

**AGENDA
TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
JANUARY 20, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Zoning Board of Appeals will hold the following meeting on Monday, January 20, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

CONTINUED HEARING

4000 East Avenue – Tax ID 151.06-2-45

Applicant is requesting relief from Town Code Section 185-121 A. for the substitution and relocation a 4.5-foot fence in front of the front setback off of East Avenue. This property is zoned Residential Neighborhood (RN).

NEW HEARINGS

192 Knickerbocker Road – Tax ID 164.15-2-39.2

Applicant is requesting relief from Town Code Sections 185-17 L. (1) for a garage addition extending past the building line and not meeting the minimum side setback; 185-17 L. (1) and 185-113 B. (3) for a kitchen terrace extending past the building line and forward of the rear wall of the home; 185-17 L. (1) for a screen room addition not meeting the minimum side setback; 185-17 L. (1) and 185-113 B. (3) for a spa not meeting the minimum side setback and forward of the rear wall of the home; and 185-17 G. for surpassing maximum building footprint. This property is zoned Residential Neighborhood (RN).

83 Kilbourn Road – Tax ID 138.14-1-24

Applicant is requesting relief from Town Code Section 185-17 E. for the construction of an addition not meeting the total side setback requirement. This property is zoned Residential Neighborhood (RN).

39 N Country Club Drive – Tax ID 151.06-1-45

Applicant is requesting relief from Town Code Section 185-17 B. (1) for the construction of an addition extending past the building line. This property is zoned Residential Neighborhood (RN).

148 W Jefferson Road – Tax ID 164.01-1-8.1

Applicant is requesting relief from Town Code Section 185-17 E. for the construction of an addition not meeting the minimum and total side setback requirements. This property is zoned Residential Neighborhood (RN).

OTHER BUSINESS

Approval of Minutes

The next scheduled meeting is for Monday, February 17, 2025.

Zoning Board of Appeals Referral Form Information

ZB24-000039

Property Address:

4000 East Avenue ROCHESTER, NY 14618

Property Owner:

Genroc LLC
4000 East Ave
Rochester, NY 14618

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:	Proposed Conditions:	Resulting in the Following Variance:
Right Lot Line:	0 Right Lot Line:	0 Right Lot Line: 0.0
Left Lot Line:	0 Left Lot Line:	0 Left Lot Line: 0.0
Front Setback:	0 Front Setback:	0 Front Setback: 0.0
Rear Setback:	0 Rear Setback:	0 Rear Setback: 0.0
Height:	0 Height:	0 Height: 0.0
Size:	0 Size:	0 Size: 0.0

Code Section: Applicant is requesting relief from Town Code Section 185-121 A. for the substitution and relocation a 4.5-foot fence in front of the front setback off of East Avenue. This property is zoned Residential Neighborhood (RN).

Staff Notes: The applicant is returning to present a revised plan for the partial fence replacement proposal. The revised plan does not include a relocation of the fence but additional plantings have been added. I have marked up the old and new plan and included a comparison of the two.

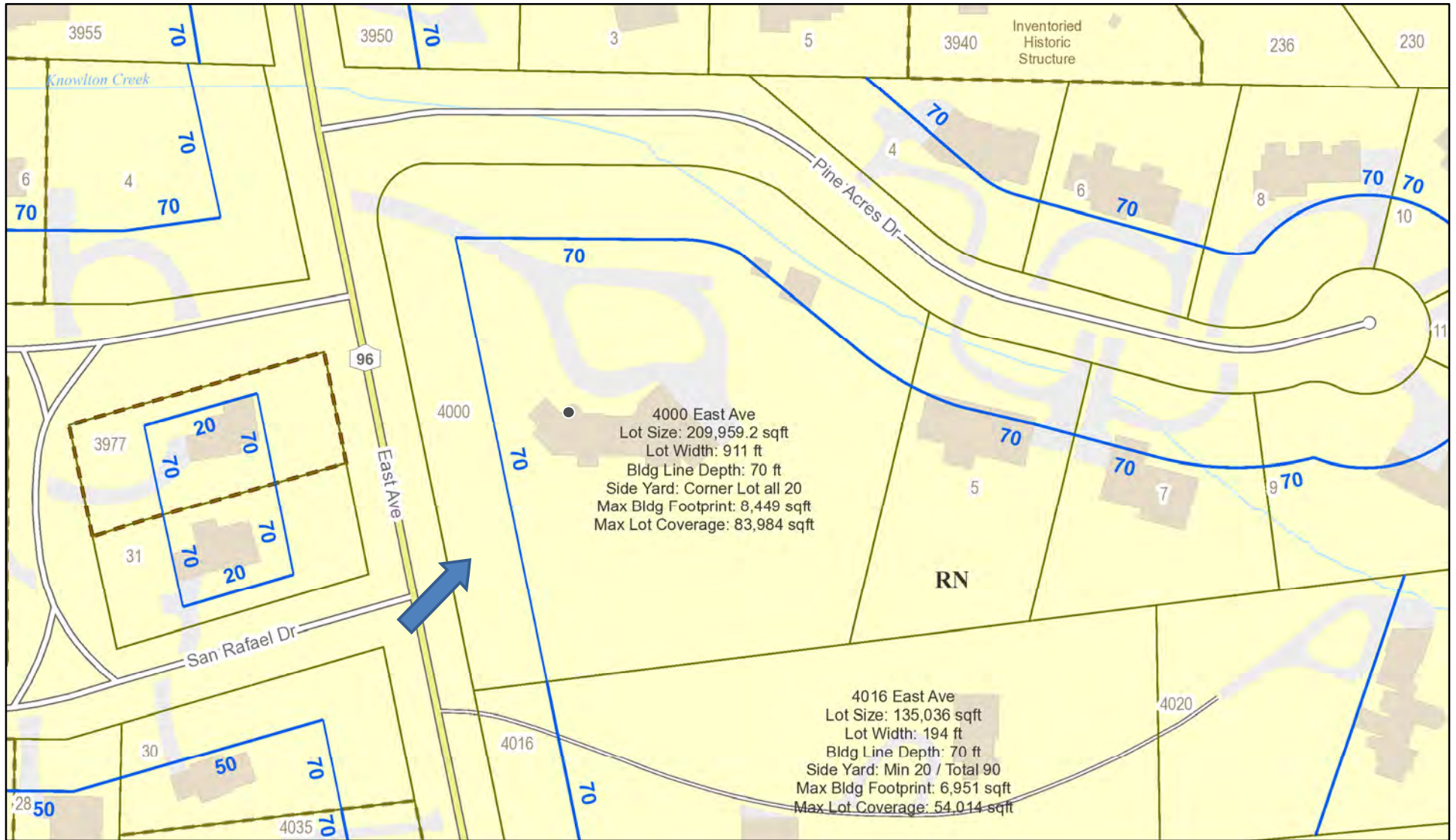
December 31, 2024

ARZ

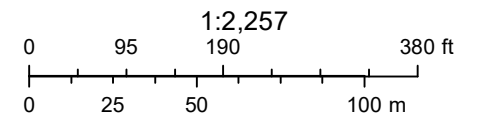
Date

April Zurowski -

4000 East Avenue



Printed November 18, 2024



Town of Pittsford GIS

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East Ave

Pine Acres Dr

Pine Acres Dr

San Rafael Dr

San Rafael Dr

San Rafael Dr

San Rafael Dr

6

4

4

6

15

25

3977

31

4000

4000

5

5

30

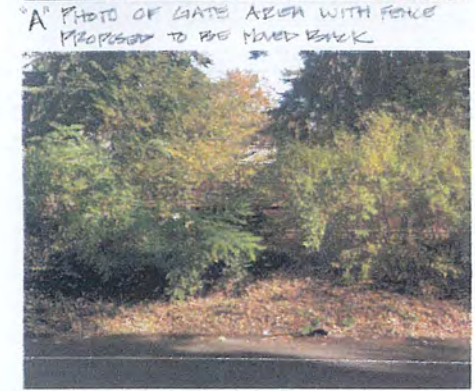
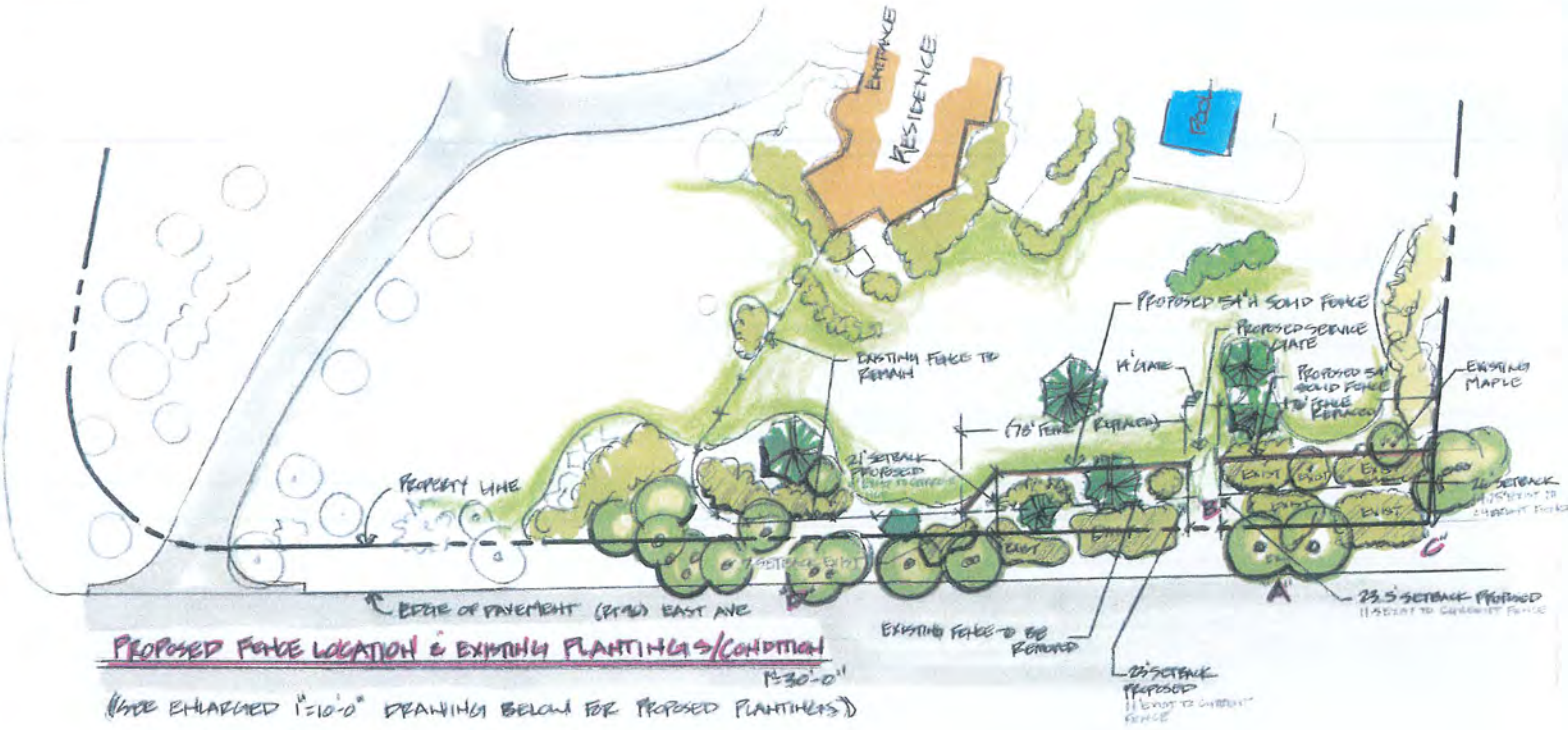
4016

Thu Sep 5 2024

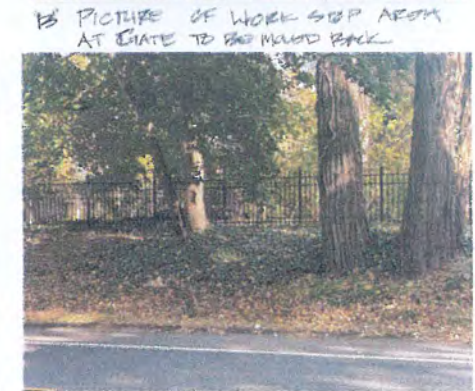
Imagery © 2024 Nearmap, HERE

50 ft

Nearmap



A PHOTO OF GATE AREA WITH FENCE PROPOSED TO BE MOVED BACK
 C VIEW OF LEFT (SOUTH) SIDE OF GATE SHOWING PROPOSED FENCE INSTALLED TO BE MOVED BACK (SCREENING)



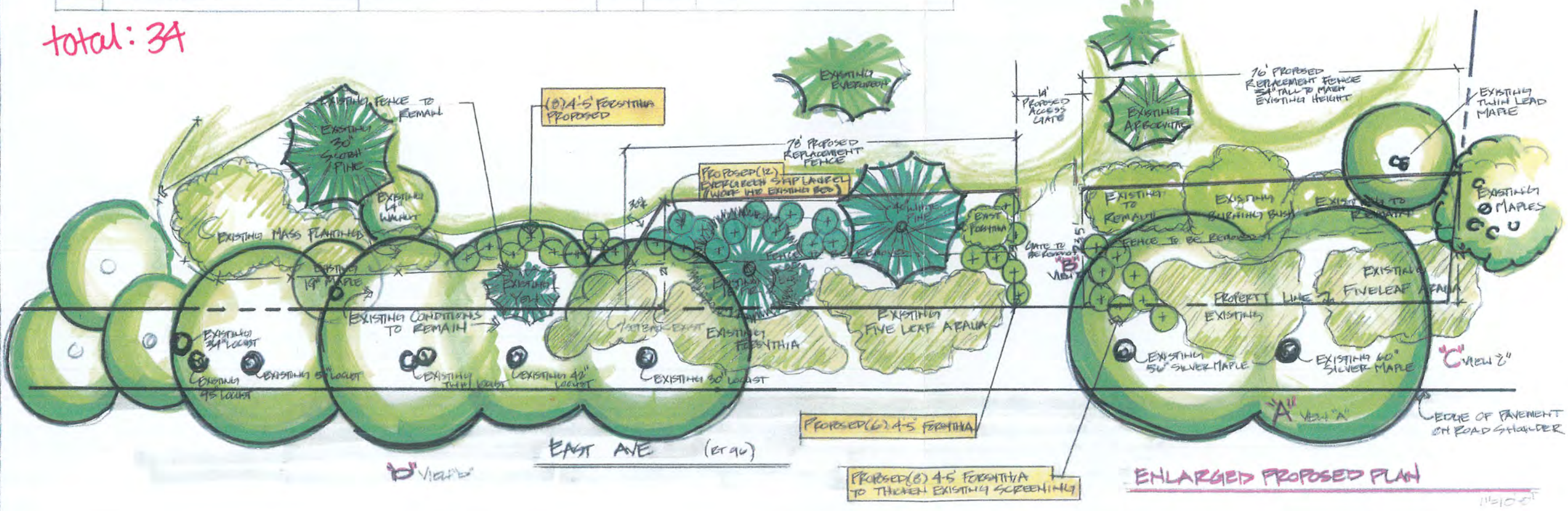
B PICTURE OF WORK SITE AREA AT GATE TO BE MOVED BACK
 D PICTURE OF OPEN AREA TO NORTH PAST LOCATION OF WHERE PROPOSED FENCE IS TO BE INSTALLED

PROPOSED FENCE LOCATION & EXISTING PLANTINGS/CONDITION
 (SEE ENLARGED 1"=10'-0" DRAWING BELOW FOR PROPOSED PLANTINGS)

PLANTING SCHEDULE:

QUANT	SCIENTIFIC NAME	COMMON NAME	SIZE	BALL	REMARKS
22	FOENICIA 'X' INTERMEDIA 'LINWOOD GOLD'	LINWOOD GOLD FOENICIA	4" B5	B5 B	HEAVY LEADER, FULL TWIGGY
12	PRUNUS LAUROCESTRIS 'SCHIDLACHSIS'	SKIP CHERRY LAUREL	3" B4	B2 B2	FULL TO GROW, HEAVY

total: 34



ENLARGED PROPOSED PLAN

SHEET TITLE
 PLANTING & FENCE PLAN

CLIENT
 KENNY SURACE
 400 EAST AVE
 COLCHESTER, NY
 14032

BY
 DAN HACKETT RA
 7000 JEFF
 HAPLES HT
 14132

REVISIONS

DESCRIPTION	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

SCALE: 1"=10'-0"
 1"=20'-0"
 SCALES VARY

LOCATION MAP

DATE: 10/28/18

SHEET
 L1-1

OLD
 10/28

QUANT	SCIENTIFIC NAME	COMMON NAME	SIZE	BALL	REMARKS
5	ABIES CONCOLOR	WHITE FIR	10'-12'	B+B	FULL
1	CORNUS FLORIDA	CHEEREE PRINCESS BAWOOD	7'-8'	P+B	ROUNDED CROWN
1	CERCIS CANADENSIS	EASTERN REDBUD	8'-10'	B+B	MULTI-STEM
3	ABIES KOREANA	KOREAN FIR	9'-10'	B+B	HON HYBRID STRAIGHT VARIETY
6	PICEA ABIES	NORWAY SPRUCE	10'-12'	B+B	NON-SHEDDING NATURAL
2	PINUS STROBUS	EASTERN WHITE PINE	10'-12'	B+B	SHEDDING/FULL
33	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBOVITAE	7'-8'	B+B	FULL/NATURAL

total: 51

NOTE:
 THIS REQUEST FOR VARIANCE NOW HAS (49) EVERGREEN PLANTINGS AND (2) DECIDUOUS TREES. ALL EXISTING PLANTINGS SHALL BE PRESERVED AND WORKED AROUND DURING THE PLANTING PROCESS TO MAINTAIN AND ENHANCE A HEAVILY SCREENED AREA THAT WILL HIDE THE REQUESTED FENCE.

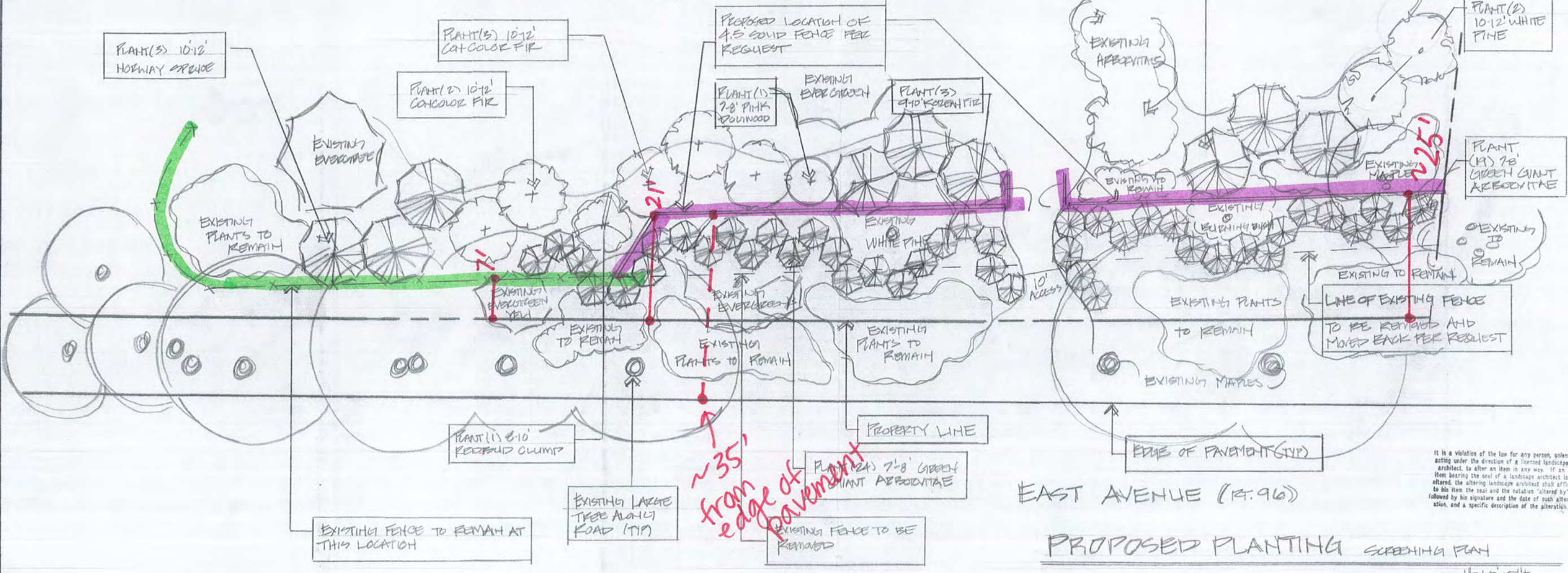
SHEET TITLE:
 PLANTING SCREENING PLAN
 CLIENT
 KEVIN SURACE
 100 EAST AVE
 ROCHESTER, NY
 14618
 BY
 DAN HACKETT PLA
 7003 CRIZ
 HARLES, NY
 14612

RECEIVED

DEC 27 2024

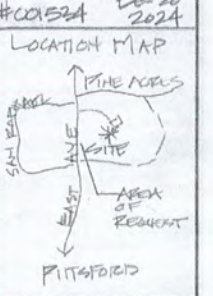
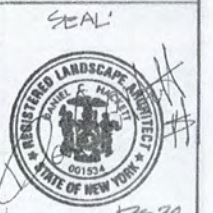
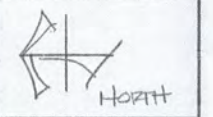
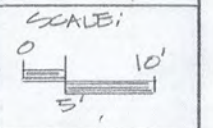
TOWN OF PITTSFORD

NEW
 10/20



REVISIONS:

DESCRIPTION	DATE
1. SHEET L2 OF 2 ADDED	10/20/24
2. PLANTING PLAN CHANGE	12/26/24
3.	
4.	
5.	
6.	



It is a violation of the law for any person, unless acting under the direction of a licensed landscape architect, to alter an item in any way. If an item bearing the seal of a landscape architect is altered, the altering landscape architect shall affix to the item the seal and the notation "altered" followed by his signature and the date of such alteration, and a specific description of the alteration.

PROPOSED PLANTING SCREENING PLAN
 1"=10'-0"

NOTE:
 THIS PLAN SHEET L2 OF 2 SHALL ACT AS THE PLANTING PLAN FOR THE FENCE VARIANCE REQUEST. SHEET L1 OF 1 AS SUBMITTED SHALL ACT AS ONLY TO SHOW SITE LOCATIONS AND DIMENSIONS OF THE REQUEST THIS THAT PLANTING PLAN PROPOSAL SHALL BE NULLIFIED UNDER ACCEPTANCE OF

Job# 217877
 SCALE: 1"=10'-0"
 DATE: DEC 20 2024
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SHEET

Zoning Board of Appeals Referral Form Information

ZB24-000040

Property Address:

192 Knickerbocker Road PITTSFORD, NY 14534

Property Owner:

Meaghan Larrabee
22 Lake Lacoma Drive
Pittsford, NY 14534

Applicant or Agent:

David J Crowe, DJC Architecture PLLC

Present Zoning of Property: RN Residential Neighborhood

Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	42.6	Right Lot Line:	32	Right Lot Line:	10.6
Left Lot Line:	60	Left Lot Line:	25	Left Lot Line:	35.0
Front Setback:	235.5	Front Setback:	199	Front Setback:	36.5
Rear Setback:	60	Rear Setback:	31	Rear Setback:	29.0
Height:	0	Height:	0	Height:	0.0
Building Footprint (SF):	6167	Building Footprint:	8054	Building Footprint:	1887

Code Sections: Applicant is requesting relief from Town Code Sections 185-17 L. (1) for a garage addition extending past the building line and not meeting the minimum side setback; 185-17 L. (1) and 185-113 B. (3) for a kitchen terrace extending past the building line and forward of the rear wall of the home; 185-17 L. (1) for a screen room addition not meeting the minimum side setback; 185-17 L. (1) and 185-113 B. (3) for a spa not meeting the minimum side setback and forward of the rear wall of the home; and 185-17 G. for surpassing maximum building footprint. This property is zoned Residential Neighborhood (RN).

Staff Notes: Submission materials for this project include a "master plan" though this application only requests "Phase 1" of the complete renovation. This application includes variance requests for the garage addition, kitchen terrace, screen room, spa, and maximum building footprint. Other renovations/additions will be seen at a later time. This home is a Designated Historic home and the DRHPB has reviewed this preliminary master plan and have given positive feedback. This home is barely visible from Knickerbocker Road and cannot be seen from Carter's Grove or other public right-of-ways.

