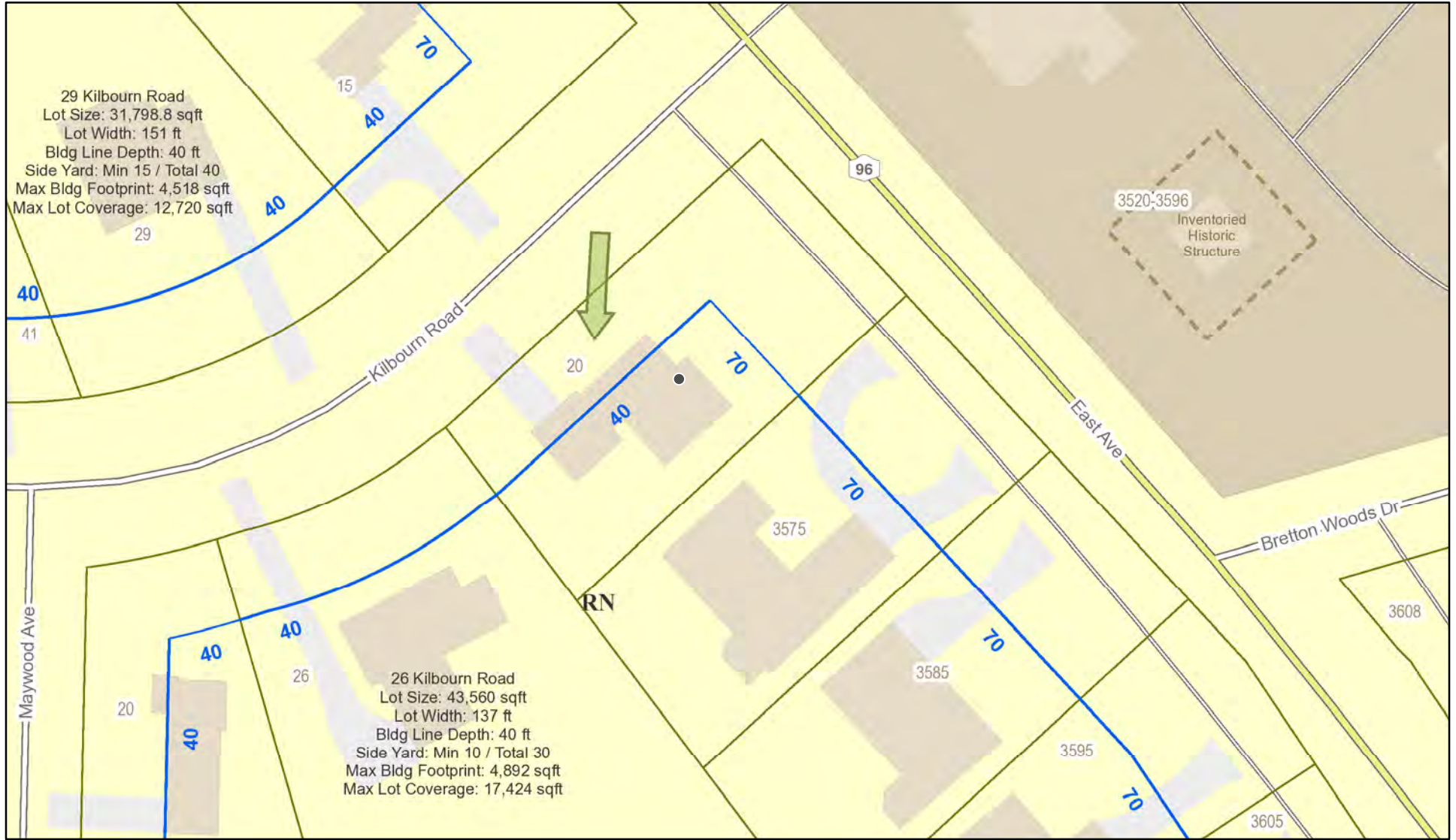
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

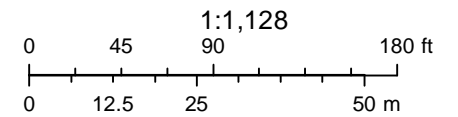
Project Description: Applicant is requesting design review for a 467 square foot renovation and addition to the home.

Meeting Date: January 23, 2025

RN Residential Neighborhood Zoning



Printed January 15, 2025



Town of Pittsford GIS

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3520-3596

FIRM Panel
36055C0357G

Kilbourn Road

East Ave (NY 96)

Maywood Ave



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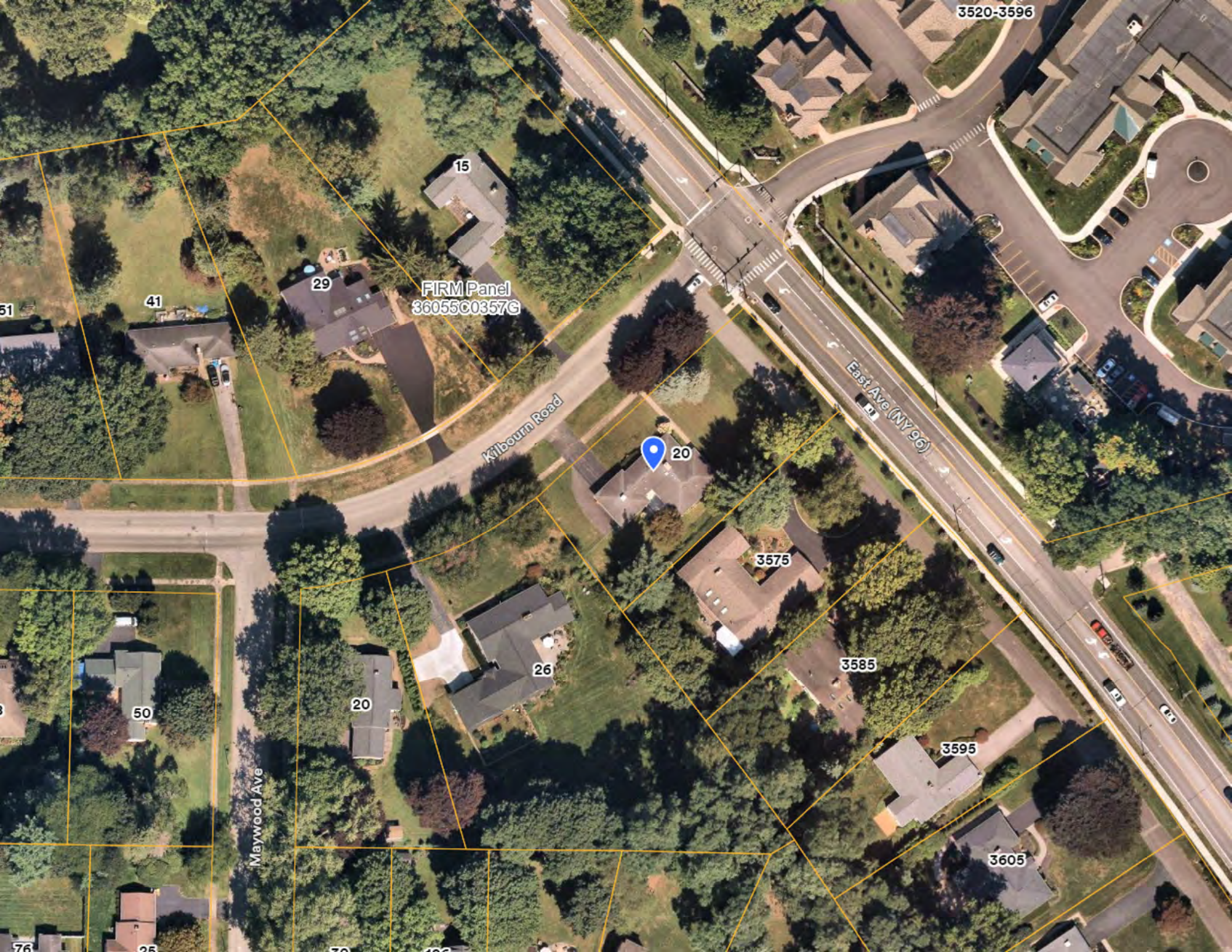
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MINEO RENOVATION AND ADDITION

20 KILBOURN ROAD
PITTSFORD N.Y. 14618

OWNER: AGOSTINO AND ENZO MINEO
20 KILBOURN ROAD
PITTSFORD N.Y. 14618

ARCHITECT: REBECCA BARONE, ARCHITECTURE PLLC
857 ROLINS RUN
WEBSTER, NY 14580
585.267.6970

PERMIT SET

GENERAL CONSTRUCTION NOTES:

- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING. CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE RESIDENTIAL CODE AND ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, WITH POSSIBLE MODIFICATIONS BY LOCAL CODE ADMINISTRATION.
 - THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, SANITARY AND ENERGY CODES (LOCAL, STATE, AND FEDERAL).
 - CONSTRUCTION DOCUMENTS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL AND ENGINEERING PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE.
 - IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS SHOWN ON DRAWINGS OR NOTED IN SPECIFICATIONS. ANY VARIANCES WITHIN DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO OWNER/ARCHITECT IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.
 - THE CONTRACTOR SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK. HE SHALL NOTIFY AND RECEIVE CLARIFICATION FROM OWNER/ARCHITECT IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.
 - THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING. THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
 - NO SITE VISITS WILL BE MADE BY THIS ARCHITECT. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND SPECIFICATIONS.
 - ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS OF APPLICABLE INDUSTRY STANDARDS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUIVALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.
 - CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED HEREIN.
A. PROVIDE TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
B. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
 - DUE TO REVISIONS MADE DURING THE DEVELOPMENT OF THESE DRAWINGS, THEY MAY NOT REFLECT THE DIMENSIONS NOTED. DO NOT SCALE THE DRAWINGS.
 - CALL UPFO BEFORE YOU DIG. 1-800-962-7862
 - ALL DIMENSIONS ARE FACE OF WALL TO FACE OF WALL (ROUGH).
 - CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES WHEREVER THEY OVERLAP.
 - ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTORS MUST NOTIFY OWNER/ARCHITECT OF SAME.
 - INTERIOR AND EXTERIOR FINISH MATERIAL SELECTION (INCLUDING, BUT NOT LIMITED TO, SIDING, ROOFING, WALL, FLOOR AND CEILING FINISHES) BY OWNER AND CONTRACTOR UNLESS OTHERWISE SPECIFIED.
 - ALL SUBCONTRACTORS SHALL LEAVE EXTRA MATERIALS FOR PARCHING AND/OR REPAIR OF ALL INTERIOR AND EXTERIOR FINISH MATERIALS TO BE NOT LIMITED TO, FLOORING, WALL COVERINGS, ROOFING, SIDING, ETC. COORDINATE EXACT LIST AND QUANTITY OF MATERIALS REQUIRED WITH OWNER.
 - DESIGN OF ELECTRIC, PLUMBING, AND HVAC SYSTEMS BY OTHER CONSULTANTS OR CONTRACTORS. VERIFY MUNICIPAL REQUIREMENTS AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE FOR ALL HVAC EQUIPMENT, AND CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION AND FLUORESCENT LAMPS AND BALLASTS.
 - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITIONS AVAILABLE TO THE CONTRACTOR.
 - THESE DOCUMENTS DO NOT PURPORT TO SHOW ALL ITEMS AND PROCEDURES REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT, IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION. NO ADJUSTMENT WILL BE MADE TO THE CONTRACT SUM OR TIME OF COMPLETION FOR FAILURE TO INCLUDE ANY PORTION OF THE WORK WHERE SUCH UNCLUSION MAY BE REASONABLY INFERRED FROM THE CONTRACT DOCUMENTS.
- SITE WORK:**
- SITE WORK SHALL INCLUDE ALL SITE DEMOLITION, CLEARING, EXCAVATION, FILLING, GRADING, DRAINAGE, AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
 - CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND, OWNER/ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
 - BEFORE COMMENCING CONSTRUCTION OR EXCAVATION ACTIVITIES AT THE SITE, CONTRACTOR SHALL OBTAIN GEOTECHNICAL ASSISTANCE OF A REGISTERED SOILS TESTING LABORATORY. TESTING LABORATORY SHALL MAKE NECESSARY BORINGS, TESTS, AND ANALYSIS OF SOILS AT LOCATIONS AND ELEVATIONS PERTINENT TO THE PROJECT OF PREPARATIONS OF A SOILS TEST AND RECOMMENDATIONS REPORT.
 - IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED IN ADDITION TO THE CONTRACT.
 - CONTRACTOR SHALL EXTEND ASPHALT DRIVEWAY AND PARKING AREA TO NEW ADDITION. DRIVEWAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INDUSTRY STANDARDS.

THERMAL & MOISTURE PROTECTION:

- THE FOLLOWING SPECIFICATION SHALL GOVERN WITH MODIFICATIONS AS SPECIFIED HEREIN: AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) HANDBOOK OF FUNDAMENTALS.
- INSTALL FLASHING AND SHEET METAL IN COMPLIANCE WITH "ARCHITECTURAL SHEET METAL MANUAL" BY SMACNA.
- ALUMINUM FLASHING SHALL CONFORM TO ASTM B 209, AND BE MINIMUM 0.016" THICK STANDARD BUILDING SHEET OF PLAIN FINISH. PROVIDE 6" X 9" MIN. AT ALL STEP FLASHING.
- BACKPAINT FLASHINGS WITH BITUMINOUS PAINT, WHERE EXPECTED TO BE IN CONTACT WITH CEMENTITIOUS MATERIALS OR DISSIMILAR METALS.
- PROVIDE AND INSTALL FLASHING AT ALL ROOF TO WALL CONDITIONS, PROJECTIONS OF WOOD BEAMS THROUGH EXTERIOR WALLS, EXTERIOR OPENINGS, AND ELSEWHERE AS REQUIRED TO PROVIDE WATER/TIGHT/WEATHERPROOF PERFORMANCE.
- SIDING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S PRINTED INSTRUCTIONS AND SHALL INCLUDE ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. MANUFACTURER, STYLE AND COLOR AS SELECTED BY OWNER.
- ROOF VALLEY AND EAVE FLASHING SHALL BE PROVIDED OF NOT LESS THAN 36" WIDE ROLLED MATERIAL AND SHALL EXTEND AT LEAST 18" FROM THE CENTER LINE EACH WAY AND SHALL HAVE THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4".
- WARM AREAS: ICE AND WATER SHEILD AT ALL EDGE AND VALLEY CONDITIONS TO 24" INSIDE "HEATED WALL".
- COLD AREAS: 90 LBS. (MIN.) UNPERFORATED ASPHALT FELT.
- C. ALL OTHER AREAS: 15 LB. (MIN.) UNPERFORATED ASPHALT FELT.
- ASPHALT SHINGLES (25 YEARS) SHALL BE FASTENED ACCORDING TO MANUFACTURER'S PRINTED INSTRUCTIONS, BUT NOT LESS THAN TWO (2) NAILS PER EACH SHINGLE. EXPOSURE 5" FOR 16" SHINGLE, 5 1/2" FOR 18" SHINGLE, AND 7 1/2" FOR 24" SHINGLES. PROVIDE ONE LAYER OF 15 LB. (MIN.) BUILDING FELT UNDER SHINGLES UNLESS NOTED OTHERWISE. MANUFACTURER, STYLE AND COLOR AS SELECTED BY OWNER.
- ENCLOSED ATTIC SPACES AND ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 2/3 OF ONE PERCENT (1%) OF THE HORIZONTALLY PROJECTED ROOF AREA, OR 1/3 OF ONE PERCENT (1%) IF AT LEAST FIFTY PERCENT (50%) OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. PROVIDE CONTINUOUS SHINGLED RIDGE VENTS INSTALLED TO MANUFACTURER'S PRINTED INSTRUCTIONS. MANUFACTURER, STYLE AND COLOR AS SELECTED BY OWNER.
- PROVIDE AND INSTALL KRAFT FACED GLASS FIBER BATT INSULATION WITH AN INSULATION-ONLY VALUE OF R-49 IN ROOF OR CEILING AND 5 1/2" THICK KRAFT FACED GLASS FIBER BATT INSULATION WITH AN INSULATION-ONLY VALUE OF R-21 IN 2 X 6 EXTERIOR WALLS OF HEATED SPACE. PROVIDE AND INSTALL SPRAY FOAM INSULATION WITH AN INSULATION- ONLY VALUE OF R-49 IN VALLETED CEILING.
- PROVIDE AND INSTALL BATT INSULATION AT WINDOW SHIM SPACES.
- FIT INSULATION TIGHT WITHIN SPACES AND TIGHT TO AND BEHIND MECHANICAL AND ELECTRICAL SERVICES WITHIN THE PLANE OF INSULATION. LEAVE NO GAPS OR VOIDS.
- PROVIDE AND INSTALL A 6 MIL POLYETHYLENE VAPOR BARRIER COMPLYING WITH ASTM D2193 AT EXTERIOR WALLS, WINDOWS AND DOORS OF ALL HEATED SPACES. EQUAL TO TYVEK "HOUSE WRAP".
- CAULK IN JOINTS AROUND OPENINGS TO PROVIDE A WATER/TIGHT AND AIR/TIGHT SEAL. CLEAN JOINTS THOROUGHLY. AREAS ADJACENT TO JOINTS SHALL BE MASKED IF NECESSARY TO OBTAIN A NEAT SEALER LINE. FREE OF STAINS ON ADJACENT SURFACES. JOINTS GREATER THAN 3/8" IN DEPTH SHALL BE FILLED WITH BACK-UP MATERIAL.
- ALL LOCATIONS INDICATED ON DRAWINGS AND WHEREVER AIR, WATER, OR DUST MAY INFILTRATE BETWEEN CONSTRUCTION MEMBERS SHALL BE CAULKED. SET EXTERIOR EDGES OF ALL EXTERIOR THRESHOLDS IN CAULKING TO PROVIDE WEATHER TIGHT SEAL.
- PROVIDE SEAMLESS GUTTERS AND 2" X 3" DOWNSPOUTS TO SPLASH BLOCKS, AS SELECTED BY OWNER. INCLUDE ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. VERIFY LOCATION OF DOWNSPOUTS IN FIELD WITH OWNER.
- PROVIDE AUTOMATIC OR GRAVITY DAMPERS AT ALL OUTDOOR AIR INTAKES AND EXHAUSTS.

FIREPLACES:

- VENTED GAS FIREPLACES SHALL BE LISTED, LABELED AND INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. C242.04 OF THE 2020 RONS AND THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR.