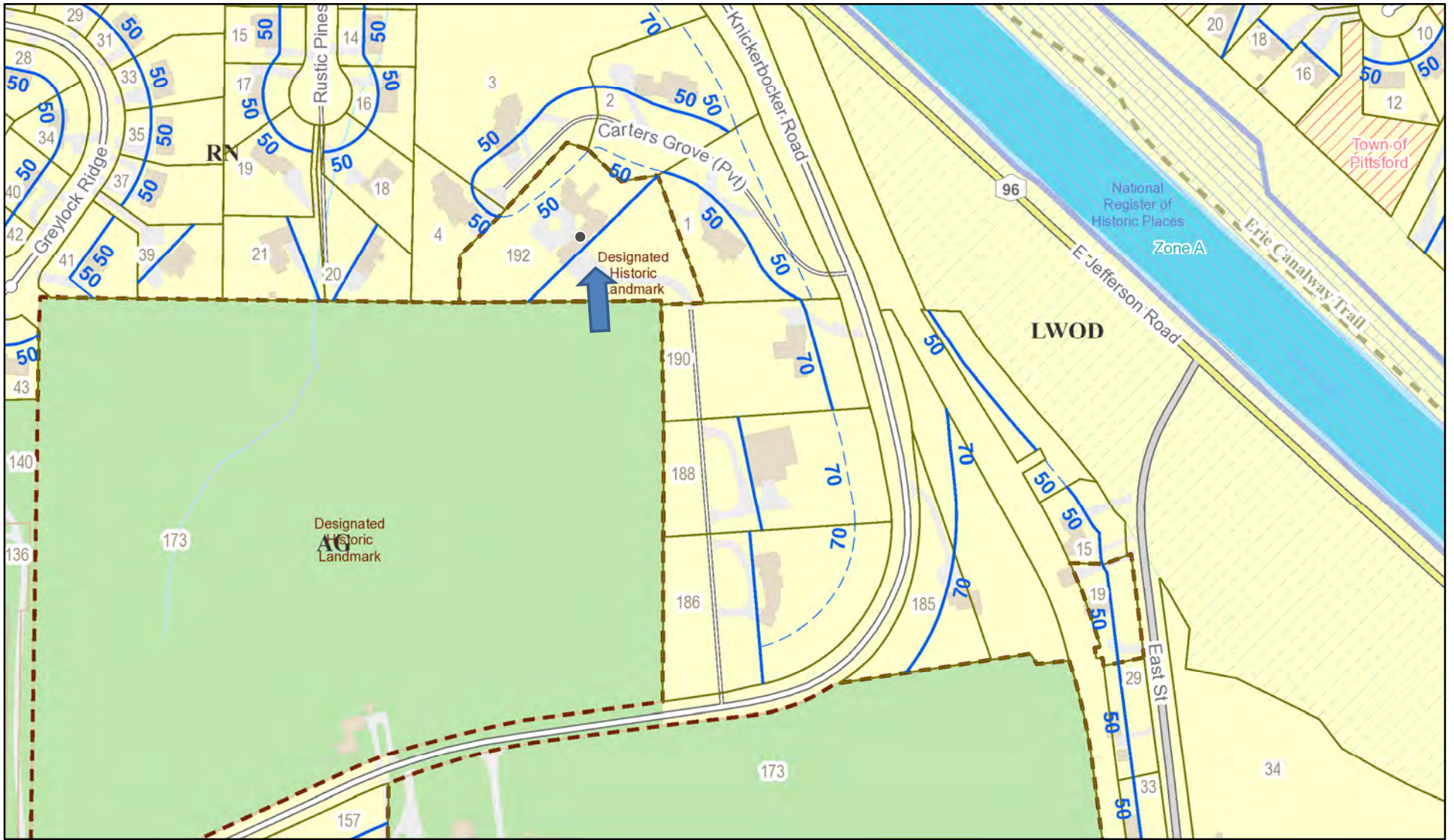
December 31, 2024

ARZ

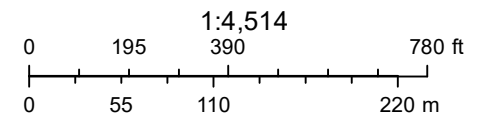
Date

April Zurowski -

192 Knickerbocker Road



Printed December 31, 2024



Town of Pittsford GIS

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Thu Sep 5 2024

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100 ft

Nearmap



Rustic Pines

Knickerbocker Rd

Carters Grv

Carters Grv

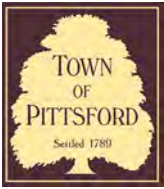
High Point Rd

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

50 ft

Nearmap



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: December 13, 2024 Hearing Date: January 20, 2025

Applicant: David Crowe

Address: 99 Garnsey Road, Suite 100, Pittsford, NY 14534

Phone: (585) 967-7780 E-Mail: dcrowe@djcornerstone.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Meaghan Larrabee
(if different than Applicant)

Address: 22 Lake Lacoma Drive, Pittsford, NY 14534

Phone: (585) 330-2630 E-Mail: meg@meaghanlarrabeeedesign.com

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 192 Knickerbocker Current Zoning: Residential Neighborhood (RN)

Tax Map Number: 164.150-0002-039.2

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

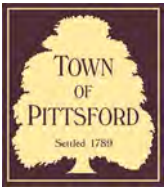
The Owners would like to renovate the existing home by making several updates interior and exterior of the building and site. The renovations include a minor kitchen addition, an addition to the existing garage, a screen room addition, modifications to the main entry façade, as well as a general rehabilitation of the exterior of the home. There are also (2) future phase structures shown, a future pool cabana and a future garage on the northwest side of the arrival court. Additionally, the project would include numerous landscape and site enhancements, including the renovation of the arrival court and parking areas, the addition of a kitchen garden terrace, renovation of the existing pool and pool terrace, and construction of a new spa. The proposed building and site enhancements are illustrated on the Site Master Plan, architectural plans and elevations, and other supporting documents included in this application.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

(Owner or Applicant Signature)

12/12/2024

(Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Meaghan Larrabee, the owner of the property located at:
192 Knickerbocker Road, Pittsford, NY 14534
(Street) (Town) (Zip)

Tax Parcel # 164.150-0002-039.2 do hereby authorize
David Crowe to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of _____
(6) area variance requests

Meaghan B. Larrabee

(Signature of Owner)

12/10/2024

(Date)

PROJECT SUMMARY

The Owners would like to renovate the existing home by making several updates interior and exterior of the building and site. The renovations include a minor kitchen addition, an addition to the existing garage, a screen room addition, modifications to the main entry façade, as well as a general rehabilitation of the exterior of the home. There are also (2) future phase structures shown, a future pool cabana and a future garage on the northwest side of the arrival court. Additionally, the project would include numerous landscape and site enhancements, including the renovation of the arrival court and parking areas, the addition of a kitchen garden terrace, renovation of the existing pool and pool terrace, and construction of a new spa. The proposed building and site enhancements are illustrated on the Site Master Plan, architectural plans and elevations, and other supporting documents included in this application.

Requested Variance

Maximum Building Footprint

Per code section §185-17 RN, Paragraph G, Table 2, the maximum building footprint is 6,167 Sq. Ft. The existing building footprint, including all contiguous roofed structures, covered walks, and porches is 5,962 Sq. Ft. The proposed building footprint, including the proposed garage addition, the proposed screen room, minor kitchen addition, and front entry porch roof is 8,054 Sq. Ft. The owner is requesting a variance for the maximum building footprint.

1. *Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance:*

No undesirable change to the character of the neighborhood will be produced by granting of the variances requested. The proposed increase in the building footprint is completely in keeping with the scale and character of this prominent historic estate and its architectural style. The total property coverage is well within compliance, and the increase in building footprint is well within the prescribed development limits for the lot size. Finally, the building additions will largely be screened from view by existing and supplemental landscape plantings.

The granting of this variance will in no way result in an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. *Please explain the reasons why the benefit sought by the applicant cannot be achieved by some method other than an area variance:*

Expanding the attached garage and adding a screen room is not possible without increasing the building footprint or eliminating existing program within the home. In an effort to reduce overall building footprint and enhance functionality and architectural character of the property, an existing poorly located and non-functional screen structure will be demolished and the redesigned and improved screen room will be repositioned in a much better location. Additionally, expanding the footprint of the home with the proposed additions is in keeping with the historic and rambling nature of building layout and will compliment the forms and massing of

the existing architecture. Finally, the proposed site coverage, even with the expanded building footprint, is well within compliance and very much in keeping with the scale of the prominent historic estate. Given these factors, the proposed building footprint increase has been considered with great care and will not result in any adverse impacts to the site or surrounding neighborhood.

3. Please explain whether the requested area variance is minimal or substantial:

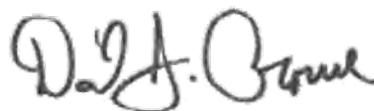
Given that the proposed site coverage is below 30% (40% allowed), including all proposed future accessory structures and program, the requested building footprint is not substantial. As noted previously, the proposed additions will enhance the architectural character of the building and estate, and will be almost entirely screened from view of neighboring properties. The new front entry porch roof contributes to this increased building coverage, however it will be built over what is now a stone terrace, and will not result in an increase in site coverage. Finally, the proposed landscape enhancements will provide additional screening from the south, west, north, and northeast further buffering the additions and home from the neighboring properties.

4. Please explain why you feel the requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district:

Based on the fact that the proposed site coverage is significantly less than allowed on this parcel and in the RN district, granting of the requested variances will not have any adverse impact on the neighborhood or zoning district. Additionally, the proposed landscaping and site design will maintain and enhance the existing vegetated borders. The site design, including grading and drainage techniques, will serve to enhance the character of the property and improve stormwater management systems. The project is designed in a manner that is environmentally responsible and will not result in adverse impacts to the surrounding environment, neighborhood, or zoning district.

5. Is the alleged difficulty self-created?

While the owner has proposed the stated building additions and increase of the building footprint which has resulted in the area variance request, the alleged difficulty is not self-created, but rather has been born out of numerous unique factors that predate the modern zoning ordinance. The home, which was built in the 1930s, has a very unique layout and charming, rambling form, which has contributed to the large footprint. Given the historic designation and character of the home, great care must be taken to sensibly make alterations and additions, further restricting the options for adding program to make the home function for the modern needs of a family. The owner and architectural design team have taken great care to propose logical and appropriate alterations and additions to the home which meet the needs of the owner and enhance the character of the home and prominent estate. Furthermore, for all of the reasons noted in the above question responses, the granting of this variance request is very reasonable and will have no negative impacts on the environment or the character of the neighborhood or district.



Respectfully Submitted By:
David Crowe
(Agent for Meaghan and Brenden Larrabee, Owner)

PROJECT SUMMARY

The Owners would like to renovate the existing home by making several updates interior and exterior of the building and site. The renovations include a minor kitchen addition, an addition to the existing garage, a screen room addition, modifications to the main entry façade, as well as a general rehabilitation of the exterior of the home. There are also (2) future phase structures shown, a future pool cabana and a future garage on the northwest side of the arrival court. Additionally, the project would include numerous landscape and site enhancements, including the renovation of the arrival court and parking areas, the addition of a kitchen garden terrace, renovation of the existing pool and pool terrace, and construction of a new spa. The proposed building and site enhancements are illustrated on the Site Master Plan, architectural plans and elevations, and other supporting documents included in this application.

Requested Variances

Setback – Garage Addition

Per code section §185-17 RN, Paragraph L, Section 1, the side setback for developed flag lots is 60' or the closest point to an existing primary structure. Per code section §185-17 RN, Paragraph L, Section 1.a, the building line shall be determined as a line running parallel with the front facade of the existing house along its frontmost face. The setback along the southern boundary of this parcel is 60' and the building line is 235'-5" from the front property corner. The existing garage stands approximately 64'-5" from the southern property boundary and behind the building line. The proposed garage addition extends south and east of the existing garage and will be 25' from the side boundary and 199' from the front corner of the property, or 36'-5" forward of the building line. The owner is requesting a variance for Front & Side Setbacks.

1. *Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance:*

No undesirable change to the character of the neighborhood will be produced by granting the variance requested. The proposed garage addition is more than 450' from the nearest public road (Knickerbocker Road) and is heavily shielded from neighboring properties by way of vegetation and grade change. While the proposed garage addition is forward of the existing building line, it is still 199' from the front property corner. Furthermore, while the garage addition is 25' from side property boundary, it is more than 800' from Knickerbocker Road to the south and has no neighbors along that property boundary, only farmland. The granting of this variance will in no way result in an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. *Please explain the reasons why the benefit sought by the applicant cannot be achieved by some method other than an area variance:*

While extending the garage to the northwest is theoretically possible, it does not make sense practically or architecturally and would destroy the form and character of the arrival court. By locating the garage as proposed and turning it 90 degrees to the existing garage, only the gable end of the structure is visible upon arrival, which nicely complements the existing architecture and accentuates the arrival experience, an important

consideration to this historic home and eclectic piece of architecture. Additionally, by turning the structure, it allows for a reduction in site grading and disturbance to the existing farm hedgerow, which right now almost entirely shields the property from Knickerbocker Road to the South.

The proposed garage addition is a logical continuation to the layout of the home and will compliment the existing architectural style and character of the building.

3. Please explain whether the requested area variance is minimal or substantial:

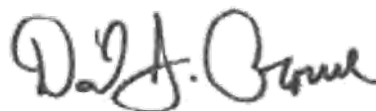
Given that the proposed addition is 25' from the closest property boundary and 199' from the front corner of the property, it is not substantial. Given the secluded nature of the property, the addition will be almost entirely hidden from view from neighboring properties and will not be discernable from any public way. Furthermore, it is more than 150' from the closest neighboring structure.

4. Please explain why you feel the requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district:

Based on the setback distance to the front property corner and the adjacent agricultural land use to the south, granting of the requested variance will not have any adverse impact on the neighborhood or zoning district. Additionally, the lot is well within site coverage compliance and the owner will maintain and enhance the existing vegetated borders. The site landscape design, including grading and drainage techniques that will be incorporated, will serve to enhance the character of the property and improve stormwater management systems. The project is designed in a manner that is environmentally responsible and will not result in adverse impacts to the surrounding environment, neighborhood, or zoning district.

5. Is the alleged difficulty self-created?

While the owner has proposed an addition to the existing home which has resulted in this area variance request, the alleged difficulty is not self-created, but rather has been born out of numerous factors that predate the modern zoning ordinance. The home, which was built in the 1930s on what was likely a much larger property historically, has a very unique layout and form. The unique building form, in combination with the setbacks established under the current zoning ordinance for developed flag lots, the position of the existing home on the lot, as well as the unique shape of the lot, has resulted in a very restrictive buildable area configuration. Furthermore, for all of the reasons noted in the above question responses, the granting of this variance request is very reasonable and will have no negative impacts on the environment or the character of the neighborhood or district.



Respectfully Submitted By:
David Crowe
(Agent for Meaghan and Brenden Larrabee, Owner)

PROJECT SUMMARY

The Owners would like to renovate the existing home by making several updates interior and exterior of the building and site. The renovations include a minor kitchen addition, an addition to the existing garage, a screen room addition, modifications to the main entry façade, as well as a general rehabilitation of the exterior of the home. There are also (2) future phase structures shown, a future pool cabana and a future garage on the northwest side of the arrival court. Additionally, the project would include numerous landscape and site enhancements, including the renovation of the arrival court and parking areas, the addition of a kitchen garden terrace, renovation of the existing pool and pool terrace, and construction of a new spa. The proposed building and site enhancements are illustrated on the Site Master Plan, architectural plans and elevations, and other supporting documents included in this application.

Requested Variance

Forward of Rear Wall – Kitchen Terrace

Per code section §185-113 RN, Paragraph B, Section 3, no accessory use or structure, except for fences, shall be located forward of the rear wall of the primary structure on the lot on which the accessory structure is located. The kitchen terrace will be located forward of the rear wall of the primary structure on the lot. The owner is requesting a variance for the location of the kitchen terrace forward of the rear wall of the primary structure.

1. *Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance:*

No undesirable change to the character of the neighborhood will be produced by granting of the variances requested. The proposed kitchen terrace, which consists of low garden walls, stone paving, and a modest grilling counter, will not be visible from any neighboring property and will be veiled in landscape garden plantings to enhance its appearance. The proposed kitchen terrace will be 83-6" to the nearest (southern) property line and over 200' from the front (east) property corner. Additionally, the kitchen terrace is located to have a convenient and logical relationship to the kitchen, providing simple indoor-outdoor access. The granting of this variance will in no way result in an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. *Please explain the reasons why the benefit sought by the applicant cannot be achieved by some method other than an area variance:*

Because the property does not have a conventional 'rear yard' by definition, it is not possible to locate the kitchen terrace without requiring a variance. Additionally, because of the intended function of the kitchen terrace as an outdoor dining area, and place to grow cooking herbs, it is only logical that it is located adjacent to the kitchen. Finally, because the kitchen terrace is made up of low garden walls, paving and a small grilling area, all surrounded by planting, it will not be visible from any neighboring property. Given these factors, the proposed kitchen terrace has been located with great care and will not result in any adverse impacts to the site or surrounding neighborhood.

3. Please explain whether the requested area variance is minimal or substantial:

Given that the proposed kitchen terrace is 83'-6" from the closest (south) property boundary and 125' from nearest neighboring residential property boundary to the east (#1 Carters Grove), the requested variances are not substantial. Additionally, the proposed kitchen terrace will be entirely hidden from view from neighboring properties and will not be visible from any public way. Finally, the proposed landscape enhancements will provide additional screening from all sides, further reducing any potential visibility the neighboring properties.

4. Please explain why you feel the requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district:

Based on the proposed setback distances of the kitchen terrace to property boundaries, granting of the requested variances will not have any adverse impact on the neighborhood or zoning district. Additionally, the lot is well within site coverage compliance (under 30%), and will maintain and enhance the existing vegetated borders. The site landscape design, including grading and drainage techniques that will be incorporated, will serve to enhance the character of the property and improve stormwater management systems. The project is designed in a manner that is environmentally responsible and will not result in adverse impacts to the surrounding environment, neighborhood, or zoning district.

5. Is the alleged difficulty self-created?

While the owner has proposed the addition of the kitchen terrace to the site which has resulted in this area variance request, the alleged difficulty is not self-created has been born out of numerous unique factors that predate the modern zoning ordinance. The home, which was built in the 1930s on what was likely a much larger property historically, has a very unique layout and form. The unique building form in combination with the setbacks and building line established under the current zoning ordinance for developed flag lots, the position of the existing home on the lot, as well as the unique shape of the lot, has resulted in a very restrictive buildable area configuration and no conventional 'rear yard' by definition. Furthermore, for all of the reasons noted in the above question responses, the granting of this variance request is very reasonable and will have no negative impacts on the environment or the character of the neighborhood or district.



Respectfully Submitted By:
David Crowe
(Agent for Meaghan and Brenden Larrabee, Owner)

PROJECT SUMMARY

The Owners would like to renovate the existing home by making several updates interior and exterior of the building and site. The renovations include a minor kitchen addition, an addition to the existing garage, a screen room addition, modifications to the main entry façade, as well as a general rehabilitation of the exterior of the home. There are also (2) future phase structures shown, a future pool cabana and a future garage on the northwest side of the arrival court. Additionally, the project would include numerous landscape and site enhancements, including the renovation of the arrival court and parking areas, the addition of a kitchen garden terrace, renovation of the existing pool and pool terrace, and construction of a new spa. The proposed building and site enhancements are illustrated on the Site Master Plan, architectural plans and elevations, and other supporting documents included in this application.

Requested Variance

Setback – Screen Room Addition

Per code section §185-17 RN, Paragraph L, Section 1, the side setback for a developed flag lot is 60' or the closest point to an existing primary structure. The side yard setback as established by the existing screen room structure is +/- 42'-8" from the side (Northeast) property boundary. The proposed screen room will be 31' from the side (Northeast) property boundary. The owner is requesting a variance for Side Setbacks.

1. *Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance:*

No undesirable change to the character of the neighborhood will be produced by granting the variance requested. The proposed screen room addition is more than 150' from the nearest structure (2 Carters Grove) to the northeast and is almost substantially obscured from neighboring properties by way of vegetation and grade change. While the proposed screen room addition is outside of the defined building area, it is still 31'-6" from the property boundary, which is a significant distance compared to many setback distances in the Residential Neighborhood District. The granting of this variance will in no way result in an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. *Please explain the reasons why the benefit sought by the applicant cannot be achieved by some method other than an area variance:*

Locating the screen room elsewhere on the property is not possible without requiring a variance or eliminating another programmatic function of the home or site. Locating the screen room in the northwest corner of the property is the most sensible choice architecturally and programmatically, and will not result in any adverse impacts to the site or surrounding neighborhood. Finally, the proposed screen room addition is a logical continuation to the layout of the home, will compliment the existing architectural style and character of the building, and will enhance and strengthen the site and landscape layout.

3. Please explain whether the requested area variance is minimal or substantial:

Given that the proposed addition is 31' from the closest property boundary and over 150' from nearest neighboring primary structure to the northeast (#2 Carters Grove), the requested variance is not substantial. Additionally, the proposed screen room will be almost entirely hidden from view from neighboring properties and will not be visible from any public way. Finally, the proposed landscape enhancements will provide additional screening from the west, further reducing visibility of the structure from the neighboring properties.

4. Please explain why you feel the requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district:

Based on the proposed setback distance being greater than many of the side yard setbacks in the RN district, granting of the requested variance will not have any adverse impact on the neighborhood or zoning district. Additionally, the lot is well within site coverage compliance, and will maintain and enhance the existing vegetated borders. The site landscape design, including grading and drainage techniques, will serve to enhance the character of the property and improve stormwater management systems. The project is designed in a manner that is environmentally responsible and will not result in adverse impacts to the surrounding environment, neighborhood, or zoning district.

5. Is the alleged difficulty self-created?

While the owner has proposed an addition to the existing home which has resulted in this area variance request, the alleged difficulty is not self-created, but rather has been born out of numerous factors that predate the modern zoning ordinance. The home, which was built in the 1930s on what was likely a much larger property historically, has a very unique layout and form. The unique building form in combination with the setbacks established under the current zoning ordinance for developed flag lots, the position of the existing home on the lot, as well as the unique shape of the lot, has resulted in a very restrictive buildable area configuration. Furthermore, for all of the reasons noted in the above question responses, the granting of this variance request is very reasonable and will have no negative impacts on the environment or the character of the neighborhood or district.



Respectfully Submitted By:
David Crowe
(Agent for Meaghan and Brenden Larrabee, Owner)

PROJECT SUMMARY

The Owners would like to renovate the existing home by making several updates interior and exterior of the building and site. The renovations include a minor kitchen addition, an addition to the existing garage, a screen room addition, modifications to the main entry façade, as well as a general rehabilitation of the exterior of the home. There are also (2) future phase structures shown, a future pool cabana and a future garage on the northwest side of the arrival court. Additionally, the project would include numerous landscape and site enhancements, including the renovation of the arrival court and parking areas, the addition of a kitchen garden terrace, renovation of the existing pool and pool terrace, and construction of a new spa. The proposed building and site enhancements are illustrated on the Site Master Plan, architectural plans and elevations, and other supporting documents included in this application.

Requested Variances

Setback – Spa

Per code section §185-17 RN, Paragraph L, Section 1, the side setback for a developed flag lot is 60' or the closest point to an existing primary structure. The side yard setback as established by the existing screen room structure is +/- 42'-8" from the side (Northeast) property boundary. The proposed spa will be 32' from the side (Northeast) property boundary. The owner is requesting a variance for Side Setback.

Forward of Rear Wall – Spa

Per code section §185-113 RN, Paragraph B, Section 3, no accessory use or structure, except for fences, shall be located forward of the rear wall of the primary structure on the lot on which the accessory structure is located. The spa will be located forward of the rear wall of the primary structure on the lot. The owner is requesting a variance for the location of the spa forward of the rear wall of the primary structure.

1. *Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance:*

No undesirable change to the character of the neighborhood will be produced by granting of the variances requested. The proposed spa will not be visible from any neighboring property and will be located in what could be considered the "rear yard" of the home, opposite of the main entry. Additionally, the spa will be considerably further from the property line than the existing inground pool and will be seamlessly integrated into a low garden wall. Finally, adjacent landscape plantings will provide further integration and concealment. The granting of these variances will in no way result in an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. *Please explain the reasons why the benefit sought by the applicant cannot be achieved by some method other than an area variance:*

Locating the spa adjacent to the existing inground pool is the most sensible choice programmatically and is the least visible portion of the site, given its low-lying nature. Given these factors, the proposed spa has been located with great care and will not result in any adverse impacts to the site or surrounding neighborhood. Locating the spa elsewhere on the property is not possible without requiring a setback variance, eliminating

another programmatic function of the site, and/or becoming more visible to the neighboring properties. Given that the Building Line has been established on the arrival side of the home, rather than the main entry, the defined location of the “rear yard” does not correspond with the layout of the building and site.

3. Please explain whether the requested area variance is minimal or substantial:

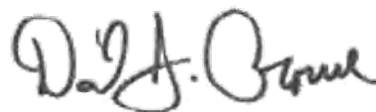
Given that the proposed spa is 32' from the closest property boundary and over 150' from nearest neighboring primary structure to the northeast (#2 Carters Grove), the requested variances are not substantial. Additionally, the proposed spa will be entirely hidden from view from neighboring properties and will not be visible from any public way. Finally, the proposed landscape enhancements will provide additional screening from the west, further reducing visibility of the structure from the neighboring properties.

4. Please explain why you feel the requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district:

Based on the proposed setback distance being greater than many side yard setbacks in the RN district, granting of the requested variances will not have any adverse impact on the neighborhood or zoning district. Additionally, the lot is well within site coverage compliance, and the owner will maintain and enhance the existing vegetated borders. The site landscape design, including grading and drainage techniques that will be incorporated, will serve to enhance the character of the property and improve stormwater management systems. The project is designed in a manner that is environmentally responsible and will not result in adverse impacts to the surrounding environment, neighborhood, or zoning district.

5. Is the alleged difficulty self-created?

While the owner has proposed the addition of a spa to the site which has resulted in these area variance requests, the alleged difficulty is not self-created, but rather has been born out of numerous unique factors that predate the modern zoning ordinance. The home, which was built in the 1930s on what was likely a much larger property historically, has a very unique layout and form. The unique building form in combination with the setbacks and building line established under the current zoning ordinance for developed flag lots, the position of the existing home on the lot, as well as the unique shape of the lot, has resulted in a very restrictive buildable area configuration and no conventional 'rear yard' by definition. Furthermore, for all of the reasons noted in the above question responses, the granting of these variance requests is very reasonable and will have no negative impacts on the environment or the character of the neighborhood or district.



Respectfully Submitted By:
David Crowe
(Agent for Meaghan and Brenden Larrabee, Owner)

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Larrabee Residence - 192 Knickerbocker Road

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment
 variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

12/12/2024

(Dated)

99 Garnsey Road

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)

REFERENCES:

1. ABSTRACT OF TITLE NO. 81302123 (STEWART AUG. 19, 2024).
2. LIBER 10487 OF DEEDS, PAGE 646.
3. LIBER 226 OF MAPS, PAGE 56.
4. LIBER 252 OF MAPS, PAGE 81.
5. RESTRICTIONS PER L-6104D, P-169.
6. UTILITY EASEMENT PER L-8103D, P-337.
7. ACCESS & UTILITY EASEMENT PER L-3963D, P-30.

SURVEY NOTES:

THE HORIZONTAL DATUM IS REFERENCED TO NAD-83 ON THE N.Y.S. PLANE COORDINATE SYSTEM, BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCES SHOWN ARE HORIZONTAL. SURVEY WORK FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.

THE VERTICAL DATUM IS REFERENCED TO NAVD-88

HORIZONTAL AND VERTICAL DATUM WERE MEASURED USING RTK GPS ON THE NYS NETWORK.

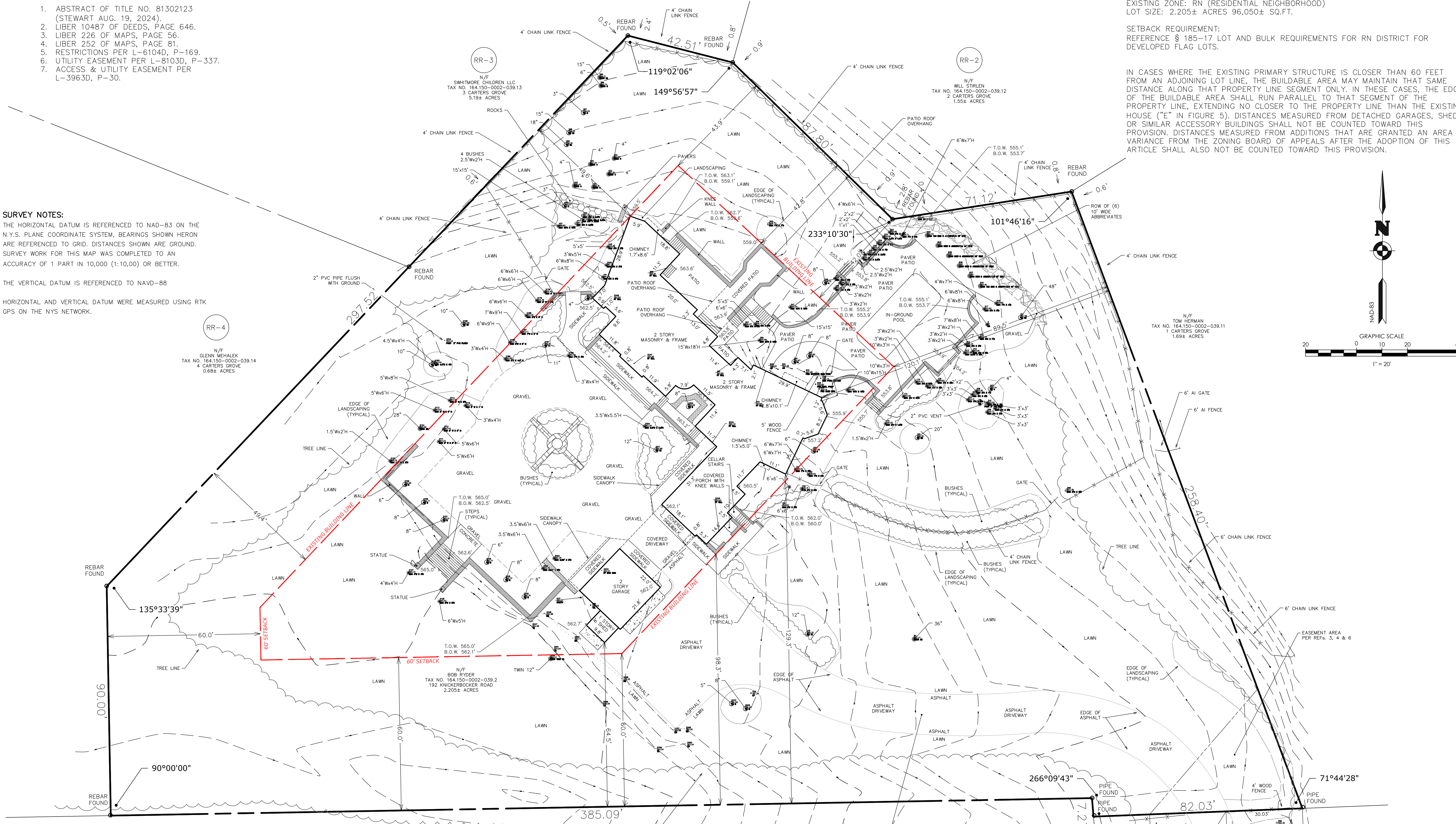
ZONING AND SETBACK INFORMATION:

EXISTING ZONE: RN (RESIDENTIAL NEIGHBORHOOD)
LOT SIZE: 2.205± ACRES 96,050± SQ.FT.

SETBACK REQUIREMENT:
REFERENCE § 185-17 LOT AND BULK REQUIREMENTS FOR RN DISTRICT FOR DEVELOPED FLAG LOTS.

IN CASES WHERE THE EXISTING PRIMARY STRUCTURE IS CLOSER THAN 60 FEET FROM AN ADJOINING LOT LINE, THE BUILDABLE AREA MAY MAINTAIN THAT SAME DISTANCE ALONG THAT PROPERTY LINE SEGMENT ONLY. IN THESE CASES, THE EDGE OF THE BUILDABLE AREA SHALL RUN PARALLEL TO THAT SEGMENT OF THE PROPERTY LINE, EXTENDING NO CLOSER TO THE PROPERTY LINE THAN THE EXISTING HOUSE ("E" IN FIGURE 5). DISTANCES MEASURED FROM DETACHED GARAGES, SHEDS OR SIMILAR ACCESSORY BUILDINGS SHALL NOT BE COUNTED TOWARD THIS PROVISION. DISTANCES MEASURED FROM ADDITIONS THAT ARE GRANTED AN AREA VARIANCE FROM THE ZONING BOARD OF APPEALS AFTER THE ADOPTION OF THIS ARTICLE SHALL ALSO NOT BE COUNTED TOWARD THIS PROVISION.

Y:\PROJECTS\NEW\2024\20243999\20243999\01_CAD-BIM-MODELS\SURVEY\REV 20243999.0001_T0PO FOR DESIGN 192 KNICKERBOCKER ROAD_EXPLODED FOR CLIENT.DWG 12/19/2024 11:19 AM Alan Snyder



CERTIFICATION:
WE, PASSERO ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED USING PORTIONS OF THE REFERENCE MATERIAL AS LISTED HEREON AND FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED 23 AUG 2024. THIS PARCEL IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES OF RECORD. NO CERTIFICATION IS EXTENDED TO INFORMATION NOT REFERENCED.



ALAN J. SNYDER, N.Y.S.P.L.S. NO. 051080

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL INKED OR EMBOSSED SEAL AND INKED SIGNATURE SHALL BE CONSIDERED A TRUE AND VALID COPY.
CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE AGENCIES LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PA
Passero Associates
Rochester, NY Fernandina Beach, FL
www.passero.com

ABBREVIATION TABLE	
A.G.	ABOVE GROUND
C.I.	CAST IRON
C.N.C.	CONCRETE
E.O.P.	EDGE OF PAVEMENT
MEAS.	MEASURES
R.O.W.	RIGHT OF WAY

LEGEND	
CB	CATCHBASIN
CO	CLEANOUT (UNKNOWN TYPE)
DCO	CLEANOUT DRAINAGE SEWER
SCO	CLEANOUT SANITARY SEWER
END SECTION	END SECTION DRAINAGE PIPE
GV	GAS VALVE
HYD	HYDRANT
LP	LIGHTPOLE
MH	MANHOLE (UNKNOWN TYPE)
EMH	MANHOLE ELECTRIC
MH	MANHOLE DRAINAGE INLET
DMH	MANHOLE DRAINAGE SEWER
SMH	MANHOLE SANITARY SEWER
TMH	MANHOLE TELE/COMM
SP	SIGN POST (SINGLE)
SP	TRAFFIC LIGHT SPAN POLE
TREE	TREE CONIFEROUS
TREE	TREE DECIDUOUS
PP	UTILITY POLE
GW	UTILITY POLE ANCHOR WIRE
WS	UTILITY POLE WITH LIGHT
WS	WATER SERVICE
WV	WATER VALVE

Revisions			
No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7309 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

Passero Associates
242 WEST MAIN STREET, SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 Fax: (585) 760-8580
Principal-in-Charge David L. Cox, PE
Project Manager Robert A. Vento, PLS
Drafted by R.D.C.

Client:
BAYER LANDSCAPE
ARCHITECTURE
19 N. MAIN STREET
HONEOYE FALLS, NY, 14472

EXISTING CONDITIONS & INSTRUMENT SURVEY
192 KNICKERBOCKER ROAD
TAX ID No. 164.150-02-039.002
TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

Project No.	20243999.0001
Drawing No.	B&T-1
Sheet No.	1 of 1
Scale:	1" = 20'
Date:	DECEMBER 2024

SITE PLAN KEY:

PAVING & HARDSCAPE

- LARGE PAVERS
- SMALL PAVERS
- STONE COBBLE
- ASPHALT PAVING
- STEPS
- LOW STONE WALL
- EXISTING STONE WALL TO REMAIN
- FLUSH CURB
- NEW FENCE

BOUNDARIES & SITE FEATURES

- EXISTING BUILDING
- PROPOSED BUILDING ADDITION
- PROPOSED FUTURE BUILDING
- PROPERTY LINE
- EXISTING STRUCTURE FOOTPRINT (TO BE REMOVED)
- TREE / SHRUB LINE
- EXISTING CONIFER (REDUCED SCALE SHOWN)
- EXISTING DECIDUOUS TREE (REDUCED SCALE SHOWN)
- PLANTING AREA
- PROPOSED TREE

BUILDING MODIFICATIONS & ADDITIONS:

- 1 PROPOSED GARAGE EXPANSION
- 2 EXISTING GARAGE MODIFICATION & EXPANSION
- 3 PROPOSED KITCHEN EXPANSION
- 4 ENCLOSURE OF EXISTING COVERED ENTRY AREA
- 5 PROPOSED MODIFICATION TO MAIN ENTRY OF HOME
- 6 MODIFICATION TO EXISTING INTERNAL STAIR
- 7 PROPOSED SCREEN ROOM
- 8 FUTURE POOL CABANA
- 9 FUTURE DETACHED GARAGE

SITE COVERAGE CALCULATIONS:

EXISTING LOT SIZE:	95,832 SF (2.2 ACRES)
MAXIMUM ALLOWABLE LOT COVERAGE (40%):	38,333 SF (40.0%)
EXISTING COVERAGE (%):	21,292 SF (22.2%)
PROPOSED LOT COVERAGE (%):	27,826 SF (29.0%)

ZONING CHART - TOWN OF PITTSFORD:

ZONING DISTRICT: RESIDENTIAL NEIGHBORHOOD (RN)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	N/A	95,832 SQ. FT	95,832 SQ. FT
MIN. LOT WIDTH	N/A	345'	345'
MIN. FRONT YARD SETBACK	PER CODE	235'-5"	199'
MIN. REAR YARD SETBACK	60'	49'-6"	49'-6"
MIN. SIDE YARD SETBACK	60'	42'-8"	25'
MIN. REAR YARD SETBACK (ACCESSORY)	60'	N/A	N/A
MAX. BUILDING HEIGHT	30'	N/A	N/A
MAX. BUILDING FOOTPRINT	6,167 SQ. FT.	5,962 SQ. FT.	8,054 SQ. FT. (PRIMARY)
MAX. ACCESSORY BUILDING HEIGHT	12'	N/A	N/A
MAX. LOT COVERAGE	38,333 SQ. FT. (40.0%)	21,293 SQ. FT. (22.2%)	27,826 SQ. FT. (29.0%)



Bayer Landscape Architecture, PLLC
 19 North Main Street
 Honeye Falls, New York 14472
 P: 585-582-2000
 F: 585-582-2005
 bayerla.com

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

Scale: 1"=20'-0"

Checked By: MHB
 Drawn By: DMB
 Design By: BLA
 Date: 2024-12-13
 Project No: 2024-111

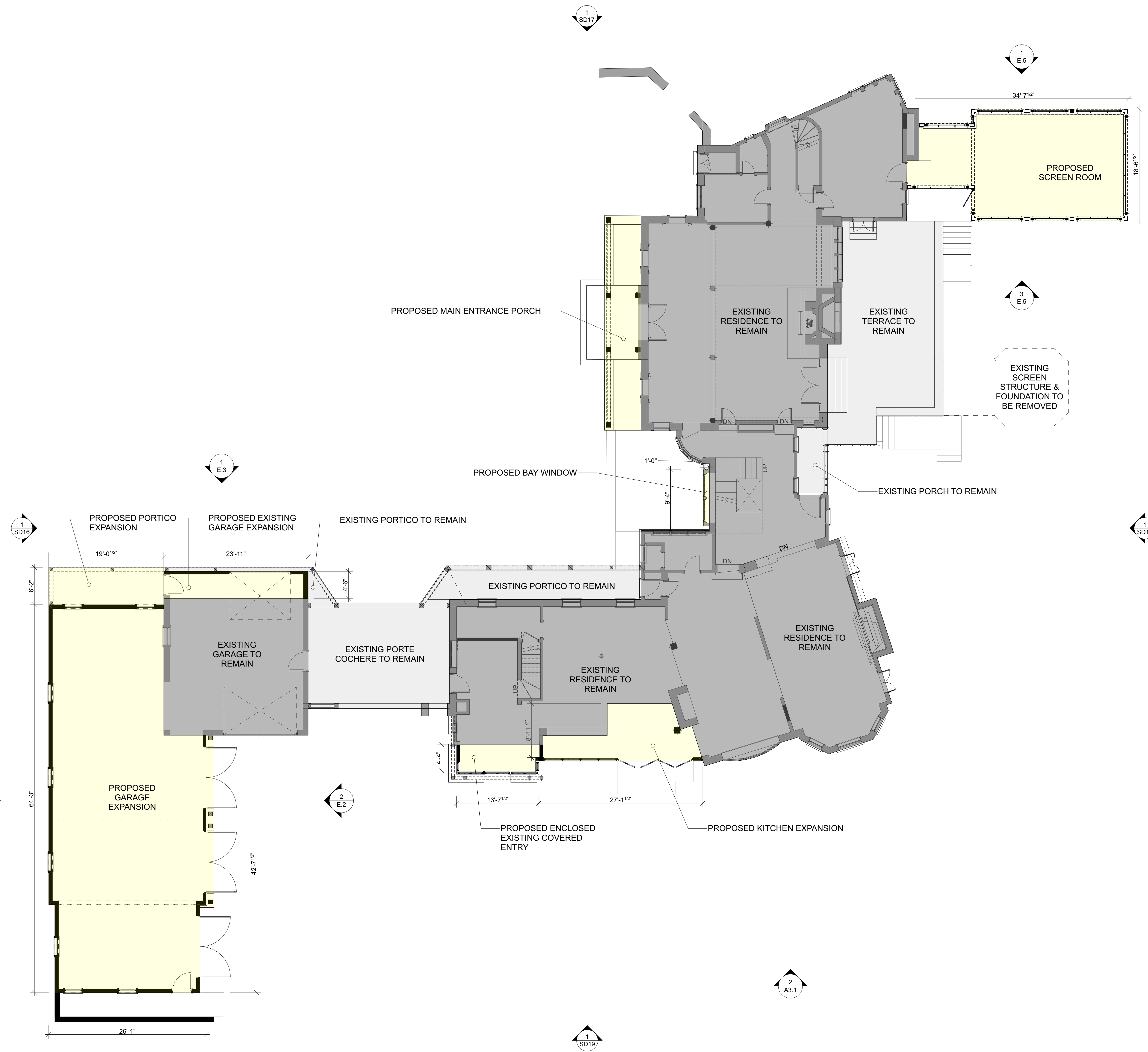
No. _____ Date _____

LARRABEE RESIDENCE
 192 KNICKERBOCKER ROAD
 PITTSFORD, NEW YORK 14534

SITE MASTER PLAN

L1.0

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OVERALL GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

REVISIONS

PROJECT NO. D-24163

LARRABEE RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24
Zoning Review

SCALE 1/4" = 1'-0"

FLOORPLAN

D.1



NORTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

REVISIONS

PROJECT NO. D-24168

**LARRABEE
RESIDENCE**
192 Knickerbocker Road Pittsford NY 14534

ISSUED 10/11/24
Zoning Review

1/4" = 1'-0"

EXTERIOR
ELEVATIONS

D.2



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

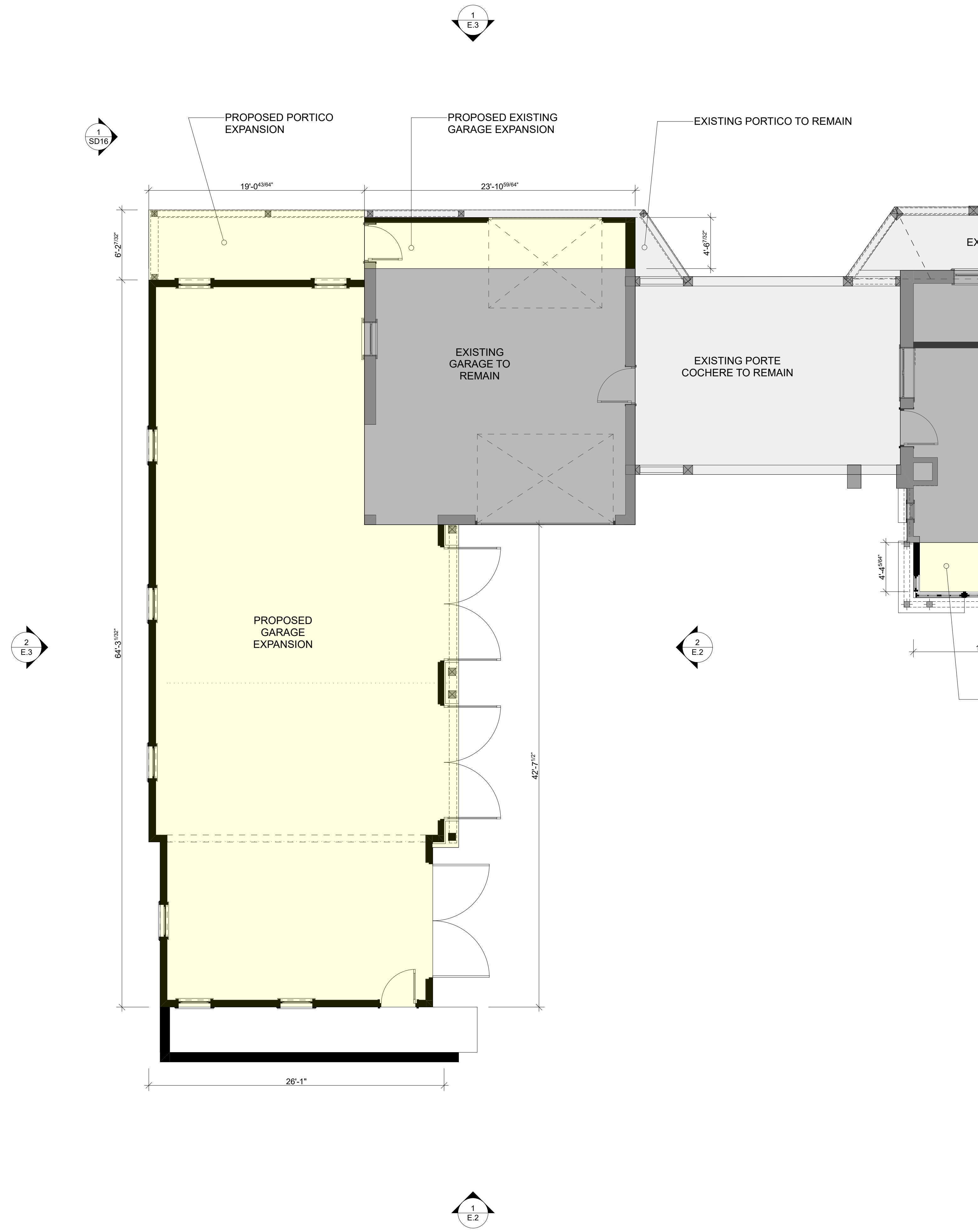
PROJECT NO. D-24168

LARRABEE
RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

DATE 12/11/24
REVISIONS
Pending Review

SCALE 1/4" = 1'-0"

EXTERIOR
ELEVATIONS



1 GARAGE FLOOR PLAN
SCALE: 3/16" = 1'-0"

REVISIONS

PROJECT NO. D-24183

LARRABEE RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

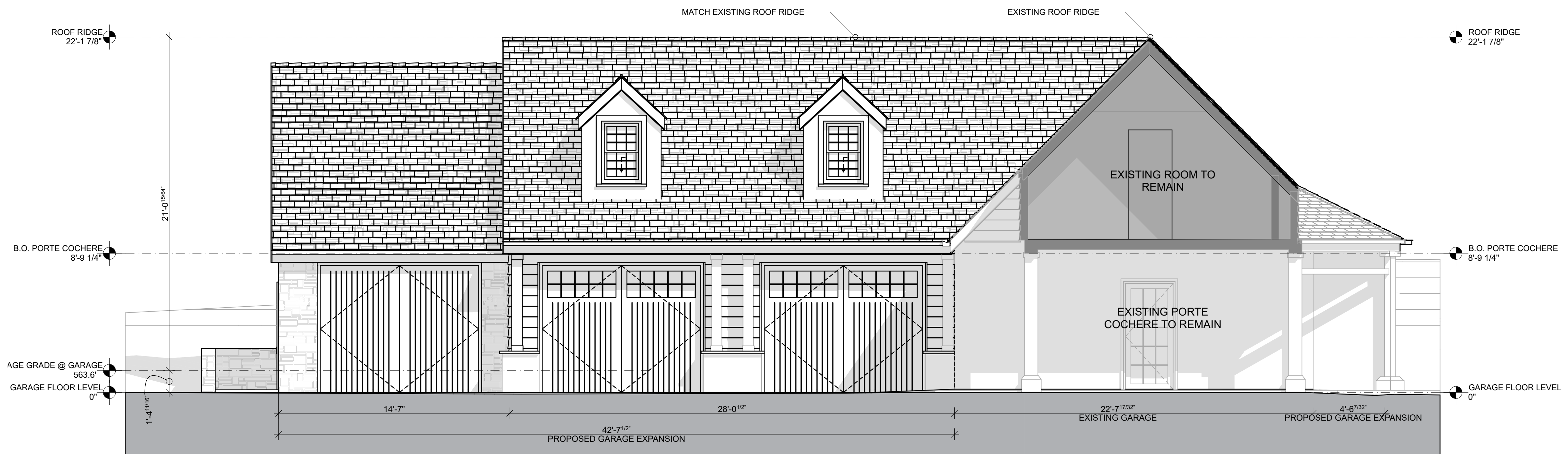
ISSUED 12/11/24
Zoning Review

SCALE 1/4" = 1'-0"

Garage Floorplan



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

PROJECT NO. D-24183

LARRABEE RESIDENCE
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24
Zoning Review

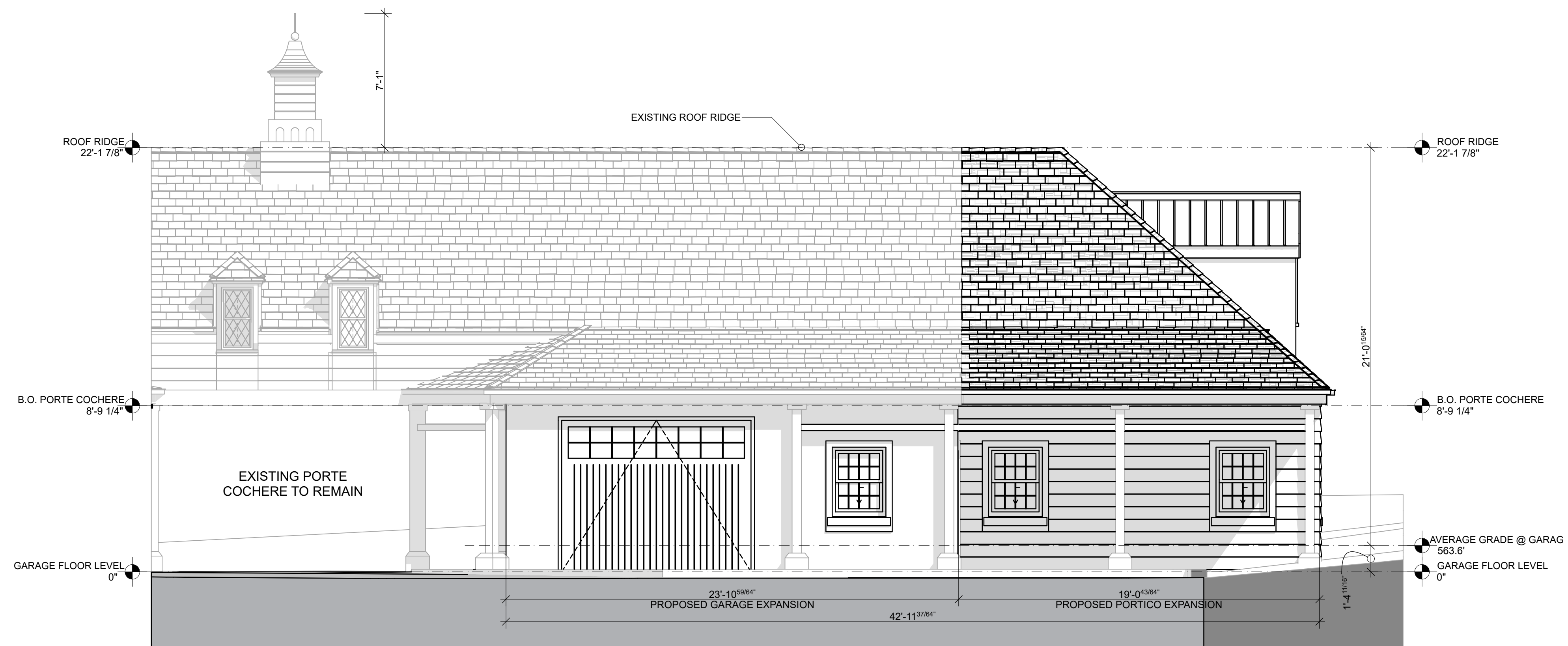
SCALE 1/4"=1'-0"