STAIRWAYS:

- STAIRWAYS SHOULD BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 10" DEEP. RISERS SHALL BE NO MORE THAN 7 3/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R317.7 OF 2020 RONS.
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TO SURFACE OF HANDRAILS SHALL BE BETWEEN 34" AND 38" ABOVE TREAD NOSING.
- GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT BE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITH IN 28" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.
- REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.
- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3.

FOUNDATION NOTES:

- FOUNDATIONS HAVE BEEN DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF 3,000 PSF. TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- FOUNDATIONS SHALL BEAR ON UNDISTURBED STABLE NATURAL SUBGRADE OR STABLE STRUCTURAL FILL PLACED ON STABLE NATURAL SUBGRADE.
- CONSTRUCT FOOTINGS ON STABLE SUBGRADE, FREE OF LOOSE OR DISTURBED MATERIAL.
- UNBALANCED BACK FILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS AND PIERS UNLESS WALLS AND PIERS ARE SECURELY BRACED AGAINST MOVEMENT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF GROUNDWATER AND SURFACE RUNOFF.

CAST IN PLACE CONCRETE NOTES:

- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301 AND 318.
- CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28-DAY COMPRESSIVE STRENGTHS AS FOLLOWS:
A. SLAB-ON-GRADE - 4,000 PSI
B. CONCRETE NOT OTHERWISE NOTED - 3,000 PSI
- PERIMETER/EXTERIOR CONCRETE SHALL HAVE 6% +/- 1.5% ENTRAINED AIR.
- REINFORCING MATERIALS SHALL BE AS FOLLOWS:
A. REINFORCING BARS - ASTM A 615, GRADE 60, DEFORMED.
B. WELDED WIRE REINFORCEMENT - ASTM A 195, WELDED STEEL WIRE REINFORCEMENT, SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE.
- ALL REINFORCING AND EMBEDDED ITEMS SHALL BE ACCURATELY PLACED AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEFORE PERMITTED TOLERANCES.
- LAP CONTINUOUS REINFORCING STEEL BARS 57 X BAR DIAMETER, TYPICAL UNLESS OTHERWISE NOTED.
- PROVIDE SLAB JOINTS AT 15 FEET ON CENTER EACH WAY MAXIMUM WITH A MAXIMUM ASPECT RATIO OF 1 TO 1.5.

CONCRETE MASONRY NOTES:

- CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) 530.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 AND SHALL BE MADE WITH LIGHTWEIGHT AGGREGATE, MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE 2,000 PSI AT 28 DAYS.
- COMPRESSIVE STRENGTH OF MASONRY SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD AS SET FORTH IN ACI 530.1. THE NET AREA COMPRESSIVE STRENGTH OF MASONRY, F.M. SHALL BE 2,000 PSI AT 28 DAYS.
- MORTAR SHALL BE TYPE M OR S AND SHALL COMPLY WITH ASTM C270 PROPORTIONS OR PROPERTIES SPECIFICATION.
- GROUT SHALL COMPLY WITH ASTM C 476 PROPERTIES SPECIFICATION, AND SHALL BE PROPORTIONED TO OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 2,000 PSI.
- REINFORCING BARS - ASTM A 615, GRADE 60, DEFORMED.

ROUGH CARPENTRY NOTES:

- ROUGH CARPENTRY SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPERS ASSOCIATION - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- UNLESS OTHERWISE NOTED MATERIALS AND FASTENING SHALL CONFORM WITH THE MINIMUM REQUIREMENTS AND FASTENING SCHEDULES INDICATED IN THE INTERNATIONAL RESIDENTIAL CODE, 2015.
- LVL, PSL, AND TJI SHALL BE AS MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL TO TYVEK "HOUSE WRAP".
- ALL WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER, ALL SILL PLATES, AND ALL PORCH FRAMING SHALL BE PRESERVATIVE TREATED.
- METAL FRAMING ANCHORS, HOLD DOWNS, HURRICANE TIES, HANGERS, ETC. SHALL COMPLY WITH ASTM A 653 AND BE CAPABLE OF SUPPORTING THE REACTIONS SHOWN.
- WHERE MULTIPLE FRAMING MEMBERS ARE INDICATED, SCAB CONTINGENT MEMBERS TOGETHER WITH 160 COMMON NAILS (WOOD) - 3/16" DIAMETER TUBER SCREWS (LVL) AT 12 INCHES ON CENTER ALTERNATING AT 2 INCHES FROM EACH EDGE. MEMBERS SHALL ONLY SPLICE AT THE CENTERLINE OF SUPPORTS, UNLESS OTHERWISE NOTED. SPLICES ARE NOT PERMITTED IN CANTILEVERED MEMBERS AND MEMBERS INDICATED AS CONTINUOUS.
- PROVIDE BRACING BETWEEN EACH FLOOR JOIST AND ROOF RAFTER AT 8'-0" ON CENTER AND AT A MINIMUM OF AT MID SPAN.
- ALL CONNECTION HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360.
- STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
A. STRUCTURAL STEEL SHAPES, PLATES AND BARS (EXCEPT W-SHAPES) - ASTM A 36, Fy = 36 KSI
B. STRUCTURAL STEEL W-SHAPES - ASTM A 992/A572, GRADE 50, Fy = 50 KSI
C. HOLLOW STRUCTURAL SHAPES (HSS); SQUARE AND RECTANGULAR - ASTM A 500, GRADE C, Fy = 50 KSI
ROUND - ASTM A 53, GRADE B, Fy = 42 KSI
D. ANCHOR RODS - ASTM F 1554, GRADE 36
E. HIGH STRENGTH BOLTS - ASTM A325 (TYPICAL UON)
G. WASHERS - ASTM F 436
H. NUTS - ASTM A 563
- UNLESS OTHERWISE NOTED, CONNECTIONS SHALL BE AISC "STANDARD FRAMED BEAM CONNECTIONS" WITH ASTM A 325 BOLTS, DESIGNED FOR ONE-HALF THE UNIFORM LOAD CONSTANTS FOR LATERALLY SUPPORTED BEAMS GIVEN IN PART 3 OF THE "STEEL CONSTRUCTION MANUAL".
- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1, "STRUCTURAL WELDING CODE - STEEL" WELD ELECTRODES SHALL BE E70XX LOW HYDROGEN, UNLESS OTHERWISE NOTED. PROVIDE CONTINUOUS FILLET WELDS WITH MINIMUM SIZE REQUIRED BY TABLE J2.4, PART 16 OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360.
- STEEL MEMBERS SHALL BE SPLICED ONLY WHERE INDICATED. CONTINUOUS MEMBERS SHALL BE SPLICED OVER SUPPORTS, UNLESS OTHERWISE NOTED. MEMBERS INDICATED AS DIAPHRAGM CHORDS (DC) SHALL HAVE FULL PENETRATION BUTT WELD SPLICES, UNLESS OTHERWISE NOTED.

DESIGN DATA:

PER RESIDENTIAL CODE AND ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (GREATER ROCHESTER AREA AND ADJ. COUNTIES) - ZONE 5

ROOF (LIVE LOAD),	40 PSF
ROOF (DEAD LOAD),	10 PSF WITH ROOF STRUCTURW ONLY / 20 PSF FOR ADDITIONAL CEILING FRAMING IF REQUIRED
FIRST FLOOR (LIVE LOAD),	40 PSF
FIRST FLOOR (DEAD LOAD),	20 PSF
SECOND FLOOR (LIVE LOAD),	40 PSF
SECOND FLOOR (DEAD LOAD),	20 PSF
BALCONY (LIVE LOAD),	40 PSF
OPEN DECK (LIVE LOAD PLUS SNOW LOAD),	80 PSF
GROUND (SNOW LOAD),	40 PSF
ROOF (SNOW LOAD),	40 PSF
PRESUMPTIVE SOIL BEARING,	3,000 PSF AT MIN. 42 INCHES BELOW FINISHED GRADE
WIND SPEED,	115 MPH, EXPOSURE B
SEISMIC DESIGN CATAGORY,	B
WEATHERING,	SEVERE
FROST LINE DEPTH,	42 INCHES
TERMITE DAMAGE,	SLIGHT TO MODERATE
WINTER DESIGN TEMP,	1 DEGREE
ICE SHELD UNDERLAYMENT,	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD,	FIRM 1992
ROOF TIE DOWN REQUIREMENTS,	R802.11 BASED ON SPECIFIC ROOF DESIGN

DOORS AND WINDOWS:

1. REFERENCE STANDARDS FOR DOORS AND WINDOWS SHALL BE AS FOLLOWS:

- UNDERWRITER'S LABORATORIES, INC. - BUILDING MATERIAL DIRECTORY
- NATIONAL FIRE PROTECTION ASSOCIATION: PAMPHLET NO. 80 - STANDARD FOR FIRE DOORS AND WINDOWS.
- NATIONAL WOODWORK MANUFACTURERS ASSOCIATION: I.S., 1078: WOOD FLUSH DOORS
- ASTM E 283, ASTM E 331.

- GLAZING IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT SUCH AS FRAMELESS GLASS DOORS, GLASS ENTRANCES AND EXIT DOORS, FIXED GLASS PANELS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES, AND STORM DOORS SHALL MEET THE REQUIREMENTS SET FORTH IN THE RESIDENTIAL CODE OF NEW YORK STATE AND THE SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIAL (16 CFR 1201). ALL GLAZED PANELS LOCATED WITHIN 12" OF A DOOR WHICH MAY BE MISTAKEN FOR OPENINGS FOR HUMAN PASSAGE, UNLESS SUCH PANELS ARE PROVIDED WITH A HORIZONTAL MEMBER 1 1/2" MINIMUM IN WIDTH LOCATED BETWEEN 24" AND 36" ABOVE THE WALKING SURFACE, SHALL BE TEMPERED GLASS.

- INTERIOR DOORS, HARDWARE STYLE AND FINISH/COLOR AS SELECTED BY OWNER.

- ALL WINDOW UNITS SHALL BE OF HIGH-PERFORMANCE, WOOD CONSTRUCTION IN STANDARD CASEMENT, DOUBLE HUNG, AWNING, AND FIXED UNIT SIZES. PROVIDE INSULATING LOW E II GLASS/ARGON, REMOVABLE SCREENS, AND EXTENSION JAMBS AS REQUIRED (EQUAL TO ANDERSEN 400-SERIES)
- MAIN ENTRY DOOR TO BE SELECTED BY OWNER. ALL OTHER EXTERIOR DOORS SHALL BE INSULATED FIBERGLASS, PRE-PRIMED AND PRE-HUNG (THERMA-TRU OR EQUIVALENT), FINAL MANUFACTURER, STYLE, HARDWARE STYLE AND FINISH/COLOR AS SELECTED BY OWNER.

MECHANICAL:

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL PLUMBING, RELATED FIXTURES, VENTILATIONS, HEATING AND AIR CONDITIONING. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL OTHER TRADES. TERMINAL HOOKUP IS REQUIRED. CONTRACTOR SHALL INSTALL AND CHECK ALL PRESSURE REDUCING VALVES, POP OFF VALVES AND OTHER SAFETY DEVICES PRIOR TO OPERATIONS OF SYSTEM.

ELECTRICAL:

- CONTRACTOR SHALL PROVIDE AND INSTALL ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL WIRING, RELATED FIXTURES, ELECTRIC HEAT ELEMENTS, AND CONTROL. ALL WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE AND STATE AND LOCAL CODES AND ORDINANCES. SUBCONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES. TERMINAL HOOKUP IS REQUIRED OF ALL FIXTURES AND APPLIANCES, MOTORS, FANS, AND CONTROLS.

DRAWING LIST

ARCHITECTURAL
A-1 SITE PLAN, DEMO PLAN, FLOOR PLANS,
ROOF PLAN
A-2 EXTERIOR ELEVATIONS AND SECTIONS

AIR BARRIER AND INSULATION INSTALLATION

TABLE N1102.4.1 (R402.4.1)

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED. THE THERMAL ENVELOPE CONTAINS A CONT. AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN A DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE THERMAL ENVELOPE SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY CONCRETE FILLING. THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF NOT LESS THAN 0.5 PER INCH. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND JOINT ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN FRAMING AND SKYLIGHTS, AN THE JAMBS OF WINDOWS AND DOORS, SHALL BE SEALED.	RM JOISTS SHALL BE INSULATED.
RM JOISTS	RM JOISTS SHALL INCLUDE AN AIR BARRIER.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. ALTERNATIVELY, FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SOLE OF SHEATHING OR CONT. INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING, AND EXTENDING FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
FLOORS INCLUDING CANTILEVERED FLOORS AND/DOORS ABOVE GARAGES	FLOOR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	INSULATION SHALL BE PERMANENTLY ATTACHED TO WALLS.
CHIMNEY SPACE WALLS	EXPOSED EARTH UNFINISHED CHIMNEY SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	CHIMNEY SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE PERMANENTLY ATTACHED TO WALLS.
SHAFTS, PENETRATIONS	DUCTS, SHAFTS, UTILITY PENETRATIONS, AND FLUE SHIFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION RADII CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	-	-
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND UNCONDITIONED SPACE.	-
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE.	RECESSED LIGHT FIXTURE INSTALLED IN THE BUILDING ENVELOPE SHALL BE AIR/TIGHT AND WATER/TIGHT.
PLUMBING AND WIRING	-	IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING OR INSULATION THAT ON INSTALLATION, RADII CONFORMS TO AVAILABLE SPACE. SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS TO SHOWERS AND TUBS SHALL SEPARATE THE WALL FROM THE SHOWER OR TUB.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX / EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES. ALTERNATIVELY, AIR-SEALED BOXES SHALL BE INSTALLED.	-
HVAC REGISTER BOOTHS	HVAC SUPPLY AND RETURN REGISTER BOOTHS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE EXTERIOR WALL COVERING OR CEILING PENETRATED BY THE BOOT.	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUF. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN THE SPRINKLER COVER PLANS AND WALLS AND CEILING.
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUF. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN THE SPRINKLER COVER PLANS AND WALLS AND CEILING.	-

MATERIAL LEGEND

	Stone / Cast Stone
	Concrete Masonry Units
	Concrete
	Earth
	Crushed Stone or Gravel
	Sand or Cyp. Bd.
	Rigid Insulation
	Fiberglass Batt Insulation
	Dimensional Lumber
	Non-Dimensional Lumber

ENERGY CODE COMPLIANCE PATH:

THIS PROJECT IS DESIGNED TO COMPLY WITH THE "PERSCRIPTIVE" ENERGY CODE COMPLIANCE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS, NECESSARY AND IN A MANNER TO COMPLY WITH THE "PERSCRIPTIVE" REQUIREMENTS SECTION N1102 OF THE 2020 ENERGY CODE.

CLIMATE ZONE 5A - MIN. R / VALUES FROM TABLE N1102.1.2

FENESTRATION	MAX U VALUE = 0.30
CEILING	MIN R VALUE = 49 / 38 EXCEPTION
WOOD FRAMED WALLS	MIN R VALUE = 21
FLOOR	MIN R VALUE = 30
BASEMENT WALL	MIN R VALUE = 15 (CONT.)

CLIMATE ZONE 5A - EQUIVALENT UFACTORS FROM TABLE N1102.1.4

CEILING	U FACTOR = .026 OR R=38
U-VALUE & R-VALUE CONVERSION (U=1/R AND (R=1/U)	

N1102.2.1 CEILINGS WITH ATTIC SPACES. WHERE SECTION N1102.1.2 WOULD REQUIRE R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100% OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQ. FOR R-49 INSULATION WHERE EVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U FACTOR ALTERNATIVE APPROACH IN SECTION N1102.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION N1102.1.5.



EXPIRES 11/30/2027

REBECCA
BARONE
ARCHITECTURE

rb

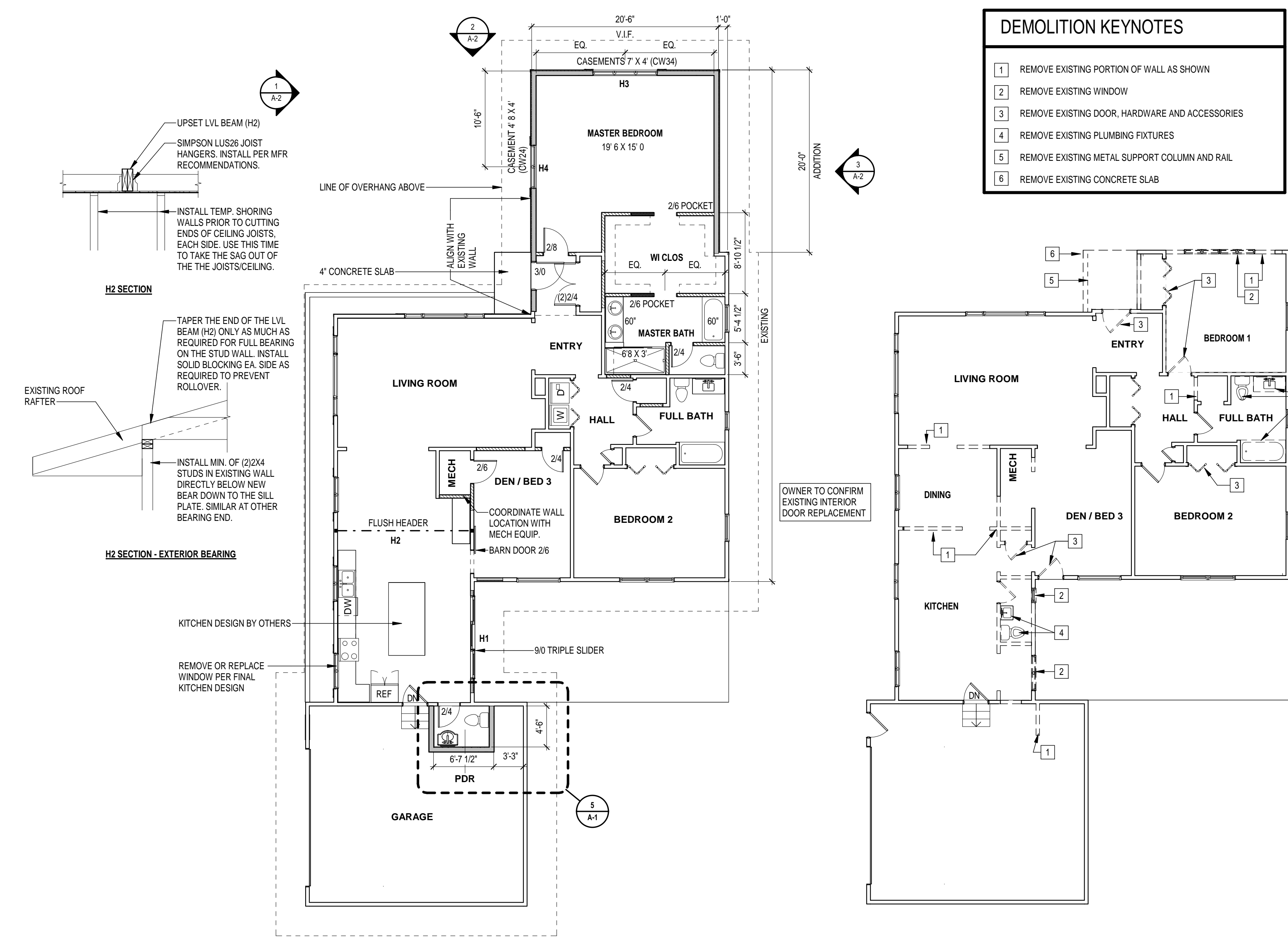
857 Rolins Run, Webster, NY 14580
rebeccabaronearchitect@gmail.com
585.267.6970