Garage Elevations

E.2



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

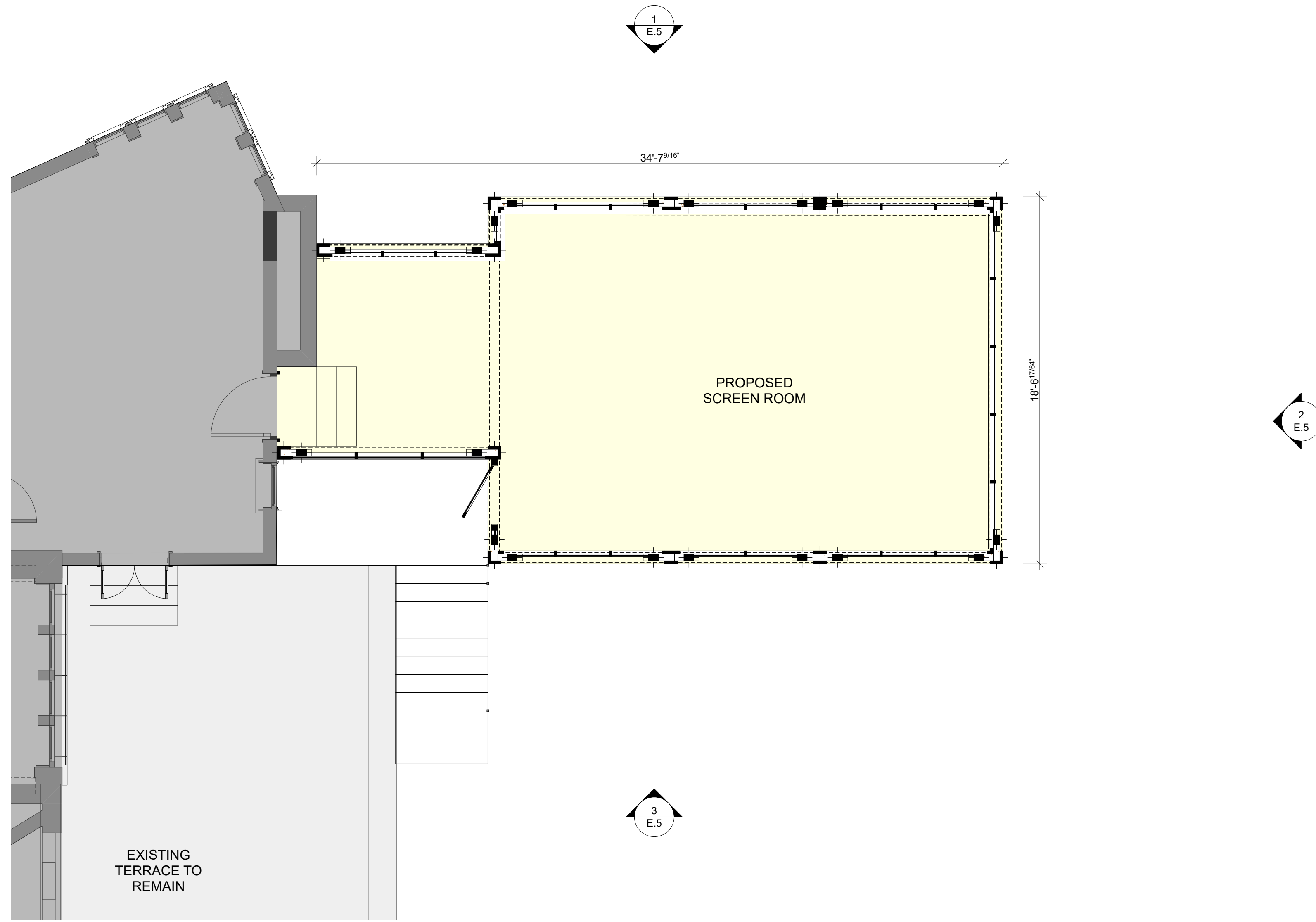
PROJECT NO. D-24163

**LARRABEE
RESIDENCE**
192 Knickerbocker Road Pittsford NY 14534

ISSUED 12/11/24
Zoning Review

SCALE 1/4"=1'-0"

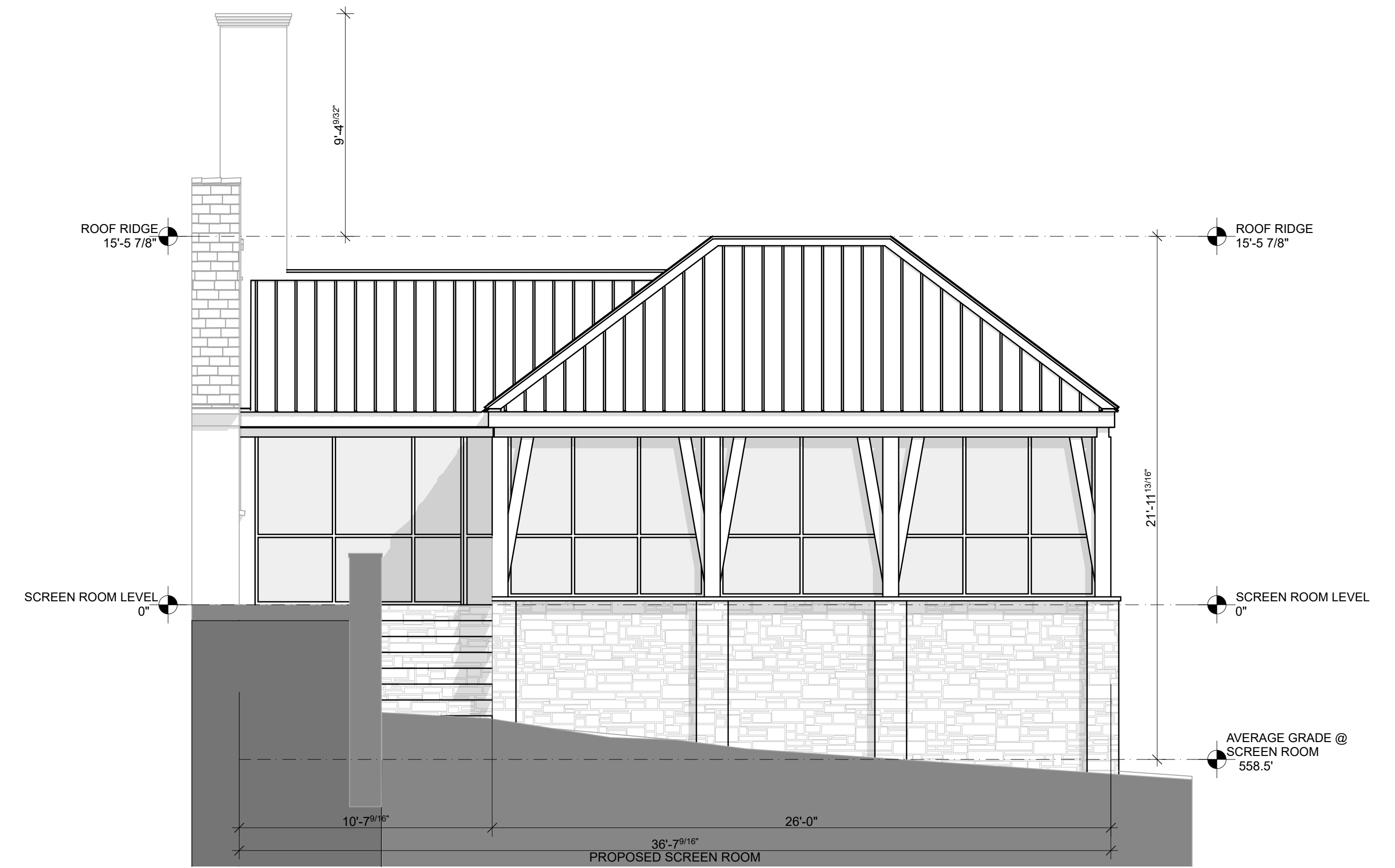
Garage
Elevations



1 SCREEN ROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



View from side entry looking toward proposed garage addition location



View from existing drive looking toward garage & addition location



View of main entry, back of existing garage, and arrival court



View from existing pool terrace of home & proposed spa location



View existing screen structure and location of proposed screen room from side yard



View from pool terrace toward existing screen structure



View from proposed kitchen garden terrace location



View existing screen structure and location of proposed screen room from side yard

Zoning Board of Appeals Referral Form Information

ZB24-000041

Property Address:

83 Kilbourn Road ROCHESTER, NY 14618

Property Owner:

Mullard, Thomas M CoTrust
5301 Trails Bend Ct
Sarasota, FL 34238

Agent:

Design Works Architecture

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Total Side Setback:	25	Total Side Setback:	21.9	Total Side Setback:	3.1
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section: Applicant is requesting relief from Town Code Section 185-17 E. for the construction of an addition not meeting the total side setback requirement. This property is zoned Residential Neighborhood (RN).

Staff Notes: This property does not meet the updated (2012) Residential Neighborhood Zoning requirements for total side setback. The applicant is requesting to construct an addition off the rear of the home and therefore will still not meet the total side setback requirement. Both the existing home and addition meet the minimum side setback requirement.

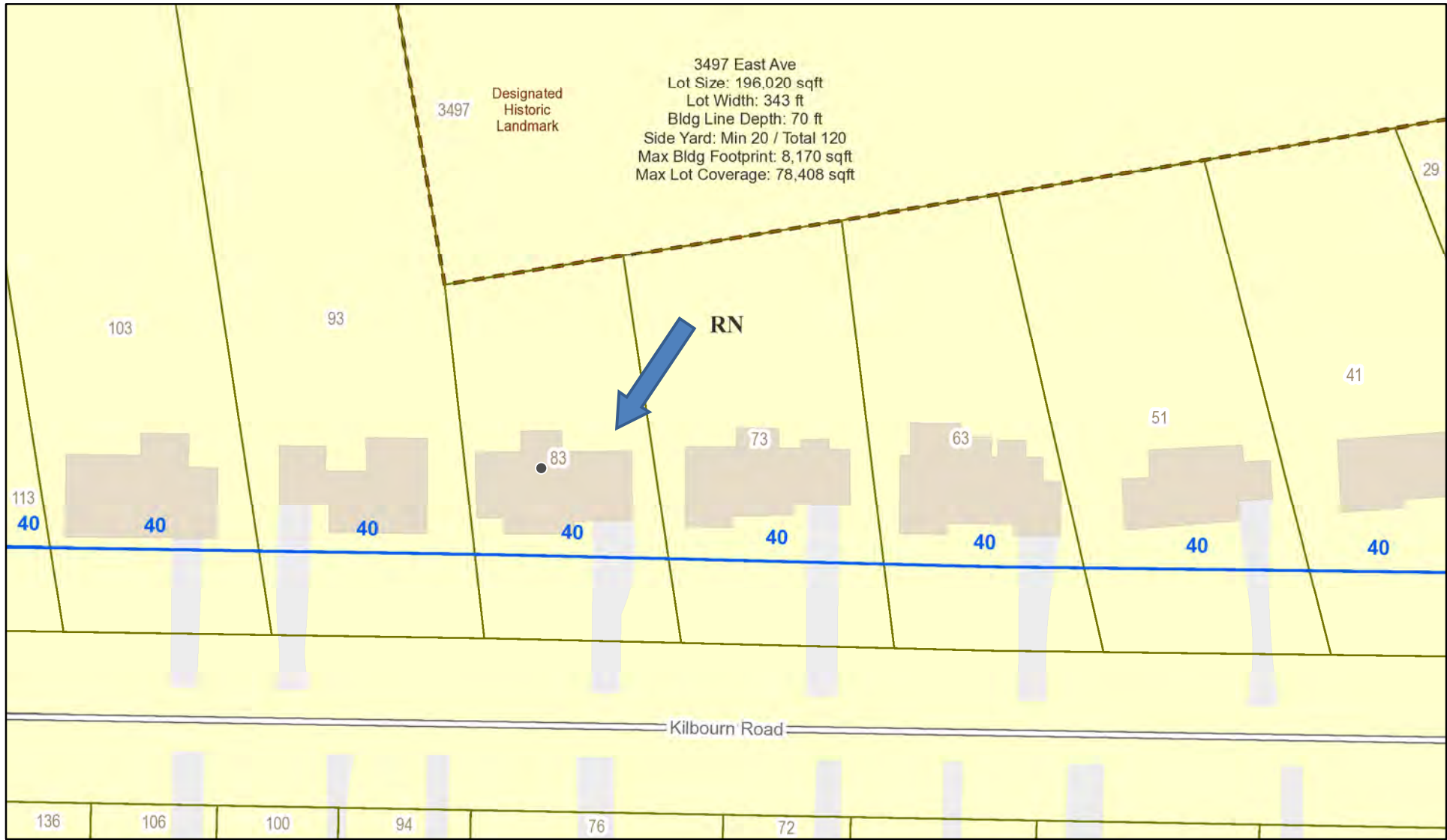
December 31, 2024

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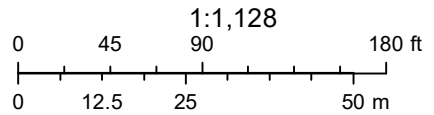
Date

April Zurowski -

83 Kilbourn Road



Printed December 31, 2024



Town of Pittsford GIS

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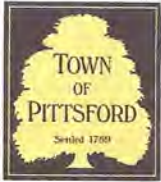


Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

50 ft

Nearmap



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: _____ Hearing Date: _____

Applicant: Design Works Architecture, P.C.

Address: 6 N Main St #104, Fairport NY 14450

Phone: (585) 377-9001 E-Mail: chuck@newdesignworks.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Thomas & Elizabeth Mullard
(if different than Applicant)

Address: 5301 Trails Bend Court, Sarasota FL 34238

Phone: (978) 618-2870 E-Mail: tmtmullard@gmail.com

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 83 Kilbourn Rd Current Zoning: RN - Residential Neighborhood

Tax Map Number: 138.14-1-24

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

Build a single story, 16'-8" wide by 29' deep addition on the rear of the house. The addition will be slab-on-grade.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Charles B. Smith, R.A.
(Owner or Applicant Signature)

12/10/2024
(Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Thomas M. MULLARD, the owner of the property located at:
83 KILBOURN RD., ROCHESTER 14618
(Street) (Town) (Zip)

Tax Parcel # 138.14-1-24 do hereby authorize
CHARLES B. SMITH, R.A. to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of
BEDROOM + OFFICE ADDITION


(Signature of Owner)
11.22.2024
(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The proposed addition is one story and matches the architectural character of the neighborhood. The existing house has a setback of 11.38' and the proposed setback is improved to 12.5'. One side yard setback in this neighborhood is allowed to be 10.0' with a total of 25.0'

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

This house is built as a slab on grade so there is no opportunity to place an office in a basement. The proposed room creates an en-suite primary bedroom which is desired to be accessible so adding a second story is not an option. The lot line is not parallel to the house so to move the optimal floor plan layout outside of the required 14.5' setback would reduce the patio between the addition and the sunroom to only 10.33' which is not an ideal width for an outdoor or indoor room to function well for entertaining. Finally, the width of the addition is ideal for the interior accessibility of the space and the aesthetic layout of the glass bay style end wall designed to feature views to the landscape and reduce bulk.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

Minimal. The proposal is offers 86% of the required setback. 38% of the side wall of the proposed addition is outside of the 14.5' setback. Only a small triangle of the addition encroaches due to the lot line not being parallel to the house.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The proposed addition will not have an adverse effect on the drainage or sun access for the neighborhood. The windows facing the neighbor to the right (east) are all small and high transom style to maintain privacy. The proposed wing will offer sound and visual privacy to the back yard of the neighbor to the east from the applicant's patio where guests will congregate.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes, however the difficulty is caused by the lot layout with the house being built parallel to the street and the east lot line intersecting the street at 8 degrees off perpendicular.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Single story addition to 83 Kilbourn Rd

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment
 variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

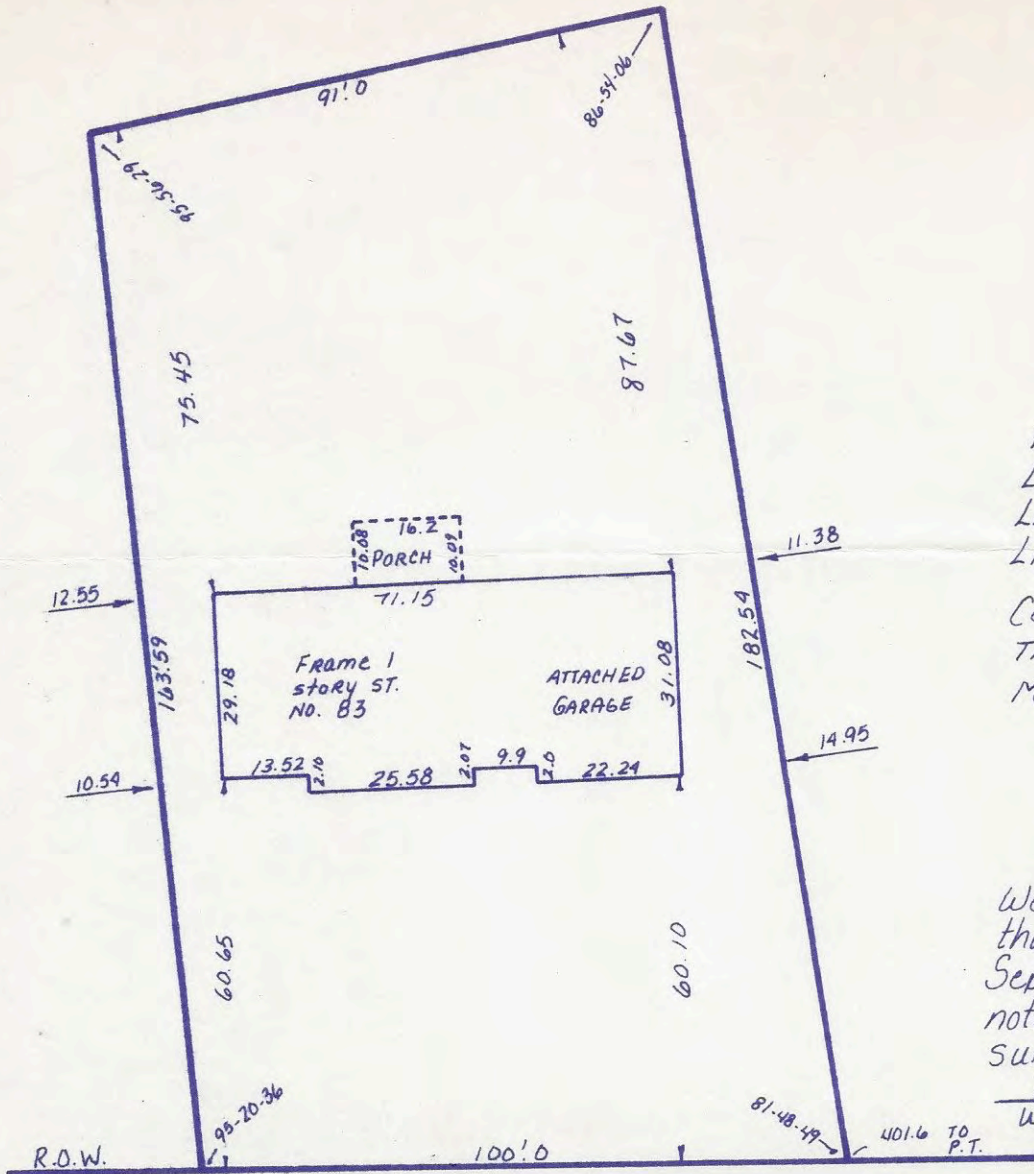
Address(es)

Charles B. Smith, R.A.
(Signature of Applicant)

12/10/2024
(Dated)

6 N Main St #104
(Street Address)

Fairport, NY 14450
(City/Town, State, Zip Code)



Reference:
 Liber 113 of maps pg. 83
 Liber 118 of maps pg. 57
 Liber 2836 of deeds pg. 161

Certify to:
 Thomas A. McDermott
 Martin Q. & Beverly B. Moll

We McGrail & Fry certify
 that this map was made
 September 5, 1985 from
 notes of an instrument
 survey.

Warren R. McGrail
 WARREN R. McGRAIL LS. 42513

KILBOURN (80.0' WIDE) ROAD

Copies of this survey map not bearing the Land Surveyors inked seal or embossed seal shall not be considered to be a valid true copy."

"Unauthorized alteration or addition to this survey map is a violation of Section 7209 of the New York State Education Law."

"Guarantees or certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Guarantees or certifications are not transferable to additional institutions or subsequent owners."

MAP OF A SURVEY
 OF LOT R-8, EAST AVENUE ESTATES
 TOWN OF PITTSFORD

MONROE Co.

NEW YORK

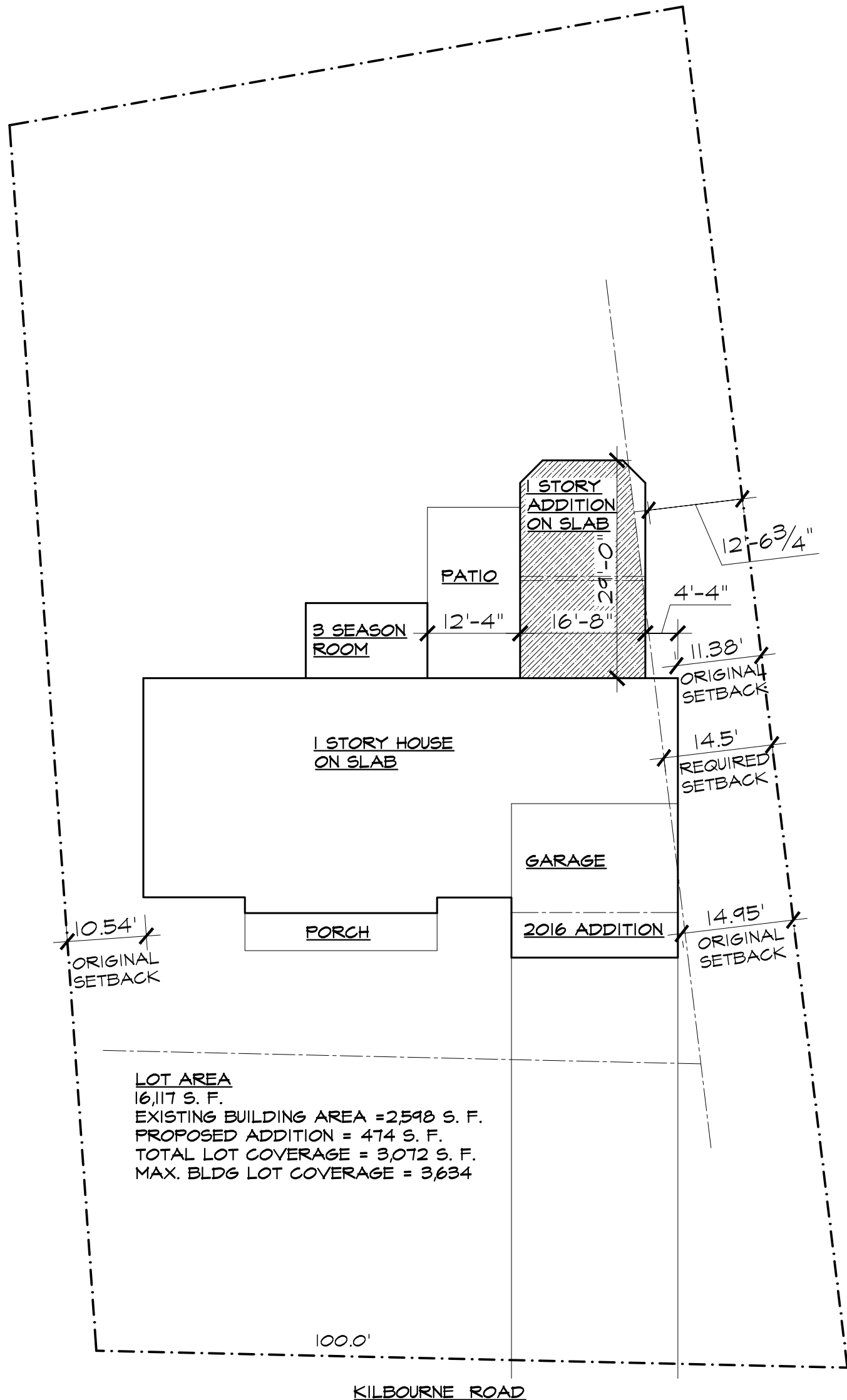
DATE:
 SEPTEMBER 5, 1985

SCALE:
 1 IN = 30 FT.

FILE:
 4888-85-1

McGRAIL & FRY
 LAND SURVEYORS
 63 EMPIRE BOULEVARD
 ROCHESTER, NEW YORK.



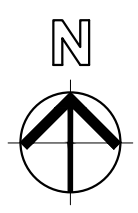


LOT AREA
 16,117 S. F.
 EXISTING BUILDING AREA = 2,598 S. F.
 PROPOSED ADDITION = 474 S. F.
 TOTAL LOT COVERAGE = 3,072 S. F.
 MAX. BLDG LOT COVERAGE = 3,634

KILBOURNE ROAD

SITE SKETCH

SCALE: $\frac{1}{16}'' = 1'-0''$



DESIGN WORKS
 ARCHITECTURE

6 North Main Street, Suite 104, Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com

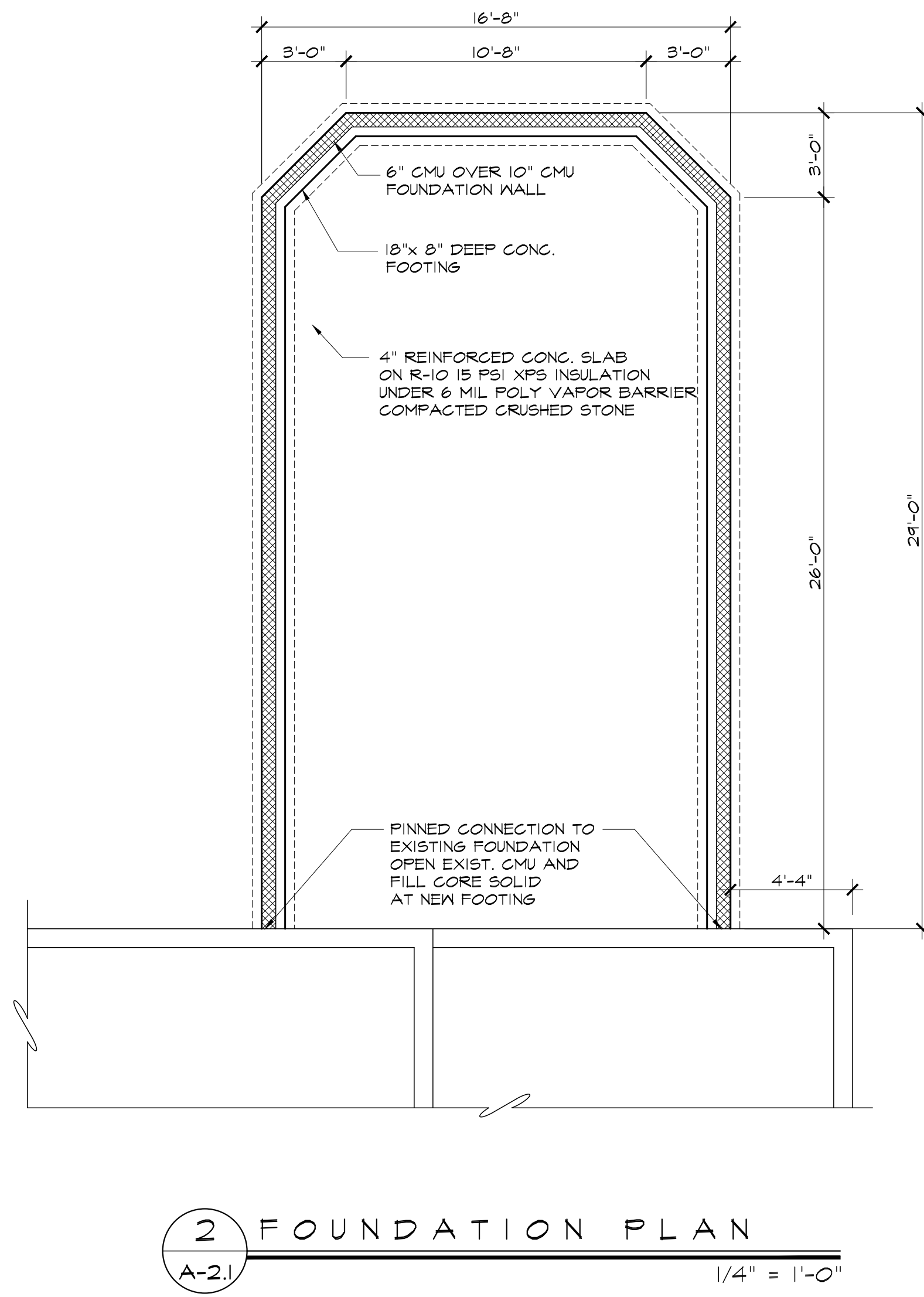
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83 KILBOURNE ROAD
 MULLARD RESIDENCE

DECEMBER 10, 2024 DESIGN DEVELOPMENT

FOUNDATION NOTES:

- ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
- THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
- FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
- THE CONCRETE USED FOR FOOTINGS AND FOUNDATION WALLS (NOT EXPOSED TO THE WEATHER) SHALL HAVE A MINIMUM STRENGTH OF 2500 PSI AND SHALL BE AIR ENTRAINED AS REQUIRED THE RESIDENTIAL CODE OF NEW YORK STATE.
- TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
- BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
- PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
- CRACK SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
- UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
- REQUIRED ACCESS TO CRAWL SPACES IS 18"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
- PROVIDE PERIMETER FOUNDATION PERFORATED P.V.C DRAINPIPE FITTED AT 1/8" IN 12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. **SUPERIOR WALL FOUNDATION SYSTEMS SHALL PLACE 4" DIA. P.V.C SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.
- CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB FOR FUTURE CONNECTION IF NECESSARY.
- ALL COMPACTED SOIL TO BE COMPACTED IN 12" LIFTS.
- 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA.) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 1" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
- CMU FOUNDATION WALL SYSTEM - SEE CMU NOTES & TYPICAL DETAILS.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1), SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
- EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE, SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
- BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT DESIGN WORKS ARCHITECTURE.
- BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
- MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD KEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE GRADE.



2 FOUNDATION PLAN
A-2.1 1/4" = 1'-0"

CAST-IN-PLACE CONCRETE AND REINFORCING:

- BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS AND EMBEDDED ITEMS.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"x 45 DEGREES UNLESS OTHERWISE NOTED.
- ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
- ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
- WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
- SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6x6 W2.9x2.9 WELDED WIRE MESH.
- THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED.
 - FOOTINGS 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER 2"
 - WALLS 1 1/2"
 - SLABS 3/4"

C.M.U. NOTES:

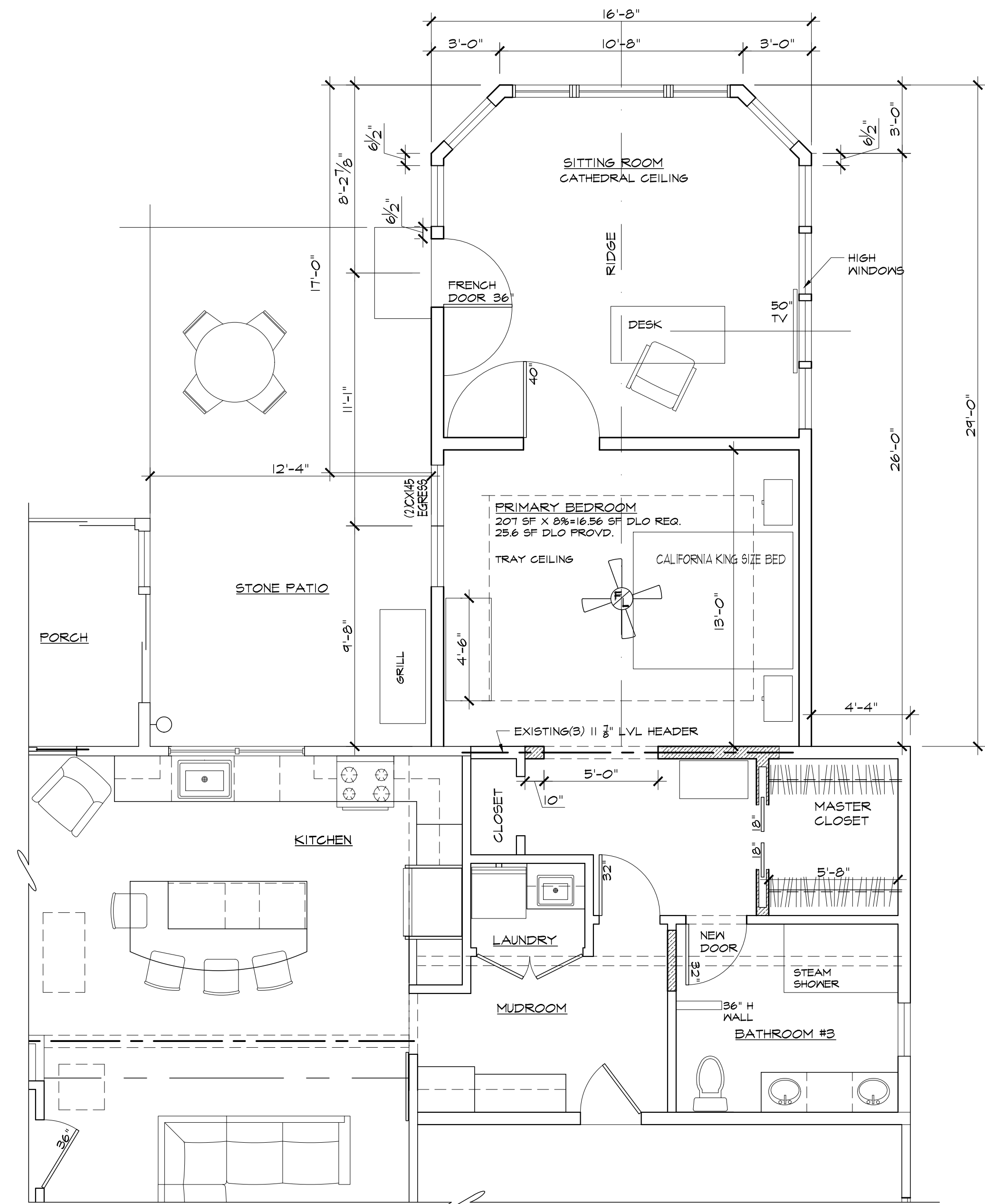
- CONCRETE MASONRY UNITS - HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"x16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
- MORTAR - MORTAR SHALL BE TYPE S.
- TRUSSED HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
- BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/8" UNIFORM THICKNESS.
- WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
- ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.

TILE SPECIFICATION:

- USE UNMODIFIED MORTAR FOR SETTING TILE OVER AN IMPERMEABLE WATERPROOF MEMBRANE OR ANTI-FRACTURE MEMBRANE. DO NOT USE A POLYMER MODIFIED THIN SET.
- DO NOT USE A POLYMER MODIFIED THIN SET MORTAR.
- ADD 3/16" GAP BEHIND STUCCO/THIN STONE LAYER AND IN FRONT OF WRB - WATER RESISTIVE BARRIER. PROVIDE A RAINGREEN SYSTEM, MTI SURE CAVITY OR APPROVED EQUAL AS A DRAINAGE MEDIUM IN THE GAP BETWEEN THE WRB LAYER AND THE EXTERIOR SURFACE.
- PROVIDE A VENTILATED KEEP SCREED (MTI L&R KEEP SCREED OR APPROVED EQUAL) AT THE BASE OF ALL WALLS FOR VENTILATION. WRB MUST BE LAPPED OVER THE KEEP SCREED.
- PROVIDE A MOISTURE DIVERTER AT THE HEAD OF ALL WINDOWS AND DOORS EXTENDING 4" BEYOND EITHER SIDE OF THE OPENING TO DIVERT MOISTURE TO THE DRAINAGE SYSTEM. (MTI MOISTURE DIVERTER OR APPROVED EQUAL).
- PROVIDE A WINDOW DRAINAGE PLANE AT THE SILL OF ALL WINDOWS TO PREVENT ENTRAPPED MOISTURE. (MTI DRAINAGE PLANE OR APPROVED EQUAL).

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER.
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.).
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.).
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.).
- DOUBLE JACK STUDS AT ALL 4'-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.).
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.).
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.).
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.



1 FIRST FLOOR PLAN
A-2.1 1/4" = 1'-0"

PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS	
No.	Description

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104 :: Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com

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Tom & Elizabeth
MULLARD RESIDENCE

99 Kilbourne Road
Town of Pittsford
Monroe County, NY

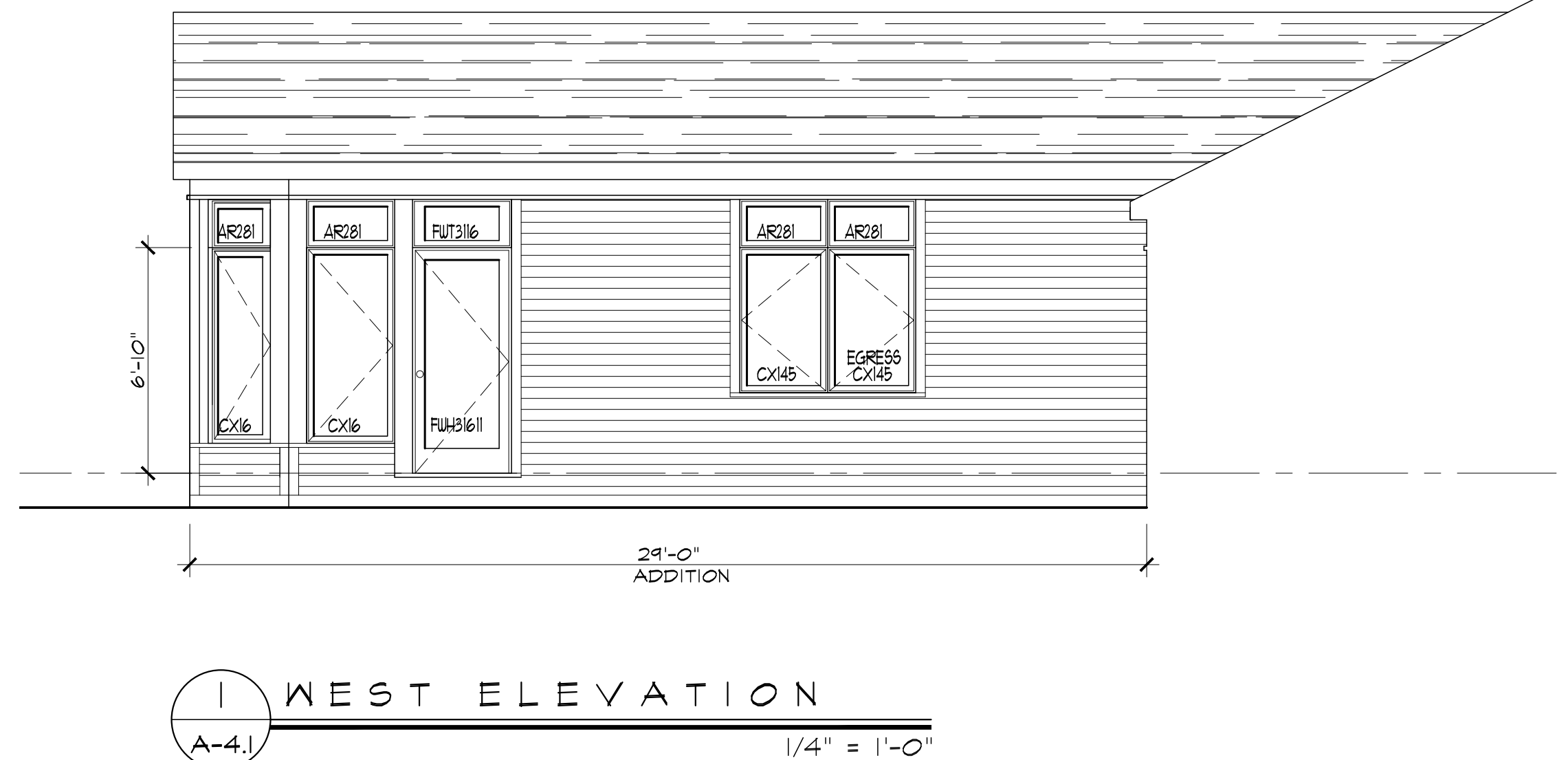
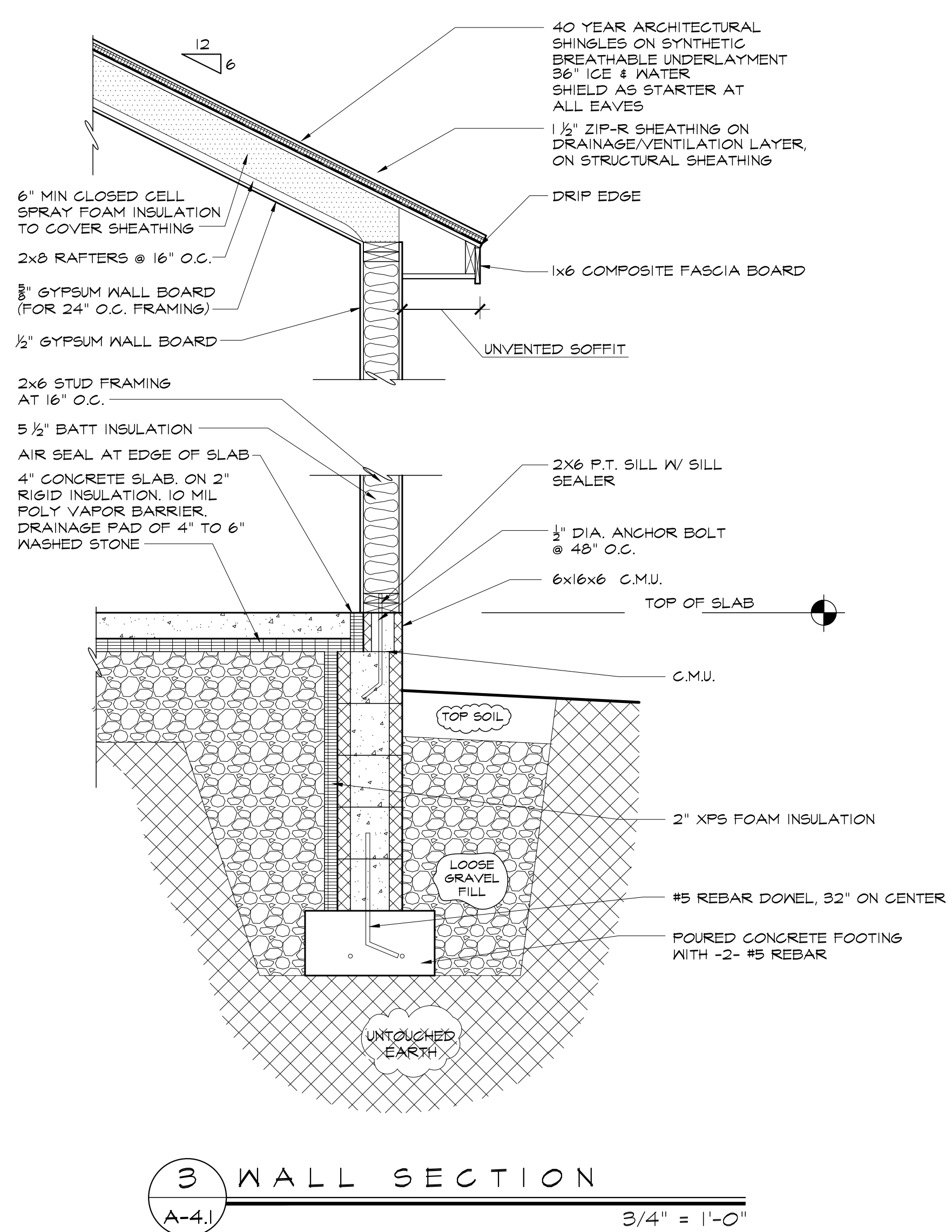
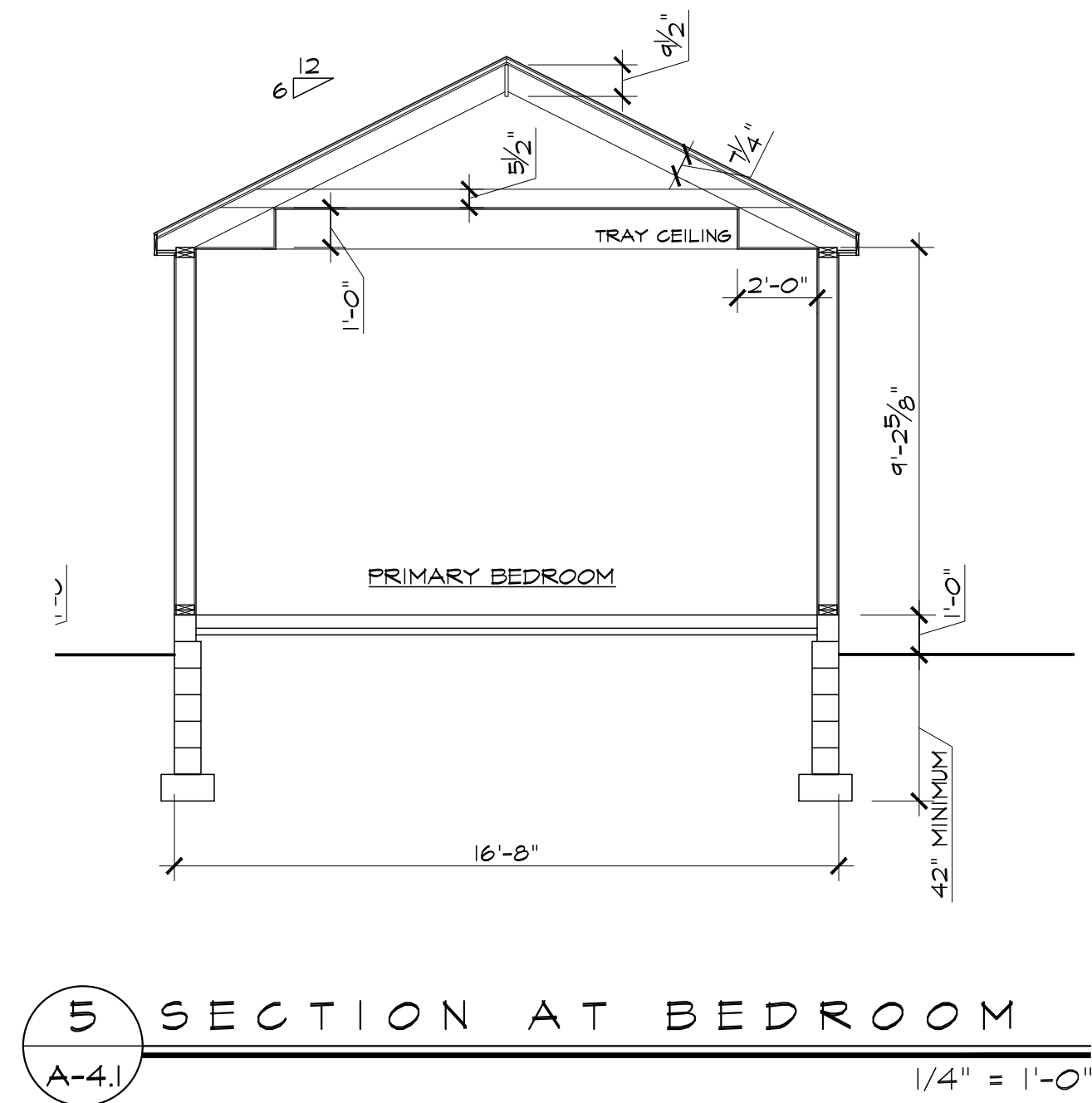
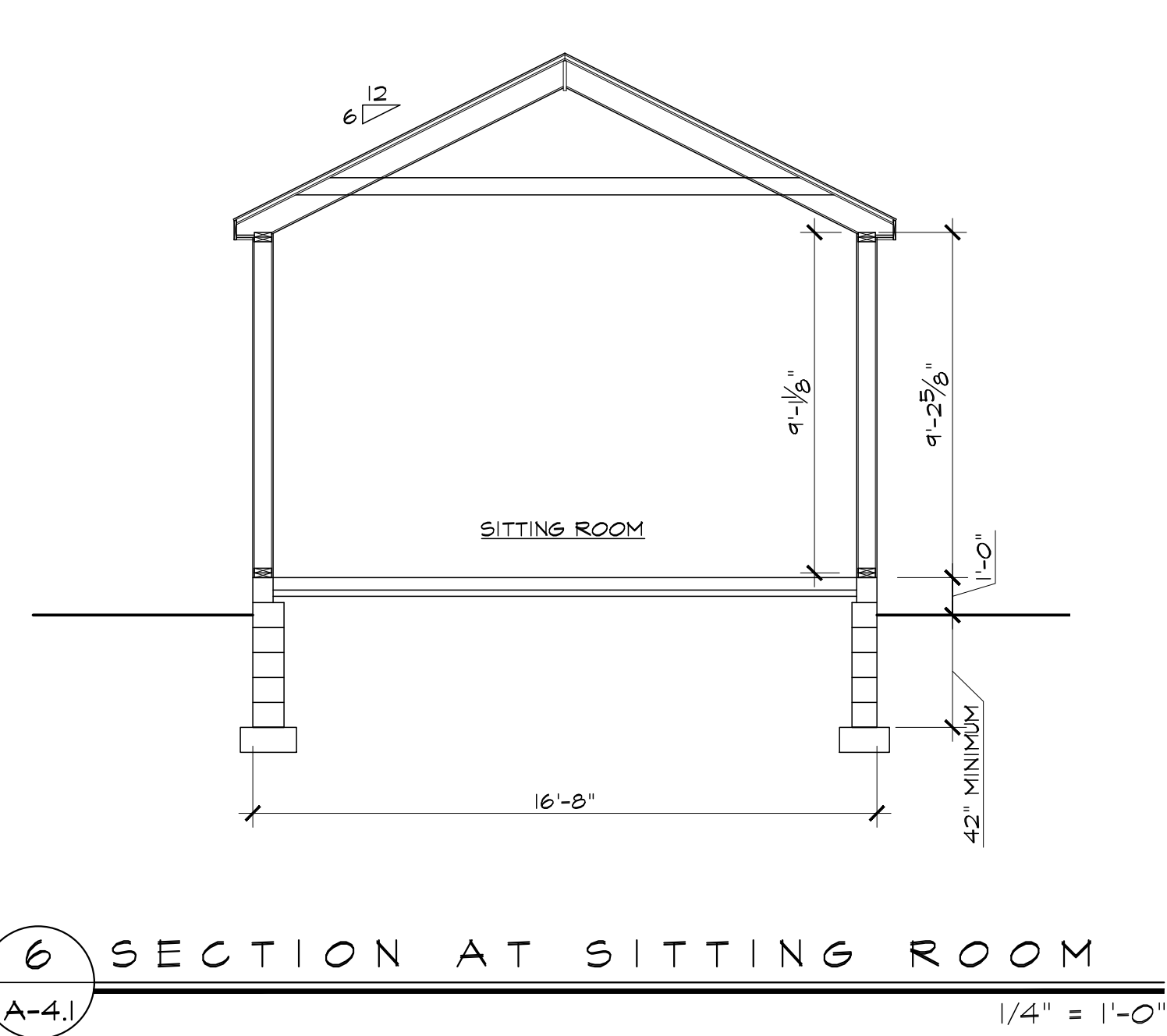
Project No.	2419
Date:	12-08-24
Scale:	AS NOTED
Drawn by:	JAS
Checked by:	CBS

File: Construction Documents
FLOOR PLAN

A-2.1

ELEVATION NOTES:

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- WINDOW NUMBERS ON PLANS AND ELEVATIONS REFER TO ANDERSEN WINDOWS.
- WINDOW TAGS ON PLANS AND ELEVATIONS THAT HAVE AN "E" OR "T" BESIDE ITS DESIGNATION ARE TO DENOTE "EGRESS" OR "TEMPERED" AS BEING REQUIRED.
- ALL FINISH COLORS FOR WINDOWS AND FRAMES TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
- CONTRACTOR TO VERIFY ALL WINDOW SIZES AND QUANTITIES PRIOR TO ORDERING.
- INSTALL MEMBRANE UP MIN. 12" ON WALLS AT INTERSECTING ROOFS.
- MAINTAIN MANUFACTURER'S RECOMMENDED OFFSET OF SIDING TO GRADE OR ROOF SURFACE.



REVISIONS	
No.	Description

DESIGN WORKS ARCHITECTURE

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Tom & Elizabeth MULLARD RESIDENCE

83 Kilbourn Road
 Town of Pittsford
 Monroe County, NY

Project No. 2419
Date: 12-09-24
Scale: AS NOTED
Drawn by: JAS
Checked by: CBS

Title: Construction Documents BUILDING ELEVATIONS

1/4" = 1'-0"

PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES

Zoning Board of Appeals Referral Form Information

ZB24-000042

Property Address:

39 Country Club Drive ROCHESTER, NY 14618

Property Owner:

Garellick, Cindy E
39 North Country Club Dr
Rochester, NY 14618

Agent:

Design Works Architecture

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	70	Front Setback:	63	Front Setback:	7.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section: Applicant is requesting relief from Town Code Section 185-17 B. (1) for the construction of an addition extending past the building line. This property is zoned Residential Neighborhood (RN).