MINEO RENOVATION AND ADDITION

PROJECT NO.: 2024-11-03
PROJECT DATE: JANUARY 13, 2025

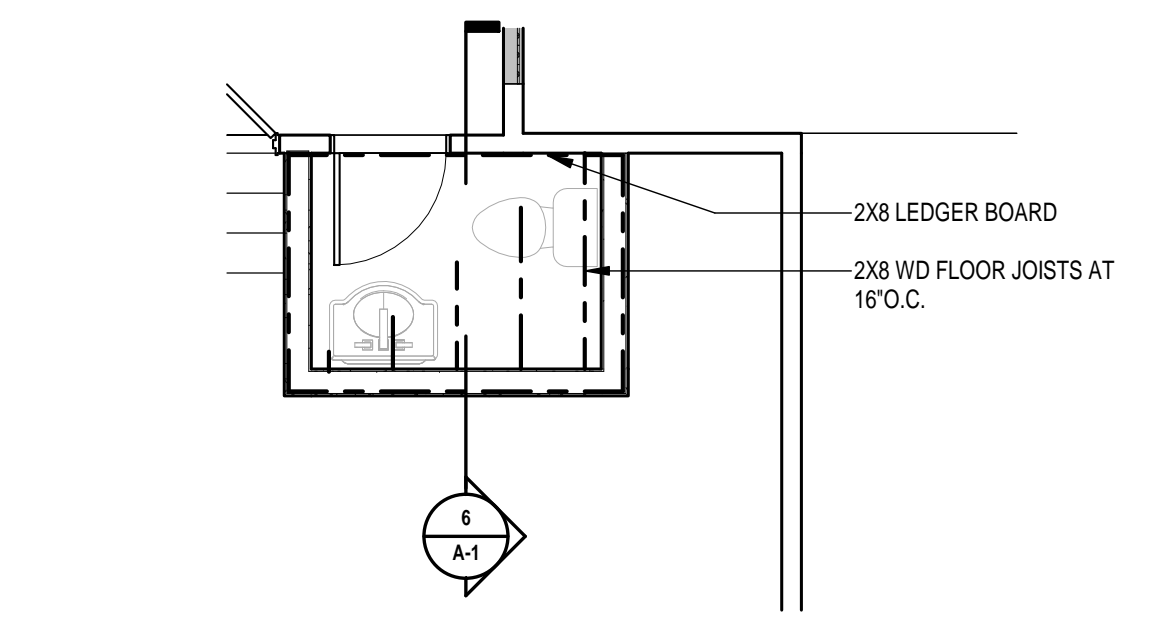
SHEET SIZE: 24" X 36" DO NOT SCALE

PERMIT SET

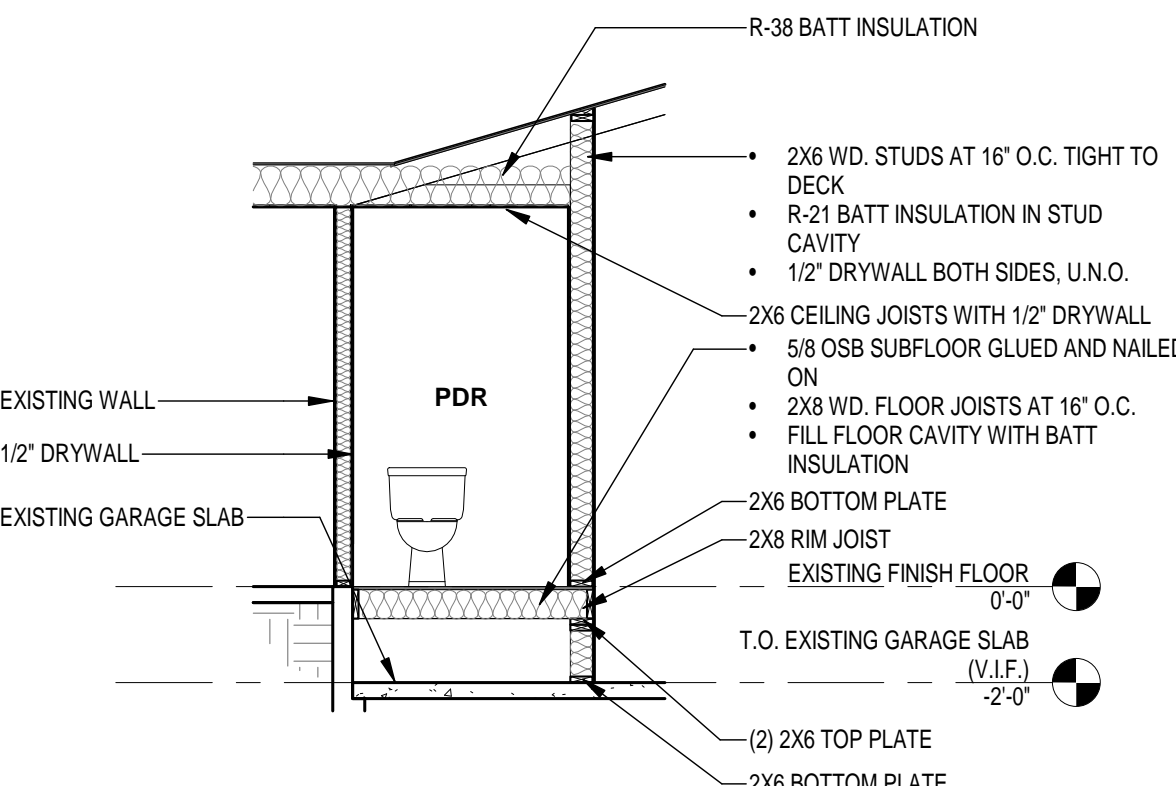


3 FIRST FLOOR PLAN
1/8" = 1'-0"

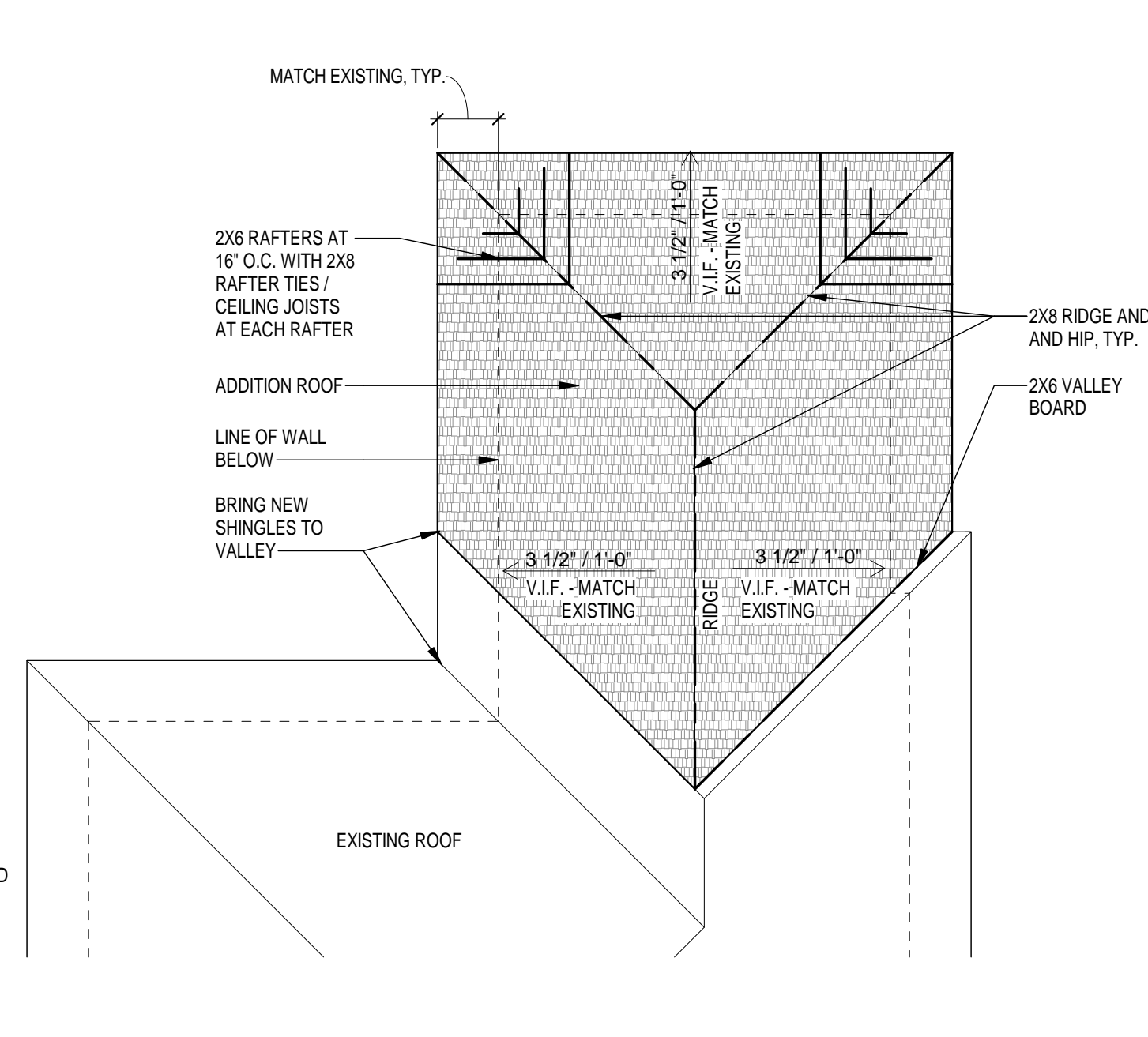
1 DEMOLITION PLAN
1/8" = 1'-0"



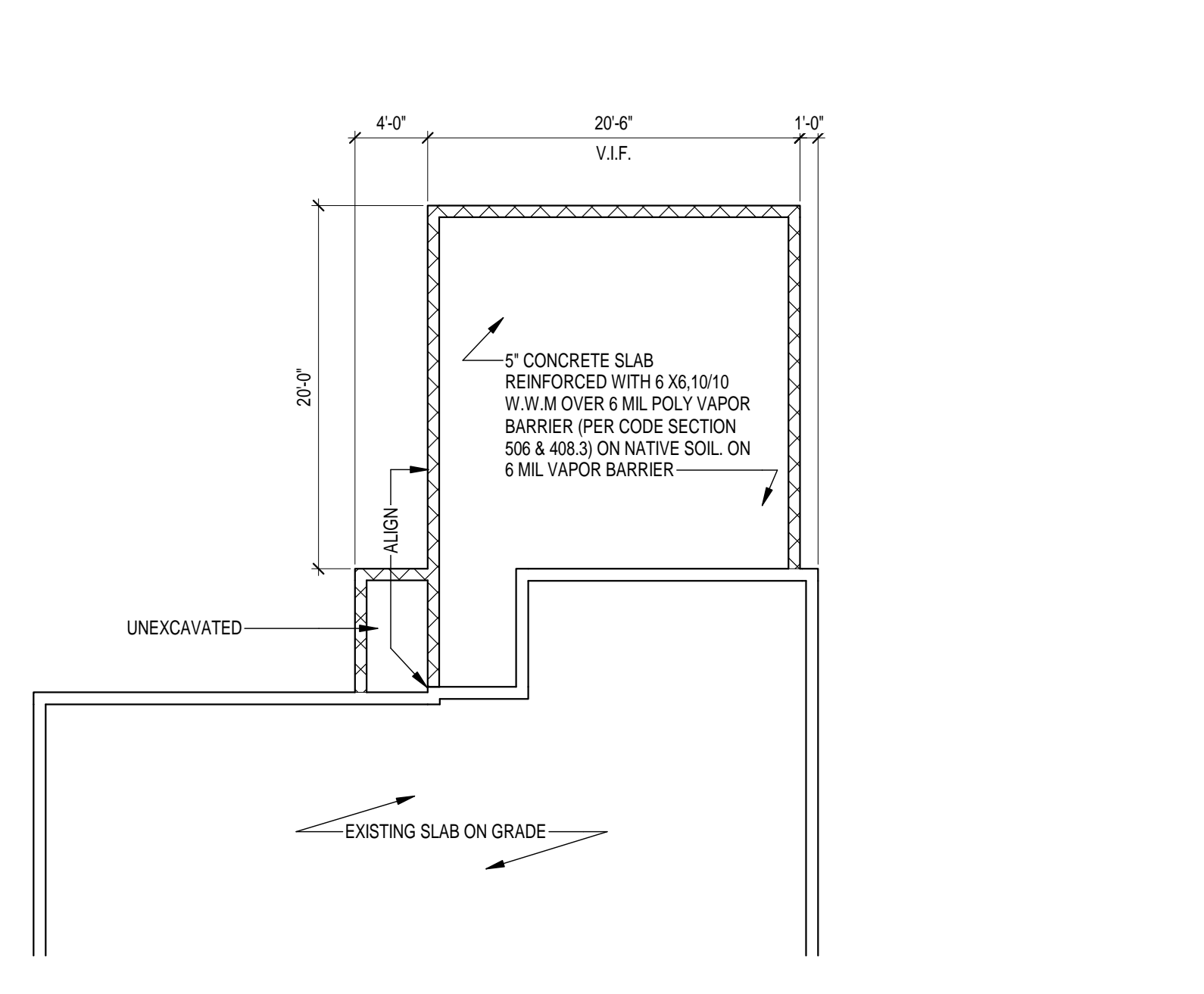
5 POWDER ROOM FRAMING PLAN
1/4" = 1'-0"



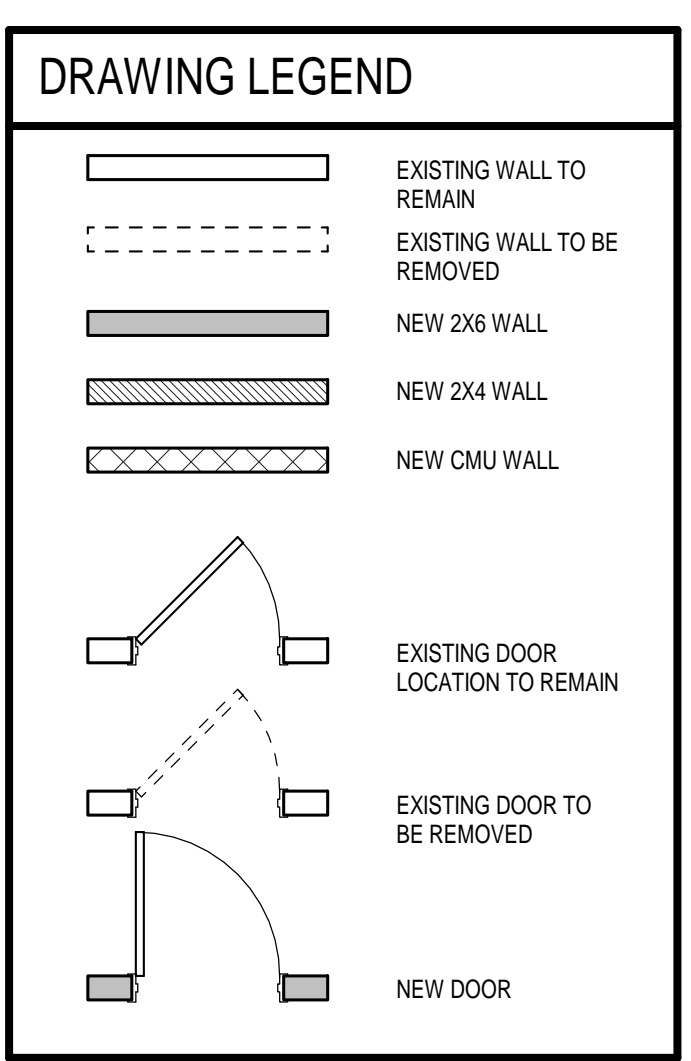
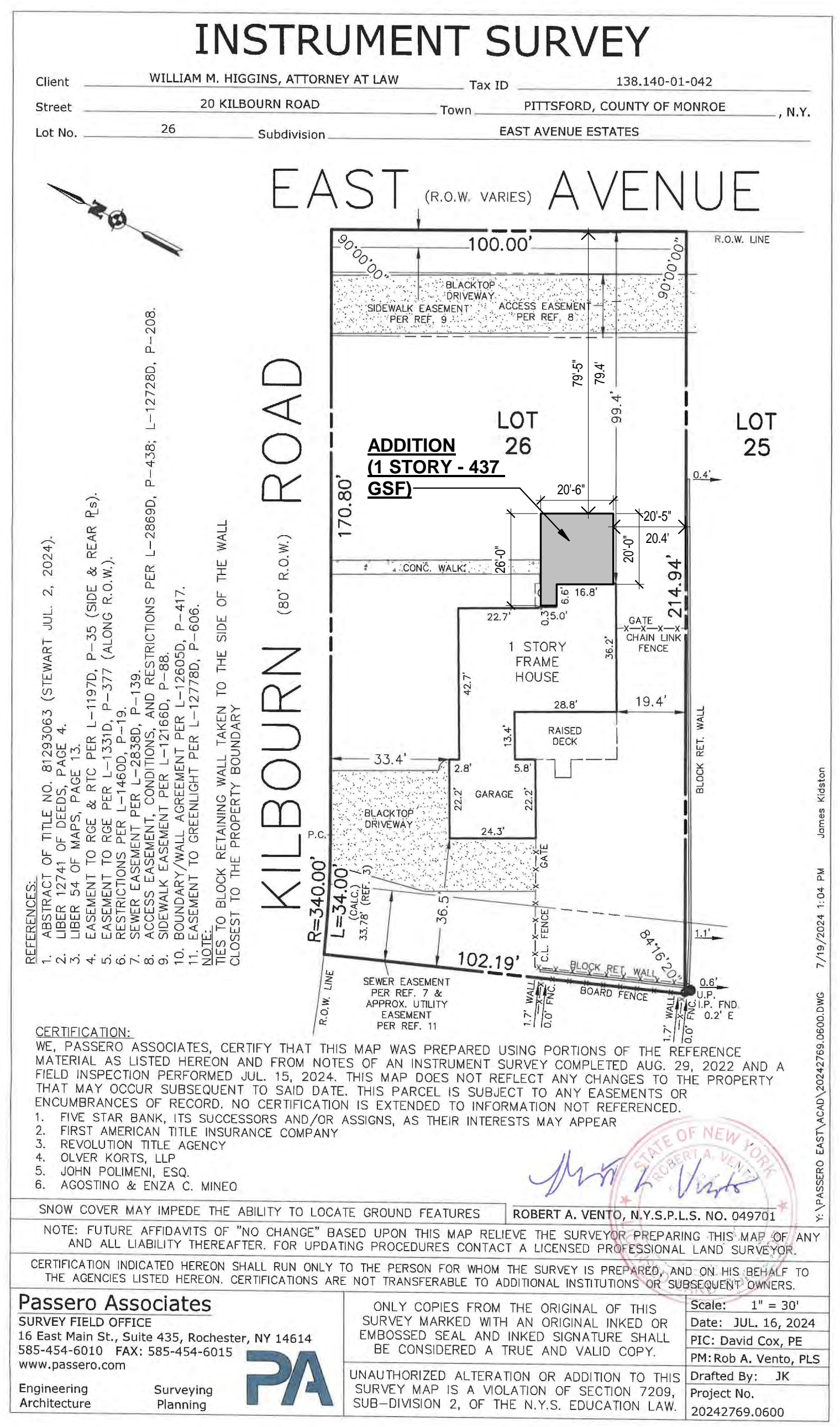
6 SECTION AT NEW PDR ROOM
1/4" = 1'-0"