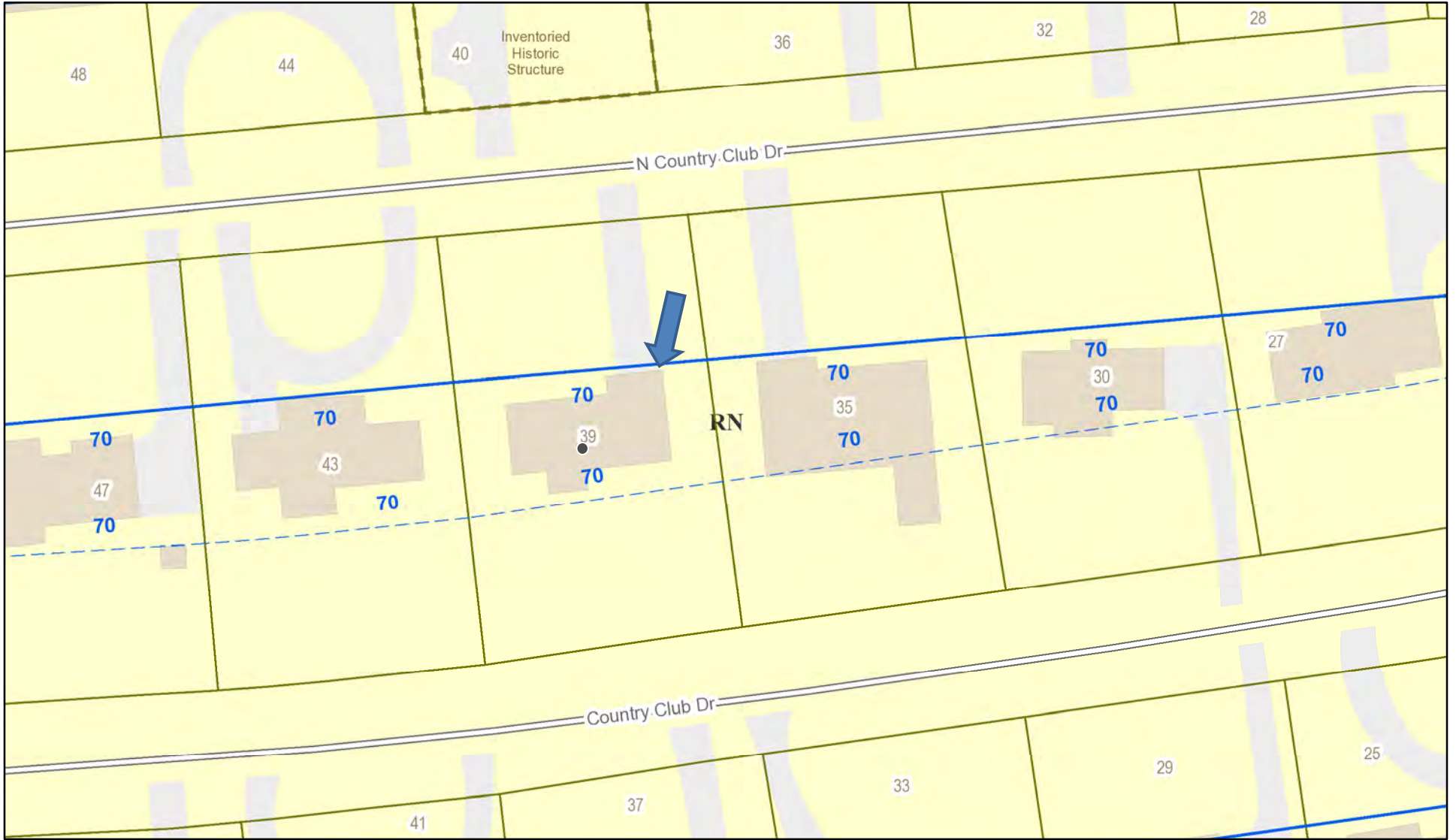
December 31, 2024

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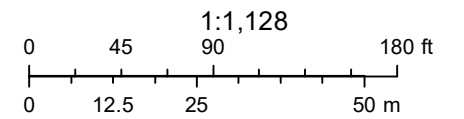
Date

April Zurowski -

39 N Country Club Drive



Printed December 31, 2024



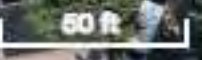
Town of Pittsford GIS

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Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



Nearmap

N Country Club Dr

N Country Club Dr

Country Club Dr

Country Club Dr

56

52

48

44

40

36

32

28

24

20

55

51

47

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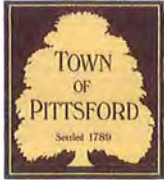
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TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: December 10, 2024 Hearing Date: _____

Applicant: Design Works Architecture, PC Charles B. Smith, RA

Address: 6 North Main Street Suite 104

Phone: 943-8587 E-Mail: chuck@newdesignworks.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: 203-297-2360 E-Mail: _____

Property Owner: Justin and Kate White
(if different than Applicant)

Address: 39 Country Club Drive North

Phone: 203-297-2360 E-Mail: jreidwhite@yahoo.com

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

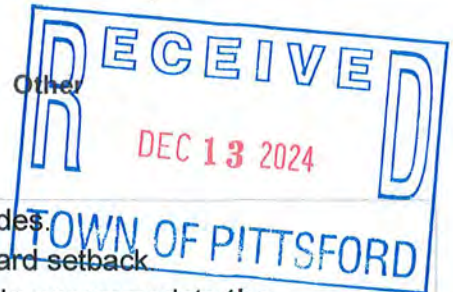
Property Location: 39 Country Club Drive North Current Zoning: RN

Tax Map Number: 151.06-1-45

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

Renovation of the house to include additions on the south, north and east sides. A proposed garage addition will be approximately 6'-10" inside of the front yard setback. The majority of the renovations and the garage addition are being designed to accommodate the accessibility needs of a 6 year old family member who has Duchenne muscular dystrophy; DMD. The house is 14" above grade at the front of the house and at the garage slab. A 14 foot long ramp with 5 foot square landing zones will be required for wheelchair access to the first floor level. It is preferable for the ramp to be interior.



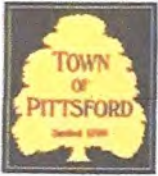
SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.



(Owner or Applicant Signature)

12/12/2024
(Date)

Appl's Renew Copy 2B24-000042



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Justin and Kate White, the owner of the property located at:
39 Country Club Drive North Pittsford NY 14618
(Street) (Town) (Zip)

Tax Parcel # 151.06-1-45 do hereby authorize
Design Works Architecture, PC Charles B. Smith, RA to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of _____
requesting relief from the front yard setback of 70'-0" for a garage addition with a setback of 63'-0".

(Signature of Owner)

12/12/24

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The location of the proposed addition remains a generous 63 foot setback off the street. As viewed on the Residential Neighborhood Zoning Database Map, there are a few properties encroaching on the front yard setback. As viewed from Country Club Drive North the smaller front yard setbacks for #40 and #32, for example, are not detrimental to their neighbors.

The garage will remain in front of the house which is a familiar feature of the neighborhood and can be found at # 51,44,40 and 35.

The garage is presently 8'-6" in front of the house. The proposed projection in front of the house will be reduced to 6'-0".

The width of the garage will remain unchanged at 24'-0".

The architectural style of the addition will compliment the existing New England colonial cape revival design.

The proposed design adds a deeper porch to the street side of the house to soften the projection of the garage and provide enough depth for sitting. The proposed front porch includes covered steps centered on the entry door which will have a 67'-0" setback.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

There are five design goals that influence the proposed layout.

- a. Large open kitchen-living and dining space free from obstructions to passage and view
- b. Straight run ramp to access first floor level
- c. Ramp to be interior
- d. Transportation of wheel chair bound to be a rear exit van
- e. Arrival in house from garage the same location for wheel chair bound and for rest of of family.

The design team and the family studied multiple solutions to place a 14' long ramp that met the above goals.

In addition, the rear yard is one story below the first floor so does not provide accessibility from Country Club Drive.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested front yard setback is 10% of the required 70 feet.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The proposed addition to the garage does not adversely impact access to views or sun for the neighborhood. It does not prevent maintaining drainage within the property boundaries. It maintains a proper side yard setback for fire spread prevention.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes, however the large lot size helps to minimize the impact of the garage addition. There are very few houses designed to be accessible so the clients chose an existing house on a lot that was of sufficient size to allow design changes for it to become comfortable for anyone who may need to use a wheelchair.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

39 Country Club Drive North house for Justin and Kate White

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

<u>Name(s)</u>	<u>Address(es)</u>

Charles B. Smith, R.A.
(Signature of Applicant)

12/12/24
(Dated)

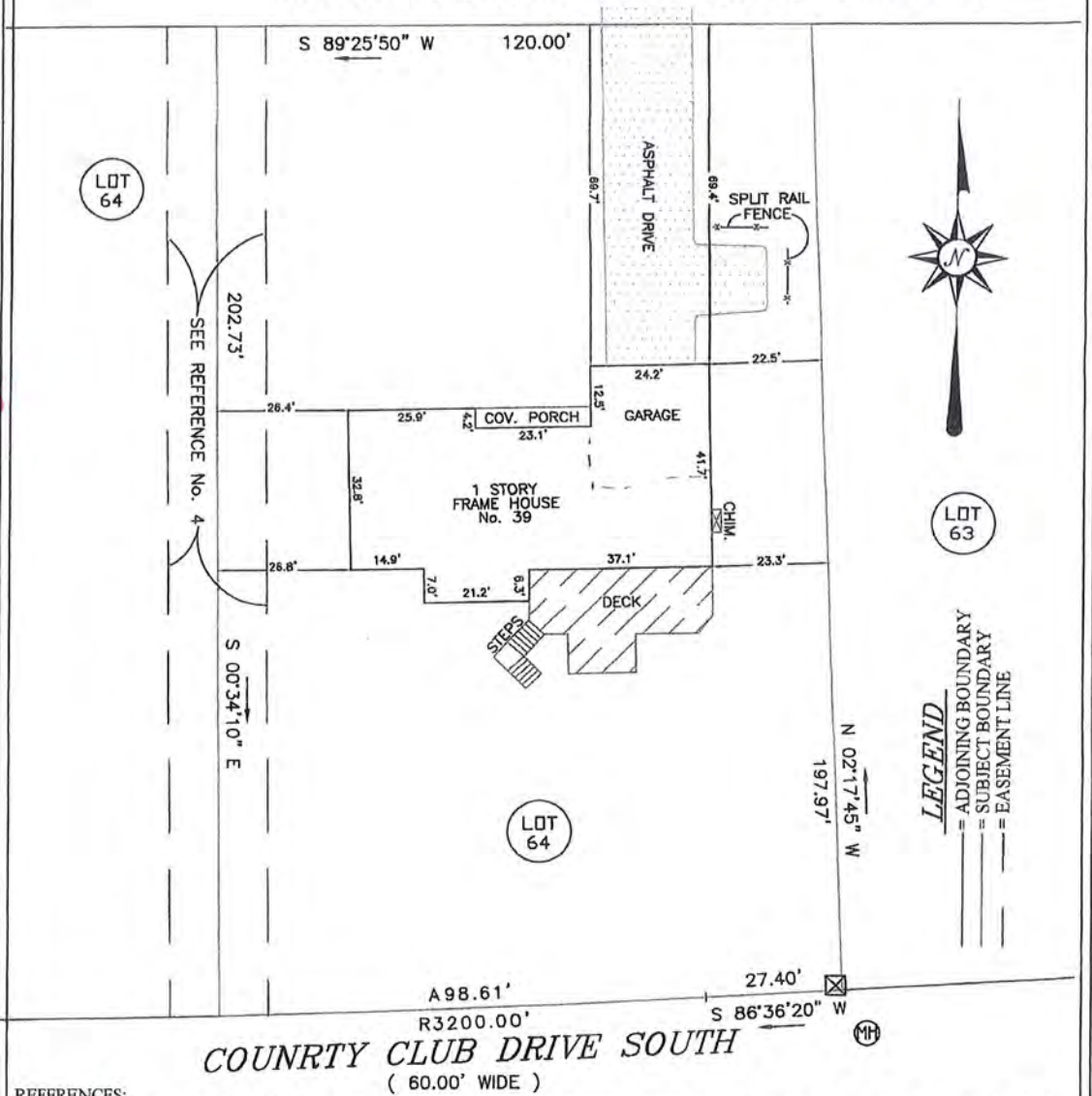
Design Works Architecture, PC 6 North Main Street Suite 104
(Street Address)

Fairport, NY 14450

(City/Town, State, Zip Code)

NORTH COUNTRY CLUB DRIVE (60.00' WIDE)

EXISTING



- REFERENCES:**
1. STEWART TITLE INSURANCE COMPANY ORDER #81301854, LAST DATED AUGUST 14, 2024.
 2. LIBER 12493 OF DEEDS, PAGE 125.
 3. MAP OF THE COUNTRY CLUB ESTATES SUBDIVISION, SECTION 5, FILED IN THE M.C.C.O IN LIBER 147 OF DEEDS, PAGE 77.
 4. SUBJECT TO A SEWER EASEMENT PER L.3044, P. 507 & L.2847, P. 347.
 5. SUBJECT TO AN EASEMENT TO R.T.C. & R.G.&E. PER L. 2857, P. 4108. (ALONG THE NORTH SIDE OF COUNTRY CLUB DRIVE)
 6. SUBJECT TO AN EASEMENT TO R.G. & E, AND R.T.C. PER L.2836, P. 410 AND L.2836, P.407. (THROUHU, ALONG & ACROSS THE STREETS)
 7. TAX PARCEL No. 151.06-1-45.

MAP OF AN INSTRUMENT SURVEY OF
No. 39 NORTH COUNTRY CLUB DRIVE

BEING
LOT No. 64 of the
LOT No. 64 of the COUNTRY CLUB ESTATES, SUB'D., SECTION 5

COUNTY OF MONROE TOWN OF PITTSFORD STATE OF NEW YORK
SCALE 1 INCH = 30 FEET JAMES BATES & ASSOCIATES DATE: AUGUST 29, 2024
406 WEST SPRUCE STREET
EAST ROCHESTER, NEW YORK
585-391-0021

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

CERTIFICATIONS LISTED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE G.V.L.S.A. AND THE MONROE COUNTY BAR ASSOCIATION.

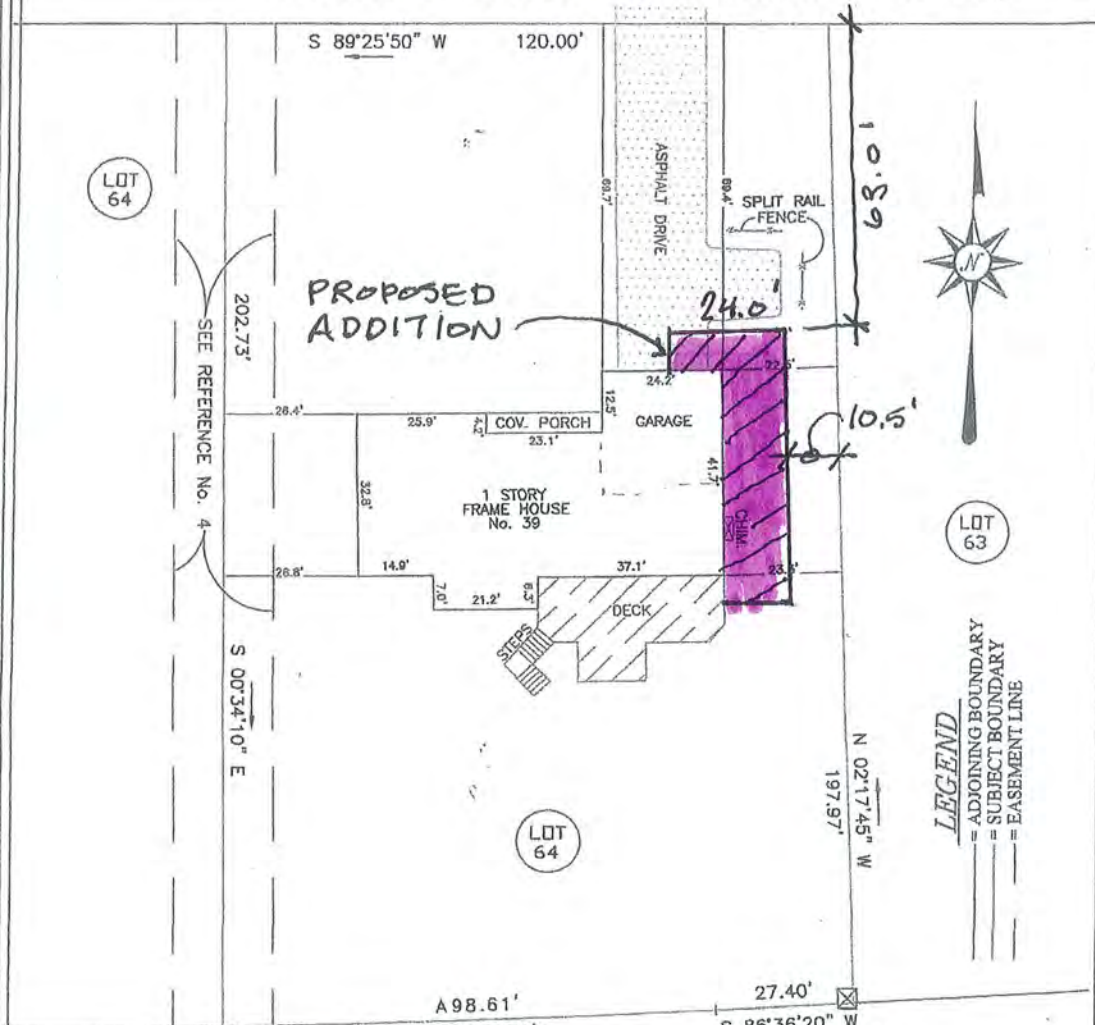
WE, JAMES BATES & ASSOCIATES DO HEREBY CERTIFY TO THE FOLLOWING;
1. JUSTIN WHITE;
2. KATHRYN WHITE;
3. BRIAN R. HENZEL, PLLC.;
4. REVOLUTION TITLE AGENCY; and
5. FIRST AMERICAN TITLE INSURANCE COMPANY,
THAT THIS MAP WAS MADE FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON AUGUST 7, 2024.

[Signature]
JAMES E. BATES, Jr. LICENSE No. 49464



NORTH COUNTRY CLUB DRIVE (60.00' WIDE)

Proposed



COUNTRY CLUB DRIVE SOUTH (60.00' WIDE)

- REFERENCES:**
1. STEWART TITLE INSURANCE COMPANY ORDER #81301854, LAST DATED AUGUST 14, 2024.
 2. LIBER 12493 OF DEEDS, PAGE 125.
 3. MAP OF THE COUNTRY CLUB ESTATES SUBDIVISION, SECTION 5, FILED IN THE M.C.C.O IN LIBER 147 OF DEEDS, PAGE 77.
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 6. SUBJECT TO AN EASEMENT TO R.G. & E, AND R.T.C. PER L.2836, P. 410 AND L.2836, P.407. (THROU/H, ALONG & ACROSS THE STREETS)
 7. TAX PARCEL No. 151.06-1-45.

MAP OF AN INSTRUMENT SURVEY OF
No. 39 NORTH COUNTRY CLUB DRIVE
 BEING
LOT No. 64 of the
LOT No. 64 of the COUNTRY CLUB ESTATES, SUB'D.; SECTION 5

COUNTY OF MONROE TOWN OF PITTSFORD STATE OF NEW YORK
 SCALE 1 INCH = 30 FEET JAMES BATES & ASSOCIATES DATE: AUGUST 29, 2024
 405 WEST SPRUCE STREET
 EAST ROCHESTER, NEW YORK
 585-391-0021

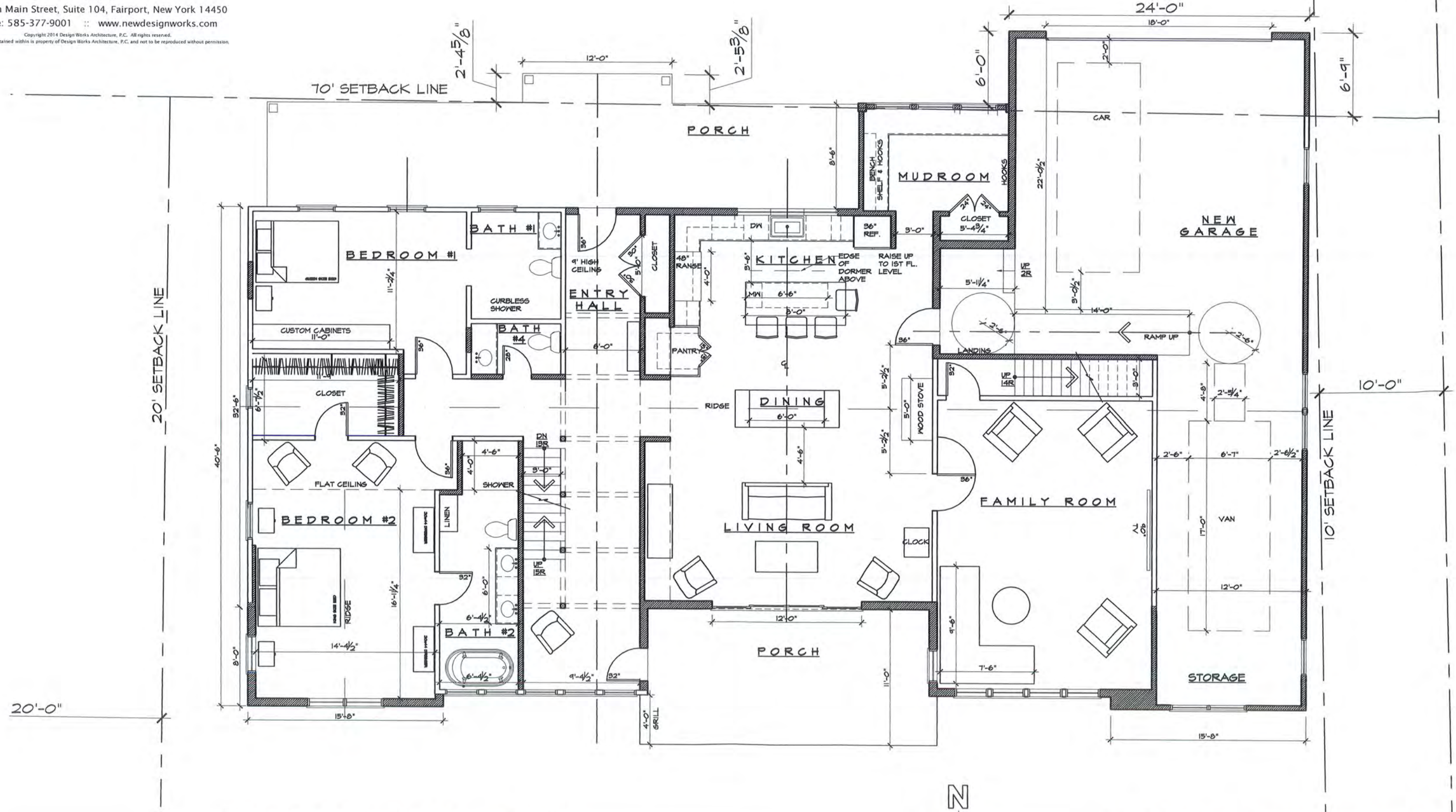
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

CERTIFICATIONS LISTED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE G.V.L.S.A. AND THE MONROE COUNTY BAR ASSOCIATION.

WE, JAMES BATES & ASSOCIATES DO HEREBY CERTIFY TO THE FOLLOWING;
 1. JUSTIN WHITE;
 2. KATHRYN WHITE;
 3. BRIAN R. HENZEL, PLLC;
 4. REVOLUTION TITLE AGENCY; and
 5. FIRST AMERICAN TITLE INSURANCE COMPANY,
 THAT THIS MAP WAS MADE FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON AUGUST 7, 2024.

[Signature]
 JAMES E. BATES, Jr. LICENSE No. 49464





FIRST FLOOR PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$



39 COUNTRY CLUB DRIVE NORTH

DECEMBER 9, 2024

SCHEMATIC DESIGN

DESIGN WORKS
ARCHITECTURE

6 North Main Street, Suite 104, Fairport, New York 14450
Phone: 585-377-9001 :: www.newdesignworks.com

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FRONT ELEVATION

SCALE: $\frac{1}{8}'' = 1'-0''$



39 COUNTRY CLUB DRIVE NORTH

DECEMBER 9, 2024

SCHEMATIC DESIGN

Zoning Board of Appeals Referral Form Information

ZB24-000043

Property Address:

148 Jefferson Road PITTSFORD, NY 14534

Property Owner:

Squires, Matthew L
148 West Jefferson Rd
Pittsford, NY 14534

Applicant or Agent:

David Crowe, DJC Architecture PLLC

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	20	Right Lot Line:	12.6	Right Lot Line:	7.4
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Total Side Setback:	90	Total Side Setback:	61.7	Total Side Setback:	28.3
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section: Applicant is requesting relief from Town Code Section 185-17 E. for the construction of an addition not meeting the minimum and total side setback requirements. This property is zoned Residential Neighborhood (RN).

Staff Notes: This application proposes a 5,272SF addition to a 3,548SF home for the purpose of an indoor pickleball court, gym, attached "pool house," and storage space. The addition is proposed on the east side of the home which encroaches into the minimum side setback requirement. The property line on the east side is shared with Pittsford Sutherland. The property has a 540SF pre-existing non-conforming shed in the rear yard area. The addition does meet the maximum permitted building footprint and impervious coverage.

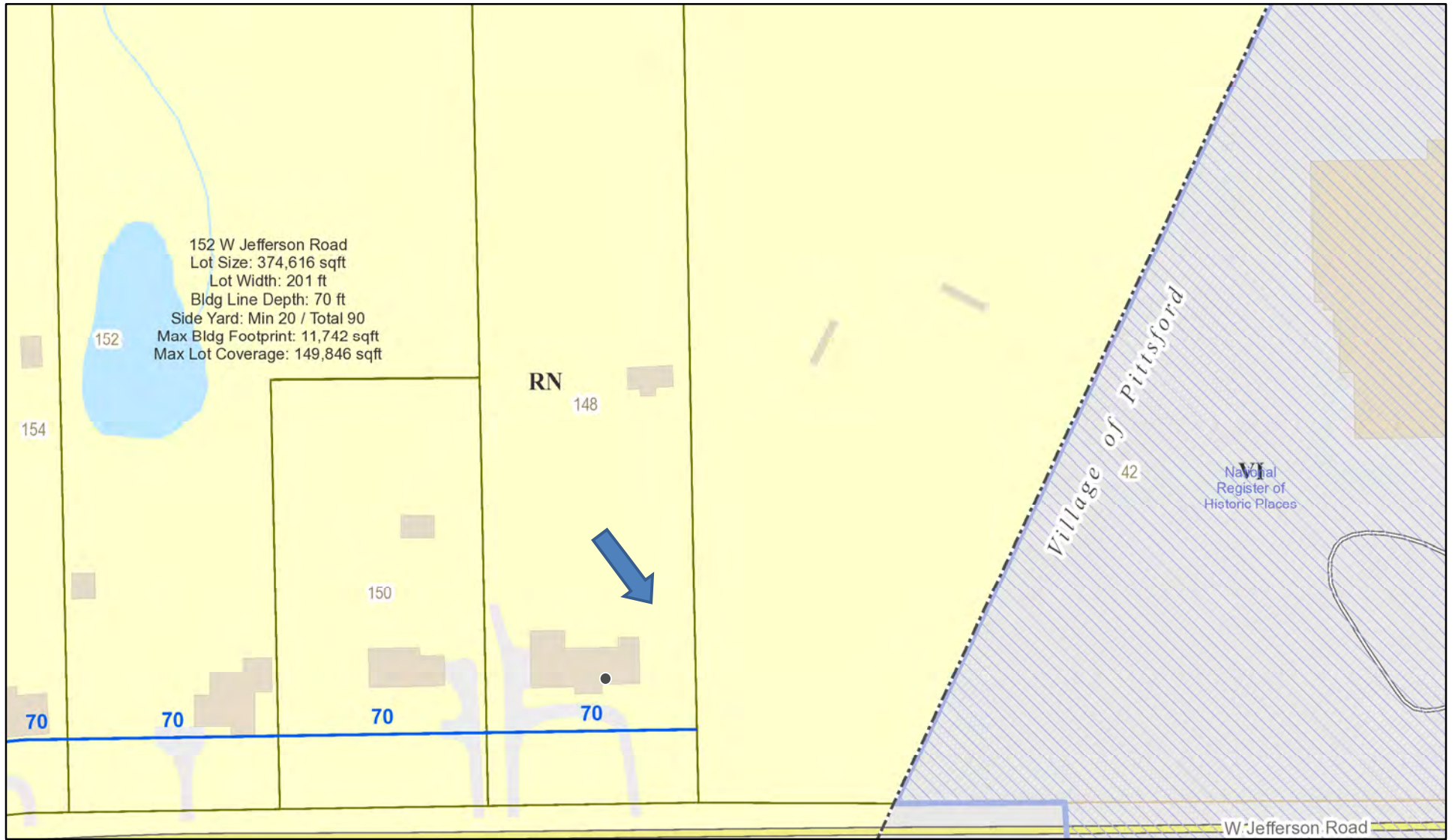
December 31, 2024

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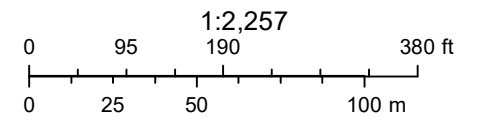
Date

April Zurowski -

148 W Jefferson Road



Printed December 31, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

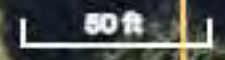


Jefferson Rd

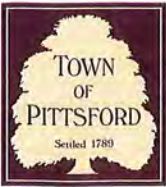
W Jefferson Rd

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE



Nearmap



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: December 13, 2024 Hearing Date: January 20, 2025

Applicant: David Crowe

Address: 99 Garnsey Rd. Suite 100 Pittsford, NY 14534

Phone: (585) 967-7780 E-Mail: dcrowe@djacornerstone.com

Agent: _____
(if different than Applicant)

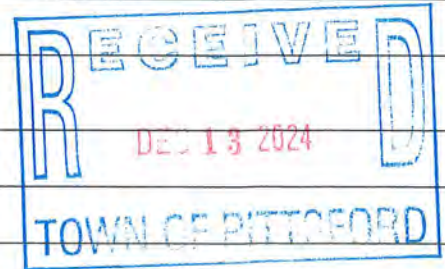
Address: _____

Phone: _____ E-Mail: _____

Property Owner: Matthew and Chelsea Squires
(if different than Applicant)

Address: 148 West Jefferson Rd. Pittsford, NY 14534

Phone: (585) 943-8267 E-Mail: matt@mshco.com



(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 148 West Jefferson Rd. Current Zoning: Residential Neighborhood

Tax Map Number: _____

Application For: Residential Commercial Other

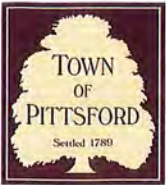
Please describe, in detail, the proposed project:

The homeowners are proposing certain backyard site improvements (see site plan) and to add a 5,272 sqft addition to their existing 3,548 sqft home. Resulting in a total built area of 8,820 sqft. This addition would be located in the rear yard (north side of the property) connected to the existing home. This addition will be located along the east property line, extending north into the rear yard. This addition will serve as an attached "pool house" facility for the backyard site improvements including a changing and shower / toilet room, powder room, dining, kitchen, living and other support services such as laundry, a pantry, and exercise / fitness room. The addition will also contain an enclosed and conditioned high bay gymnasium space, specifically configured for use as a pickleball court. And finally, at the north end of the addition will be an attached storage room accessible to the the high bay space, as well as at grade level for lawn and similar outdoor equipment storage.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

(Owner or Applicant Signature)

12/13/24
(Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Matthew Squires, the owner of the property located at:
148 West Jefferson Rd. Pittsford, NY 14534
(Street) (Town) (Zip)

Tax Parcel # _____ do hereby authorize
David Crowe to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of _____
area variances request

MSg
(Signature of Owner)
12/13/24
(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

Please see attached

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Please see attached.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

Please see attached.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

Please see attached.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Please see attached.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Squires residence - 148 West Jefferson Rd.

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

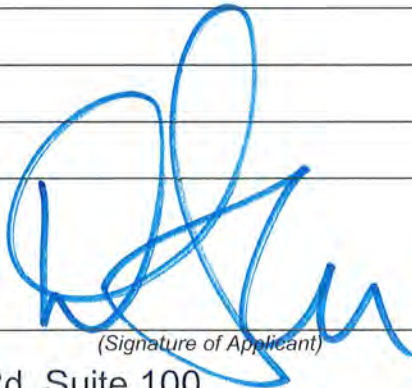
variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

December 13, 2024

(Dated)

99 Garnsey Rd. Suite 100

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)

PROJECT SUMMARY

The homeowners are proposing certain backyard site improvements (see site plan) and to add a 5,275 sqft addition to their existing 3,550 sqft home, resulting in a total built area of 8,825 sqft. This addition would be located in the rear yard (north side of the property) connected to the existing home. This addition will be located along the east property line, extending north into the rear yard. This addition will serve as an attached “pool house” facility for the backyard site improvements including a changing and shower / toilet room, powder room, dining, kitchen, living and other support services such as laundry, a pantry, and exercise / fitness room. The addition will also contain an enclosed and conditioned high bay gymnasium space, specifically configured for use as a pickleball court. And finally, at the north end of the addition will be an attached storage room accessible to the the high bay space, as well as at grade level for lawn and similar outdoor equipment storage.

Requested Variances

Setback – Garage Addition

Per code section §185-17 RN, Table 1, the side setback for this 200’ wide lot is a minimum of 20’ with a cumulative setback total dimension of 90’. The home is currently set back 49.1’ (minimum) on the west side, so the required east side set back would be 40.9’. The existing setback on the east side of the home is 52.9’. The requested variance would allow a setback on the east property line of:

1. A setback of 22’-7.75” for approximately 40’ long portion at the storage, entry and dining room (south end)
2. A setback of 12’-7.625” for approximately 40’ long portion of the addition at the exercise and utility rooms (center)
3. A setback of 22’-10” for approximately 85’ long portion of the addition at the gymnasium and storage rooms. (north end)

Please see Schematic Site Plan / Drawing SK001 for more information.

1. *Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties by the granting of the variance:*

No undesirable change to the character of the neighborhood will be produced by granting the variance requested. The proposed addition is adjacent to the athletic field (baseball specifically) of Sutherland High School and is very heavily shielded from this neighboring property by way of vegetation and an existing stockade and chain-link fence. Note that the dense tree line and vegetation barrier at the east property line is primarily provided and maintained by the High School to help protect the 148 W. Jefferson Road property from noise and view of the athletic fields, and to mitigate the constant risk presented by foul balls (which occurs on a daily basis daily from March thru October). The proposed addition would actually help achieve these same goals in a more durable and non-seasonally dependent manner.

Also important to note that in an effort to mitigate the impact of the addition, we have modified the design so that only 40’ of the addition will have a 12’-7.625” setback, the balance of the addition (approximately 125’) will have a setback of 22’-7.75” (or greater), which is less than is required, but is more than the minimum one side dimension of 20’.

Note too that there is an existing detached accessory building on the property that is 8.9' from the east property line. That existing building is decades old and has never been an issue with any neighbor, including the adjacent school.

Therefore, we believe that the granting of this variance will in no way result in an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. Please explain the reasons why the benefit sought by the applicant cannot be achieved by some method other than an area variance:

While the property is very large (over 1,090' deep) it is only 200' wide. Therefore, any development of the rear yard will mandate an associated addition must be located to the east or west side of the site. Given the two options, an eastern configuration was determined to be best as it would have the least impact to the adjacent neighbor, Sutherland High School.

Therefore, we believe that the proposed addition is in the most logical position, and that the resulting "L" configuration will complement the proposed site improvements as well as the existing architectural style and character of the building.

3. Please explain whether the requested area variance is minimal or substantial:

Given the secluded and heavily screened nature of the property, and the public use of the school and its athletic fields, the addition will be as far from, and almost entirely hidden from view from the neighboring residential property to the west, and will be nearly indiscernible from any public way. Note too that modifications to the design and layout have increased the setback distance to over 20' (requested at 22'-7.75") for nearly 75% of the length of the addition. Noting that 20' is the minimal setback distance as noted on Table 1 in the Zoning Code. Note too that the requested setback distances of 12'-7.625" and 22'-7.75" are both in excess of the current set back of the existing detached structure, which is 8'-9"

4. Please explain why you feel the requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district:

Based on the setback distances requested of the requested variance will not have any adverse impact on the neighborhood or zoning district. Additionally, the lot is well within site coverage compliance and the owner will maintain and enhance the existing vegetated borders. And the proposed addition setback distances requested are both in excess of the existing detached accessory structure.

Further, the site landscape design, including grading and drainage techniques that will be incorporated, will serve to enhance the character of the property and improve stormwater management systems. The project is designed in a manner that is environmentally responsible and will not result in adverse impacts to the surrounding environment, neighborhood, or zoning district.

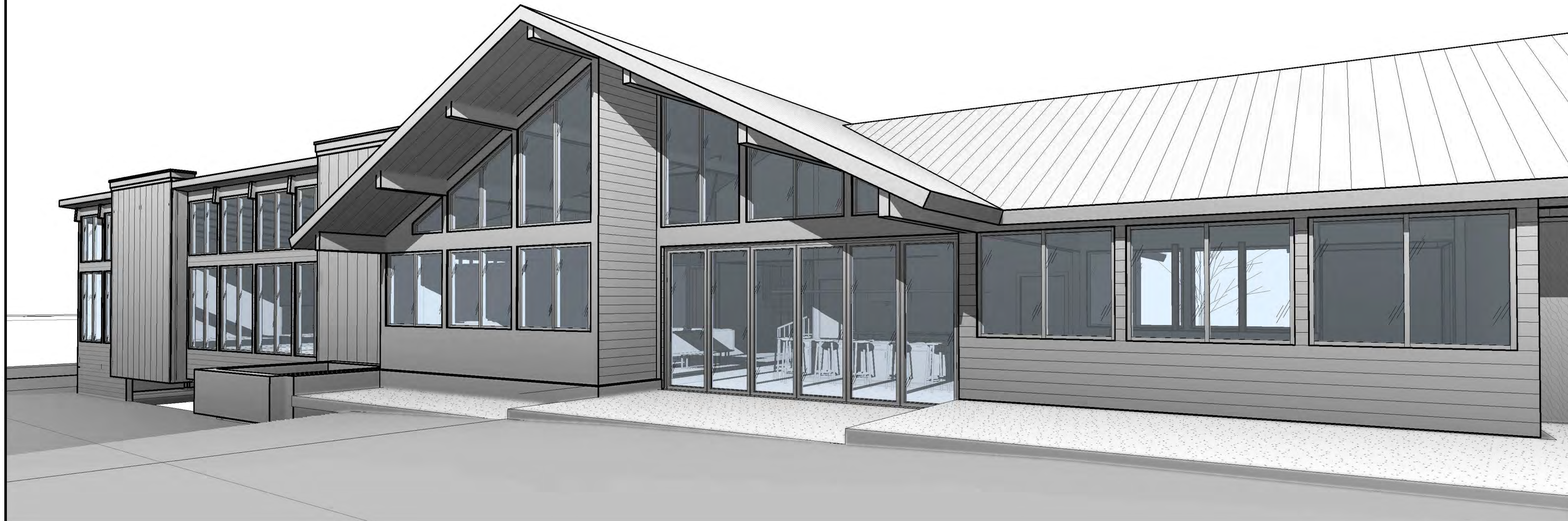
5. Is the alleged difficulty self-created?

While the owner has proposed an addition to the existing home which has resulted in this area variance request, the alleged difficulty is not self-created, but rather has been born out of the unique complications created by this very large lot, which is over 1,090' in depth, but only having 200' in width. The building form required naturally results based on logical and reasonable outdoor backyard outdoor space planning – patio / pool / hot tub and similar amenities need to be near to and accessible from the home and the addition. And further, given its size and scope, the addition must be physically connected to the existing home - and so these restrictions and complications have resulted in a somewhat restrictive buildable area configuration. Therefore we believe that the granting of this variance request is very reasonable and will have no negative impacts on the environment or the character of the neighborhood or district.

Respectfully Submitted By:
David Crowe, AIA
(Agent for Matt and Chelsea Squires, Owners)

Addition to Squires Residence

148 W Jefferson Road
Pittsford, NY 14534



Project Information:
Addition to Squires Residence
148 W Jefferson Road
Pittsford, NY 14534

Revision Schedule		
No.	Revision/Submission	Date

Progress Print
NOT FOR CONSTRUCTION
PRINT DATE: 12/13/2024 12:14:58 PM

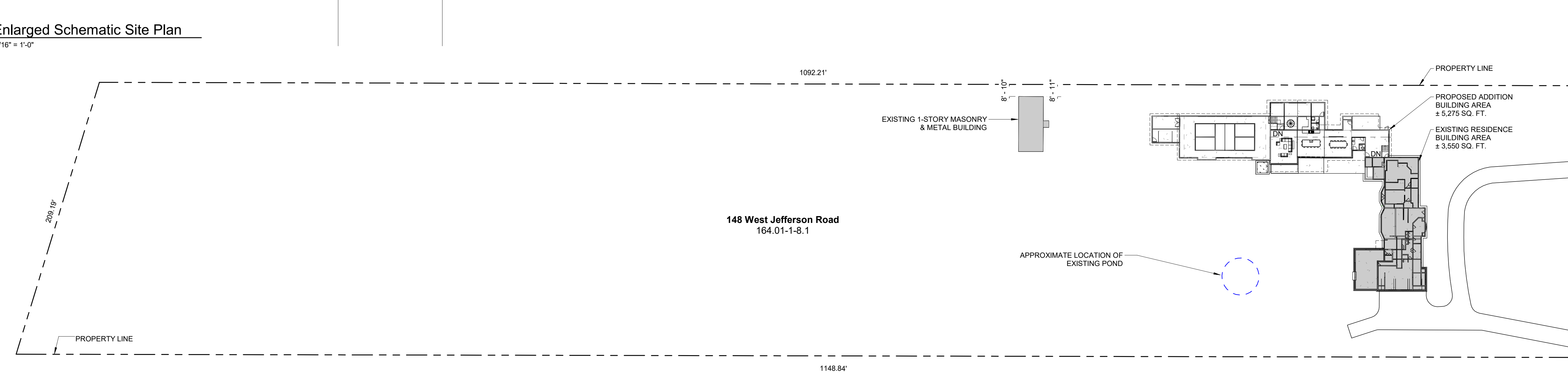
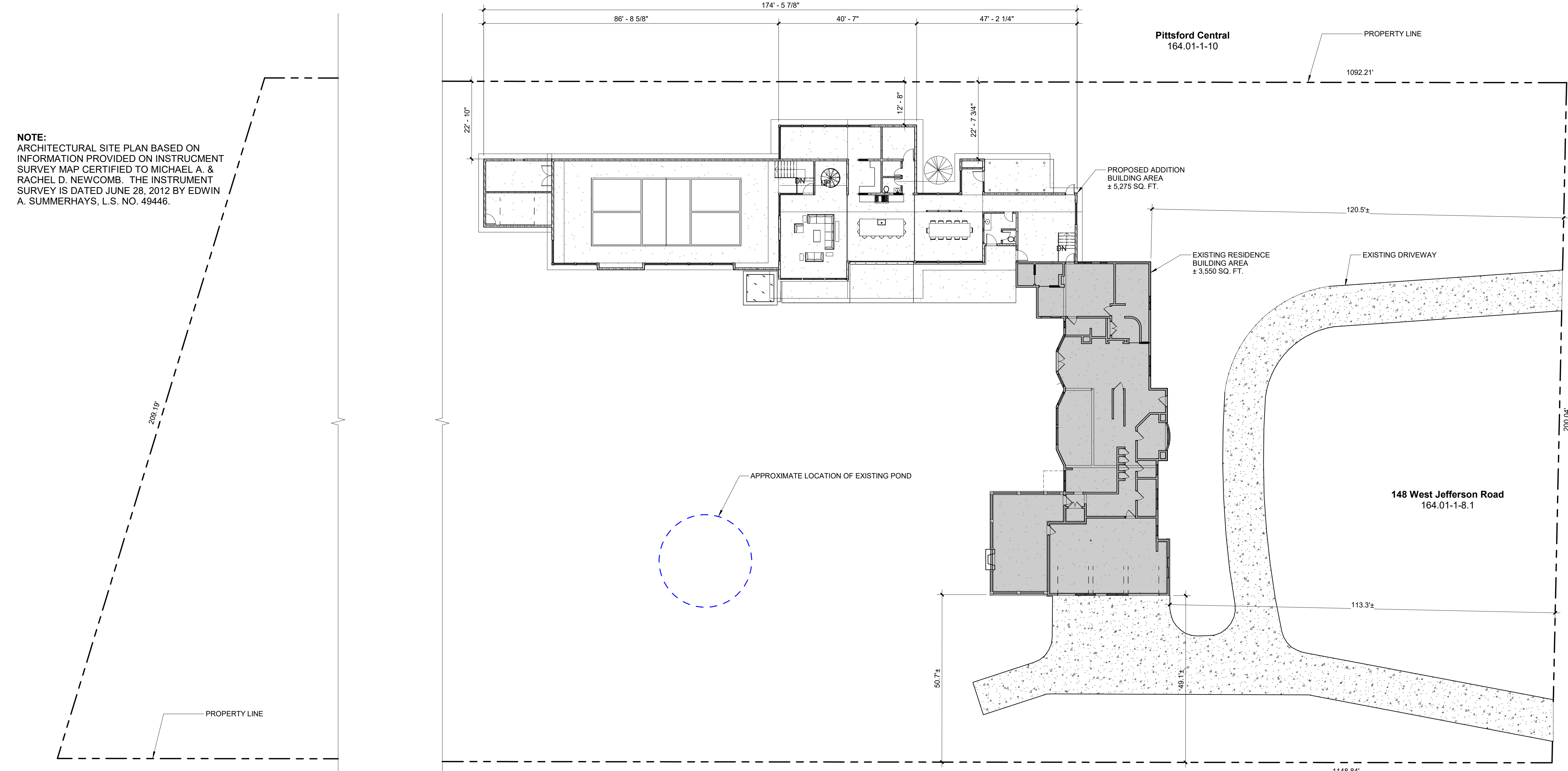
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Project No: _____
Scale: _____
Date: 12.13.2024 Drawn By: KCC
Drawing Title:
Cover
Drawing No:
SK000

Revision Schedule		
No.	Revision/Submission	Date

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Project No:	
Scale:	As indicated
Date:	12.13.2024
Drawn By:	KCC
Drawing Title:	Schematic Site Plan
Drawing No:	SK001



NOTE:
 ARCHITECTURAL SITE PLAN BASED ON INFORMATION PROVIDED ON INSTRUMENT SURVEY MAP CERTIFIED TO MICHAEL A. & RACHEL D. NEWCOMB. THE INSTRUMENT SURVEY IS DATED JUNE 28, 2012 BY EDWIN A. SUMMERHAYS, L.S. NO. 49446.



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Addition to Squires Residence
148 W Jefferson Road
Pittsford, NY 14534

Revision Schedule

No.	Revision/Submission	Date

Progress Print
NOT FOR CONSTRUCTION

PRINT DATE: 12/13/2024 12:15:02 PM

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Project No:

Scale: 1/8" = 1'-0"

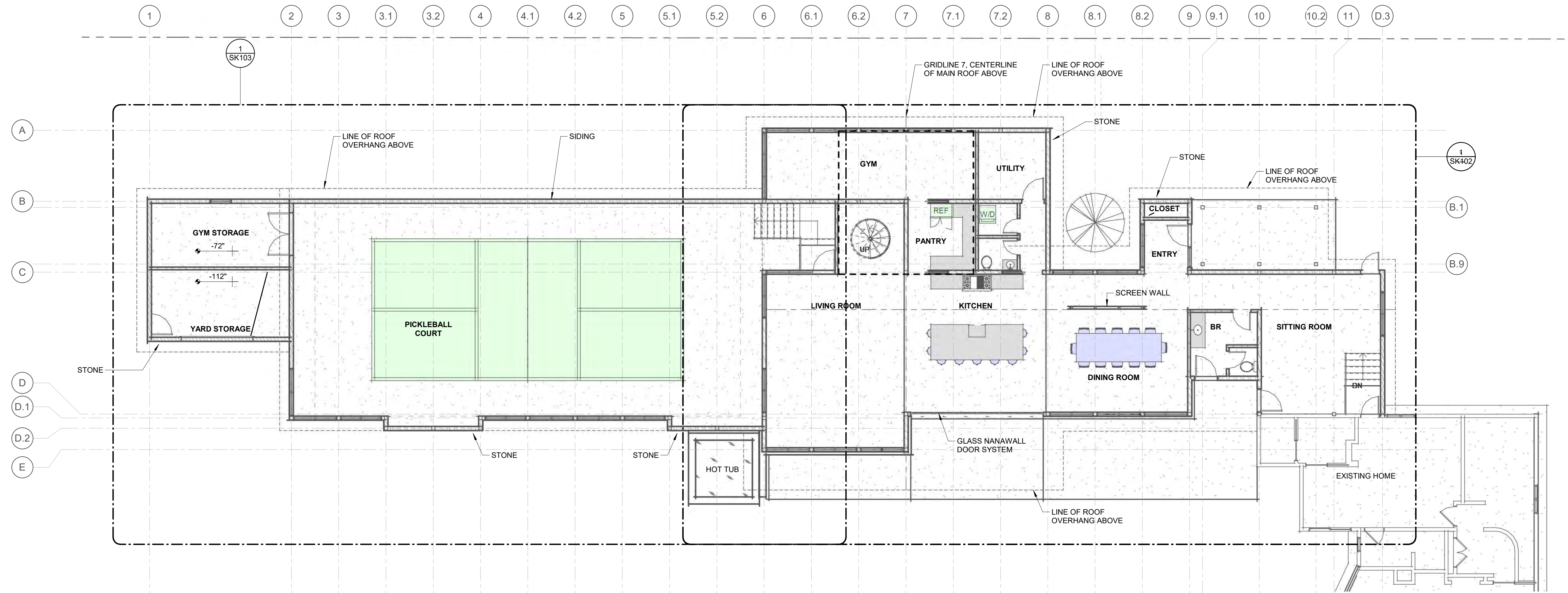
Date: 12.13.2024 Drawn By: KCC

Drawing Title:

Schematic Floor Plan

Drawing No:

SK100



1 Schematic 1st Floor Plan
SK100 1/8" = 1'-0"





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No.	Revision/Submission	Date

Progress Print
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PRINT DATE: 12/13/2024 12:15:04 PM

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Project No:

Scale: 1/8" = 1'-0"

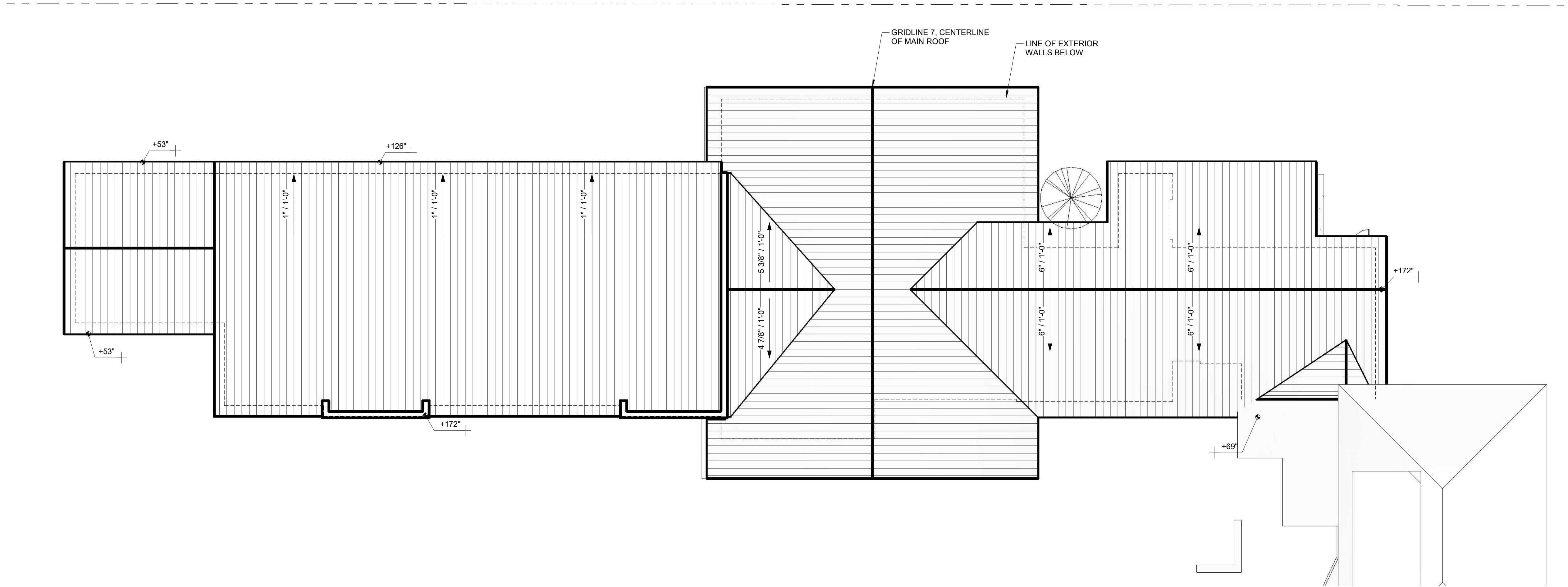
Date: 12.13.2024 Drawn By: KCC

Drawing Title:

Schematic Roof Plan

Drawing No:

SK101



1 Roof Plan
SK101 1/8" = 1'-0"



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Addition to Squires Residence
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No.	Revision/Submission	Date