4 ADDITION ROOF PLAN
1/8" = 1'-0"



2 FOUNDATION PLAN
1/8" = 1'-0"



HEADER SCHEDULE
HF #2 OR BETTER

MARK	SIZE	JACK (EACH SIDE)	KING(EACH SIDE)
H1	(2) 2X12	2-STUDS	2-STUDS
H2	(2) 1.75"X7.25" 2.0E LVL FLUSH HEADER	2-STUDS MIN.	NOTE: PROVIDE ROLL-OVER BLOCKING EA. SIDE
H3	(2) 2X8	1-STUD	2-STUDS
H4	(3) 2X6	1-STUD	1-STUD

UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

NOTE:
 PROVIDE (2) 1/2" PLYWD GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" PLYWD GUSSET - 2X4 WALL
 LUMBER IN DIRECT CONTACT WITH MASONRY TO BE PRESSURE TREATED
 PROVIDE (3) SOLID STUDS WHERE SHOWN WITH SOLID BLOCKING TO BELOW

GENERAL NOTES:

- LVL AND TJI PRODUCTS, ACCESSORIES AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS AND PRODUCT LITERATURE. (DESIGN E = 2,000,000)
- CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
- TRUSS LAYOUT, DESIGN AND ENGINEERING TO BE PROVIDED BY TRUSS MANUF.
- TRUSSES SHALL CONFORM TO R802.10 OF THE IRC
- INSTALL ICE BARRIER ON ROOF TO COMPLY WITH SECTION R905.1.2. PROVIDE ICE & WATER SHIELD AT ALL ASPHALT SHINGLE ROOFS FROM EAVE EDGE TO 24" BEYOND INSIDE FACE OF EXTERIOR WALL.
- CONTRACTOR TO VERIFY ALL FIELD CONDITION PRIOR TO WINDOW AND MATERIAL ORDER
- SALVAGE ALL EXISTING DOORS FOR REUSE, REPAIR AND PAINT, REFER TO FLOOR PLAN FOR NEW LOCATIONS
- WINDOWS: BASIS OF DESIGN ANDERSEN 400 SERIES, WHITE INTERIOR / WHITE EXTERIOR. HEAD HEIGHTS TO MATCH EXISTING, U.N.O.

DEMO NOTES:

- INFORMATION CONTAINED HERE IS A RESULT OF LIMITED FIELD VERIFICATION. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING THE LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL, PIPING, AND CONDUIT PRIOR TO PROCEEDING WITH THE DEMOLITION WORK.
- IF ANY DISCREPANCIES, INCONSISTENCIES, OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- COORDINATE EXTENT OF DEMOLITION WITH DIMENSIONS OF NEW CONSTRUCTION.
- ALL EXISTING PERSONAL PROPERTY TO BE REMOVED BY OTHERS PRIOR TO DEMOLITION.
- ALL REMAINING ITEMS ARE THE PROPERTY OF THE OWNER. G.C. SHALL COORDINATE WITH OWNER'S REPRESENTATIVE THE SALVAGE OF FIXTURES, FURNISHINGS, DOORS & MISCELLANEOUS EQUIPMENT AND STORE UNTIL FURTHER DIRECTION BY OWNER.
- REMOVE ALL (E) PLUMBING FIXTURES AND LINES NOT BEING USED BACK TO A CONCEALED LOCATION AND CAP.

REBECCA BARONE ARCHITECTURE
 857 Rollins Run, Webster NY 14580
 rbaronearchitect@gmail.com
 585.267.6970

PERMIT SET

REVISIONS:
 NUMBER DATE ISSUED BY DESCRIPTION

PROJECT:
MINEO RENOVATION AND ADDITION
 20 KILBOURN ROAD
 PITTSFORD N.Y. 14618
 OWNER / CLIENT:
AGOSTINO AND ENZO MINEO

DRAWING TITLE:
SITE PLAN, DEMO PLAN, FLOOR PLANS, ROOF PLAN

PROJECT NO.
2024-11-03
 PROJECT DATE:
JANUARY 13, 2025

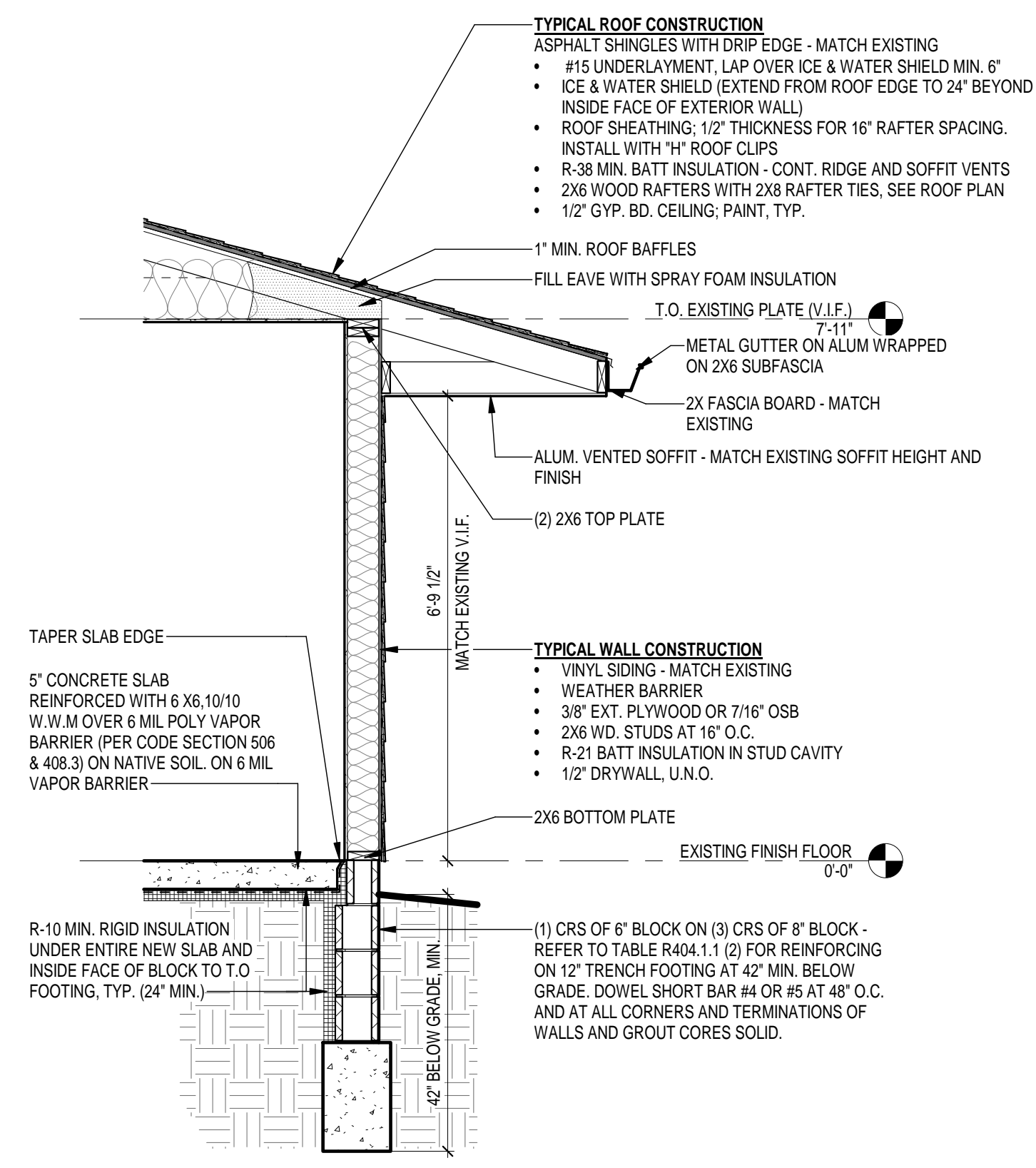
NOTICE:
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF ALTERATIONS.

SHEET SIZE : 24" x 36" DO NOT SCALE

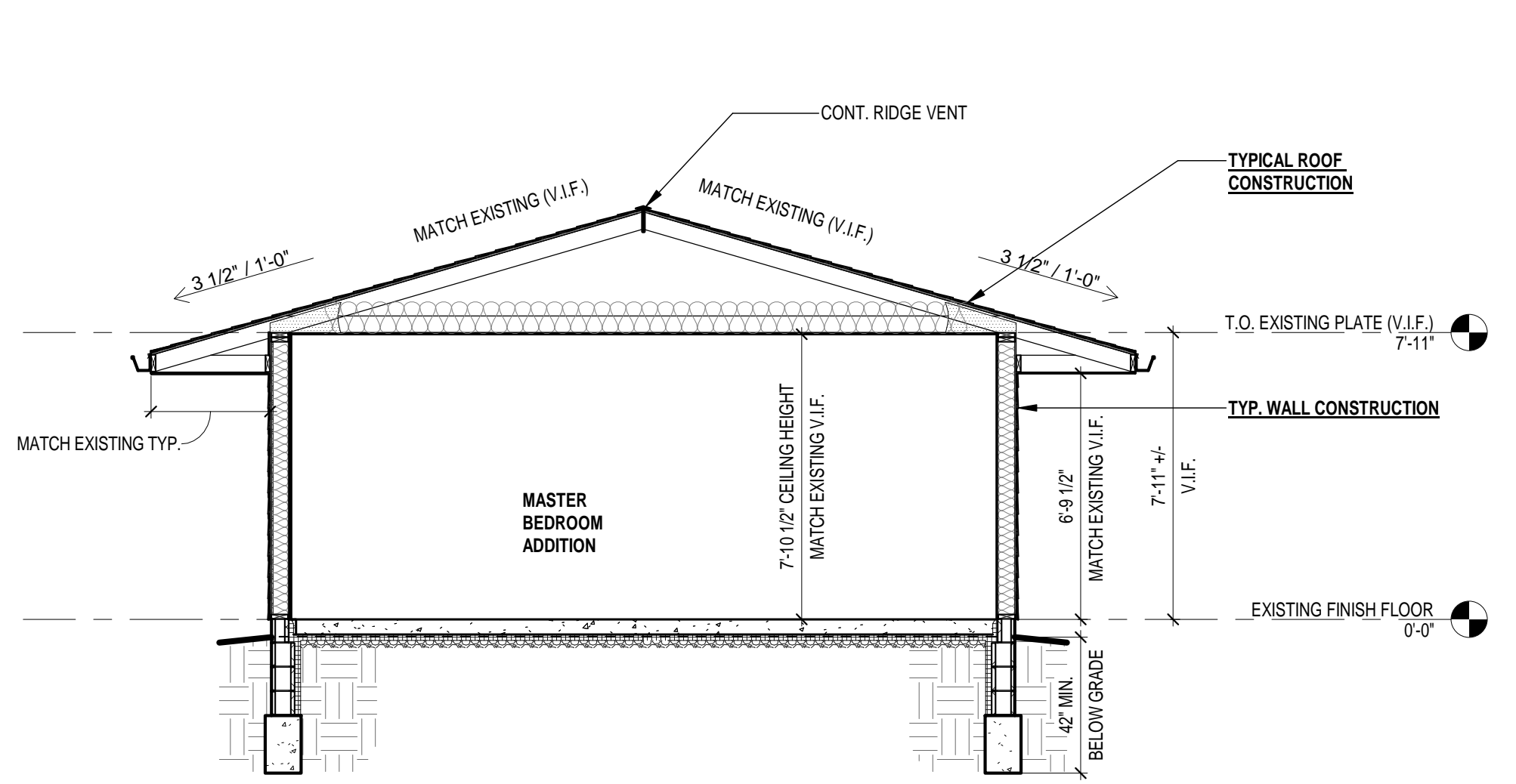
A-1

TABLE R404.1.1(2) 8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d ≥ 5 INCHES^{a, c, f}

MAXIMUM UNSUPPORTED WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^b	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		Soil classes and lateral soil load ^d (psf per foot below grade)			
		GW, GP, SW and SP soils 30	GM, GC, SM, SM-SC and ML soils 45	SC, ML-CL and Inorganic CL soils 60	
6 feet 8 inches	4 feet (or less)	#4 at 48"	#4 at 48"	#4 at 48"	
	5 feet	#4 at 48"	#4 at 48"	#4 at 48"	
	6 feet 8 inches	#4 at 48"	#5 at 48"	#6 at 48"	
7 feet 4 inches	4 feet (or less)	#4 at 48"	#4 at 48"	#4 at 48"	
	5 feet	#4 at 48"	#4 at 48"	#4 at 48"	
	6 feet	#4 at 48"	#5 at 48"	#5 at 48"	
8 feet	4 feet (or less)	#4 at 48"	#4 at 48"	#4 at 48"	
	5 feet	#4 at 48"	#4 at 48"	#4 at 48"	
	6 feet	#4 at 48"	#5 at 48"	#5 at 48"	
8 feet 8 inches	4 feet (or less)	#4 at 48"	#4 at 48"	#4 at 48"	
	5 feet	#4 at 48"	#4 at 48"	#4 at 48"	
	6 feet	#4 at 48"	#5 at 48"	#6 at 48"	
9 feet 4 inches	4 feet (or less)	#4 at 48"	#4 at 48"	#4 at 48"	
	5 feet	#4 at 48"	#4 at 48"	#4 at 48"	
	6 feet	#4 at 48"	#5 at 48"	#6 at 48"	
10 feet	4 feet (or less)	#4 at 48"	#4 at 48"	#4 at 48"	
	5 feet	#4 at 48"	#4 at 48"	#4 at 48"	
	6 feet	#4 at 48"	#5 at 48"	#6 at 48"	



5 TYPICAL WALL SECTION - ADDITION
1/2" = 1'-0"



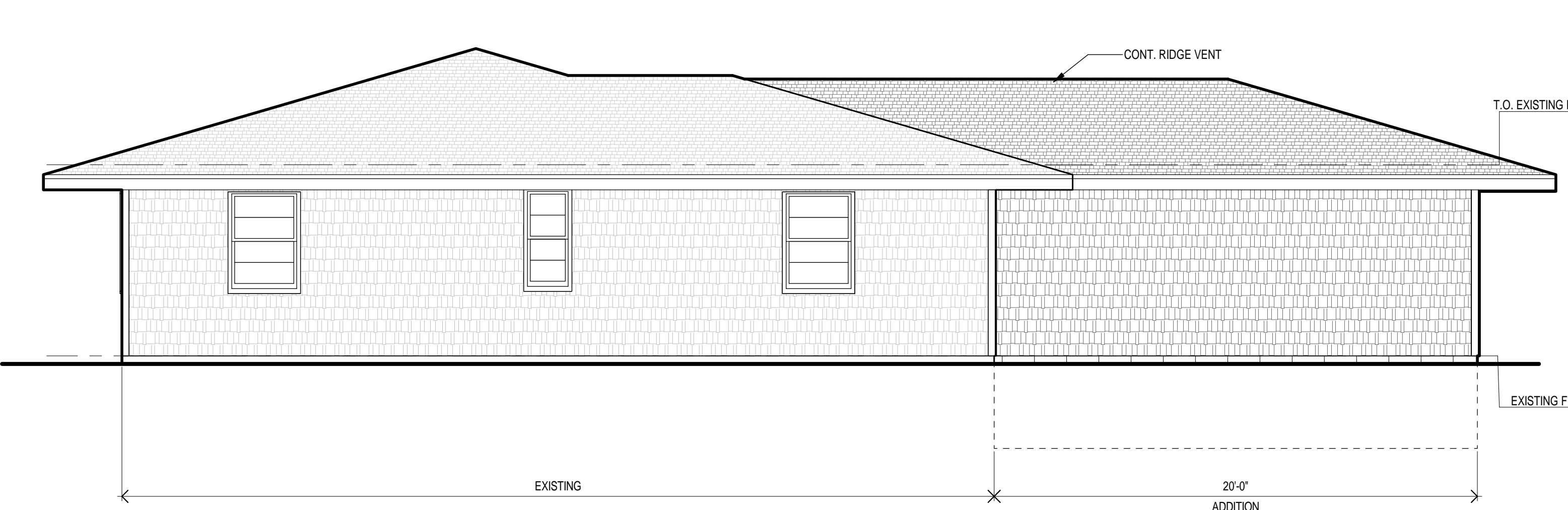
4 BUILDING SECTION - ADDITION
1/4" = 1'-0"



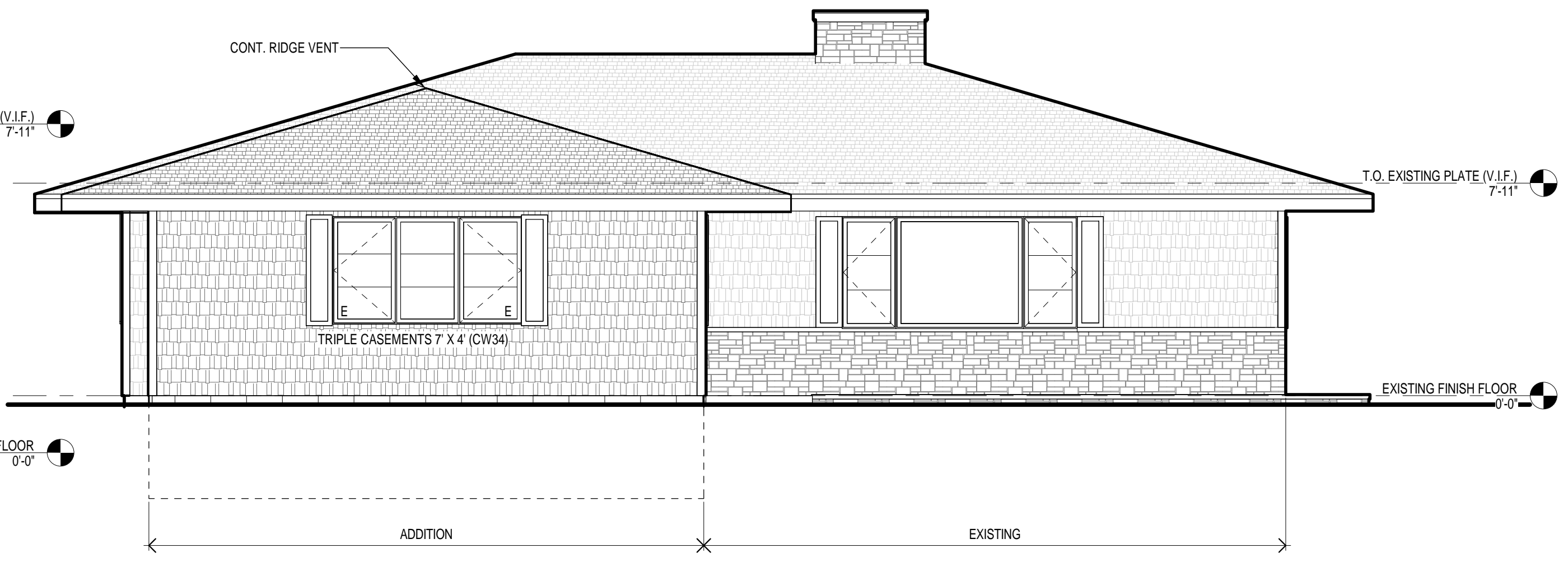
EAST AVENUE ELEVATION (NE) - EXISTING



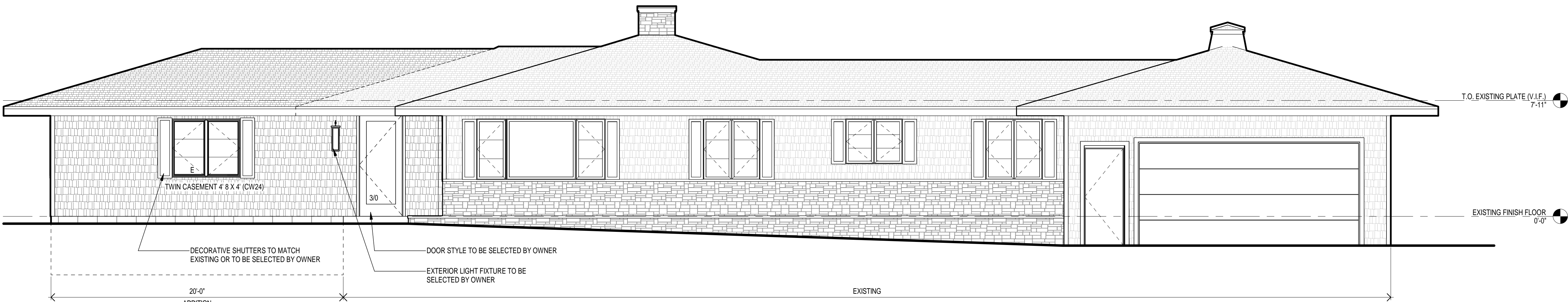
KILBORNE ROAD ELEVATION (NW) - EXISTING



3 SIDE ELEVATION (NORTH)
1/4" = 1'-0"



2 ELEVATION (EAST AVENUE)
1/4" = 1'-0"



1 FRONT ELEVATION (KILBORNE ROAD)
1/4" = 1'-0"

UNLESS OTHERWISE NOTED

ROOFING:
ASPHALT SHINGLES TO BE SELECTED, MATCH EXISTING.

ROOF VENTING:
ONE SQ. FT. NET PER 150 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R806.2 OF THE CODE - N/A FOR GARAGE)

FASCIA:
CORNER BOARDS: MATCH EXISTING
EXTERIOR TRIM AT OPENINGS: MATCH EXISTING
SIDING: VINYL, MATCH EXISTING HOUSE
EAVE OHANGS: MATCH EXISTING
RAKE OHANGS: MATCH EXISTING
PLATE HEIGHT: 7'-11" (+/-) V.I.F. - MATCH EXISTING
GUTTERS AND DOWNSPOUTS: MATCH EXISTING HOUSE
WINDOW SHUTTERS: MATCH EXISTING HOUSE

WINDOW R.O. HEIGHT: MATCH EXISTING
WINDOW MFR: BASIS OF DESIGN: ANDERSEN 400 SERIES

E= EGRESS SIZED - MEETS OR EXCEEDS CLEAR OPENING SIZE FOR EGRESS

REBECCA BARONE ARCHITECTURE
857 Rollins Run, Webster NY 14580
rbaronearchitect@gmail.com
585.267.6970



PERMIT SET

REVISIONS:
NUMBER DATE ISSUED BY DESCRIPTION

PROJECT:
MINEO RENOVATION AND ADDITION
20 KILBOURN ROAD
PITTSFORD N.Y. 14618
OWNER / CLIENT:
AGOSTINO AND ENZO MINEO

DRAWING TITLE:
EXTERIOR ELEVATIONS AND SECTIONS

PROJECT NO.
2024-11-03
PROJECT DATE:
JANUARY 13, 2025

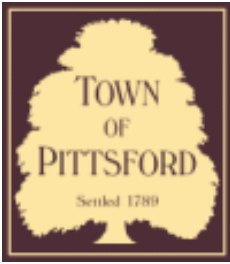
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SHEET SIZE : 24" x 36" DO NOT SCALE

A-2







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000006

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 192 Knickerbocker Road PITTSFORD, NY 14534

Tax ID Number: 164.15-2-39.2

Zoning District: RN Residential Neighborhood

Owner: Ryder, Robert P

Applicant: Ryder, Robert P

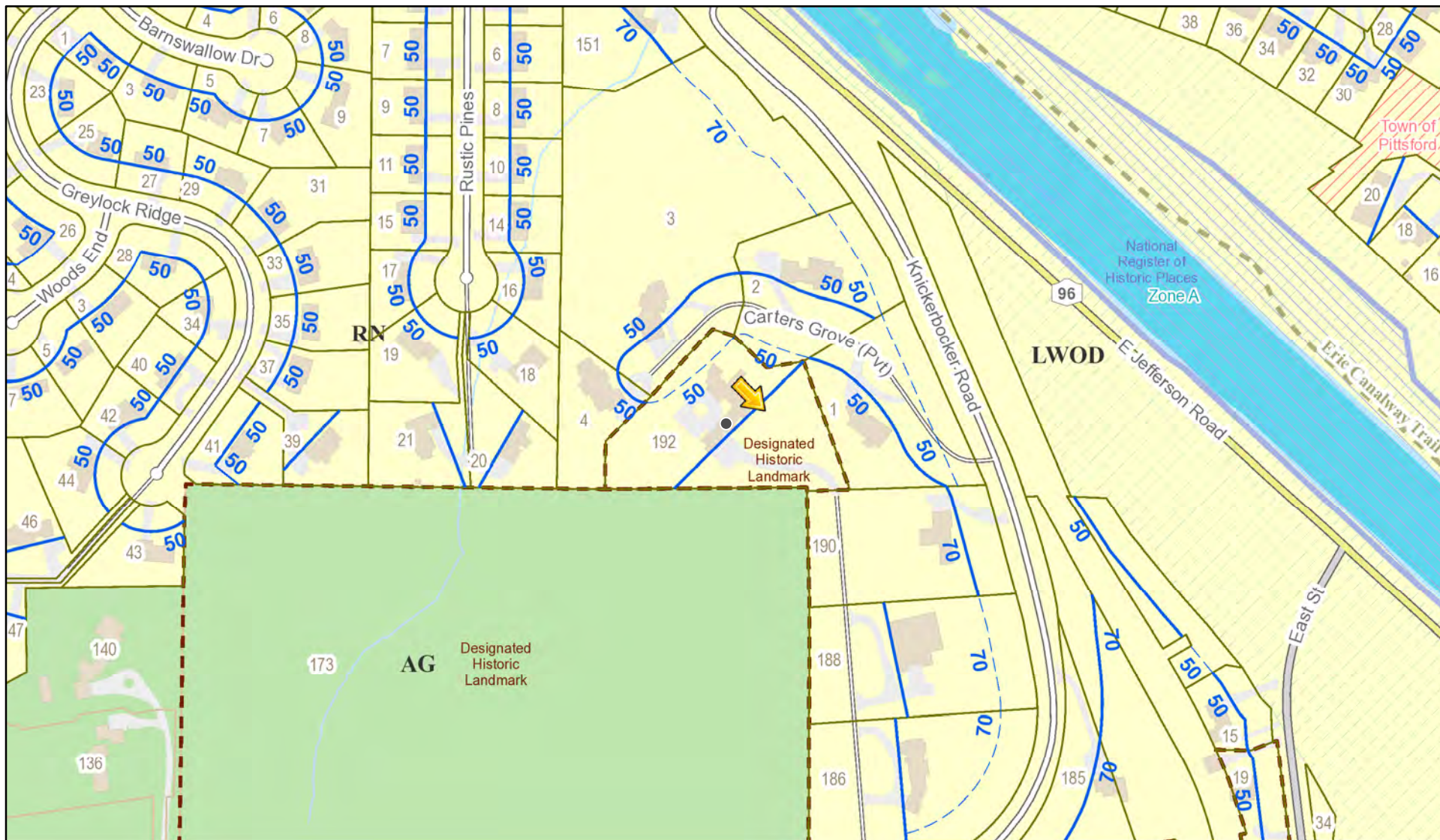
Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

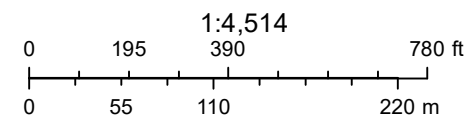
Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the expansion of a detached garage, the addition of a screened porch, the addition of a main entry porch and a kitchen expansion at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: January 23, 2025

RN Residential Neighborhood Zoning



Printed November 21, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

136 100 ft

FIRM Panel
36055C0359G

FIRM Panel
36055C0359G

FIRM Panel
36055C02978G

Nearmap

Zone A



28 33 34 35 37 39 40 41 42 43 44 46

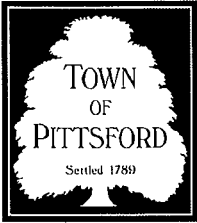
17 16 18 19 20 21

2 1 4 192

190 188 186 185 15 19 173 140

Print Form

Reset Form



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 192 Knickerbocker Road

2. Tax Account Number: 164.150-0002-039.2

3. Applicant's Name: David Crowe

Address: 99 Garnsey Road Phone: 585-514-0223

Pittsford NY 14534 E-mail: dcrowe@djacornersst
City State Zip Code

4. Applicant's Interest in Property:

Owner: Lessee: Holding Purchase Offer:

Other (explain): Client Representative / Consulting Architect

5. Owner (if other than above): Meaghan Larrabee

Address: 22 Lake Lacoma Drive Phone: _____

Pittsford NY 14534 E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: David Crowe

Address: 99 Garnsey Road Phone: 585 514-0223

Pittsford NY 14534 E-mail: dcrowe@djacornersst
City State Zip Code

7. Project Design Professional (if Available): Ty Allen

Address: PO Box 44 Phone: 585-613-5899

Phelps NY 14532 E-mail: Ty@arketondesign.cc
City State Zip Code

[Print Form](#)

[Reset Form](#)

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

The master plan vision for the property includes the rehabilitation of several outdoor spaces, including the arrival court and parking areas, and the pool terrace. The pool terrace renovation will include the repairs and updates to the pool, paving and steps, the addition of a spa, and a future cabana. The master plan also includes a kitchen garden terrace adjacent to the kitchen and identifies the location for a future sports court and detached garage. existing pool, steps, walkways, and pool enclosure fence. The project also proposes construction of a new dining terrace adjacent to the kitchen, as well as a new set of stairs which connects to the

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

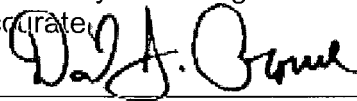
N/A

16. Additional materials submitted with this application (if available):

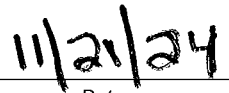
- | | |
|---|--|
| <input checked="" type="checkbox"/> Parcel map | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input checked="" type="checkbox"/> Architectural plans |
| <input checked="" type="checkbox"/> Other materials | Site Master Plan |

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant



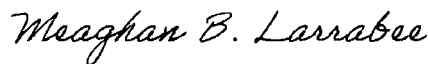
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature:



192 Knickerbocker Rd. Pittsford, NY.

**Design Review and Historic Preservation Review Board
Application for Certificate of Appropriateness
Section 14a Supplemental narrative document**

1. Proposed Garage Expansion:
 - a. Garage expansion consists of an addition to the SW side of the existing garage.
 - b. This addition consists of approximately 1495 sq. ft.
 - c. The height of the proposed addition will be 22', matching and aligning to the existing adjacent garage ridge line.
 - d. Garage expansion will be two stories. The first story will accommodate three (3) car parking bays and general storage. The second story will be utilized for storage.
 - e. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.

2. Existing garage modifications and expansion:
 - a. The existing garage will be expanded on the NW side by approximately 108 sq. ft. This expansion will include a single upward acting door.
 - b. Note that the existing adjacent portico will be expanded by approximately 120 sq. ft. as well. This change will increase the covered area of the exterior walk, but will not increase the size of the interior conditioned space.
 - c. The existing garage door on the SE side of the garage will be replaced with a single larger upward acting door.
 - d. Once complete, this garage, with its two upward acting doors placed in alignment will provide a "drive through" garage bay design.
 - e. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.

3. Proposed kitchen expansion:
 - a. The kitchen will be extended to the SE with an addition of approximately. 175 sq. ft.
 - b. This expansion will be placed within an existing niche occurring along the SE elevation of the building.
 - c. The addition will include new doors and windows allowing direct access from the kitchen to the proposed kitchen garden terrace.
 - d. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.

4. Enclosure of the existing covered entry area.
 - a. This existing first floor area beneath the extended timber post supported second floor structure above will be enclosed to accommodate the expansion of the 1st floor kitchen and mudroom areas. The existing timber support of this structure will

remain, as well as the stone wainscot height base wall. And so the room enclosure will consist primarily of carefully detailed window fenestration extending from stone wall to structure above, so as to provide maximum light, view and ventilation within the home.

- b. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modification and addition.
5. Proposed modifications to the main entrance of the home:
- a. It is proposed that the current design of the main entrance of the home be modified to be more in character with the adjacent existing design of the home. The goal of this work is to make a more pleasing, usable, functional and welcoming entry to the home - and to provide an entry design which is more in keeping with the general character of the home.
 - b. These changes would include the construction of a pitch break, sloped shed style roof with post support over the main exterior porch – this addition would match the design covered walkways to the SE of the entry. The porch would be modified To eliminate the existing continuous stair tread, and in lieu, an elevated and level porch area would be created beneath the proposed covered porch roof with a center entrance stair design. The covered area of the proposed porch roof would be approximately 214 sq. ft.
 - c. The front entrance doors would be replaced with larger double doors, again drawing design inspiration from other existing exterior doors within the home.
 - d. The first-floor level windows to the left and right of the main entry would be replaced with window units having the same width, however they would be taller in design.
 - e. This work also proposes replacement of the three (3) second story dormers so as to provide a design which is in more keeping with the general character of the existing home, as well as to provide usable, functional, and code required egress compliant windows within the bedrooms they serve.
 - f. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modifications.
6. Future detached garage –
- a. Please note that this information is being provided only for Board edification as a component of a future master plan strategy.
 - b. The design, sq. ft, as well as specific functional and use details of the building element are not known at this time, and so would be submitted as part of a formal future approval package. Timing of that application is not currently known, but believed to be at least a few years in the future.
 - c. Approval of this element is not being sought at this time. This information is being provided only for discussion purposes, and in a good-will effort to provide full disclosure of the longer term “master plan” intent.

7. Proposed screen room:
 - a. We are proposing that a screened, out-door, unconditioned, covered terrace would be provided at this location.
 - b. This screen room would consist of an addition amounting to approximately 585 sq. ft.
 - c. The height of the proposed addition will be approximately 22' above grade.
 - d. The screen room roof ridge will (approximately) align to the existing adjacent roof ridge line – to which the covered patio room connector would be attached.
 - e. The screen room would be at the 1st floor elevation and have direct access to / from the home interior, as well as to the existing terrace located SE of this location.
 - f. The design of the covered patio room would be inspired by the existing screened “overlook” structure, which has been proposed for removal within the application.
 - g. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modifications and addition.

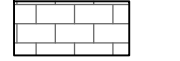

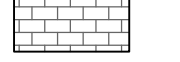

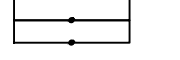

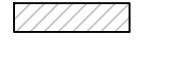

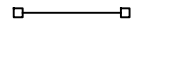
8. Future pool cabana:
 - a. Please note that this information is being provided only for Board edification as a component of a future master plan strategy.
 - b. The design, sq. ft, as well as specific functional and use details of the building element are not known at this time, and so would be submitted as part of a formal future approval package. Timing of that application is not currently known, but believed to be at least one to two years in the future.
 - c. Approval of this element is not being sought at this time. This information is being provided only for discussion purposes, and in a good-will effort to provide full disclosure of the longer term “master plan” intent.

9. Modifications to existing internal stairs:
 - a. Interior renovations will require the relocation and modification of an existing interior stairway. The location of these stairs will be shifted internally to the SW, to better suit the functional needs of the home. And so this placement of the stairway will result in the modification of the exterior wall in this location. This modified wall will be restructured with a two story bay window constructed in a design inspired by the existing building fenestration.
 - b. This work will result in no additional square footage within the home.
 - c. See attached architectural floor plans, elevations and 3 dimensional modeled renderings, which better describe the design, materials, finishes, fenestration and general nature of the proposed modifications.


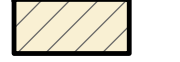

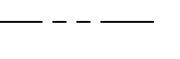





End Section 14a / Supplemental narrative document

SITE PLAN KEY:

PAVING & HARDSCAPE

-  LARGE PAVERS
-  SMALL PAVERS
-  STONE COBBLE
-  ASPHALT PAVING
-  STEPS
-  LOW STONE WALL
-  EXISTING STONE WALL TO REMAIN
-  FLUSH CURB
-  NEW FENCE

BOUNDARIES & SITE FEATURES

-  EXISTING BUILDING
-  PROPOSED BUILDING ADDITION
-  PROPOSED FUTURE BUILDING
-  PROPERTY LINE
-  EXISTING STRUCTURE FOOTPRINT (TO BE REMOVED)
-  TREE / SHRUB LINE
-  EXISTING CONIFER (REDUCED SCALE SHOWN)
-  EXISTING DECIDUOUS TREE (REDUCED SCALE SHOWN)
-  PLANTING AREA

BUILDING MODIFICATIONS & ADDITIONS:

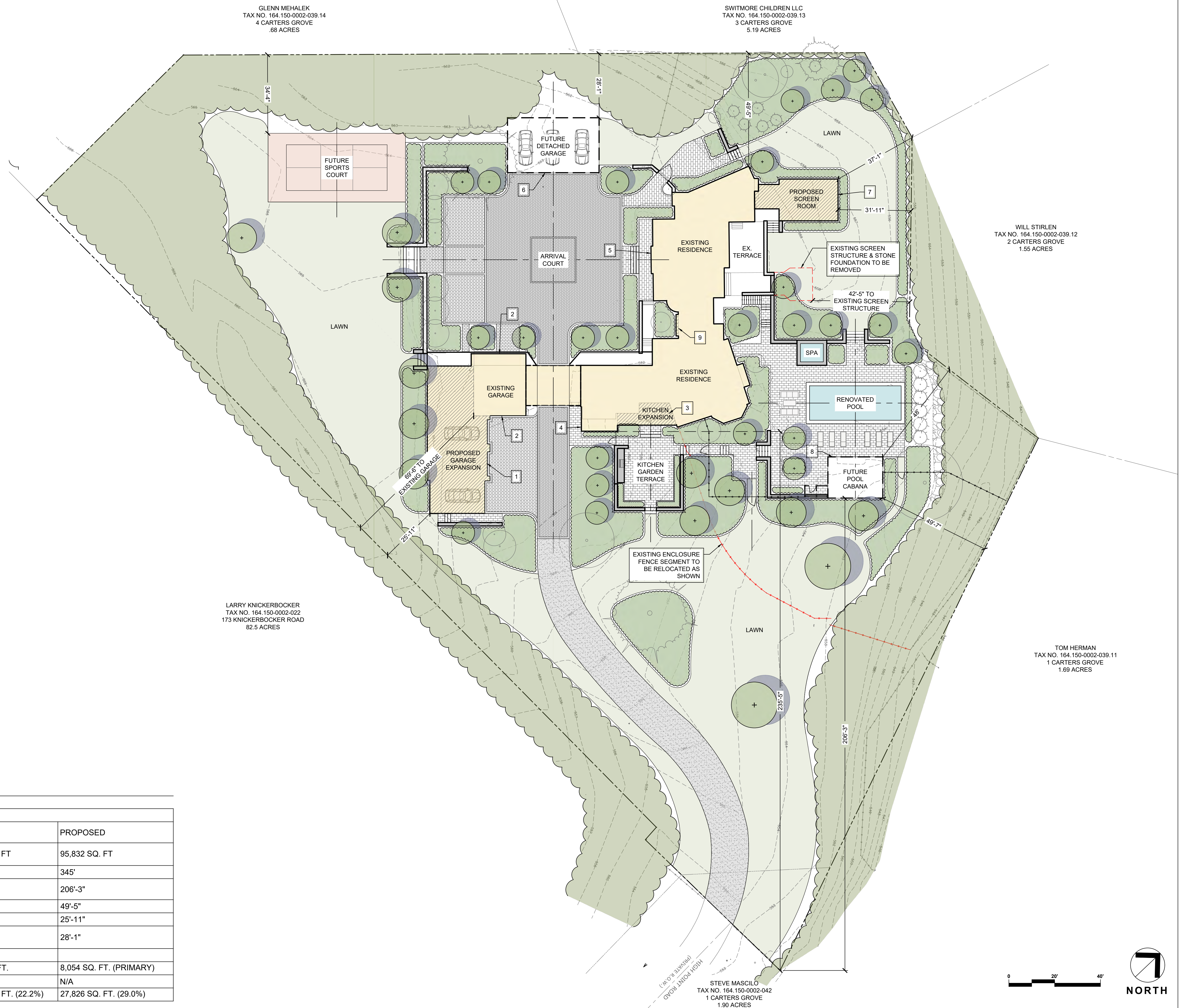
- 1 PROPOSED GARAGE EXPANSION
- 2 EXISTING GARAGE MODIFICATION & EXPANSION
- 3 PROPOSED KITCHEN EXPANSION
- 4 ENCLOSURE OF EXISTING COVERED ENTRY AREA
- 5 PROPOSED MODIFICATION TO MAIN ENTRY OF HOME
- 6 FUTURE DETACHED GARAGE
- 7 PROPOSED SCREEN ROOM
- 8 FUTURE POOL CABANA
- 9 MODIFICATION TO EXISTING INTERNAL STAIR

SITE COVERAGE CALCULATIONS:

EXISTING LOT SIZE:	95,832 SF (2.2 ACRES)
MAXIMUM ALLOWABLE LOT COVERAGE (40%):	38,333 SF (40.0%)
EXISTING COVERAGE (%):	21,292 SF (22.2%)
PROPOSED LOT COVERAGE (%):	27,826 SF (29.0%)

ZONING CHART - TOWN OF PITTSFORD:

ZONING DISTRICT: RESIDENTIAL NEIGHBORHOOD (RN)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	N/A	95,832 SQ. FT	95,832 SQ. FT
MIN. LOT WIDTH	N/A	345'	345'
MIN. FRONT YARD SETBACK	PER CODE	235'-5"	206'-3"
MIN. REAR YARD SETBACK	60'	49'-5"	49'-5"
MIN. SIDE YARD SETBACK	60'	42'-5"	25'-11"
MIN. REAR YARD SETBACK (ACCESSORY)	60'	N/A	28'-1"
MAX. BUILDING HEIGHT	30'		
MAX. BUILDING FOOTPRINT	6,167 SQ. FT.	5,962 SQ. FT.	8,054 SQ. FT. (PRIMARY)
MAX. ACCESSORY BUILDING HEIGHT	12'	N/A	N/A
MAX. LOT COVERAGE	38,333 SQ. FT. (40.0%)	21,293 SQ. FT. (22.2%)	27,826 SQ. FT. (29.0%)



Bayer Landscape Architecture, PLLC
 19 North Main Street
 Honeye Falls, New York 14472
 P: 585-582-2000
 F: 585-582-2005
 bayerla.com

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

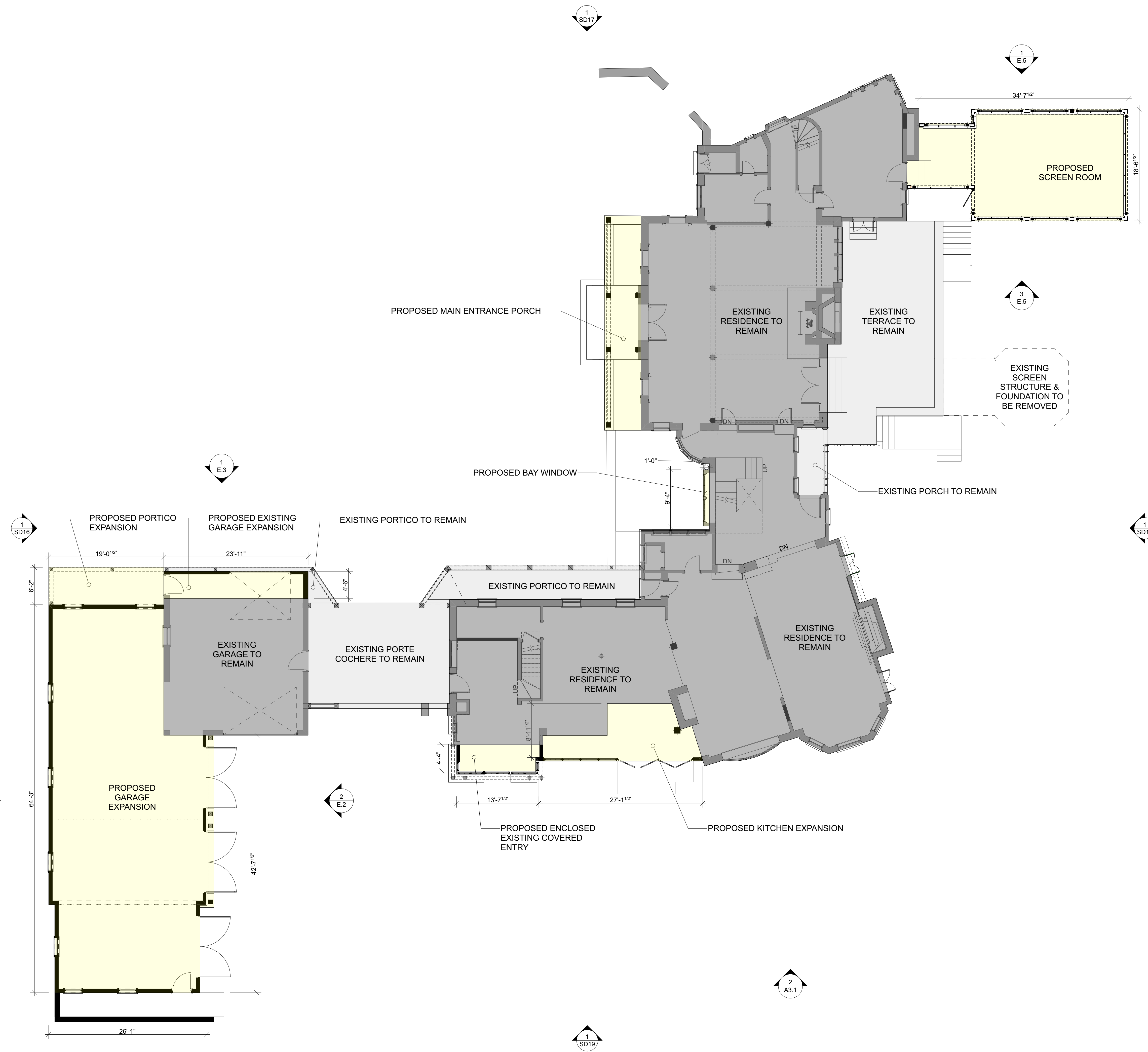
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Drawn By:	DMB	Project No.:	2024-111
Design By:	BLA	Revisions:	

LARRABEE RESIDENCE
 192 KNICKERBOCKER ROAD
 PITTSFORD, NEW YORK 14534

SITE MASTER PLAN

L1.0

© 2024 BAYER LANDSCAPE ARCHITECTURE, PLLC



OVERALL GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

REVISIONS

PROJECT NO. D-24163

LARRABEE RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24
Zoning Review

SCALE 1/4" = 1'-0"

FLOORPLAN

D.1



NORTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

REVISIONS

PROJECT NO. D-24168

LARRABEE
RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

ISSUED 10/11/24
Zoning Review

1/4" = 1'-0"

EXTERIOR
ELEVATIONS

D.2



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NO. D-24168

LARRABEE
RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

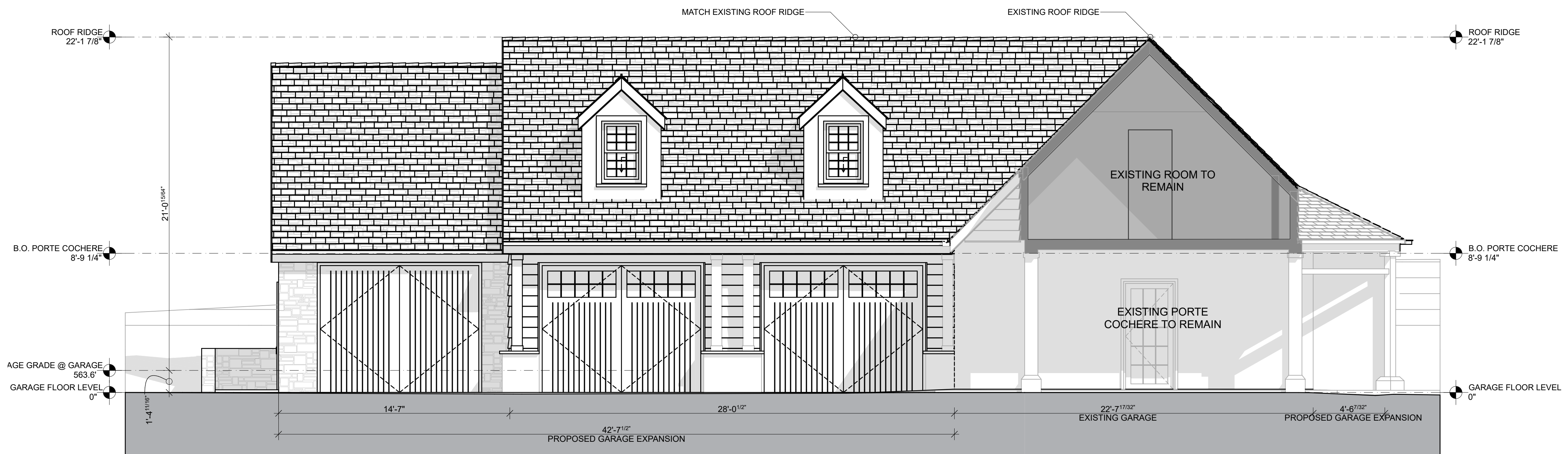
DATE 12/11/24
REVISIONS
Pending Review

SCALE 1/4" = 1'-0"

EXTERIOR
ELEVATIONS



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

PROJECT NO. D-24163

LARRABEE RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

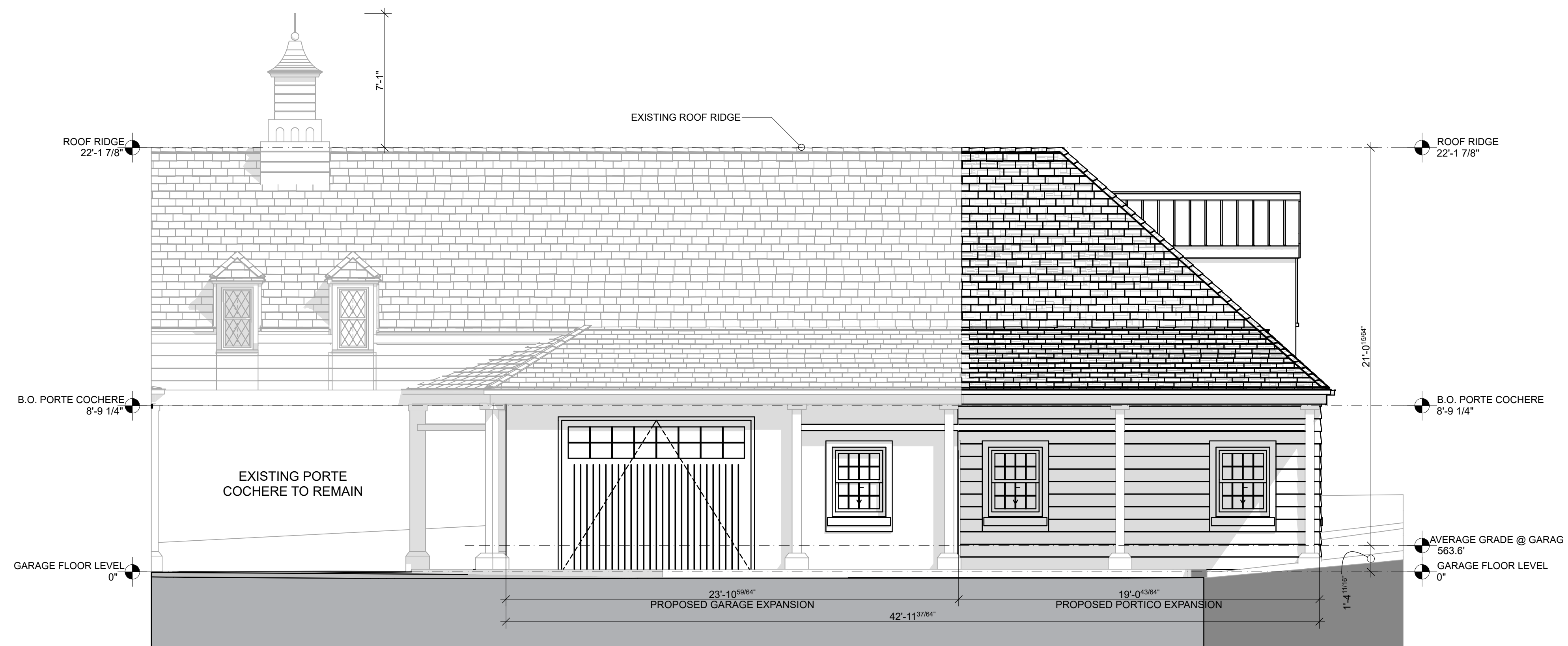
ISSUED 12/11/24
Zoning Review

SCALE 1/4"=1'-0"

Garage Elevations



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

PROJECT NO. D-24183

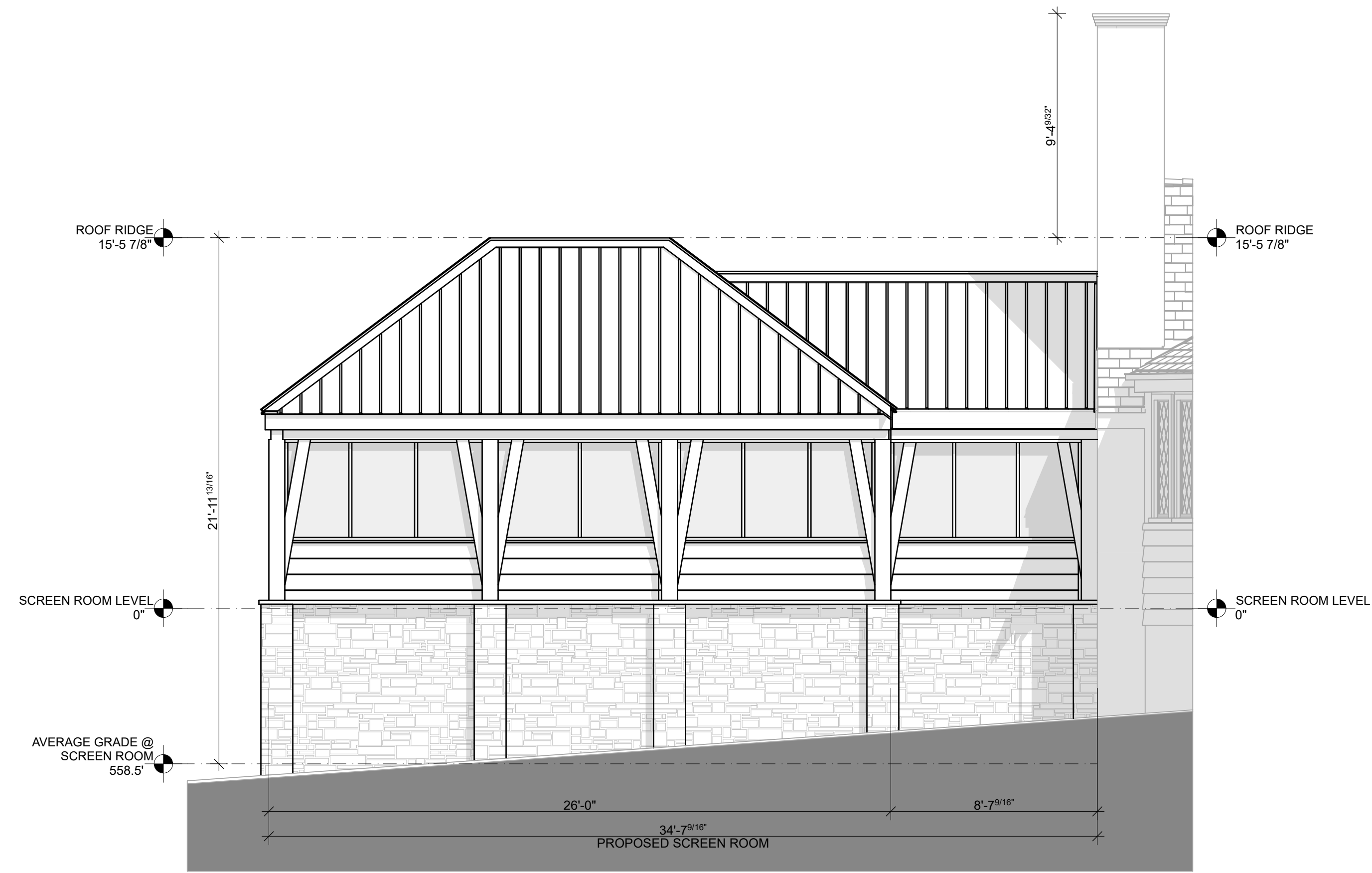
**LARRABEE
RESIDENCE**
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24
Zoning Review

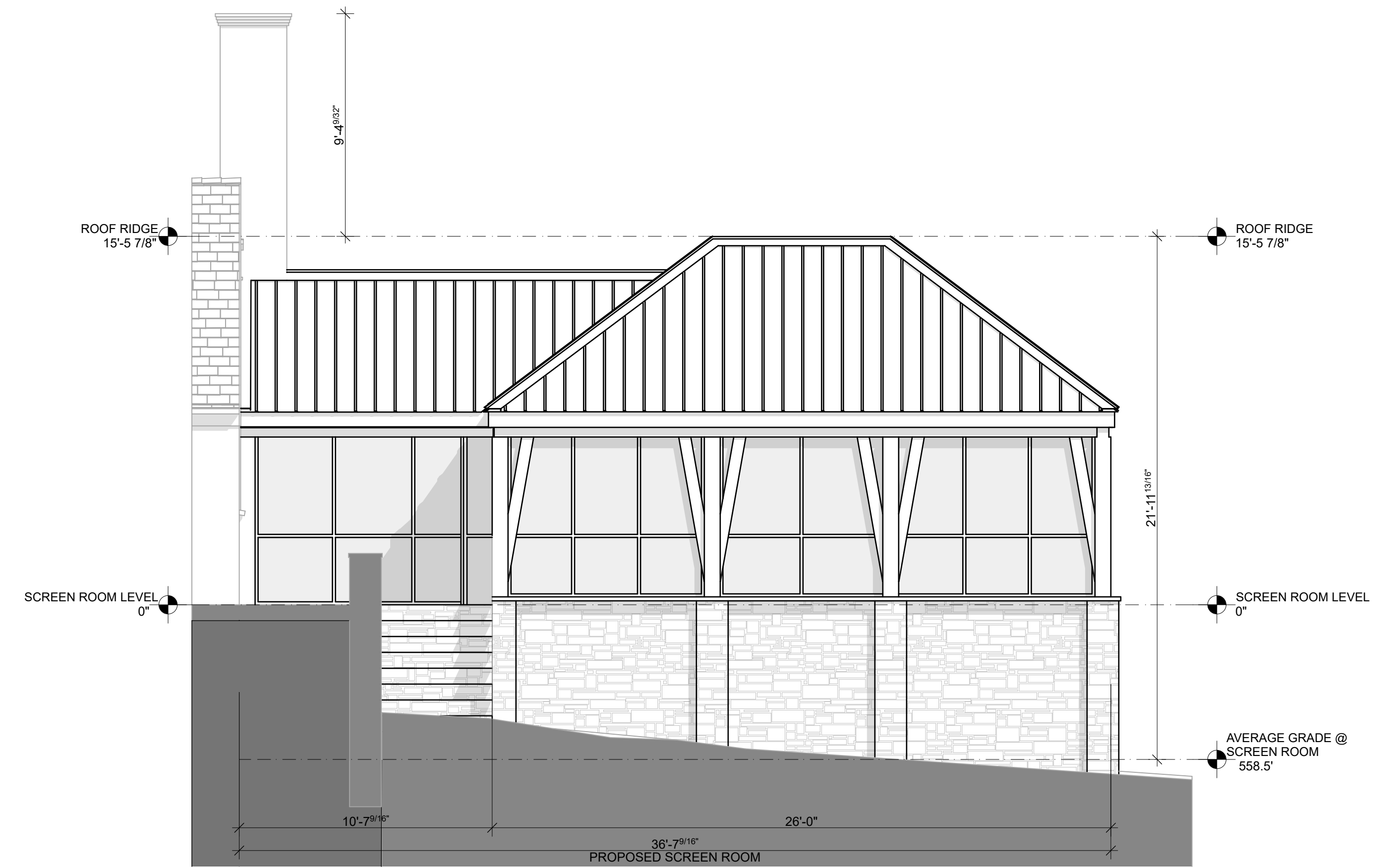
SCALE 1/4"=1'-0"

Garage
Elevations

E.3



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

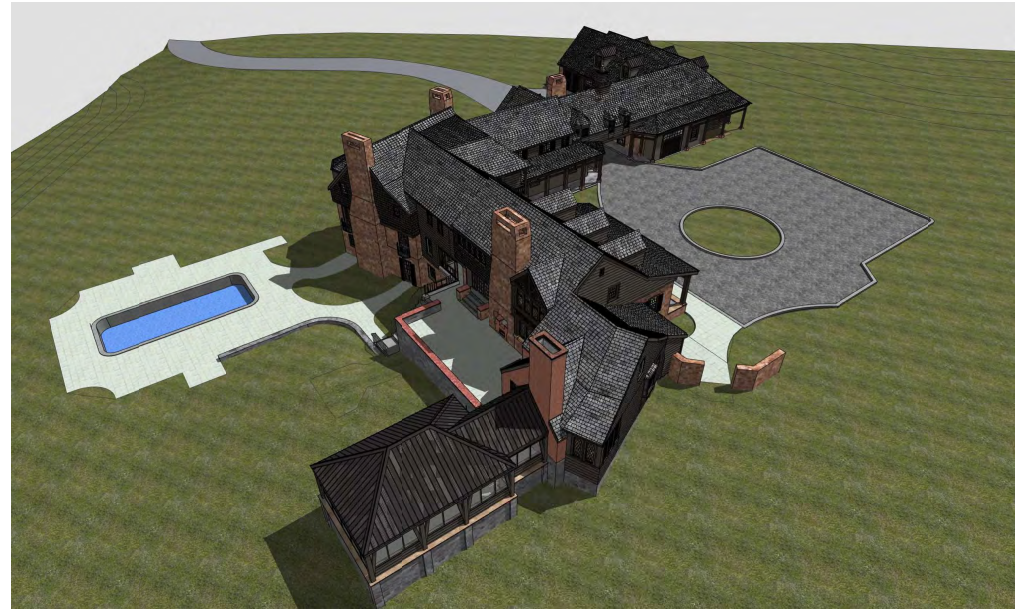








SITE PERSPECTIVE - 1



SITE PERSPECTIVE - 4



SITE PERSPECTIVE - 2

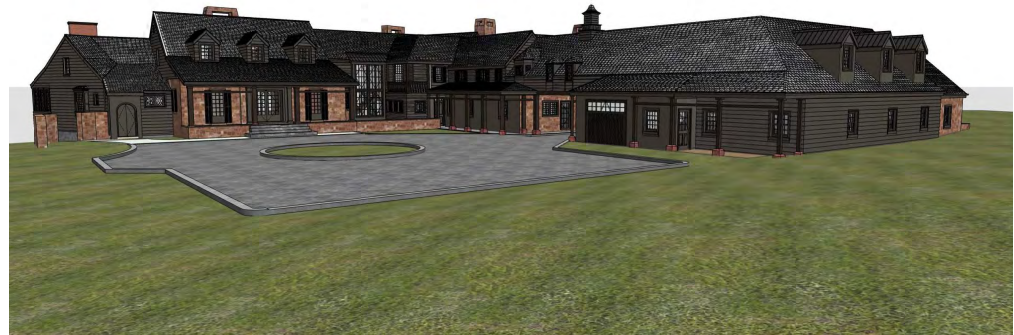


SITE PERSPECTIVE - 3

LARRABEE RESIDENCE
192 Knickerbocker Road Pittsford NY 14534



GROUND PERSPECTIVE - 1



GROUND PERSPECTIVE - 2



IMAGE - 1



IMAGE - 2



GROUND PERSPECTIVE - 3



GROUND PERSPECTIVE - 4



IMAGE - 3



IMAGE - 4

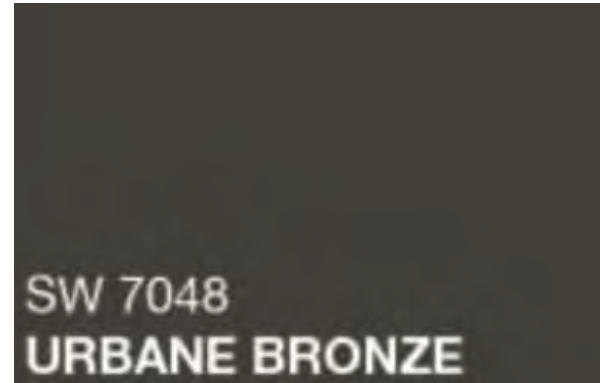
Exterior Materials Palette



Marvin Bronze
Signature Ultimate
&
Bronze Hardware



Medina Stone



Paint Color –
Trim & Siding



Slate Roof to
match existing



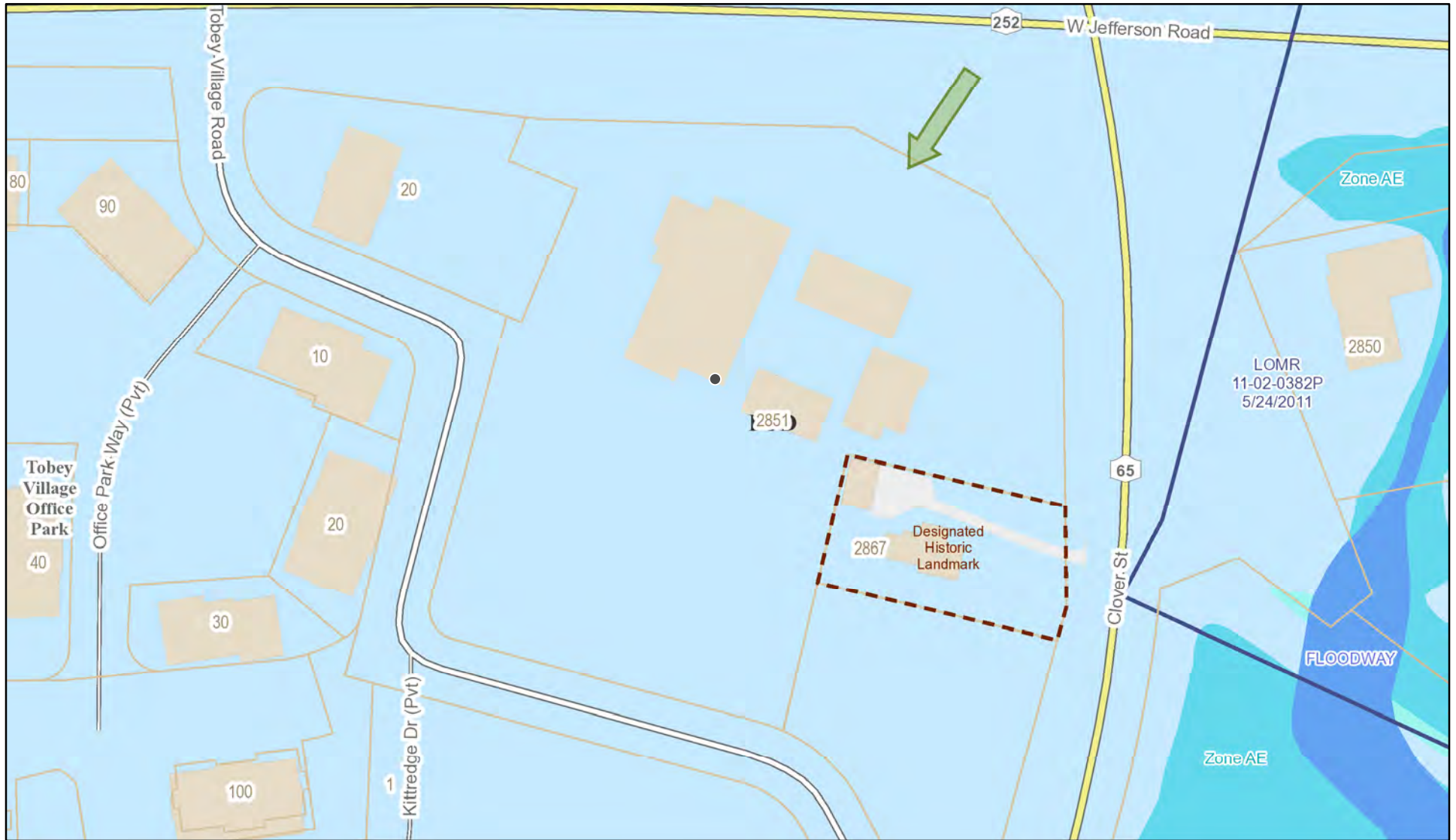
Cedar Shake
Siding



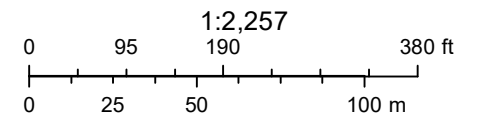
Copper Roof
& Gutters

Larrabee Residence - 192 Knickerbocker

RN Residential Neighborhood Zoning



Printed January 17, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



on Road (NY 252)

W Jefferson Road (NY 252)

B 472.3 ft

LOMR

11-02-0382P

5/24/2011

Culvert

483 ft

483 ft

483 ft

483 ft

LOMR

11-02-0382P

5/24/2011

2850

489 ft

Zone AE

Zone AE

496 ft

FLOODWAY

C 492.8 ft

499 ft

FIRM Panel
36055C0358G

FIRM Panel
36055C0358G



2851

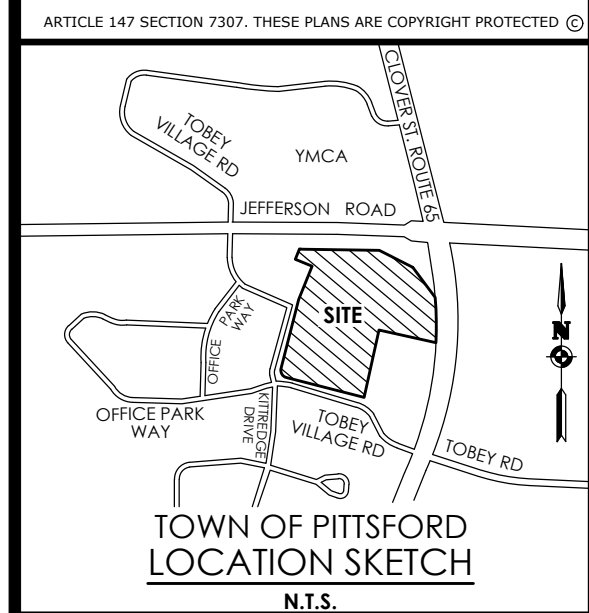
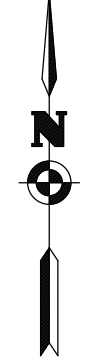
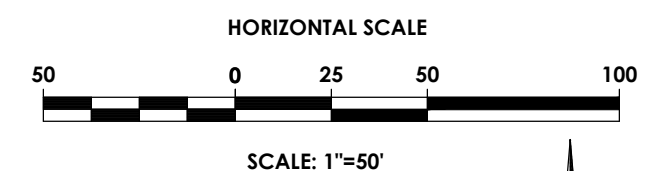
2867

Thu Sep 5 2024

Imagery © 2025 Nearmap, HERE



Nearmap



Client:
2851 Clover, LLC
2851 Monroe Avenue
Rochester, NY 14618
Phone: (585)-271-1111

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: David Cox, P.E.
Project Manager: Andrew Burns, P.E.
Designed by: Shari Kleis

Revisions			
No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

SITE PLAN OVERLAY
PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

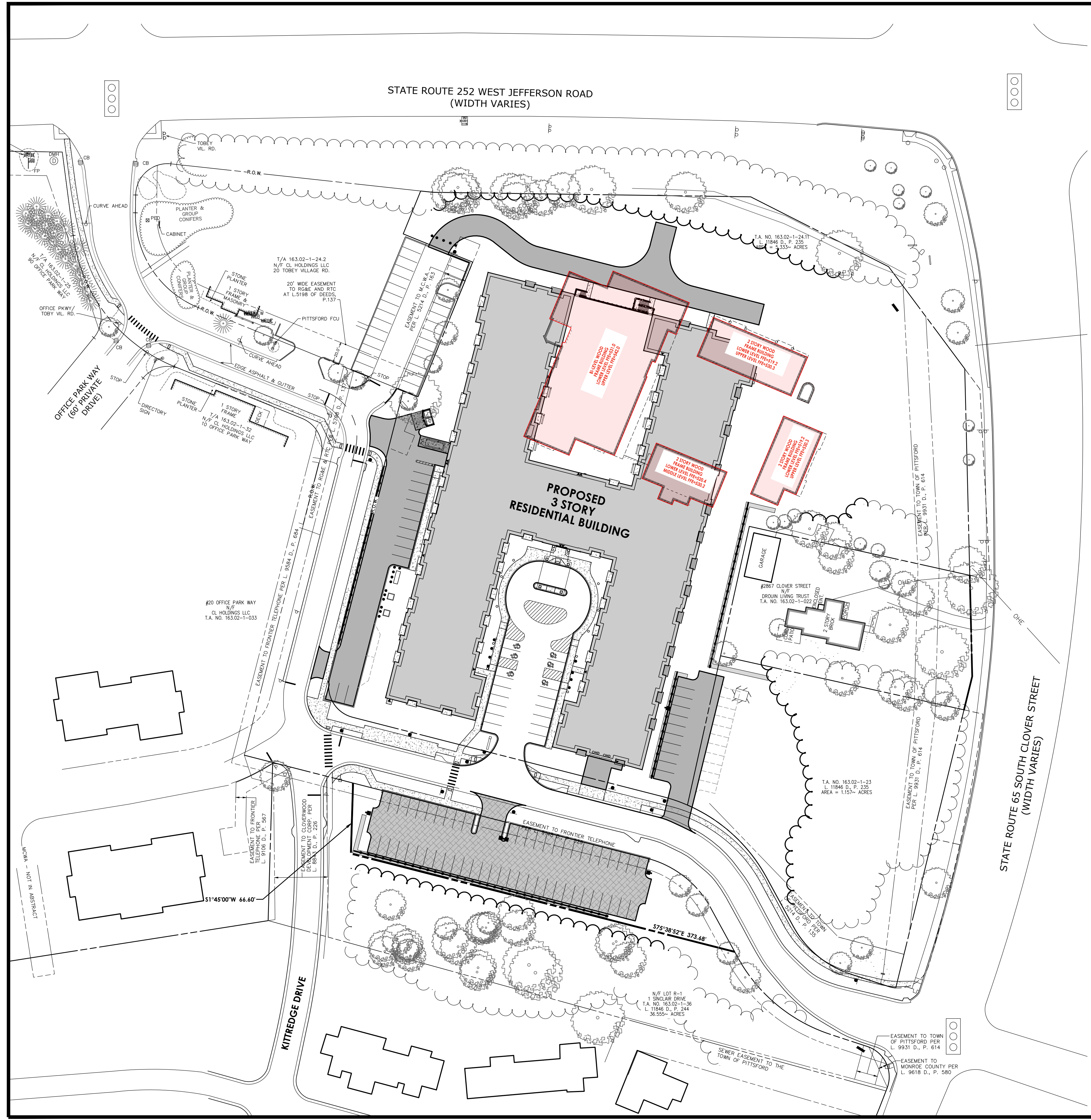
Project No:
20233554.0001

Drawing No.
C 001

Scale:
1" = 50'

Date
AUGUST 26, 2024

NOT FOR CONSTRUCTION



LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED POROUS ASPHALT PAVEMENT
- PROPOSED MILL AND RESURFACE LIMITS
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT

Y:\PROJECTS-NEW\2023\20233554\CAD-BIM-MODELS\CIVIL\20233554.01_BUILDING_OVERLAY.DWG 10/1/2024 4:11 PM Shari Kleis

Pittsford Oaks – Design Reviews Progressions



July 19, 2023



September 1, 2023



November 8, 2023



December 6, 2023



March 21, 2024



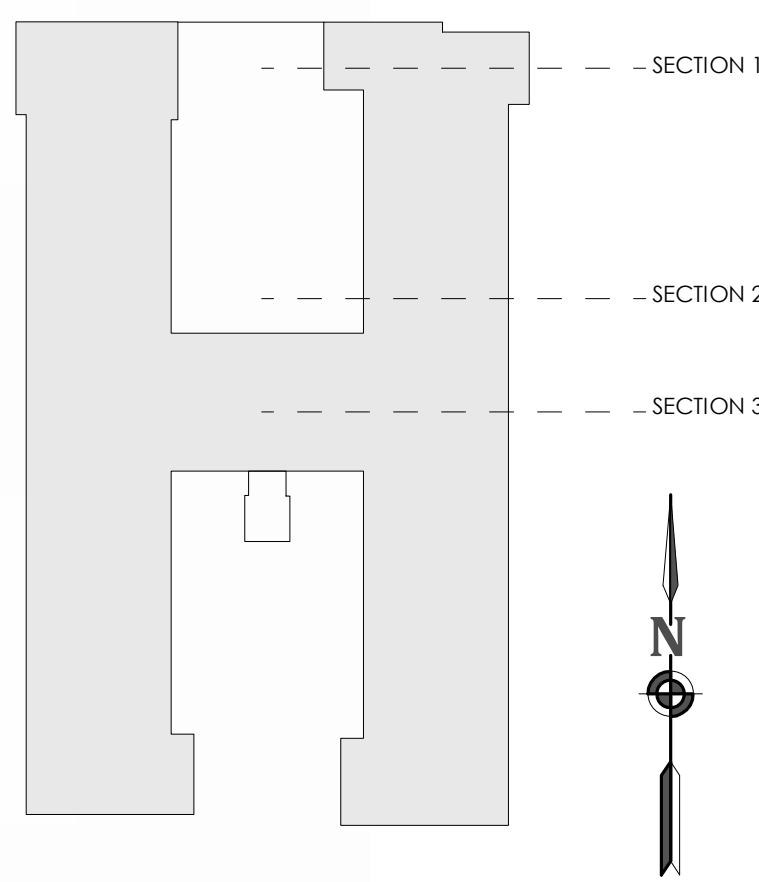
April 24, 2024



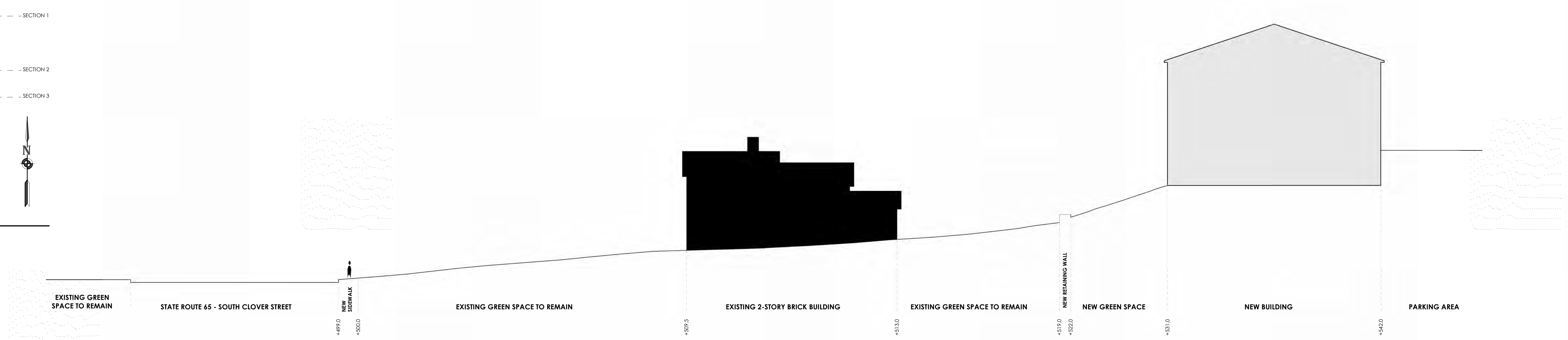
October 15, 2024



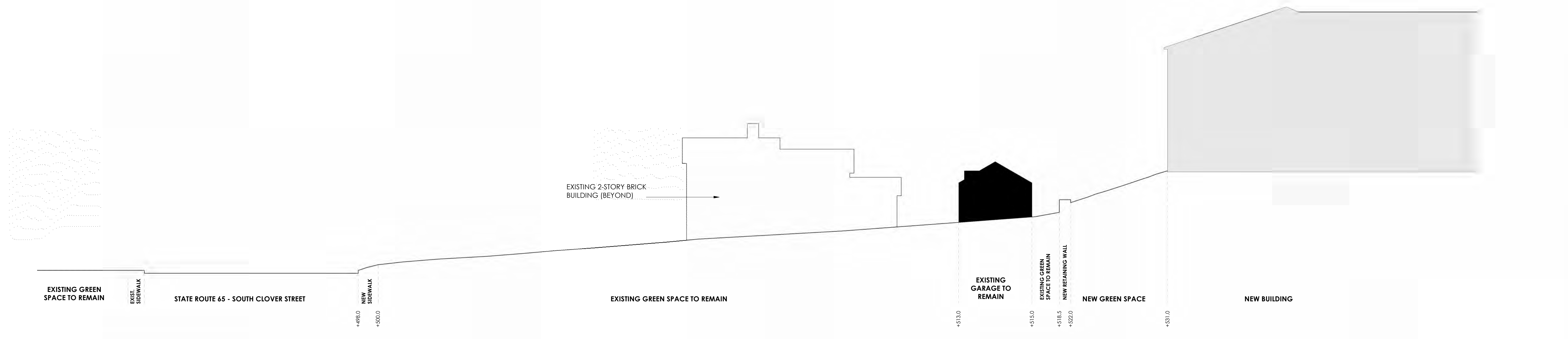
November 18, 2024



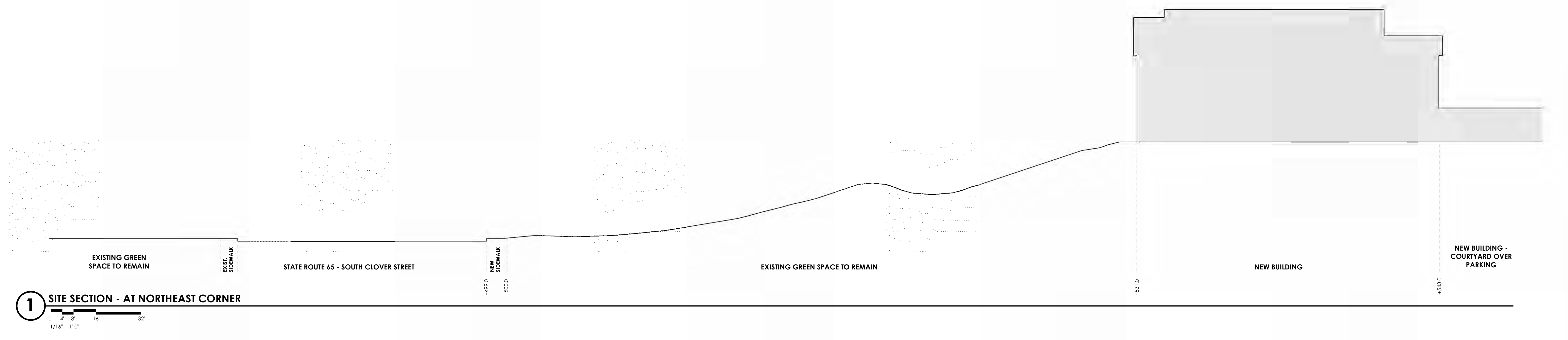
SITE SECTION LEGEND
N.T.S.



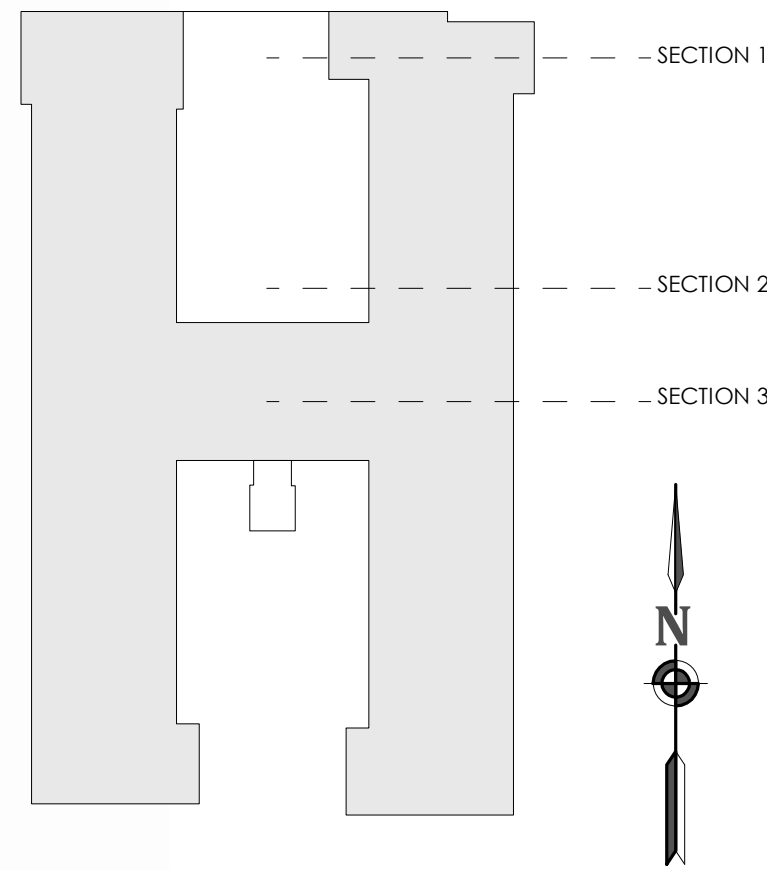
3 SITE SECTION - THROUGH EAST WING AT EXISTING ADJACENT BRICK BUILDING
1/16" = 1'-0"



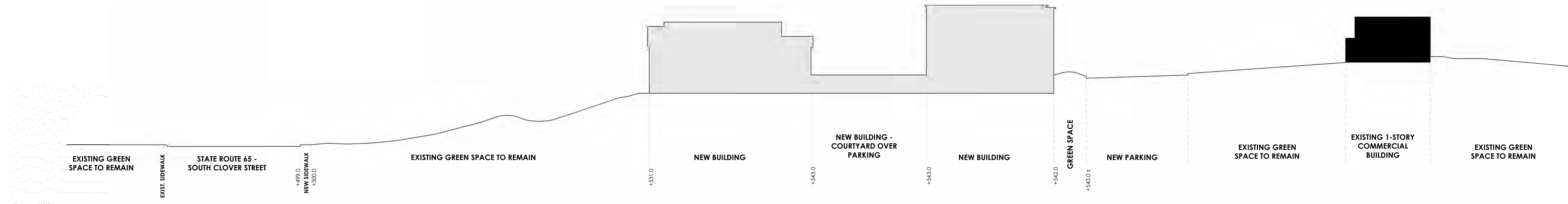
2 SITE SECTION - THROUGH EAST WING AT EXISTING GARAGE
1/16" = 1'-0"



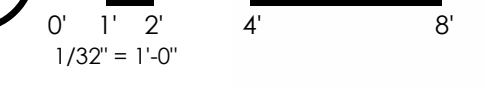
1 SITE SECTION - AT NORTHEAST CORNER
1/16" = 1'-0"



SITE SECTION LEGEND
N.T.S.



1 SITE SECTION - AT NORTHEAST CORNER







2 NORTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. +31'-0 7/8"
- FOURTH FLOOR LEVEL +22'-0 1/2"
- THIRD FLOOR LEVEL +11'-0 5/8"
- SECOND FLOOR LEVEL +0'-0"



6 WEST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. +31'-0 7/8"
- FOURTH FLOOR LEVEL +22'-0 1/2"
- THIRD FLOOR LEVEL +11'-0 5/8"
- SECOND FLOOR LEVEL +0'-0"



1 EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

- 60'-0" MIN. REQUIRED HEIGHT REDUCTION
- 38'-0" ORIGINAL BUILDING HEIGHT
- 17'-4"
- +581'
- +573'
- 9'-5 67/128"
- 4TH FLOOR WALL HGT. +31'-0 7/8"
- FOURTH FLOOR LEVEL +22'-0 1/2"
- THIRD FLOOR LEVEL +11'-0 5/8"
- SECOND FLOOR LEVEL +0'-0"
- GARAGE LEVEL -12'-0"



- 4TH FLOOR WALL HGT. +31' - 0 7/8"
- FOURTH FLOOR LEVEL +22' - 0 1/2"
- THIRD FLOOR LEVEL +11' - 0 5/8"
- SECOND FLOOR LEVEL +0' - 0"
- GARAGE LEVEL -12' - 0"

1 SOUTH ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"



2 NORTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"

- 4TH FLOOR WALL HGT. +31'-0 7/8"
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 1/16" = 1'-0"






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- SECOND FLOOR LEVEL +0'-0"



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- THIRD FLOOR LEVEL +11'-0 5/8"
- SECOND FLOOR LEVEL +0'-0"
- GARAGE LEVEL -12'-0"



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- FOURTH FLOOR LEVEL +22' - 0 1/2" 
- THIRD FLOOR LEVEL +11' - 0 5/8" 
- SECOND FLOOR LEVEL +0' - 0" 
- GARAGE LEVEL -12' - 0" 

1 SOUTH ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"



1 EAST ELEVATION - ALTERNATE DESIGN CONCEPT
0' 1' 2' 4' 8'
1/16" = 1'-0"