Progress Print
NOT FOR CONSTRUCTION

PRINT DATE: 12/13/2024 12:15:06 PM

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Project No:

Scale: 1/4" = 1'-0"

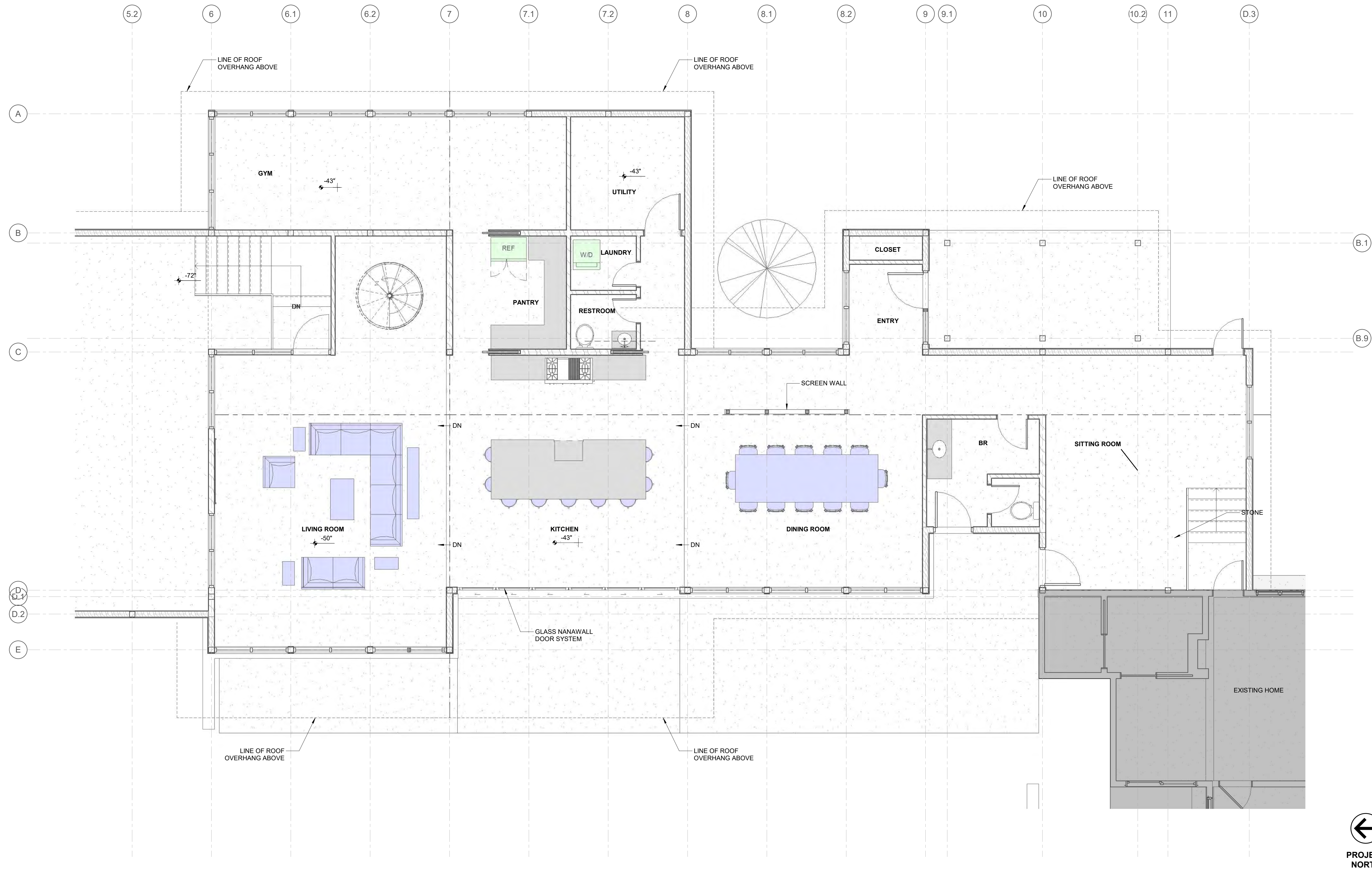
Date: 12.13.2024 Drawn By: KCC

Drawing Title:

**Enlarged Schematic
Floor Plan - Dining,
Kitchen & Living**

Drawing No:

SK102



1 Schematic 1st Floor Living Area Plan

SK102 1/4" = 1'-0"



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Revision Schedule

No.	Revision/Submission	Date

Progress Print
NOT FOR CONSTRUCTION

PRINT DATE: 12/13/2024 12:15:07 PM

WARNING:
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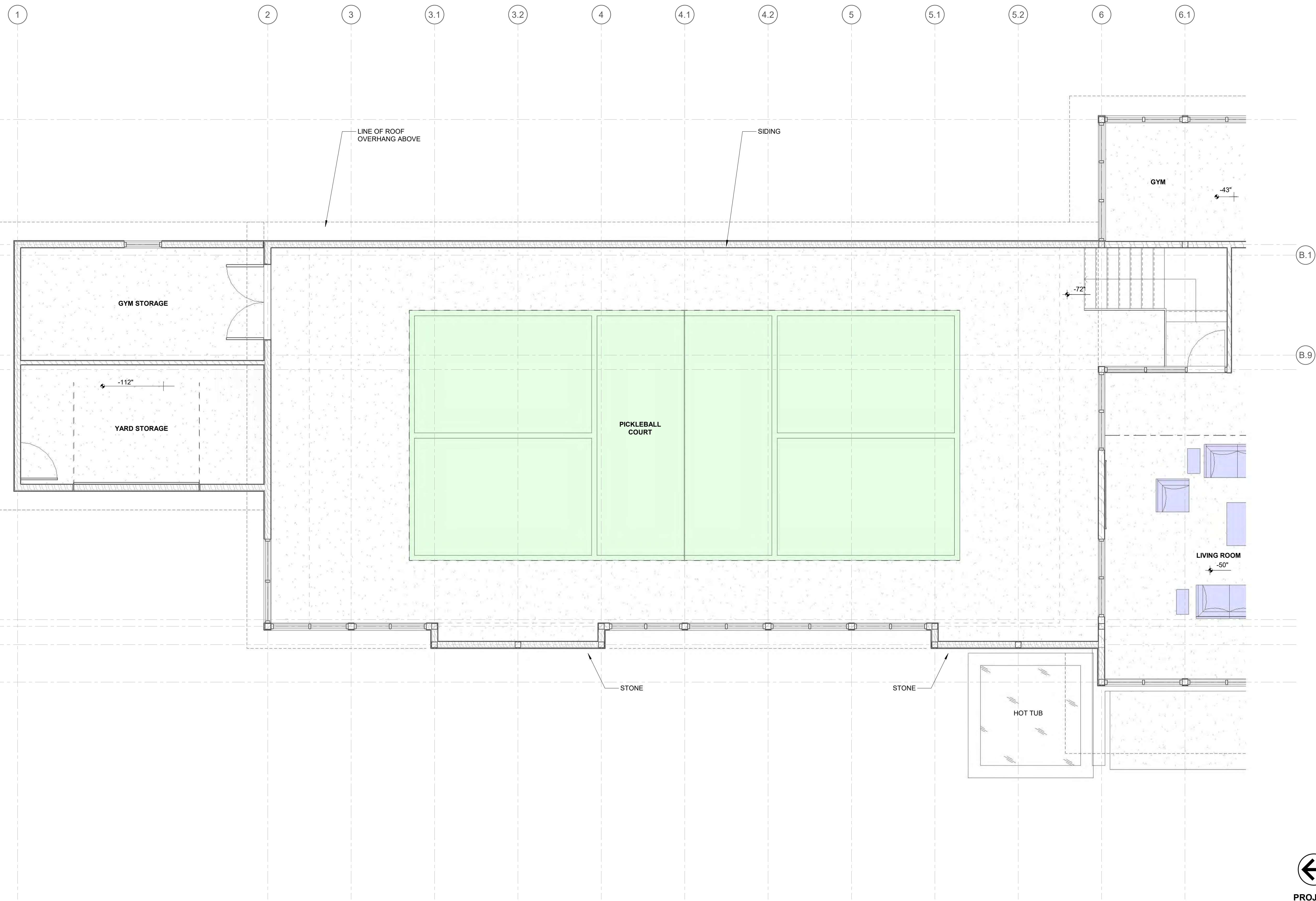
Project No:

Scale: 1/4" = 1'-0"

Date: 12.13.2024 Drawn By: KCC

Drawing Title:
**Enlarged Schematic
Floor Plan - Pickball
Court & Storage**

Drawing No:
SK103



1 Schematic 1st Floor Pickleball Court & Storage
SK103 1/4" = 1'-0"



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Revision Schedule

No.	Revision/Submission	Date

Progress Print

NOT FOR CONSTRUCTION

PRINT DATE: 12/13/2024 12:15:10 PM

WARNING:
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Project No:

Scale: 1/8" = 1'-0"

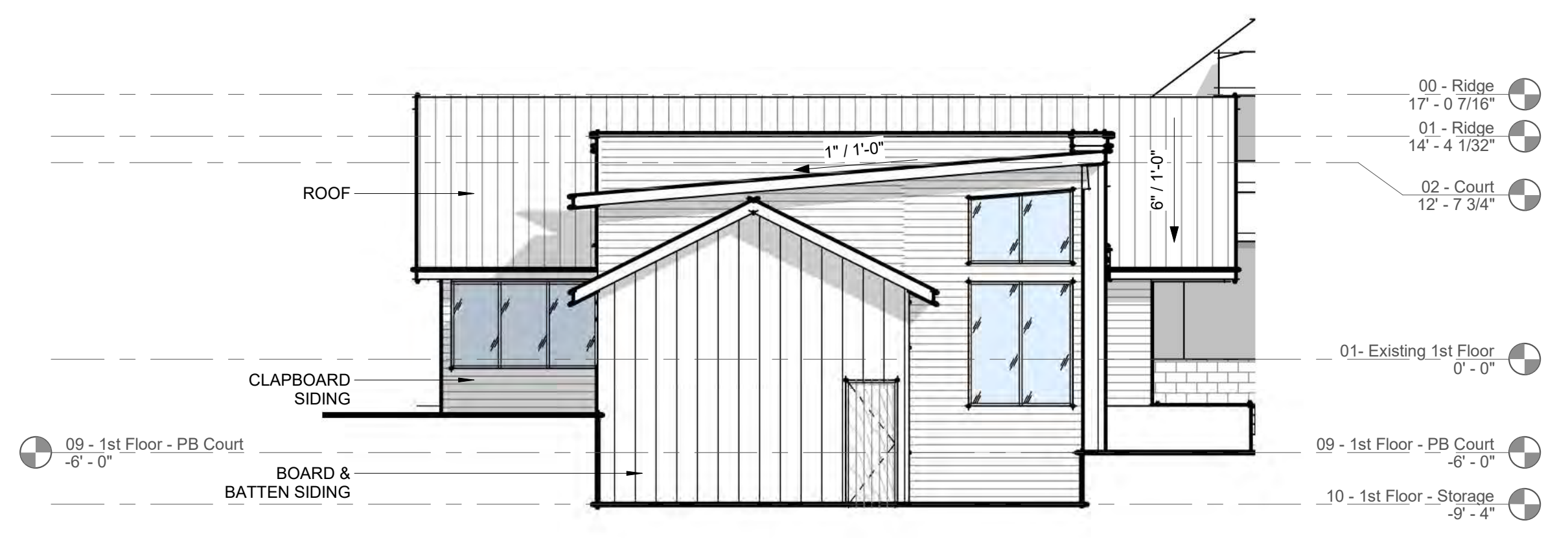
Date: 12.13.2024 Drawn By: KCC

Drawing Title:

Elevations

Drawing No:

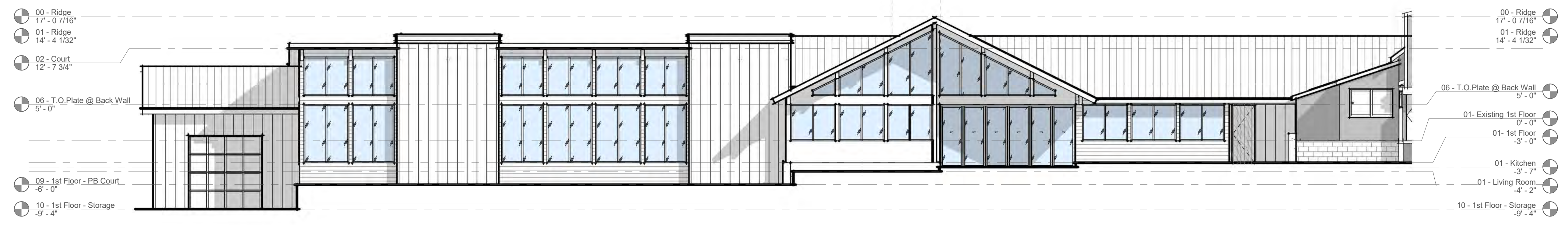
SK200



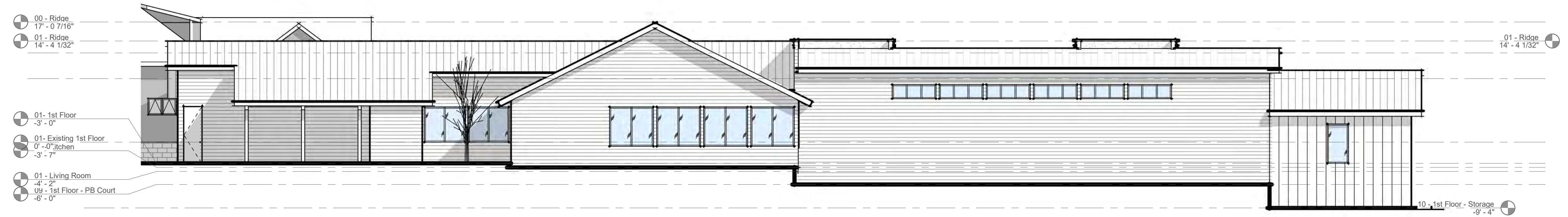
1 Schematic North Elevation
1/8" = 1'-0"



2 Schematic South Elevation
1/8" = 1'-0"



4 Schematic West Elevation
1/8" = 1'-0"



3 Schematic East Elevation
1/8" = 1'-0"

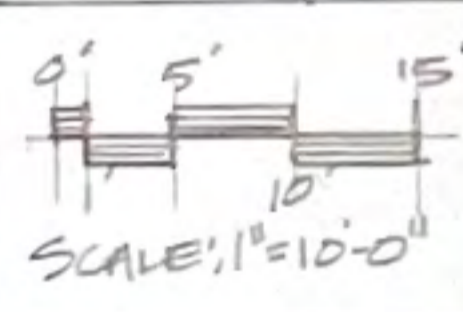
SHEET TITLE
LANDSCAPE &
SITE PLAN

CLIENT:
SQUIRES
148 W. LITTLETON
FITCHBURG, VT
14522

BY:
DAN HACKETT P.L.A.
7005 C.P.2
HARPO, VT
14512

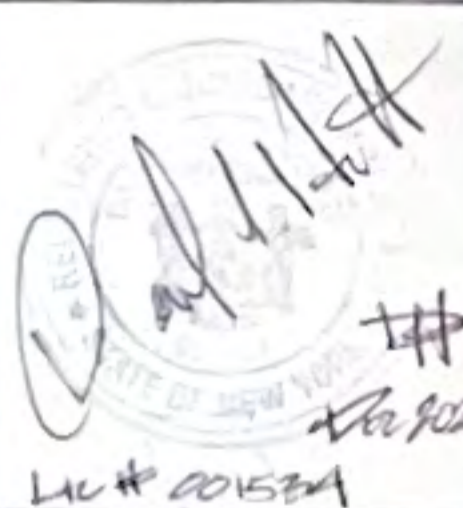
REVISIONS:

NO.	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	



DESIGNED BY:
JAMES H. MISSEL
AND ASSOCIATES
900 JOHNSON RD
KEENE, VT
14528
SEPT 7, 2012
SCALE: 1/8"=1'-0"
TAKE # 164.01-18.1
DRAWING # 14512P

TOPOLOGICAL MAP
FROM
A TRAILBLAZER LINE
TO ESTABLISH SET
BACKS FROM EXISTING
TO BE INTERPRETED

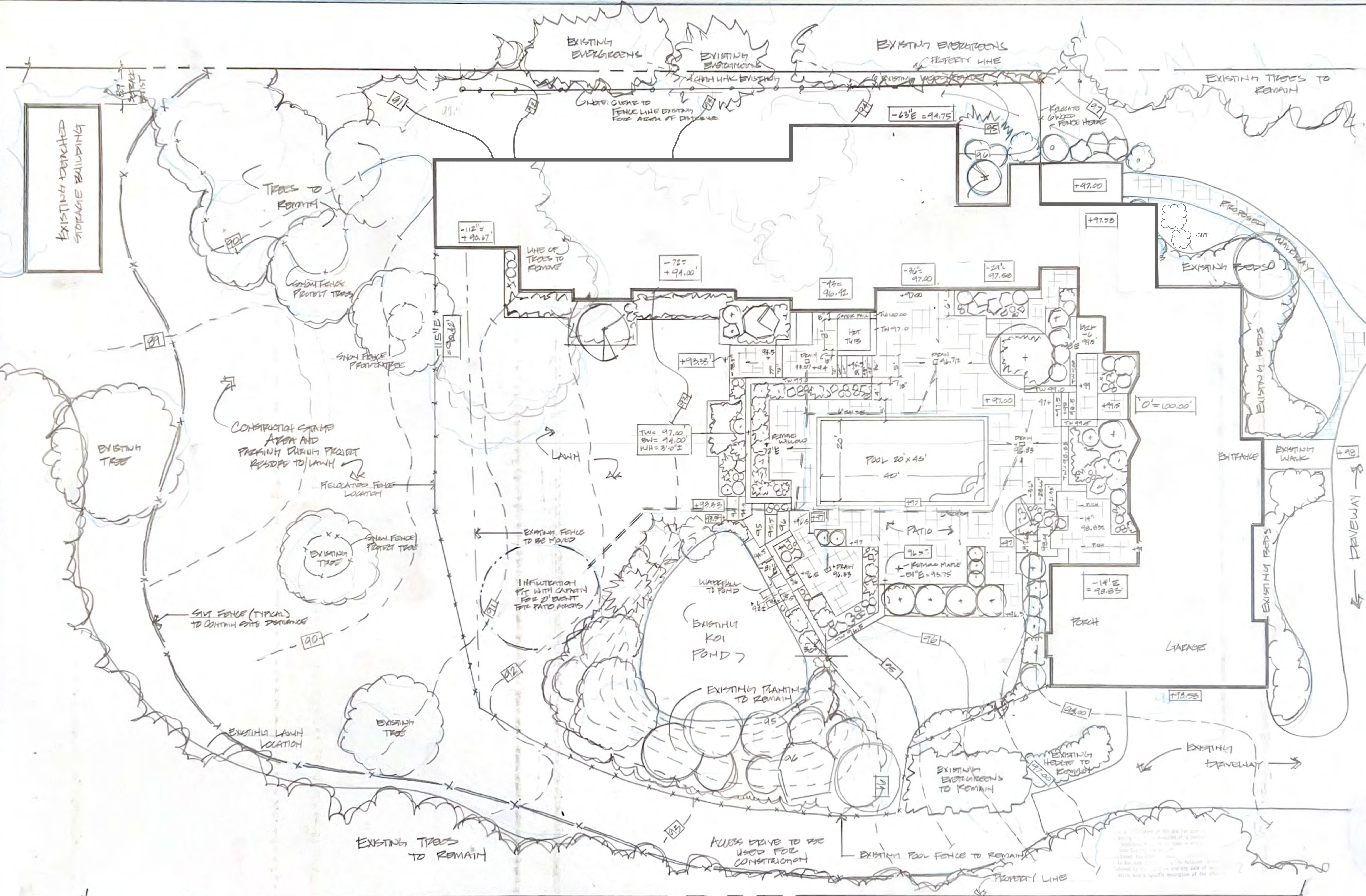


LOCATION MAP



JOB # 271079
SCALE: 1"=10'-0"
DATE: DEC 2014
DRAWN BY: #
CHECKED BY: #

SHEET
1 OF 6



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**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
DECEMBER 16, 2024**

Minutes of the Town of Pittsford Zoning Board of Appeals meeting held on December 16, 2024 at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Phil Castleberry, Jennifer Iacobucci, Mary Ellen Spennacchio-Wagner, Jim Pergolizzi, George Dounce, Barbara Servé, Tom Kidera

ABSENT:

ALSO PRESENT: April Zurowski, Planning Assistant; Bill Zink, Building Inspector; Robert Koegel, Town Attorney; Naveen Havannavar, Town Board Liaison

ATTENDANCE: There were 9 members of the public present.

Chairman Dounce called the meeting to order at 6:30PM.

NEW PUBLIC HEARINGS:

3 Fitzmot Glen – Tax ID 164.03-1-2.2

Applicant is requesting relief from Town Code Sections 185-113 B. (3) and 185-120 C. for a chicken coop located forward of the rear wall of the main structure and not meeting the minimum 150-foot setback requirements on three sides. This property is zoned Residential Neighborhood (RN).

Chairman Dounce opened the public hearing.

Dennis Wilmot, of 3 Fitzmot Glen, introduced the application. Chairman Dounce noted that the chickens and chicken coop was discovered during a site visit and noted as a zoning violation at a previous Zoning Board of Appeals meeting. Mr. Wilmot confirmed. Ms. Zurowski stated that upon further review of the submitted property survey, the shed next to the chicken coop is also out of compliance and will require a variance. Mr. Wilmot agreed to submit a variance application for the shed.

Chairman Dounce asked for public comment. Hearing none, Board Member Kidera motioned to close the public hearing, seconded by Board Member Pergolizzi; all ayes, none opposed.

A written resolution to grant the area variance for 3 Fitzmot Glen was unanimously approved.

28 Trotters Field Run – Tax ID 164.17-1-30

Applicant is requesting relief from Town Code Section 185-17 I. for the construction of an inground pool within the rear buffer. This property is zoned Residential Neighborhood (RN).

Chairman Dounce opened the public hearing.

Brett Crane, of Ted Collins Tree & Landscape, introduced the application. Mr. Crane stated that the proposed location of the pool preserves the existing vegetation and open backyard while providing a pool for the homeowners. Board Member Servé asked if neighbors were contacted. Mr. Crane stated that the homeowners discussed the project with neighbors and no opposition was heard. Board Member Spennacchio-Wagner asked if additional landscaping was proposed. Mr. Crane confirmed. Chairman Dounce asked the applicant when he plans to begin construction. Mr. Crane stated that construction is planned for Spring 2025.

Chairman Dounce asked for public comment. Hearing none, Board Member Castleberry motioned to close the public hearing, seconded by Board Member Spennacchio-Wagner; all ayes, none opposed.

A written resolution to grant the area variance for 28 Trotters Field Run was unanimously approved.

116 Stoneleigh Court – Tax ID 138.18-1-14

Applicant is requesting relief from Town Code Section 185-17 E. for the construction of an addition not meeting the total side setback requirement. This property is zoned Residential Neighborhood (RN).

Chairman Dounce opened the public hearing.

Jim Brasley, architect for the project, introduced the application. The existing home is already out of compliance with the Residential Neighborhood Zoning District setbacks. The neighbors have been contacted and no opposition was heard. Chairman Dounce asked the applicant when he plans to begin construction. Mr. Brasley stated that construction is planned for Spring 2025.

Chairman Dounce asked for public comment. Hearing none, Board Member Servé motioned to close the public hearing, seconded by Board Member Spennacchio-Wagner; all ayes, none opposed.

A written resolution to grant the area variance for 116 Stoneleigh Court was unanimously approved.

4000 East Avenue – Tax ID 151.06-2-45

Applicant is requesting relief from Town Code Section 185-121 A. for the substitution and relocation of a 4.5-foot fence in front of the front setback off of East Avenue. This property is zoned Residential Neighborhood (RN).

Chairman Dounce opened the public hearing.

Dan Hackett, as agent for the project, introduced the application. The existing fence was placed during the construction of the inground pool in 2005, though the Town Building Inspector at the time failed to adhere to the Zoning Code and the fence was placed out of compliance. The noncompliant fence was later submitted to the Zoning Board of Appeals for approval to remain, which was granted, along with a 6-foot-tall board-on-board sound wall placed interior to the wrought iron fence closer to the home. This sound wall was not constructed. The applicant is now returning with an altered request to replace a portion of the existing 4.5-foot-tall wrought iron fence for a 4.5-foot-tall board-on-board fence pushed back slightly further than the existing fence.

Board Member Servé stated that a 4.5-foot-tall solid fence at East Avenue will not serve the same benefit to the homeowners as the previously proposed sound wall would have. She suggested additional plantings instead, which could serve as a sound barrier and visual screen from East Avenue to the backyard. Board Member Servé stated that there is not one solid fence in the front yards of residents along East Avenue, especially not a solid fence taller than 3 feet in height. She asked Mr. Hackett to point out the benefits to the proposed fence. Mr. Hackett stated that the solid fence will be screened. Board Member Servé stated that this fence is out of character with the neighborhood.

Board Member Pergolizzi stated that part of the reason that the 6-foot-tall solid sound wall was approved previously is its distance from East Avenue. Though this fence is shorter than that previously approved, the fence is significantly closer to the road.

Board Member Iacobucci asked the applicant why the existing approved fence is no longer favorable. Mr. Hackett stated that the wrought-iron fence does not provide enough privacy screening and does not manage sound from East Avenue. Mr. Hackett stated that a 4-foot-tall fence is required by NYS Building Code for an inground pool and due to this lot being a corner lot, the fence must meet two front setbacks on the two planes of the home. So, a 4-foot-tall fence would only comply if the fence were placed at the western-most plane of the home, which would divide the backyard. He stated that the existing fence is placed 7 feet from the right-of-way on East Avenue, where the new fence would be 21 feet and would be accompanied with plantings.

The Board requested Mr. Hackett returned at the next meeting with a revised plan to include further consideration to visual impacts along the East Avenue corridor. Mr. Hackett agreed.

DRAFT MINUTES 121624

Chairman Dounce asked for public comment. Hearing none, Chairman Dounce motioned to hold over the public hearing, seconded by Board Member Kidera; all ayes, none opposed.

OTHER DISCUSSION:

Chairman Dounce motioned to approve the minutes of October 21, 2024. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Dounce stated that this final meeting concludes his time with the Zoning Board of Appeals and thanked the Board for their continued service.

Chairman Dounce closed the meeting at 7:49PM.

Respectfully submitted,

April Zurowski
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT