Agenda 09-12-2024

Town of Pittsford Design Review & Historic Preservation Board AGENDA

September 12th, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, September 12, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

OVERSIZED/COMMERCIAL ACCESSORY STRUCTURES

165 French Road

Applicant is requesting design review for a 240 square-foot pergola.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

20 Kerrygold Way

Applicant is requesting design review to change a window into a door on the right side elevation.

2185 West Jefferson Road

Applicant is requesting design review for the addition of an approximately 224 square-foot addition off the rear of the home.

17 East Park Road

Applicant is requesting design review to add a covered entryway to the front of the home.

44 Crestline Road

Applicant is requesting design review to enclose the existing deck into a sunroom, add a entry/mudroom, covered deck & add a garage bay.

RESIDENTIAL APPLICATIONS: NEW HOMES

12 Bridleridge Farms

Applicant is requesting design review for a 3,580 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for signage for Dick's Going Gone.

CERTIFICATES OF APPROPRIATENESS

55 Mitchell Road

Agenda 08-22-2024

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

321 Mendon Center Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

PLANNING BOARD COMMENTARY

Pittsford Oaks

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

The next meeting is scheduled for Thursday, September 26, 2024, at 6PM.

Town of Pittsford Design Review & Historic Preservation Board MINUTES July 25, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, June 11, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dave Wigg, Vice Chairman; Bonnie Salem; John Mitchell; Jim Vekasy

ABSENT: Dirk Schneider, Chairman; Kathleen Cristman; Paul Whitbeck;

ALSO PRESENT: Bill Zink, Building Inspector; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 8 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6 PM.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

28 Copper Woods

Applicant is requesting design review for the addition of a covered front entry.

Tamara O'Shaughnessy, the homeowner, introduced the application. Mrs. O'Shaughnessy gave a brief overview of the project. Member Bonnie Salem asked if there were columns on the home already. Mrs. O'Shaughnessy said they were more of a decorative trim piece. Vice Chairman Dave Wigg asked if the roof would be metal and the homeowner confirmed. DRHPB Member Bonnie Salem asked if the flued columns might be too much along with the metal roof. The Board acknowledged that the elevation provided shows the house much simpler than it is.

DRHPB Vice Chairman Dave Wigg motioned to approve addition of a covered entry, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

71 Framingham Lane

Applicant is requesting design review for approximately 224 square feet off the rear of the home.

Richard McCarson, the homeowner, introduced the application. DRHPB Member Jim Vekasy asked if the slab was already there, the homeowner confirmed. DRHPB Member John Mitchell asked if the roof lines on the left and right elevation would match and the homeowner confirmed. John Mitchell asked the age of the home, the homeowner said he thought around 1978. John Mitchell stated the color may be tough to match with weathering.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of a 224 square foot addition off the rear of the home, as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

OVERSIZED ACCESSORY STRUCTURES

33 Merryhill Lane

Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

Nick Shotwell, the homeowner, introduced the application. DRHPB Member Jim Vekasy asked where this would be located and the homeowner indicated the approved location from the Zoning Board. DRHPB Vice Chairman Dave Wigg asked if this was a kit or to be built form scratch and the homeowner stated a contractor would be coming up with the plans.

DRHPB Member John Mitchell motioned to approve the addition of a 220 square foot shed with attached covered porch, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

3 Fitzmot Glen

Applicant is requesting design review for a 1080 square foot detached garage.

Tom and Natalie Nicosia, on behalf of Dennis Wilmot, introduced the application. DRHPB Member Bonnie Salem asked which elevation would face the house, Nicole stated that the North Elevation would face the house and the east elevation would face the street. DRHPB Vice Chairman Dave Wigg asked if the board and batten would be vinyl and Tom stated that it would be a rough cut hearty board.

DRHPB Vice Chariman Dave Wigg motioned to approve the construction of an approximately 1080 square feet detached garage, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.

Devin Ehly, of AGI introduced the application. DRHPB Vice Chairman Dave Wigg asked how the signs would be lit and Devin stated that they would be front lit.

DRHPB Member Bonnie Salem motioned to approve the construction of approximately 39.5 square feet of signage for Citizens Bank, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

07/11/2024 MEETING MINUTES REVIEW

The minutes of July 11th, 2024, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

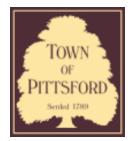
OTHER DISCUSSION

Design Review and Historic Preservation	Board Vice Chair	rman Dave Wigg c	losed the meeting
at 6:40 PM.			

Respectfully submitted,

Bill Zink
Building Inspector

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # RA24-000128

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 165 French Road ROCHESTER, NY 14618

Tax ID Number: 151.13-1-8

Zoning District: RN Residential Neighborhood

Owner: Crough, Meghan Applicant: Crough, Meghan

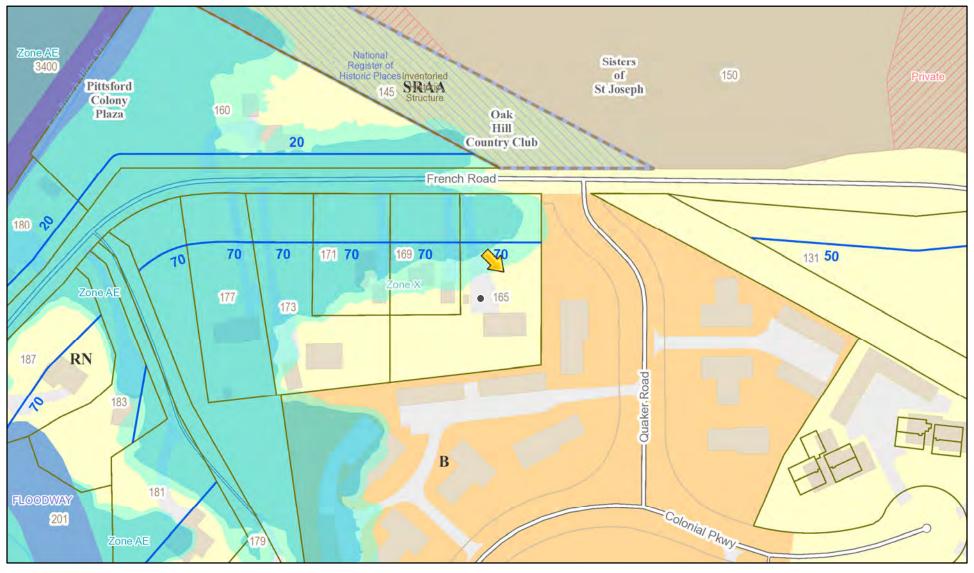
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	Residential Design Review	Build to Line Adjustment
/	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

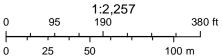
Project Description: Applicant is requesting design review for a 240 square foot pergola.

Meeting Date: August 22, 2024

RN Residential Neighborhood Zoning



Printed August 7, 2024



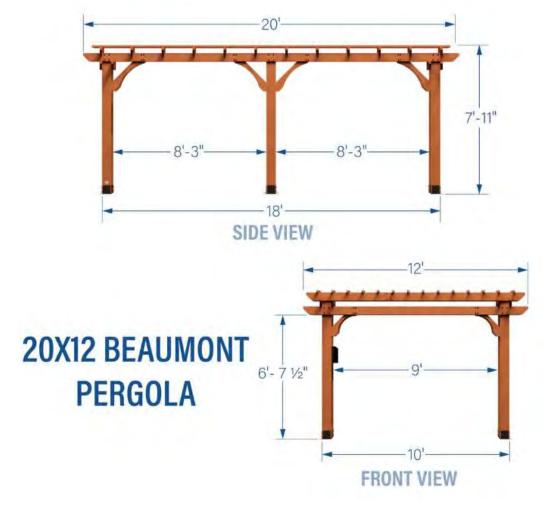
Town of Pittsford GIS

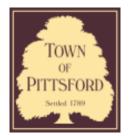
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Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000127

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Kerrygold Way PITTSFORD, NY 14534

Tax ID Number: 163.02-5-40

Zoning District: PUD Planned Unit Development

Owner: Rubens, Jack Applicant: Rubens, Jack

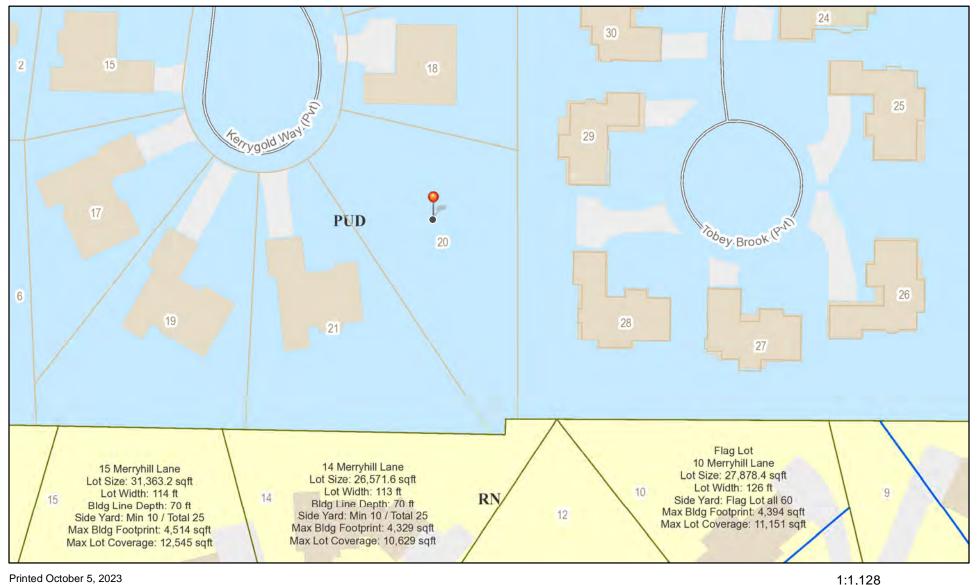
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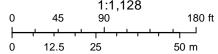
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✓	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review to change a window into a door on the right side elevation.

Meeting Date: August 22, 2024

RN Residential Neighborhood Zoning





Town of Pittsford GIS

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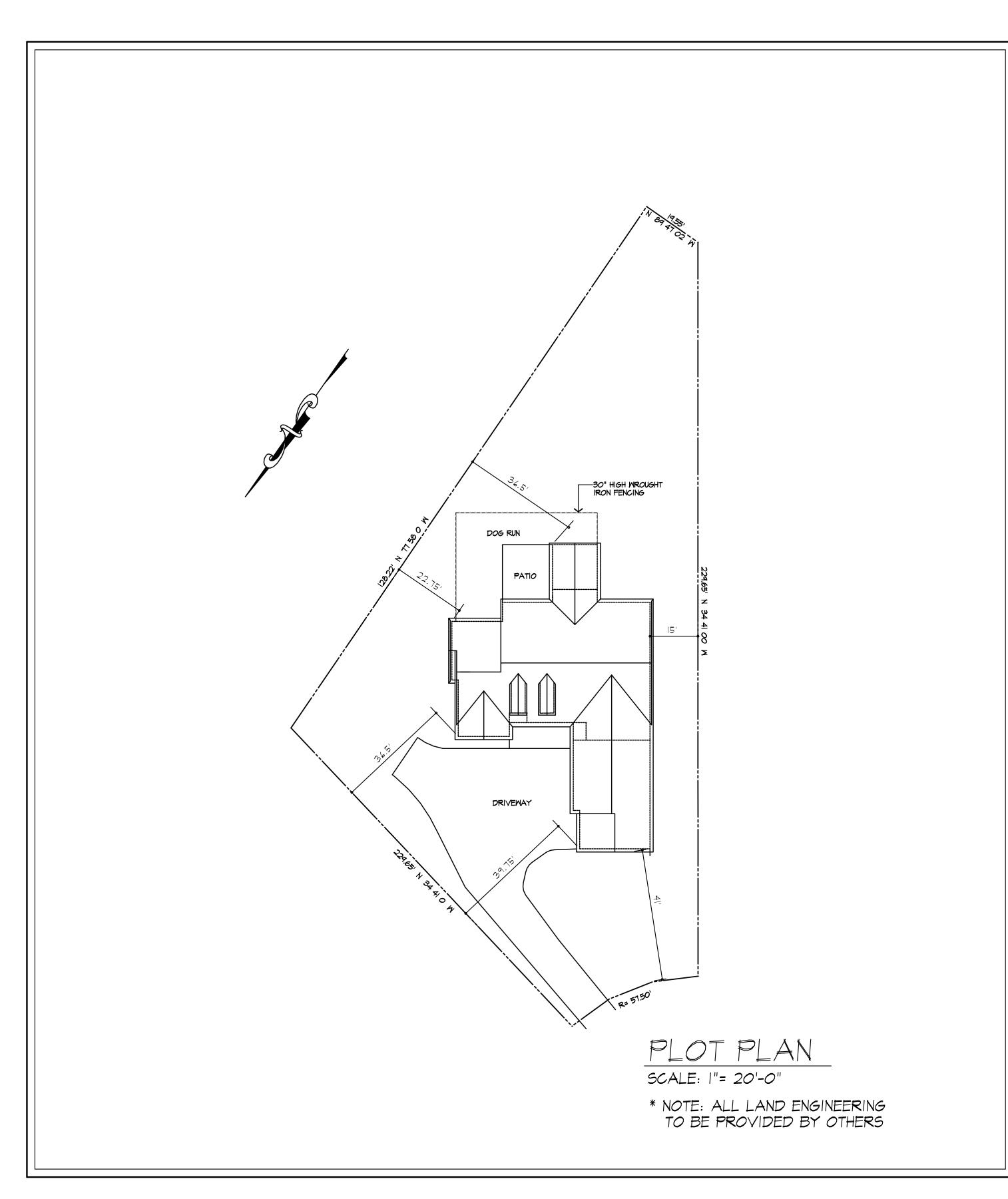


GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
 - 2500 PSI FOOTINGS 2500 PSI FLOOR SLABS 3500 PSI GARAGE

EXTERIOR DECKS

- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - I PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-3IC, TT-P-8G. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS I, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020). FLOOR LOADS (LIVING AREAS-IST FLOOR) 40 PSF SLEEPING AREAS (2ND FLOOR)
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO
- 24. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND MORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S WET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R3I3.I OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



LEBEAU RESIDENCE

LOT 10 CLOVER ESTATES

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
<i>5</i>	1ST FLOOR PLAN
6	ROOF PLAN
7	TRUSS DIAGRAMS
8	BUILDING SECTIONS
9	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH
AD EVERTA PRECEDIRTIVE REALIREME

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

	COMPONENT	REQUIRED	PROVIDED
1.	FENESTRATION U-FACTOR	.30	.30
2.	CEILING R-FACTOR	49	49
3.	WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4.	FLOOR R-FACTOR	R-30	R-30
5.	BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6.	SLAB R-FACTOR	R-I0@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- I. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- 4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCULDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- 5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- 7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINUMUM
- 8. MECHANICAL VENTILATION PER SECTION NIIO3.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION MISOT.3.3 REQUIREMENT.
- 9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION NIIO3.6.1.
- IO. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION NIIO3.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- I. GROUND SNOW LOAD 40 PSF R301.2 (5)
- 2. WIND SPEED 115 MPH, EXPOSURE B R301.2.1
- 3. SEISMIC DESIGN CATEGORY A R301.2 (2)
- 4. WEATHERING SEVERE
- 5. FROST LINE DEPTH 48"
- 6. TERMITE DAMAGE NONE TO SLIGHT
- 7. DECAY DAMAGE NONE TO SLIGHT
- 8. WINTER DESIGN TEMPERATURE 1
- 9. ICE SHIELD UNDERLAYMENT REQUIRED YES
- 10. FLOOD HAZARD FIRM 1992
- II. ROOF TIE DOWN REQUIREMENTS R802.II.I



PATRICK J. MORABITO, A.I.A. ARCHITECT, P.

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www.MorabitoArchitects.com

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09/21/2023

LEBEAU RESIDENCE

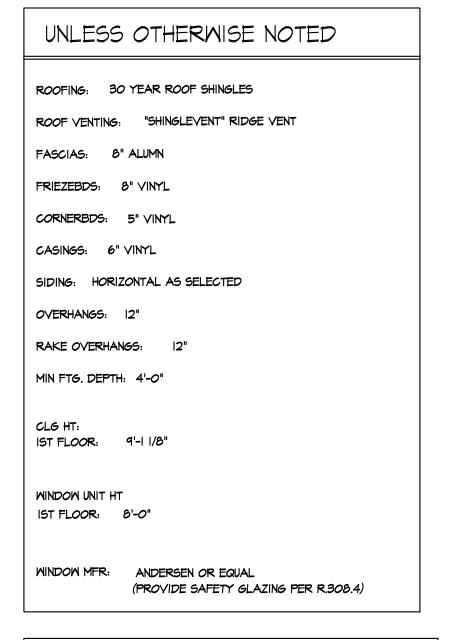
M/M JIM LEBEAU

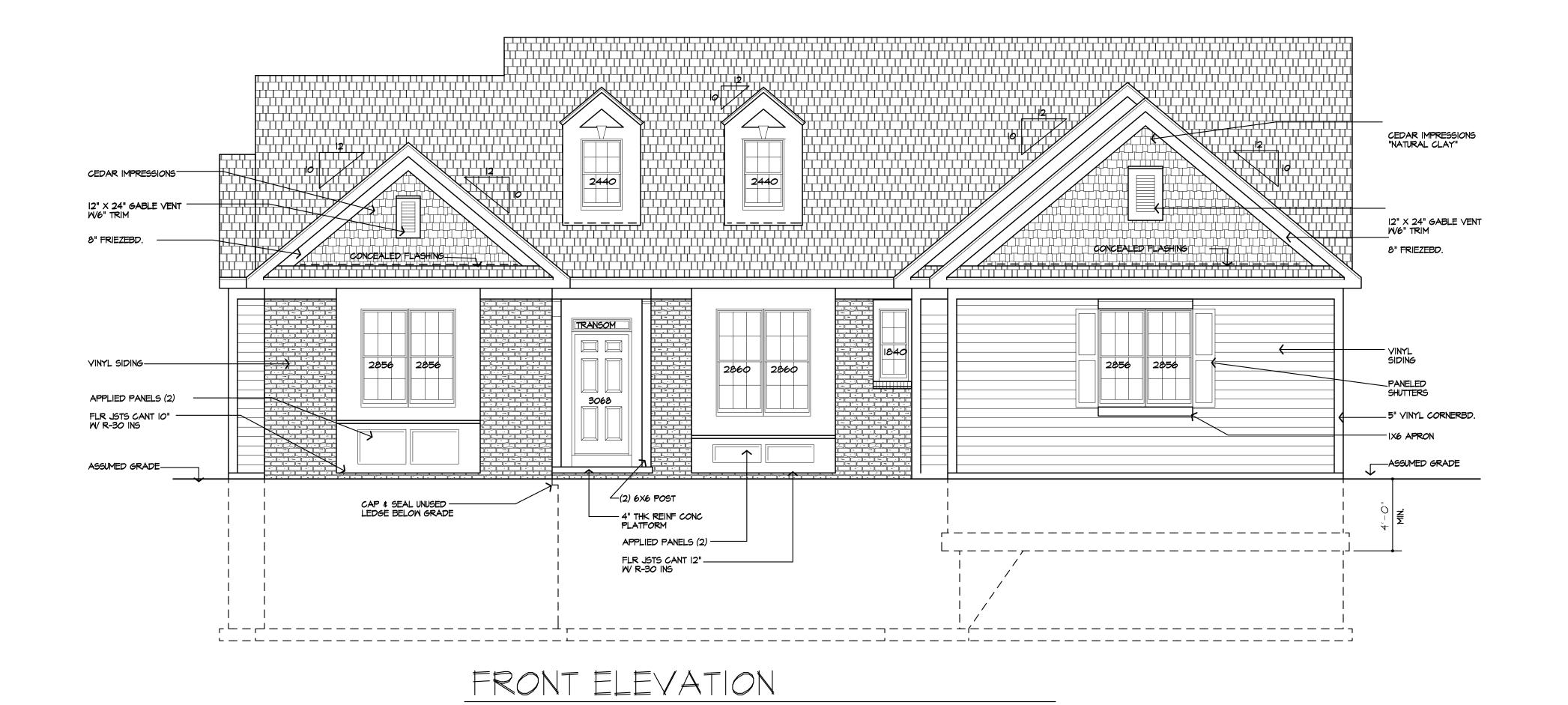
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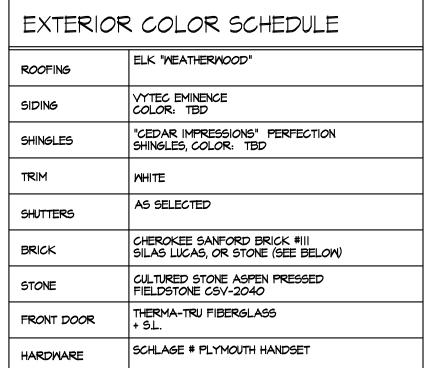
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SHEETS

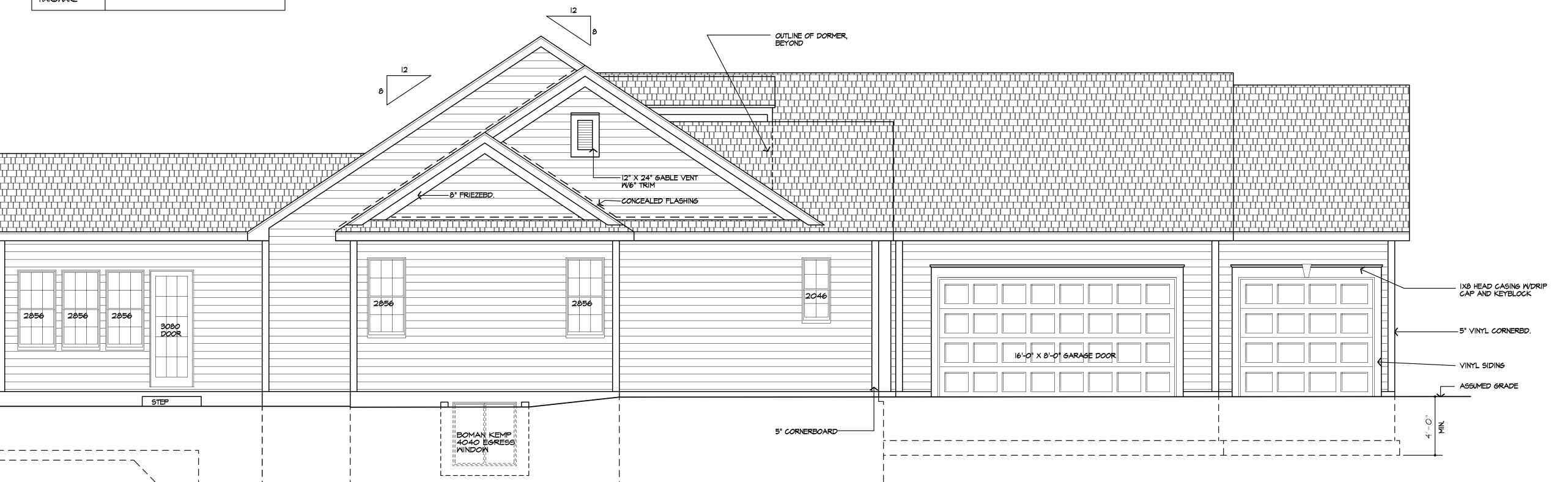








ADJUSTED GRADE-



LEFT SIDE ELEVATION

AREA: 2622 S.F.

MORABITO
ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

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AND/OR MONETARY COMPENSATION TO

09/21/2023

PROJECT:

CLIENT: M/M JIM LEBEAU

DRAWING: FRONT / LEFT SIDE ELEVATIONS

 DRAWN:
 CHECKED:

 MGM
 PJM

 DATE:
 SEPTEMBER 2023

 SCALE:
 I/4"=I'-0"

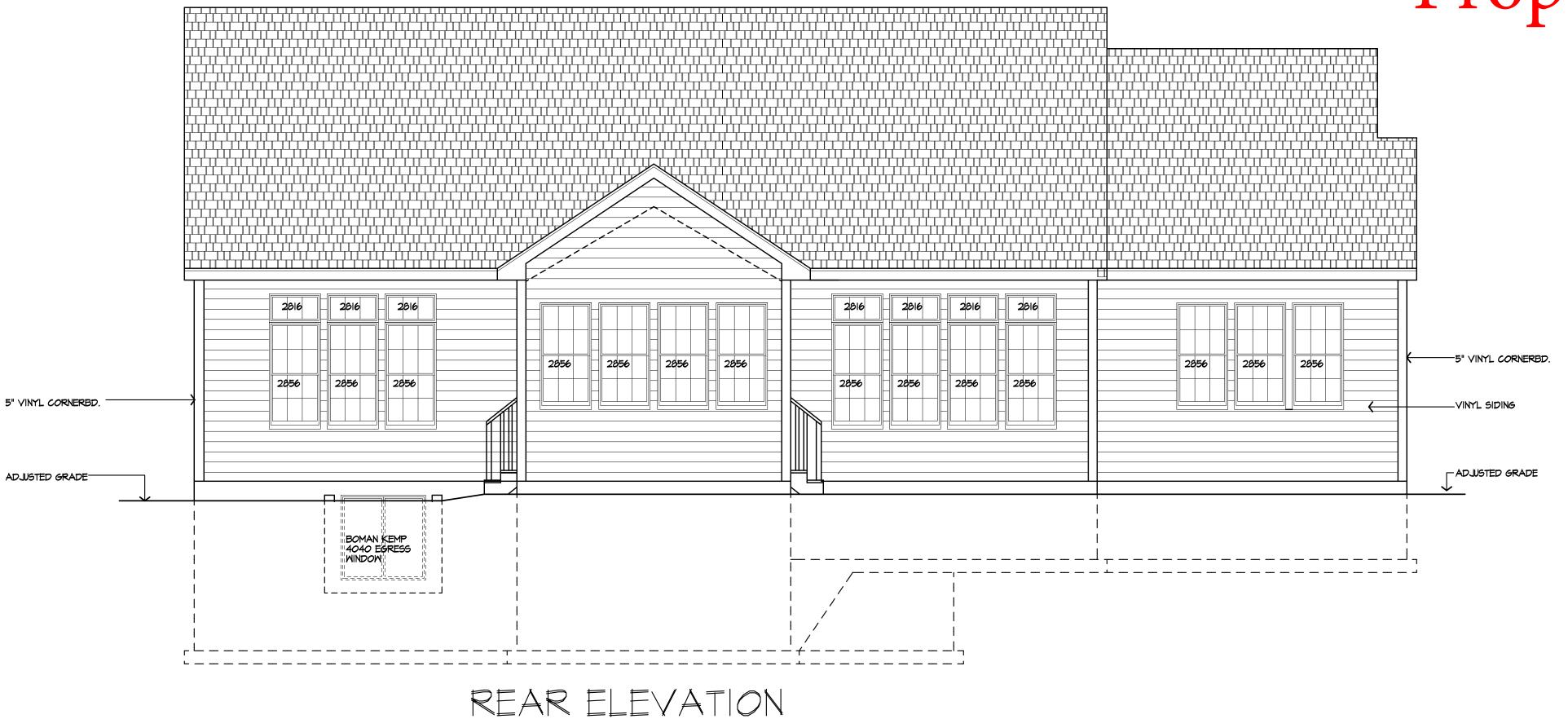
10B NO.: 23M4395 SHEET:

SHEET:

OE **Q** SUEI



Proposed



UNLESS OTHERWISE NOTED

ROOFING: 30 YEAR ROOF SHINGLES ROOF VENTING: "SHINGLEVENT" RIDGE VENT

FASCIAS: 8" ALUMN FRIEZEBDS: 8" VINYL

CORNERBDS: 5" VINYL CASINGS: 6" VINYL

SIDING: HORIZONTAL AS SELECTED

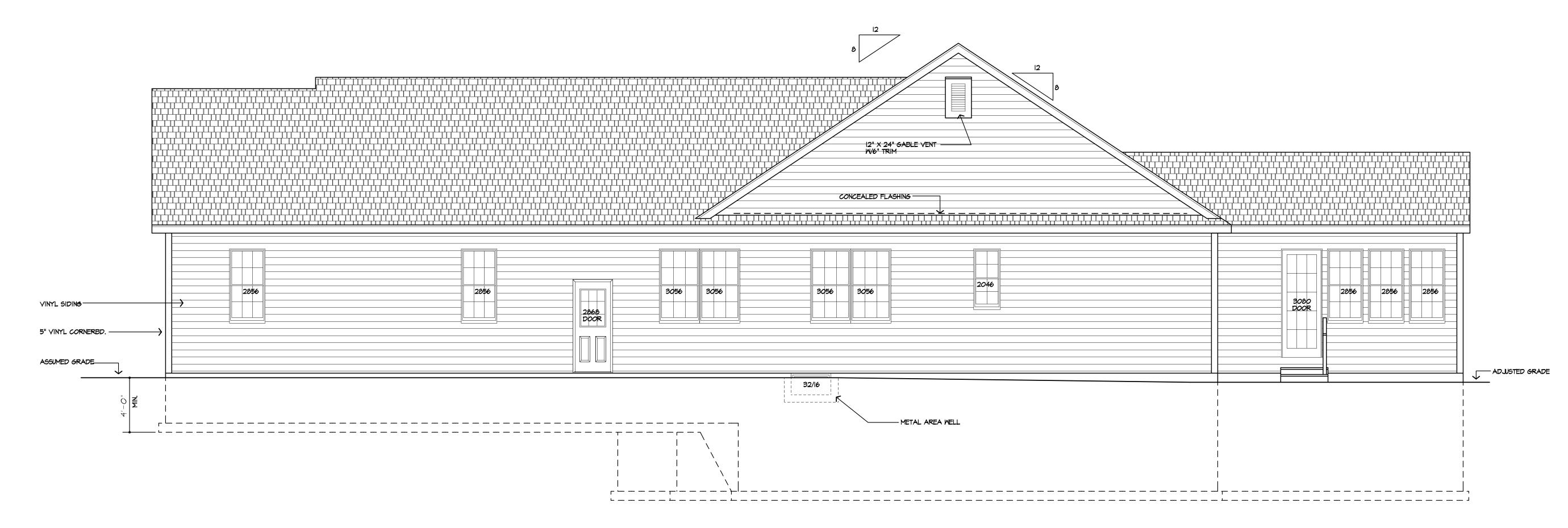
OVERHANGS: 12" RAKE OVERHANGS: MIN FTG. DEPTH: 4'-0"

CLG HT: IST FLOOR: 9'-1 1/8"

MINDOM UNIT HT IST FLOOR: 8'-0"

WINDOW MFR: ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)

EXTERIOR	COLOR SCHEDULE
ROOFING	ELK "WEATHERWOOD"
SIDING	VYTEC EMINENCE COLOR: TBD
SHINGLES	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD
TRIM	MHITE
SHUTTERS	AS SELECTED
BRICK	CHEROKEE SANFORD BRICK #III SILAS LUCAS, OR STONE (SEE BELOW)
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040
FRONT DOOR	THERMA-TRU FIBERGLASS + S.L.
HARDWARE	SCHLAGE # PLYMOUTH HANDSET



RIGHT SIDE ELEVATION



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REVISED 7/31/24 PJMAIA REVISED 2/26/24 10/31/2023 10/24/2023 - REV. PLOT PLAN 09/21/2023



LOT IO CLOVER ESTATES LEBEAU RESIDENCE

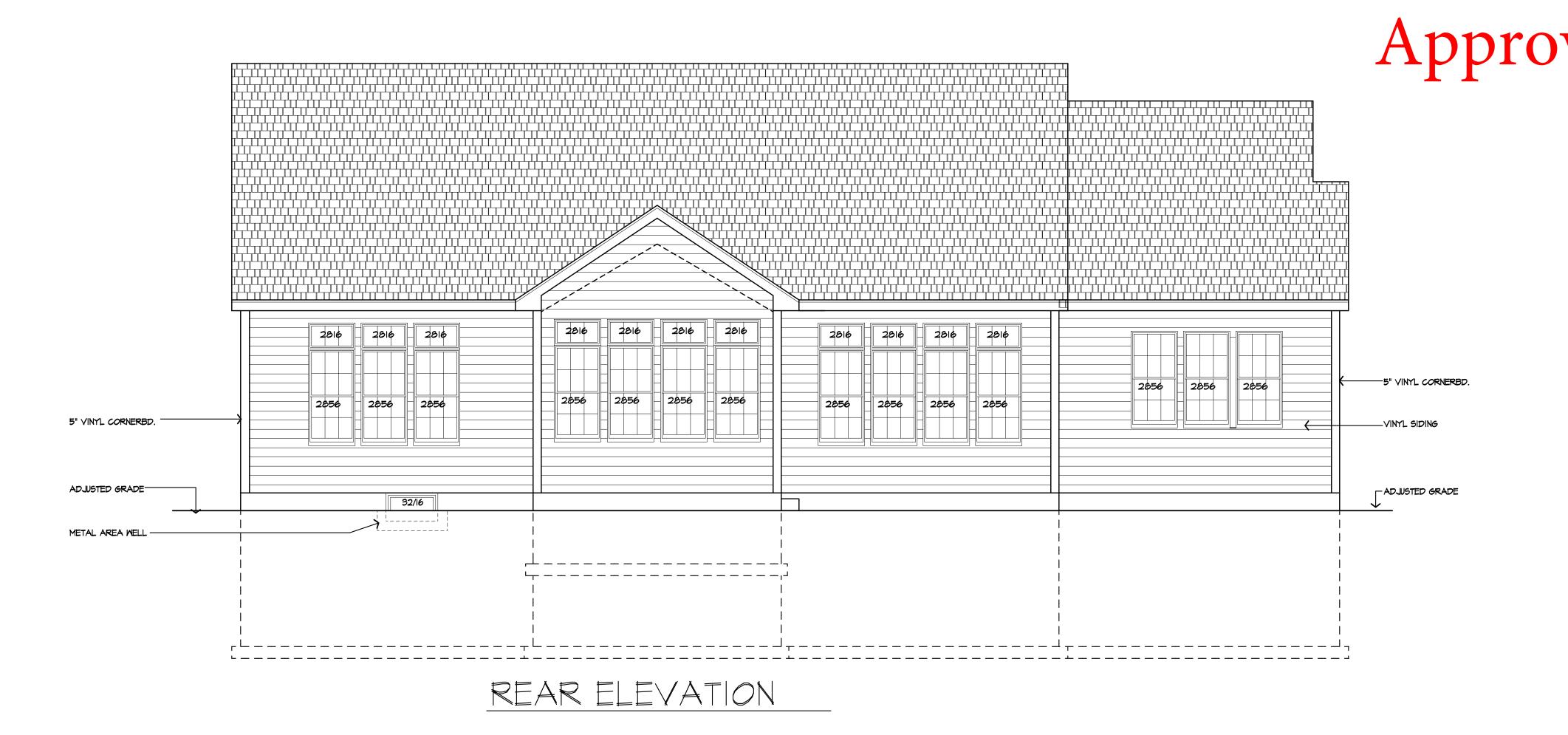
M/M JIM LEBEAU

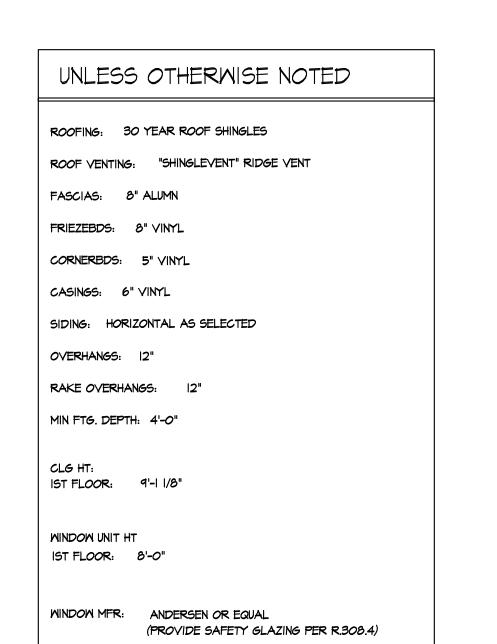
REAR / RIGHT SIDE ELEVATIONS

CHECKED: SEPTEMBER 2023

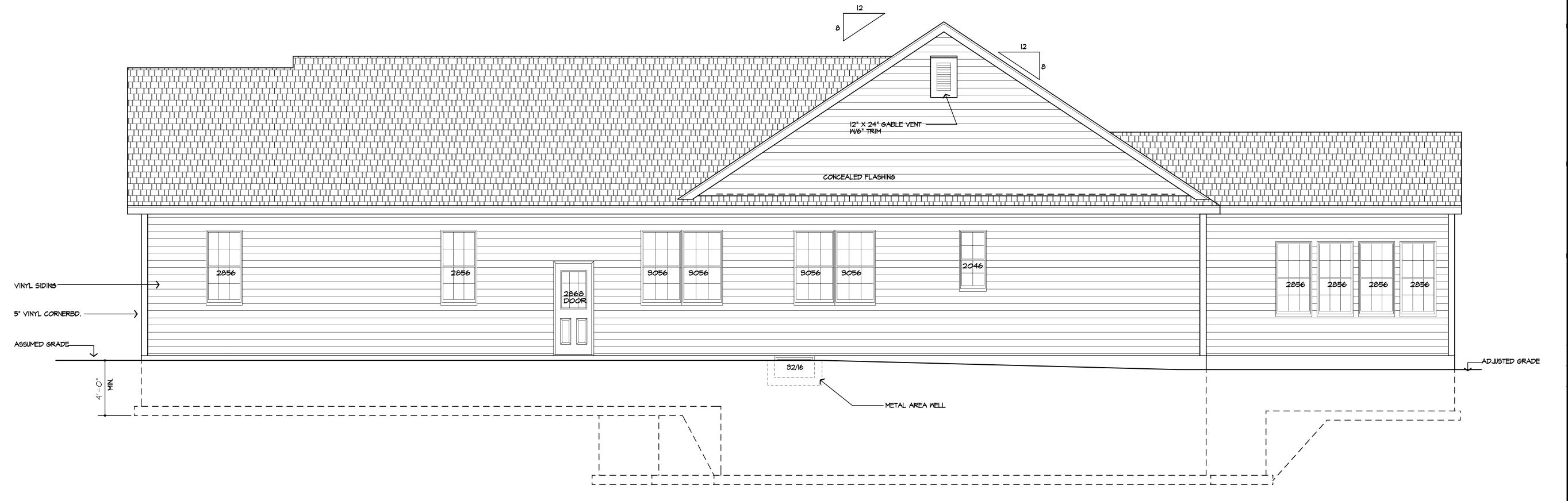
SCALE: 1/4"=1'-0" 23M4395







EXTERIOR COLOR SCHEDULE				
ROOFING	ELK "WEATHERWOOD"			
SIDING	VYTEC EMINENCE COLOR: TBD			
SHINGLES	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD			
TRIM	WHITE			
SHUTTERS	AS SELECTED			
BRICK	CHEROKEE SANFORD BRICK #III SILAS LUCAS, OR STONE (SEE BELOW)			
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040			
FRONT DOOR	THERMA-TRU FIBERGLASS + S.L.			
HARDWARE	SCHLAGE # PLYMOUTH HANDSET			



RIGHT SIDE ELEVATION



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REAR / RIGHT SIDE ELEVATIONS

DRAWN: MGM		CHECKED:	
DATE:	SEPT	EMBER 2023	
SCALE:	/4"=	: '-0"	
JOB NO.:	23M4395		
SHEET:			



95'-2"



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09/21/2023

PROJECT:

LOT IO CLOVER ESTATES

LEBEAU RESIDENCE

CLIENT:

M/M JIM LEBEAU

DRAWING:

BASEMENT / FOUNDATION PLAN

DRAWN:		CHECKED:			
MGM		PJM			
DATE:	SEPTEMBER 2023				
SCALE:	1/4"=1'-0"				
		•			

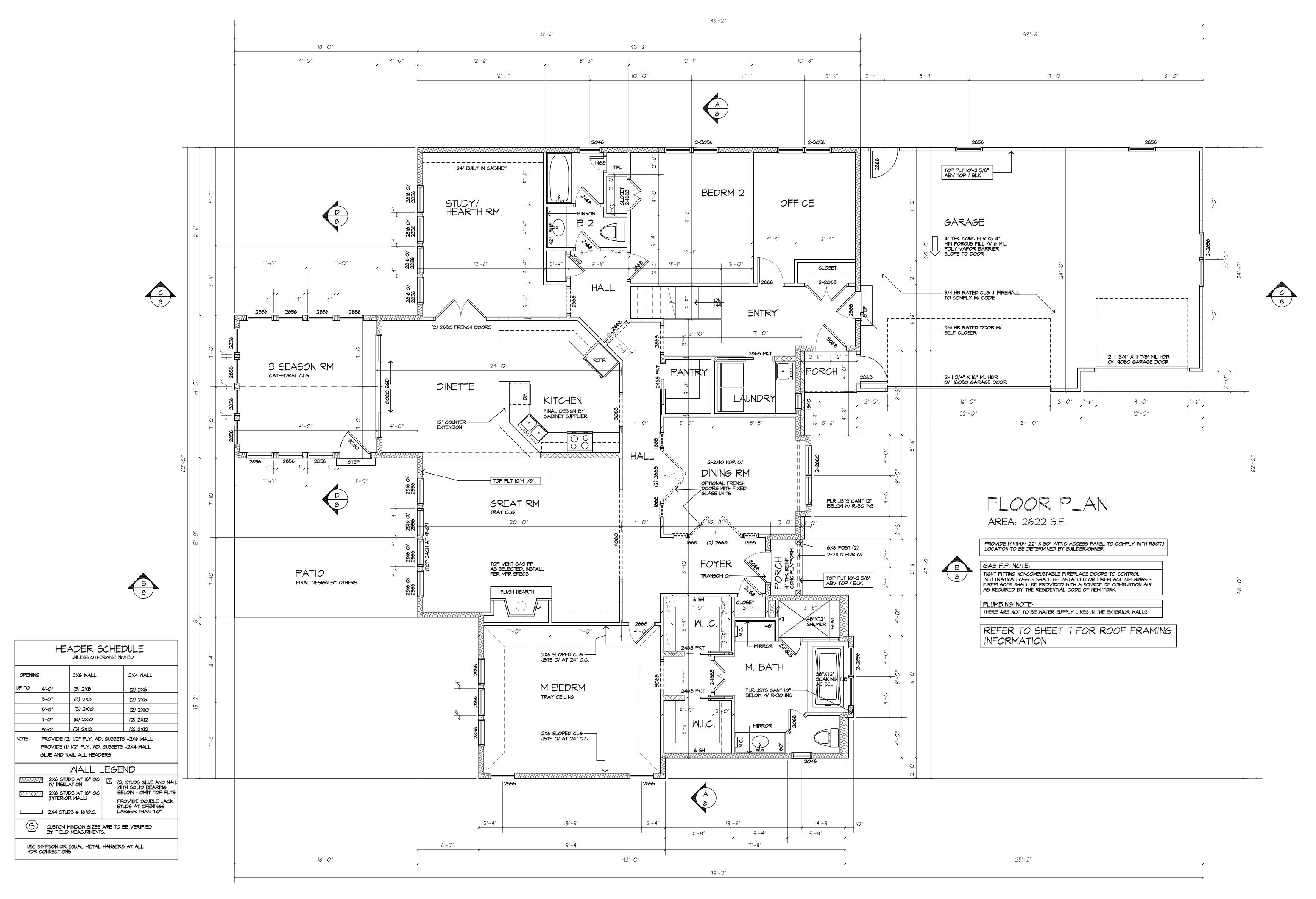
NO.: 23M4395

JOB NO.: 23M² SHEET:

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OF **9** SHEETS







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LOT IO CLOVER ESTATES LEBEAU RESIDENCE

CLIENT: M/M JIM LEBEAU

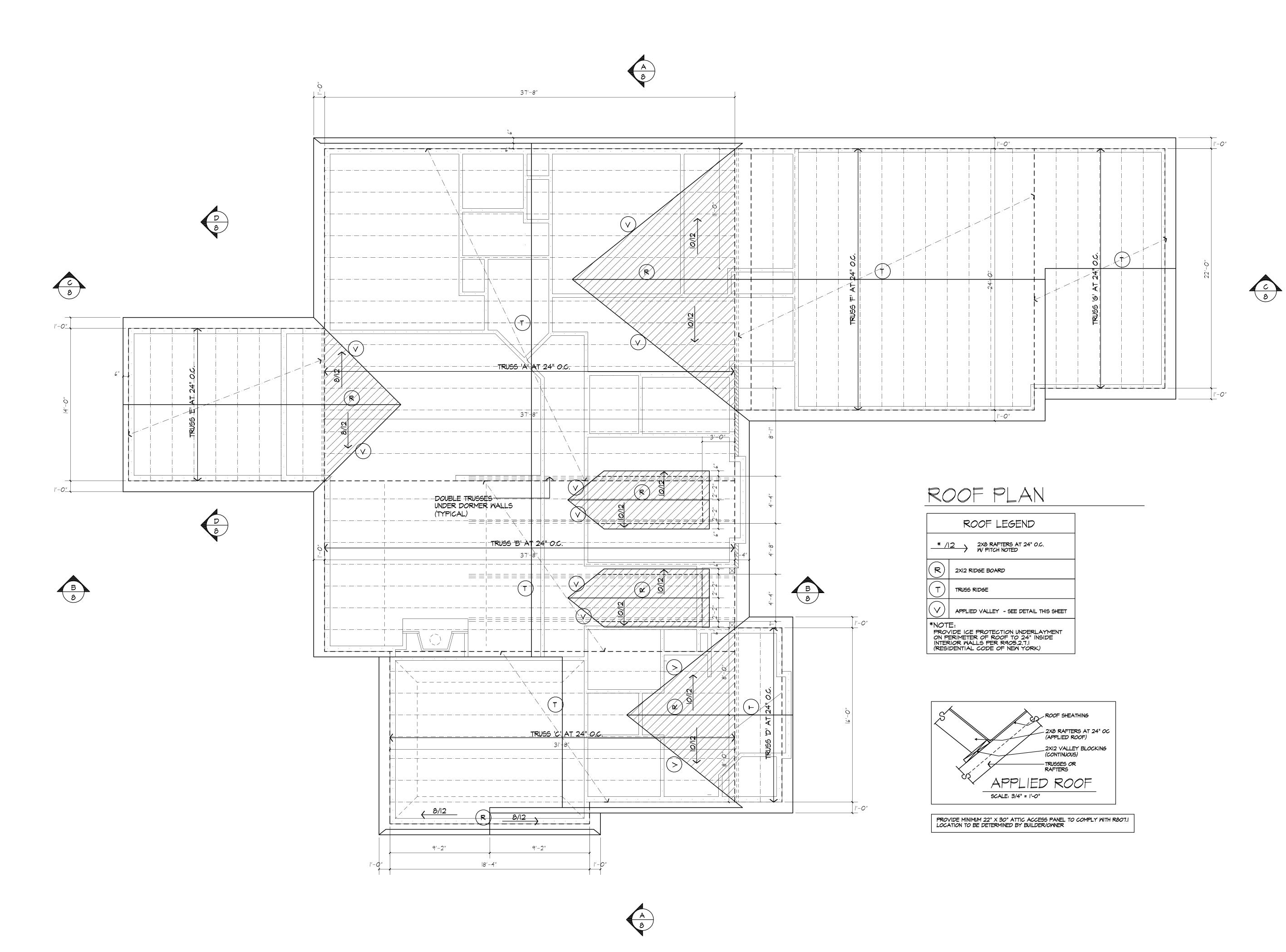
DRAWING: IST FLOOR PLAN

DRAWN: CHECKED: SEPTEMBER 2023 SCALE: 1/4"=1'-0"

23M4395 SHEET:

OF **9** SHEETS







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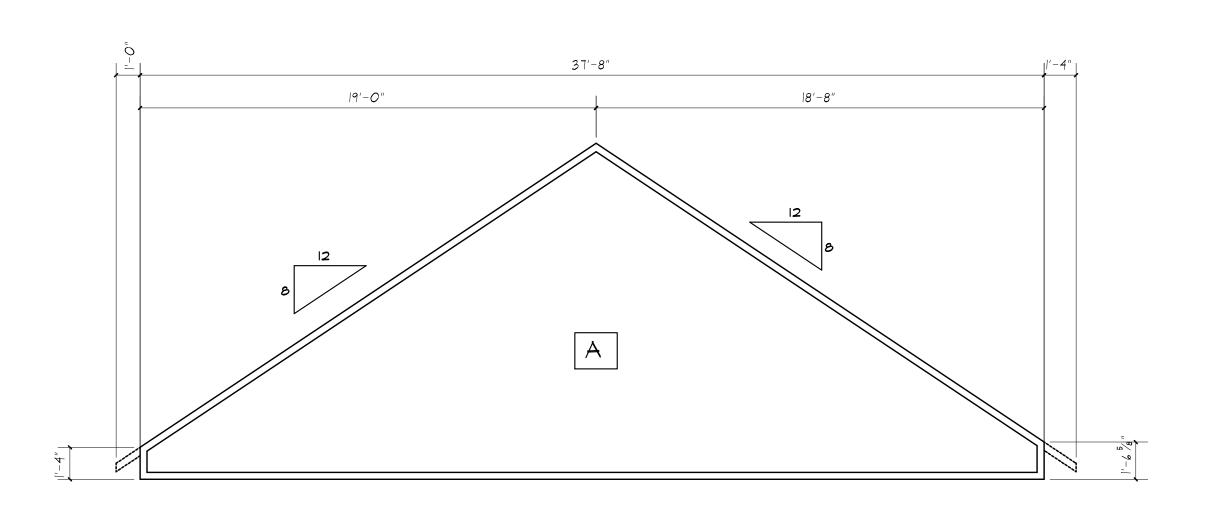
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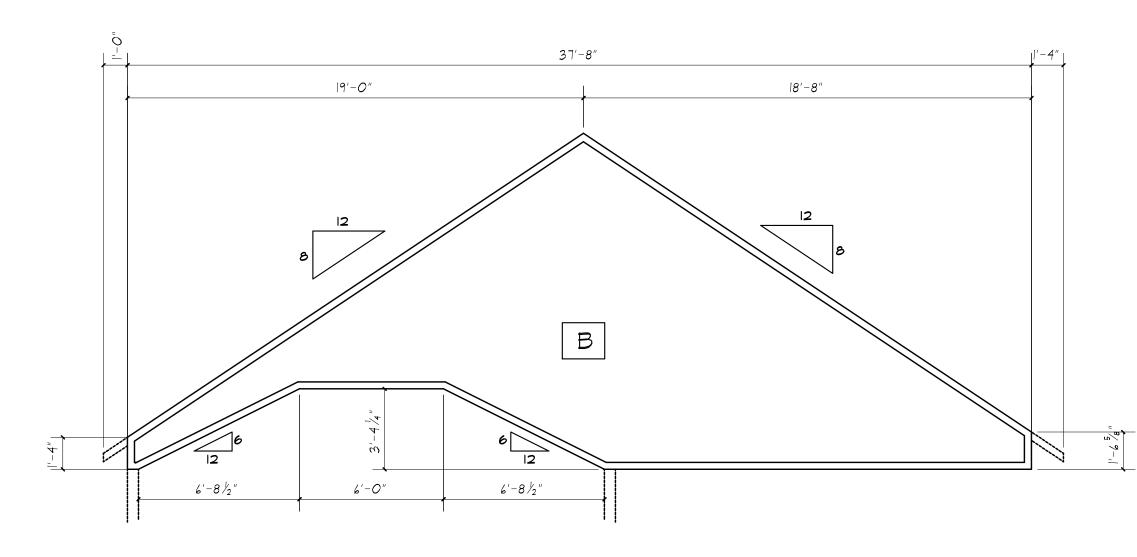
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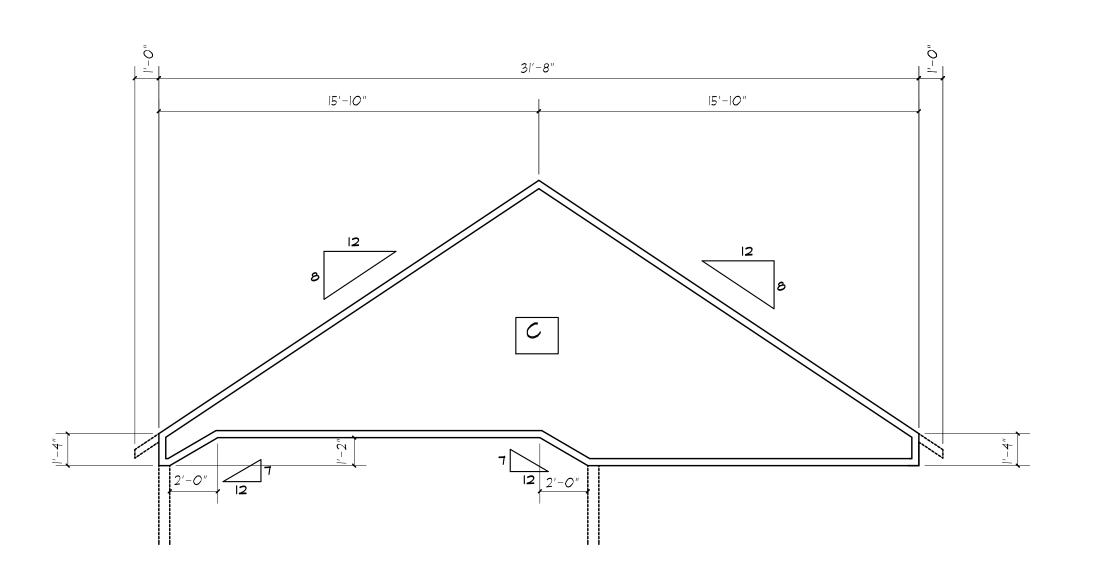
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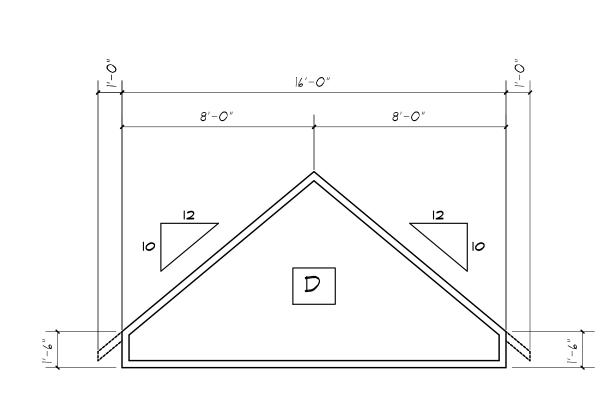
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MGM		PJM		
DATE:	SEPT	EMBER 2023		
SCALE:	/4"= '-O"			
JOB NO.:	23M	4395		

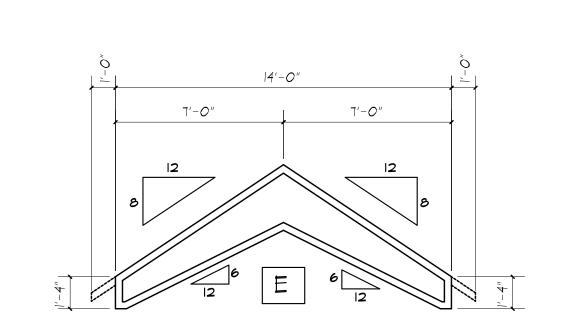


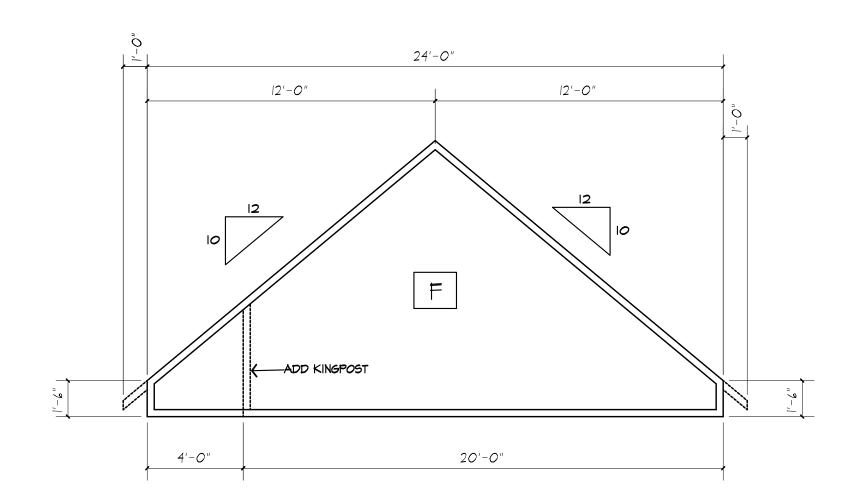


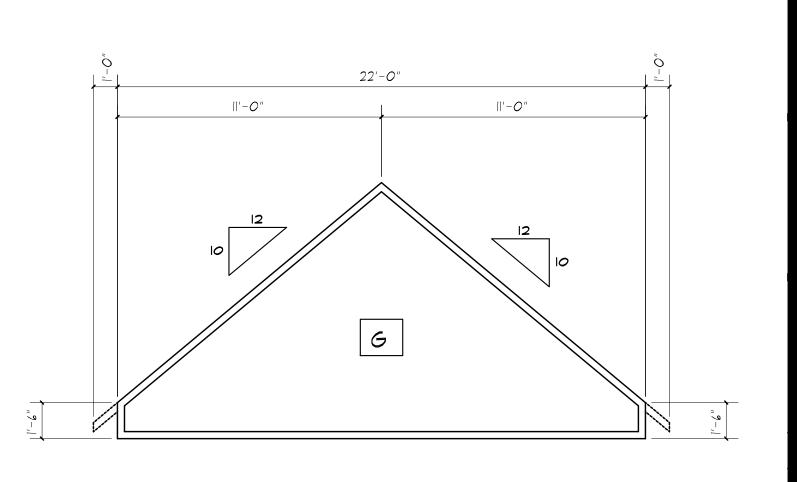












TRUSS DIAGRAMS FINAL DESIGN BY TRUSS MANUFACTURER, SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION



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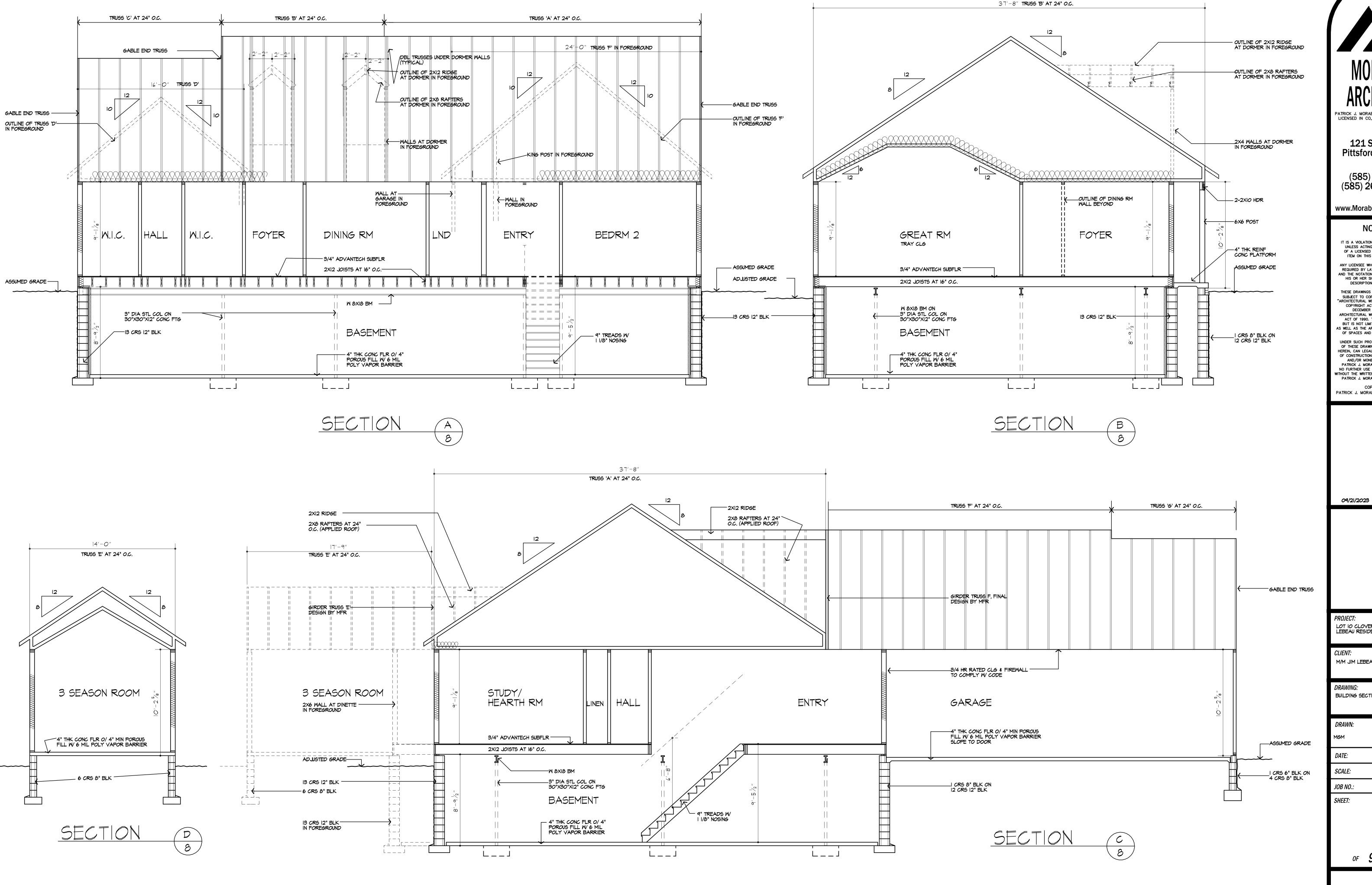
M/M JIM LEBEAU

DRAWING: TRUSS DIAGRAMS

DRAWN:		CHECKED:
MGM		MLA
DATE:	SEPT	EMBER 2023
SCALE:	l/4" =	: '-0"
JOB NO.:	23M	4395

SHEET:







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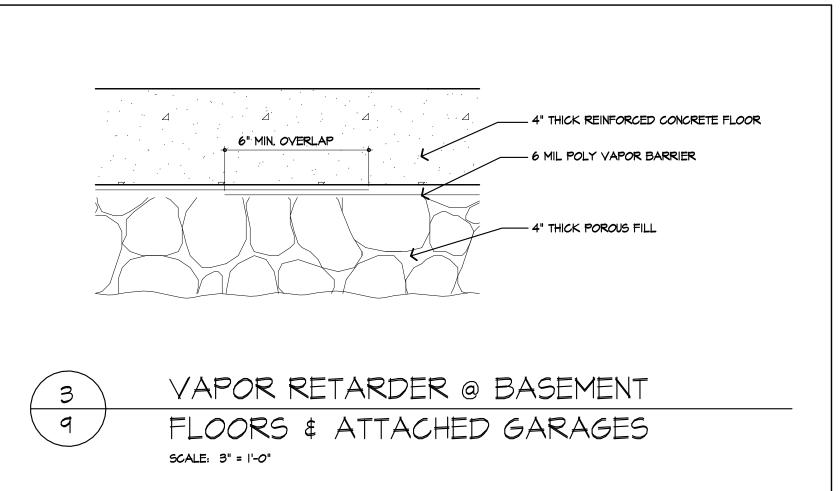
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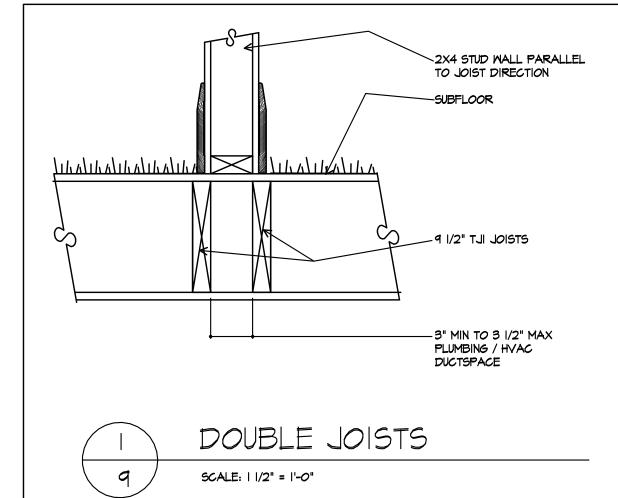
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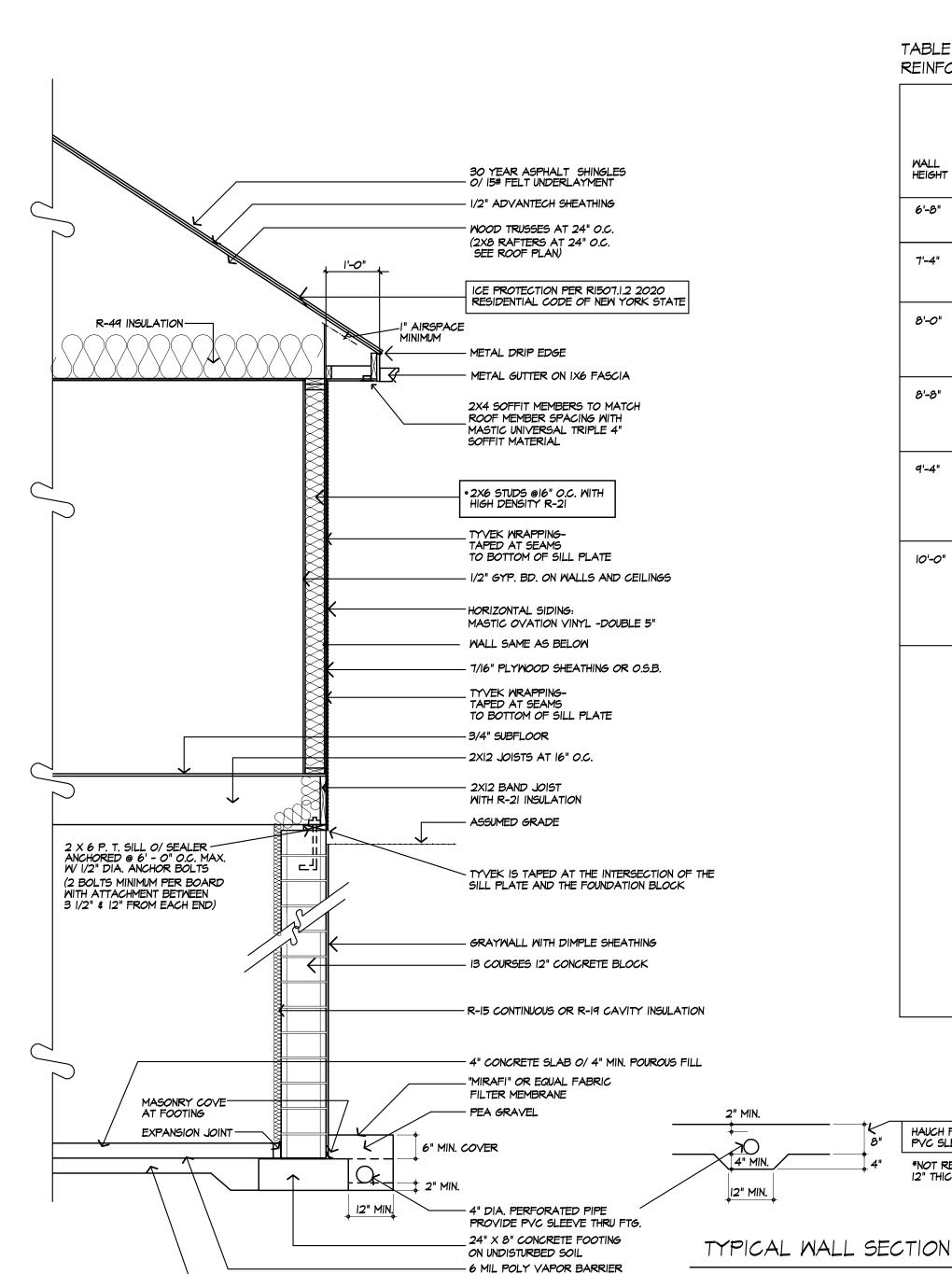
23M4395

SHEETS









- 4" THICK POROUS FILL

TABLE R404.1.1(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D 8.75 INCHES (A)

		MINIMUM VERTI	CAL REINFORCEM	ENT (B, C)
		SOIL CLASSES AND LATERA	L SOIL LOAD (D) (PSF PER FOO	OT BELOW GRADE)
MALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	GW, GP, SW AND SP SOILS	GM, GC, SM, SM- SC AND ML SOILS	SC, ML-CL AND INORGANIC CL SOILS
I ILIOITI	DAORI ILL (L)	30	45	60
6'-8"	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	6'-8"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
7'-4"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	6'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.
	7'-4"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
8'-0"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	6'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 64" O.C.
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
8'-8"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	6'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.
	8'-8"	#5 AT 72" O.C.	#7 AT 72" O.C.	#6 AT 48" O.C.
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
9'-4"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	6'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#5 AT 72" O.C.
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 56" O.C.
	9'-4"	#6 AT 72" O.C.	#6 AT 48" O.C.	#6 AT 40" O.C.
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
10'-0"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.
	6'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#5 AT 72" O.C.
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 48" O.C.
	9'-0"	#6 AT 72" O.C.	#6 AT 56" O.C.	#6 AT 40" O.C.
	10'-0"	#6 AT 64" O.C.	#6 AT 40" O.C.	#6 AT 32" O.C.

FOR SI: I INCH = 25.4 MM, I FOOT = 304.8 MM, I POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.

- A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72 INCHES.
- C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75
- D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO
- E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

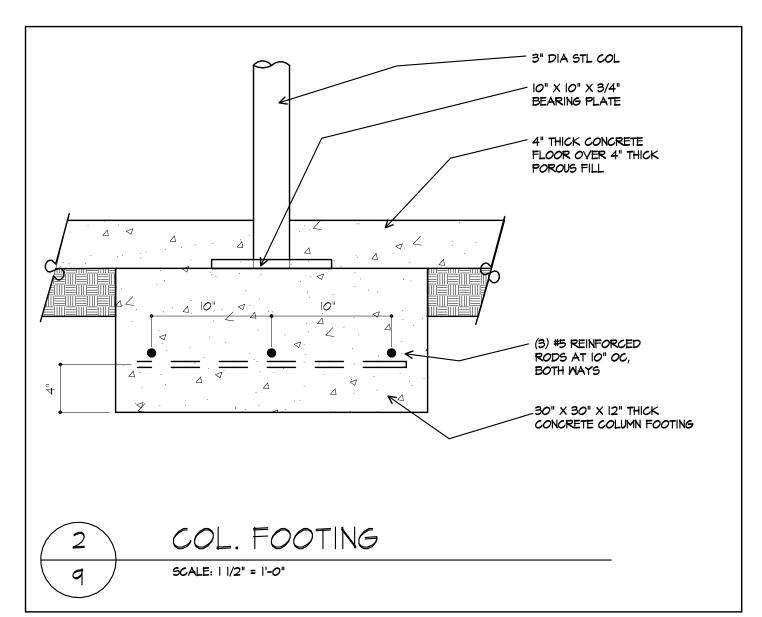
CONCRETE SLAB IS PERMITTED.

HAUCH FOOTING AT PVC SLEEVE

*NOT REQUIRED FOR

12" THICK FOOTINGS

SCALE: 1/2"=1'-0"



FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRANCE MEMBRANE. PROPERTY ON THE UNDERSIDE OF THE FLOOR FRANCE MEMBRANE. PROPERTY ON THE UNDERSIDE OF THE FLOOR FRANCE. FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED. EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904, NFPA I3D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
- 2. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED
- APPLIANCES. . PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE
- 3.1. THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER
- 3.2. FIREBLOCKING IN ACCORDANCE WITH SECTION R302.II.I IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY
- WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.6 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

LIGHTING FIXTURE SCHEDULE OUTDOOR EGRESS DOORS (EACH) MINIMUM (I) 60 WATT FIXTURE

BASEMENT MINIMUM (5) 60 WATT FIXTURES STAIRWAYS MINIMUM (I) 60 WATT FIXTURE HALLWAYS MINIMUM (I) 120 WATT FIXTURE LAUNDRY ROOM MINIMUM (I) 120 WATT FIXTURE WALK-IN CLOSETS MINIMUM (I) 60 WATT FIXTURE

POWDER ROOM MINIMUM (1) 120 WATT FIXTURE BATHROOM (EACH) MINIMUM (I) 120 WATT FIXTURE DINETTE MINIMUM (I) 120 WATT FIXTURE KITCHEN MINIMUM (1) 120 WATT FIXTURE

GARAGE MINIMUM (2) 60 WATT FIXTURES

DINING ROOM MINIMUM (I) 120 WATT FIXTURE ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (I) 120 WATT FIXTURE ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (I) 120 WATT FIXTURE ATTIC SPACE MINIMUM (I) 60 WATT FIXTURE

LIGHTING FIXTURE CONTROL NARRATIVE

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SMITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE IGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SMITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH IGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL

HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET

SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE MI506.2

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTLATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THRID PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE MI504.2 - DUCT LENGTH

TABLE MISOT.2 - DOT LENGTH																
DUCT TYPE			FLEX	K DU	CT					SMO	20TH	1 MA		DUCT		
FAN AIRFLOW RATING CFM @ 0.25 INCH MC A	50	80	100	125	150	200	250	300	50	80	100	125	150	200	250	300
DIAMETER ^B (INCHES)					۲	AXAI)	IUM . FEE	LENG T)	TH C	, D, E						
3	х	×	Х	×	×	X	X	×	5	х	Х	Х	Х	X	Х	X
4	56	4	х	X	X	X	Х	X	114	31	0	Х	Х	X	Х	Х
5	NL	81	42	16	2	Х	Х	Х	NL	152	91	51	28	4	Х	Х
6	NL	NL	158	91	55	18	1	Х	NL	NL	ХL	168	112	53	25	9
7	NL	NL	NL	NL	161	78	40	19	Ŋ	NL	Ŋ	Ŋ	NL	148	88	54
8 AND ABOVE	NL	NL	NL	NL	NL	189	III	69	NL	NL	Хļ	Хļ	NL	NL	198	133
FOR SI: FOOT = 304,8 MM																

A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/AMCA 210-ANSI/ASHRAE 51 B. FOR NONCIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER $\it c$. The table assumes that elbons are not used. Fifteen feet of allowable duct length shall be deducted for each D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE E. X = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

TYPICAL NOTES

- .) DOOR MANUFACTURER: PELLA ENCOMPASS SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM PELLA ENTRY DOORS: 0.30 CFM OR LESS
- WINDOW AIR INFILTRATION PELLA 250 SERIES/PELLA ENCOMPASS DOUBLE HUNG 0.30 CFM
- CASEMENT, AWNING, FIXED 0.05 CFM 3.) GAS FIREPLACE(S): HEAT-N-GLO SLIMLINE 750 NG (SL-750TR)
- TIGHT FITTING NON CUMBUSTABLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
- 4.) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING. 5.) CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM-FOIL BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATTS
- 6.) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
- 7.) BUILDING CAYITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2018 ENERGY CONSERVATION

8.) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.

- IO.) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

WINDOW FALL PROTECTION

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE

I. OPERABLE MINDOMS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION. 2.0PERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090. 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE MINDOM TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE MINDOM UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING

WALKING SURFACE

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS GLAZING IN FIXED AND OPERABLE PANELS OF SMINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

EXCEPTIONS I. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS 2. DECORATIVE GLAZING

R306.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A

HAZARDOUS LOCATION. I. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: I. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: I. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN IO FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

www.MorabitoArchitects.com

NOTICE:

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.

LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail

Pittsford, NY 14534

(585) 264-1330

(585) 264-1333 Fax

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HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

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PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

09/21/2023

LOT IO CLOVER ESTATES LEBEAU RESIDENCE

CLIENT: M/M JIM LEBEAU

DRAWING:

WALL SECTIONS

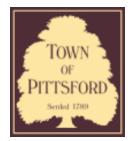
CHECKED: DRAWN: SEPTEMBER 2023

SCALE: |/4"=|'-0"

23M4395

SHEETS





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-00098

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2185 Jefferson Road PITTSFORD, NY 14534

Tax ID Number: 163.02-1-52

Zoning District: RN Residential Neighborhood

Owner: Greenbaum, Robert F
Applicant: Ameribuilt Construction

Application Type	n Type	pplication	Α
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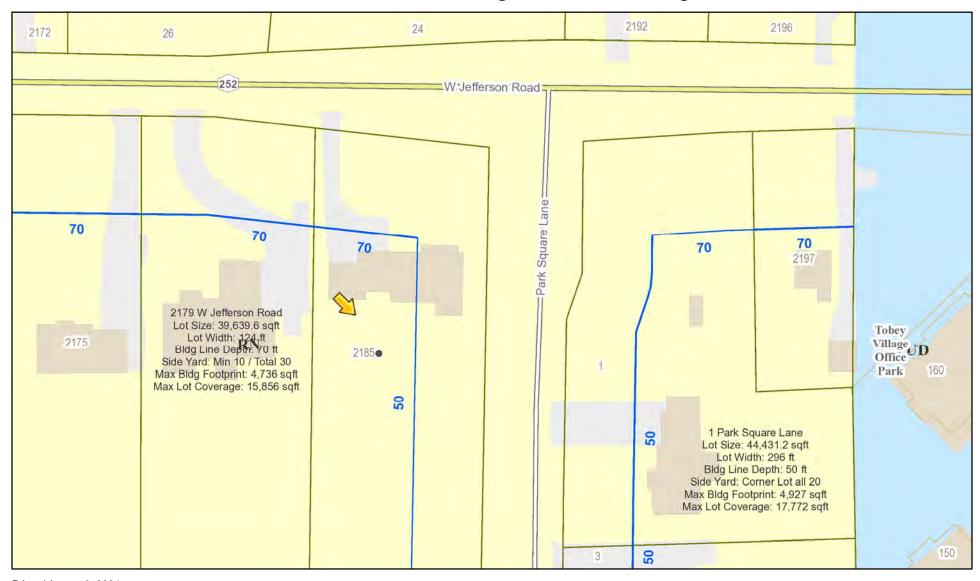
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Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

Project Description: Applicant is requesting design review for the addition of an approximately 224 square-foot addition off the rear of the home.

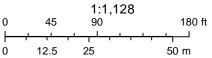
Meeting Date: August 22, 2024



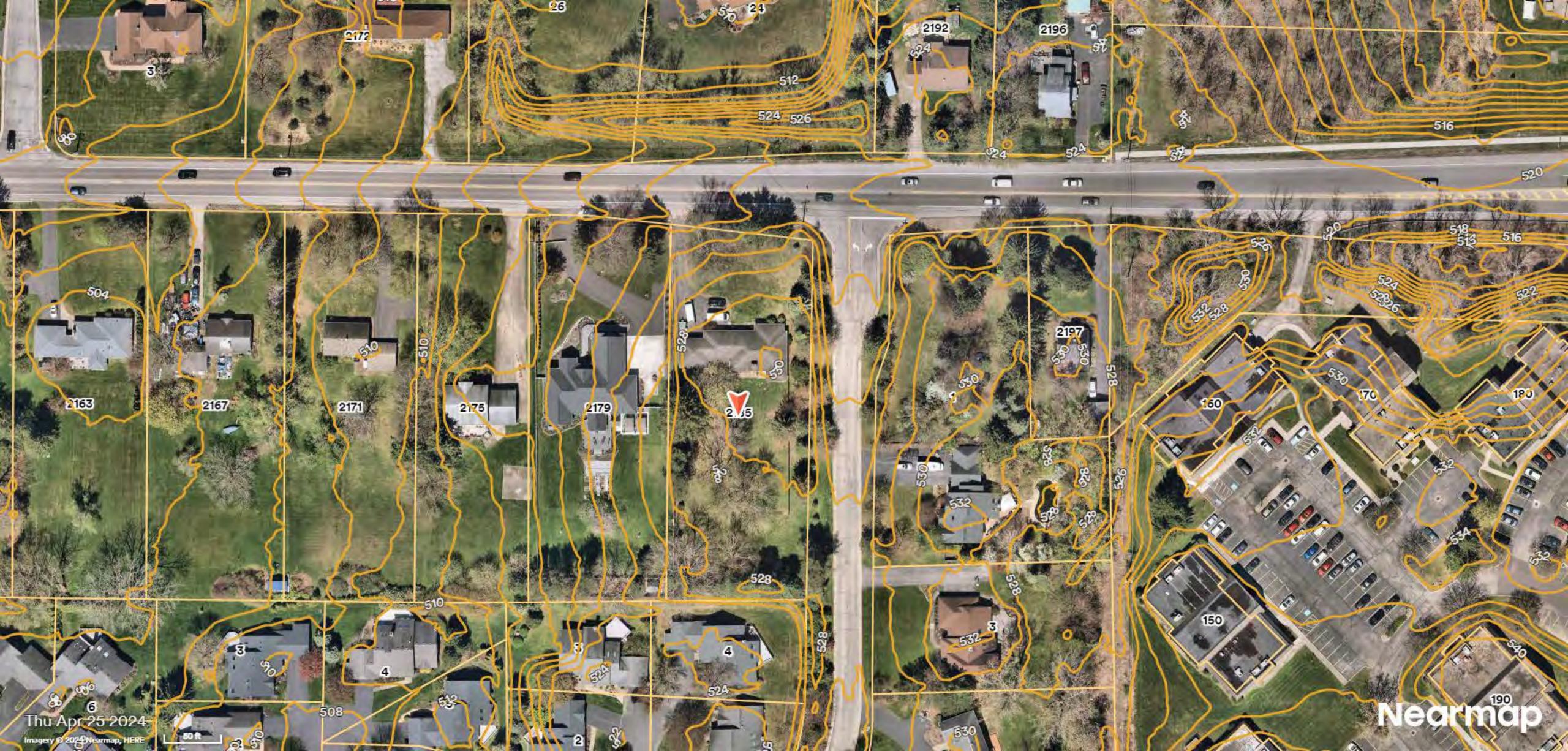
RN Residential Neighborhood Zoning

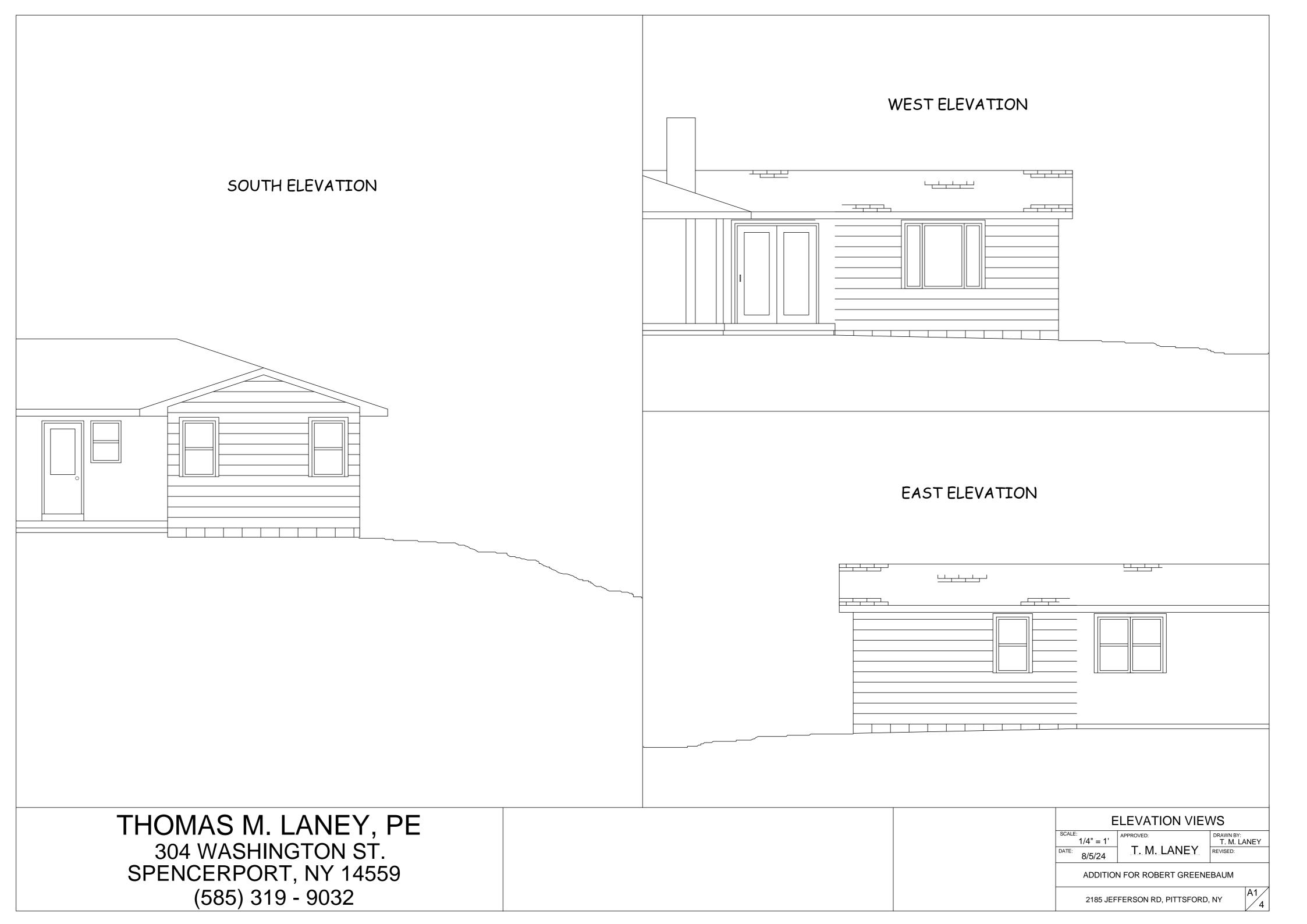


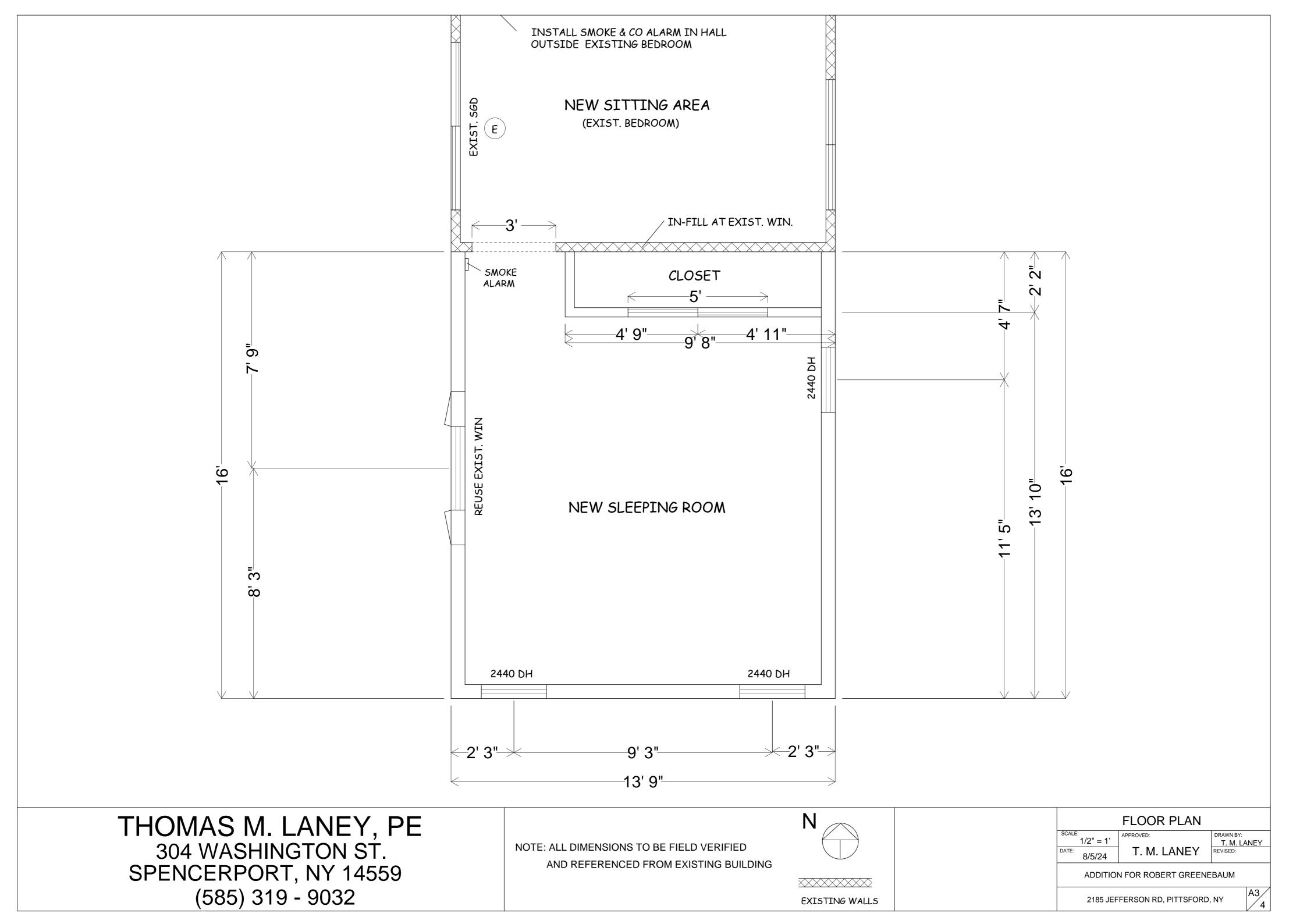
Printed August 6, 2024

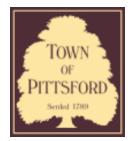


Town of Pittsford GIS









Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B24-000097

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 17 Park Road PITTSFORD, NY 14534

Tax ID Number: 151.17-2-50

Zoning District: RN Residential Neighborhood

Owner: Rowland, Elizabeth K
Applicant: Rowland, Elizabeth K

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✓	Residential Design Review		Build to Line Adjustment
	§185-205 (B)		§185-17 (B) (2) Building Height Above 30 Feet
	Commercial Design Review	mmercial Design Review	
	§185-205 (B)		§185-17 (M)
	Signage		Corner Lot Orientation
	§185-205 (C)		§185-17 (K) (3)
	Certificate of Appropriateness		Flag Lot Building Line Location
	§185-197		§185-17 (L) (1) (c)
	Landmark Designation		Undeveloped Flag Lot Requirements
	§185-195 (2)		§185-17 (L) (2)
	Informal Review		

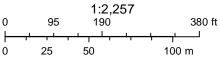
Project Description: Applicant is requesting design review to add a covered entryway to the front of the home.

Meeting Date: August 22, 2024



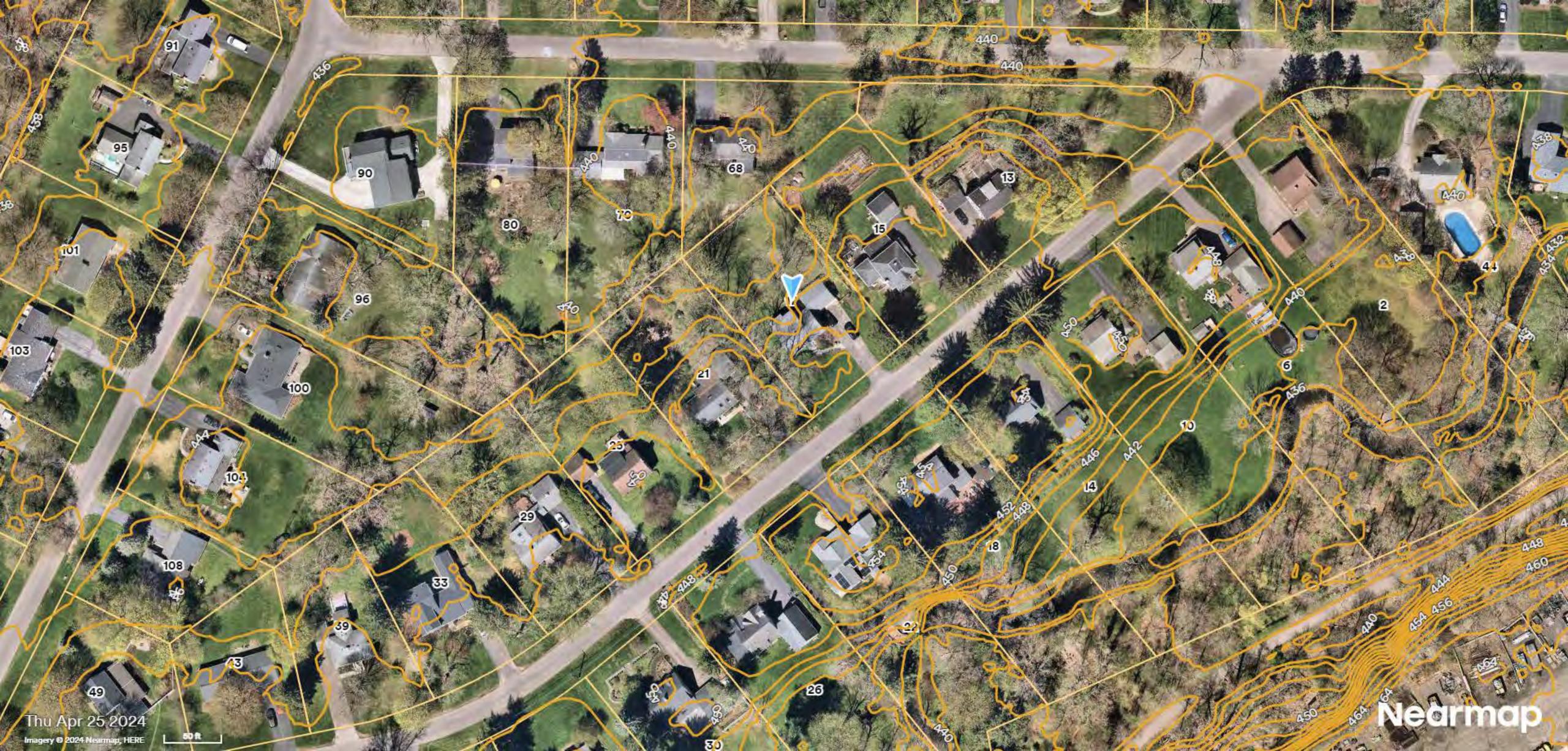
RN Residential Neighborhood Zoning

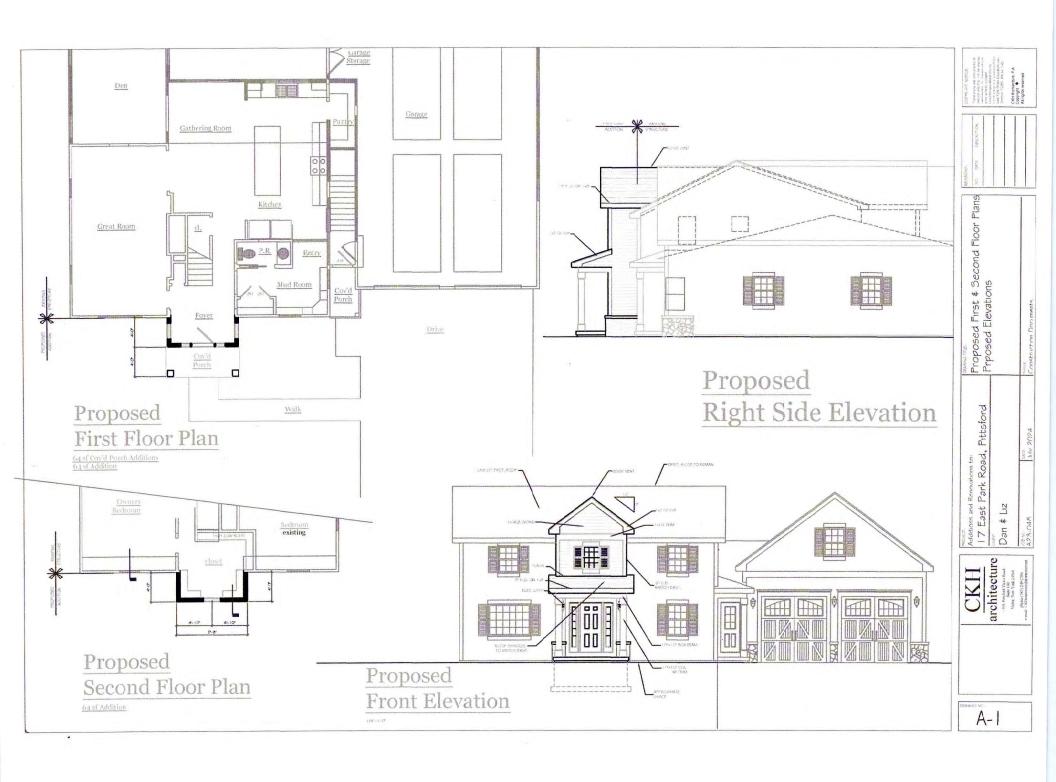


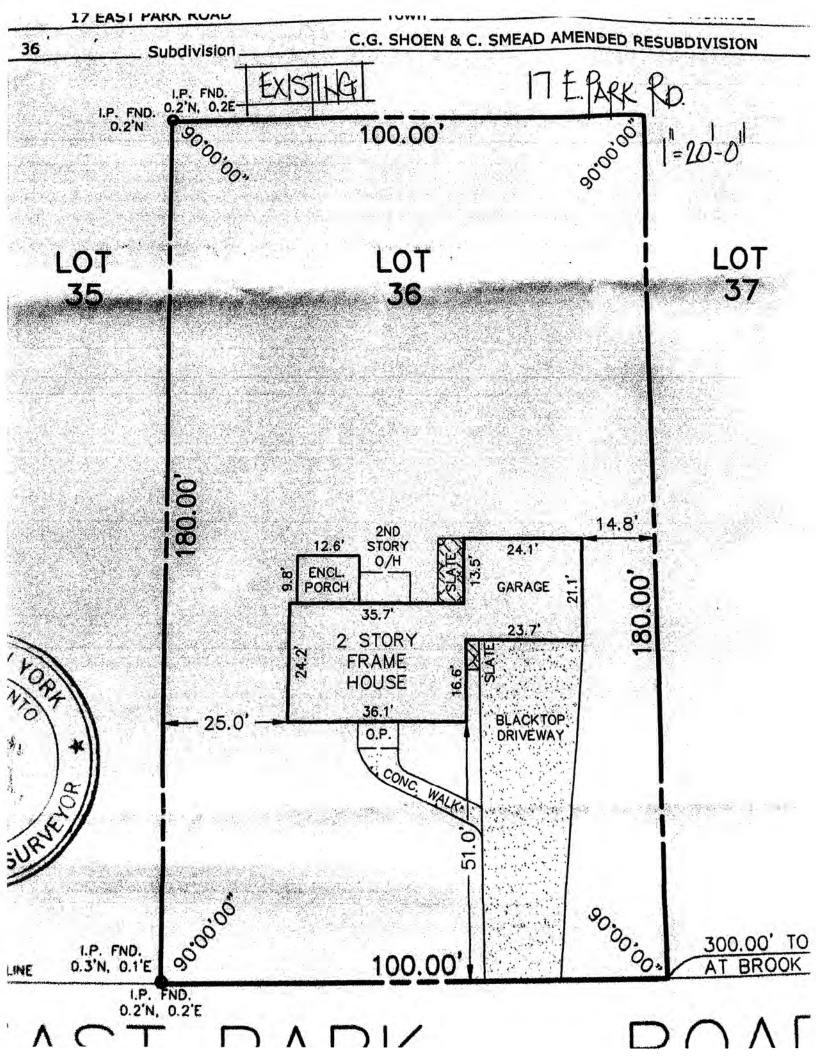


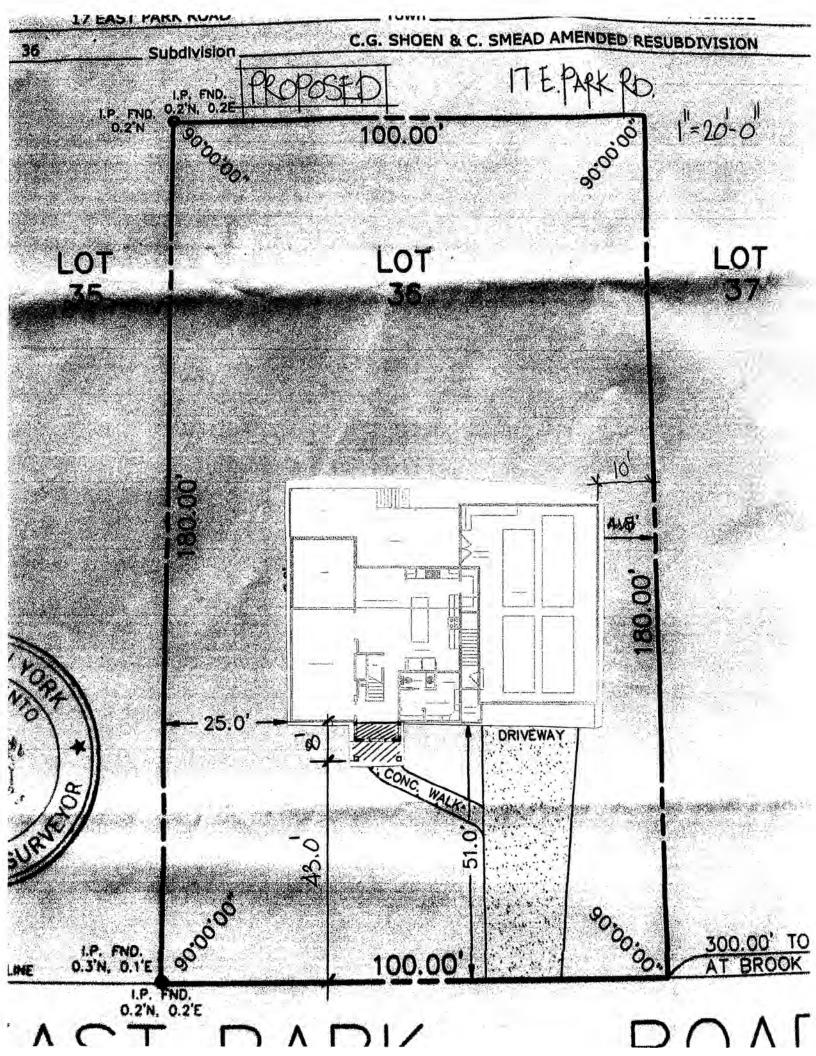
Town of Pittsford GIS

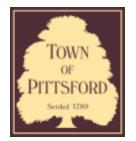
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Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B24-000106

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 44 Crestline Road ROCHESTER, NY 14618

Tax ID Number: 138.18-2-76

Zoning District: RN Residential Neighborhood

Owner: Glenz, Susan E

Applicant: CKH Architecture P.C.

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• •			B 21 1 1 1 1 1 1 1
✓	Residential Design Review		Build to Line Adjustment
	§185-205 (B)		§185-17 (B) (2)
	Commercial Design Review		Building Height Above 30 Feet
{	§185-205 (B)	5 (B)	
	Signage		Corner Lot Orientation
	§185-205 (C)		§185-17 (K) (3)
	Certificate of Appropriateness		Flag Lot Building Line Location
	§185-197		§185-17 (L) (1) (c)
	Landmark Designation		Undeveloped Flag Lot Requirements
	§185-195 (2)		§185-17 (L) (2)
	Informal Review		

Project Description: Applicant is requesting design review to enclose the existing deck into a sunroom, add a entry/mudroom, covered deck & add a garage bay.

Meeting Date: August 22, 2024



RN Residential Neighborhood Zoning



Town of Pittsford GIS

95

25

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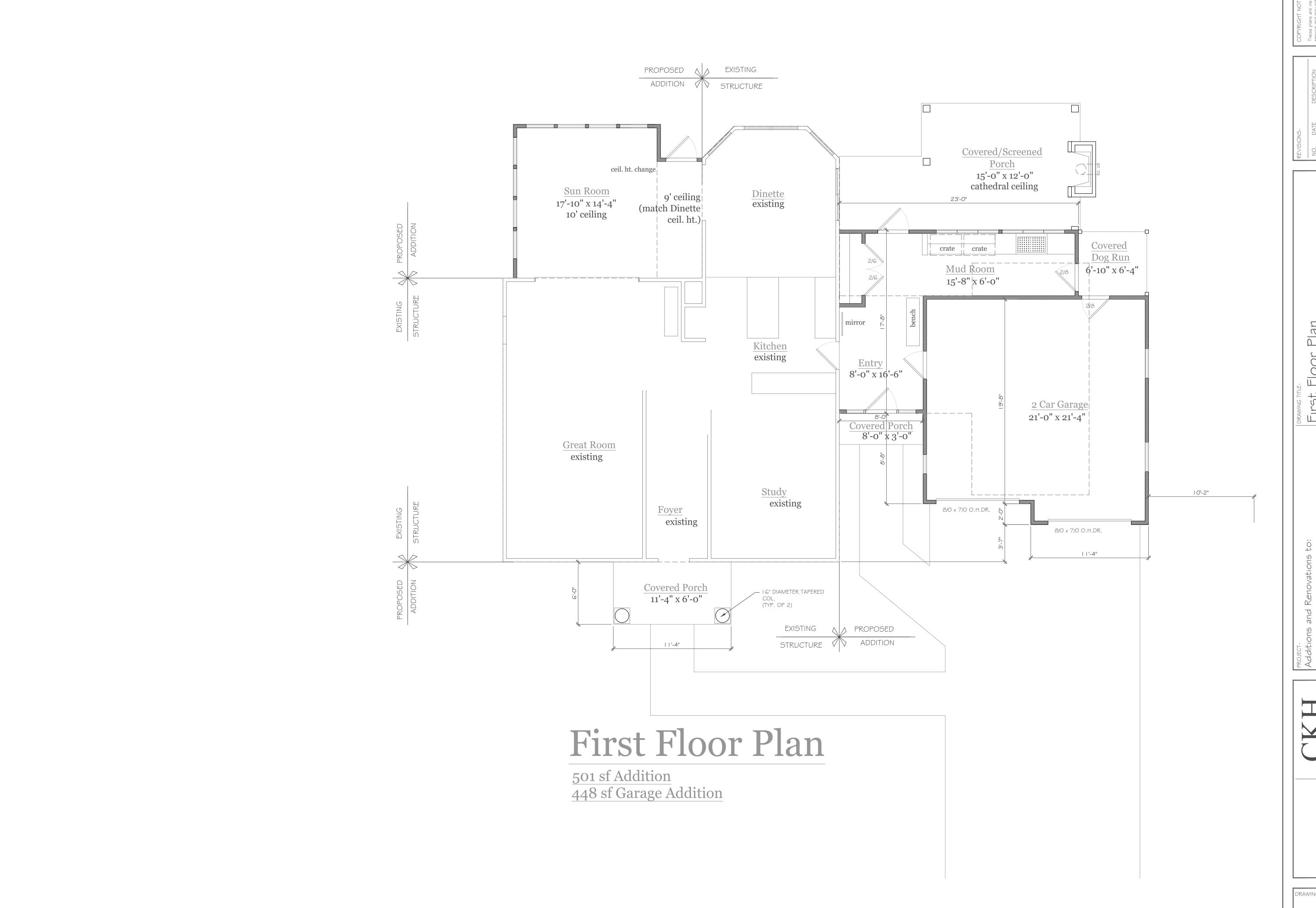
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Crestline Road, Rochester, N.Y.

San Glenz

Date

Construction Documents

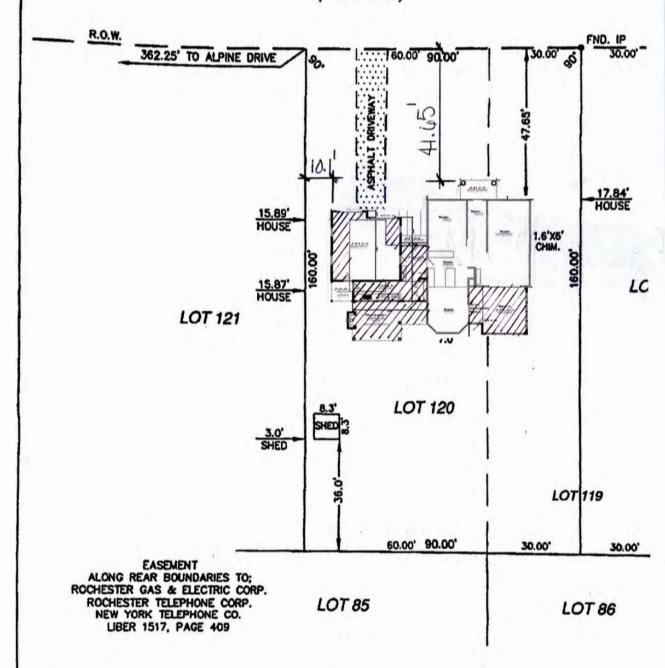
architecture

| 501 Pittsford Victor Road Suite 100 Victor, New York 14564 |
| phone-(585) 249-1334 |
| e-mail- CKHennessey@frontiernet.net

AWING NO.-

CRESTLINE ROAD

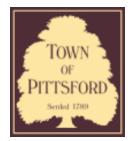
(60' ROW)



REFERENCES:

- 1. ABSTRACT PROVIDED BY STEWART TITLE INSURANCE COMPANY ABSTRACT No. 199607, DATED DECEMBER 13, 2021
- 2. DEED; LIBER 10259, PAGE 408
- 3. EAST AVENUE TRACT, LIBER 49 OF MAPS, PAGE 27

AL C



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-000102

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 12 Bridleridge Farms PITTSFORD, NY 14534

Tax ID Number: 191.01-1-64

Zoning District: RRSP Rural Residential South Pittsford

Owner: Bridlebridge Farms LLC Applicant: Bridlebridge Farms LLC

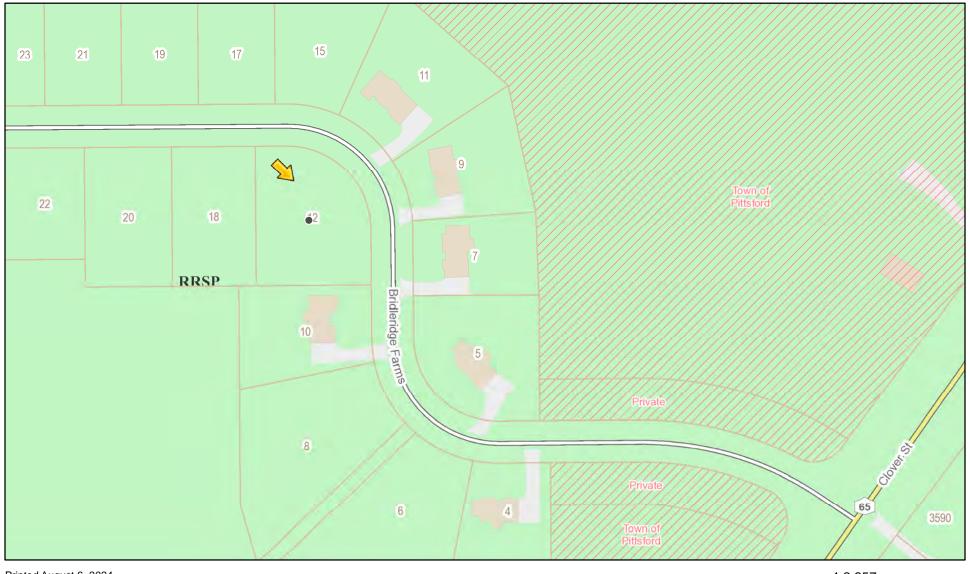
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~	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
<u> </u>	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

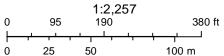
Project Description: Applicant is requesting design review for a 3,580 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

Meeting Date: August 22, 2024

RN Residential Neighborhood Zoning



Printed August 6, 2024



Town of Pittsford GIS

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GENERAL NOTES:

EXIT REQUIREMENTS.

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION, IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE LEG OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242O.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN

ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5. R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS

R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

EXPANSION AND CONTRACTION.

- 1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF. 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY) THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- 1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- 2. PIPING SERVING MORE THAN ONE DWELLING UNIT. 3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- 5. PIPING LOCATED UNDER A FLOOR SLAB.
- 7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

THE ALT. LINWOOD SPEC HOME

LOT 63 BRIDLERIDGE FARMS PITTSFORD, NY COVENTRY RIDGE BUILDING CORP.

PLAN 3228 / PROJECT 15381 F

SHEET INDEX

C-1 COVER SHEET

1/6 FRONT & LEFT ELEVATIONS

2/6 REAR & RIGHT ELEVATIONS

3/6 FOUNDATION PLAN 4/6 FIRST FLOOR PLAN

5/6 SECOND FLOOR & ROOF PLAN

6/6 SECTIONS

N-1 DETAILS

N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2"

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY, TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE. BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS. BEAMS OR STUDS WHICH

ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL ASTM A-36, Fy = 36 ksiREINFORCED STEEL ASTM A-615, Fy = 40 ksiWIRE MESH ASTM A-185, 6 x 6 - 10/10 W.W.M.

> ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE

CDX, PANEL INDEX LVL, PSL, LSL Fb = 2600Fv = 285

PLYWOOD

CONCRETE

MASONRY ASTM C90, GRADE N-1, Fm = 1350 PSI

MORTAR ASTM C270, TYPE S Fc = 2000 PSI ASTM C476 GROUT

> Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION IIIALLS

ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

40 P.S.F. LIVING AREA LIVE LOAD 2ND FLOOR 30 P.S.F. LIVING AREA LIVE LOAD 1ST & 2ND FLOOR DEAD LOAD 15 P.S.F.

40 P.S.F. GROUND SNOW LOAD ROOF DEAD LOAD 10 P.S.F.

ALLOWABLE SOIL BEARING 2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE

WIND SPEED 115 MPH, EXPOSURE B CATEGORY B SEISMIC DESIGN SEVERE WEATHERING **42 INCHES** FROST LINE DEPTH

SLIGHT TO MODERATE TERMITE DAMAGE NONE TO SLIGHT DECAY DAMAGE WINTER DESIGN TEMPERATURE 1 DEGREE

REQUIRED 24" INSIDE OF EXTERIOR WALL LINE FLOOD HAZARD FIRM - 2008

ICE SHEILD UNDERLAYMENT

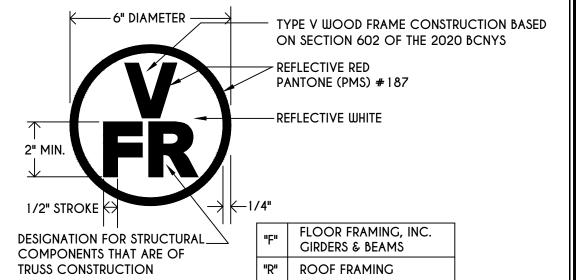
ROOF TIE DOWN REQUIREMENTS

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

ROOF DESIGN

R802.11, BASED UPON SPECIFIC



"FR" | FLOOR & ROOF FRAMING

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REVISIONS: DATE BY DESCRIPTION

CLIENT/LOCATION:

SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

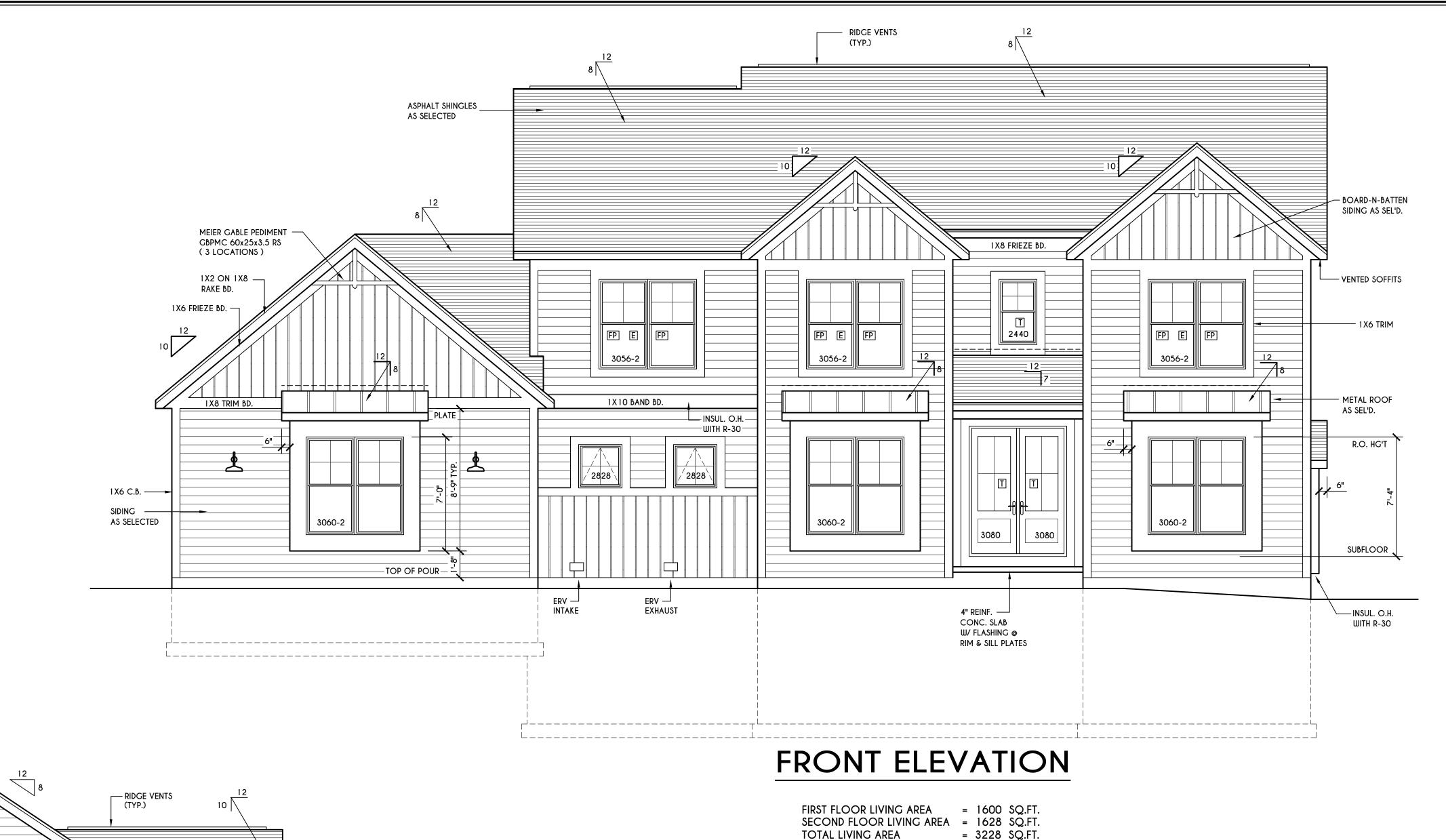
BUILDER:

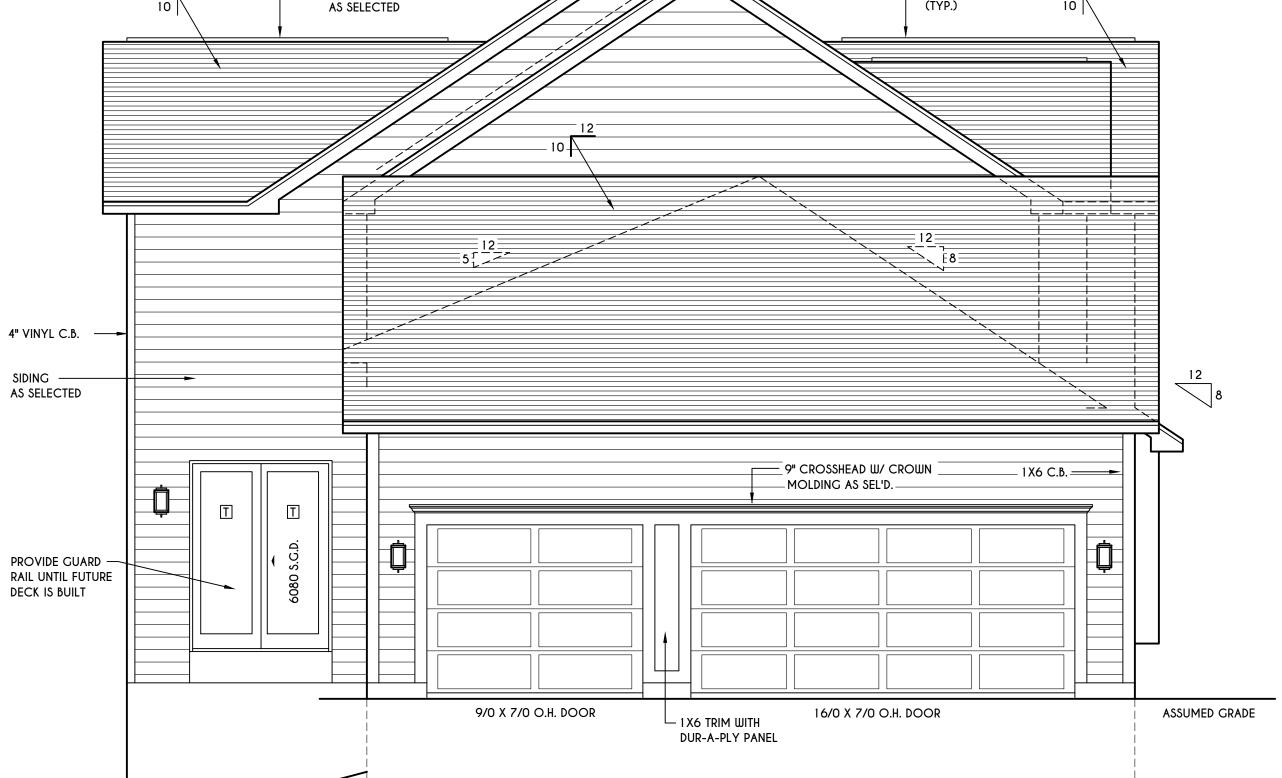
COVENTRY RIDGE BUILDING CORP.

COVER PAGE

GLA PLAN 3228 drawn: checked:

CSB scale: date: 7 /24 PROJECT: sheet:





LEFT ELEVATION

SCALE: 1/4" = 1'-0"

PLOT PLAN

— ASPHALT SHINGLES

SCALE: 1" = 50'-0"

TOTAL CONDITIONED VOLUME = 44,516 CU.FT.

TABLE M 1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT		NUMBER OF BEDROOMS				
FLOOR AREA	0-1	2-3	4-5	6-7	> 7	
(square feet)	AIRFLOW IN CFM					
< 1,500	30	45	60	75	90	
1,501-3,000	45	60	75	90	105	
3,001-4,500	60	75	90	105	120	
4,501-6,000	75	90	105	120	135	
6,001-7,500	90	105	120	135	150	
7.500	105	100	125	150	1.75	

> 7,500 | 105 | 120 | 135 | 150 | 165 | FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b IN EA. 4-HOUR SEGMENT 25% 33% 50% 66% 75% 100% RUN-TIME PERCENTAGE 4 3 2 1.5 1.3 1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation. b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

HARVEY OR EQUAL U-FACTOR 0.27 SHGC 0.29

SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20"

PER SECT. R3 10.1 OF 2020 RCNYS T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING

PER SECT. R308.4 OF 2020 RCNYS

- CLEAR OPENING HEIGHT OF 24"

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES TO BE 12" AND ALL OVERHANGS TO BE 16" FROM FRAME WALLS UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER

MECHANICAL VENTILATION RATE:

THE DESIGN AND / OR STRUCTURE NOTED.

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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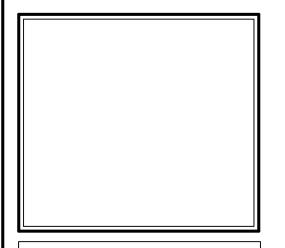
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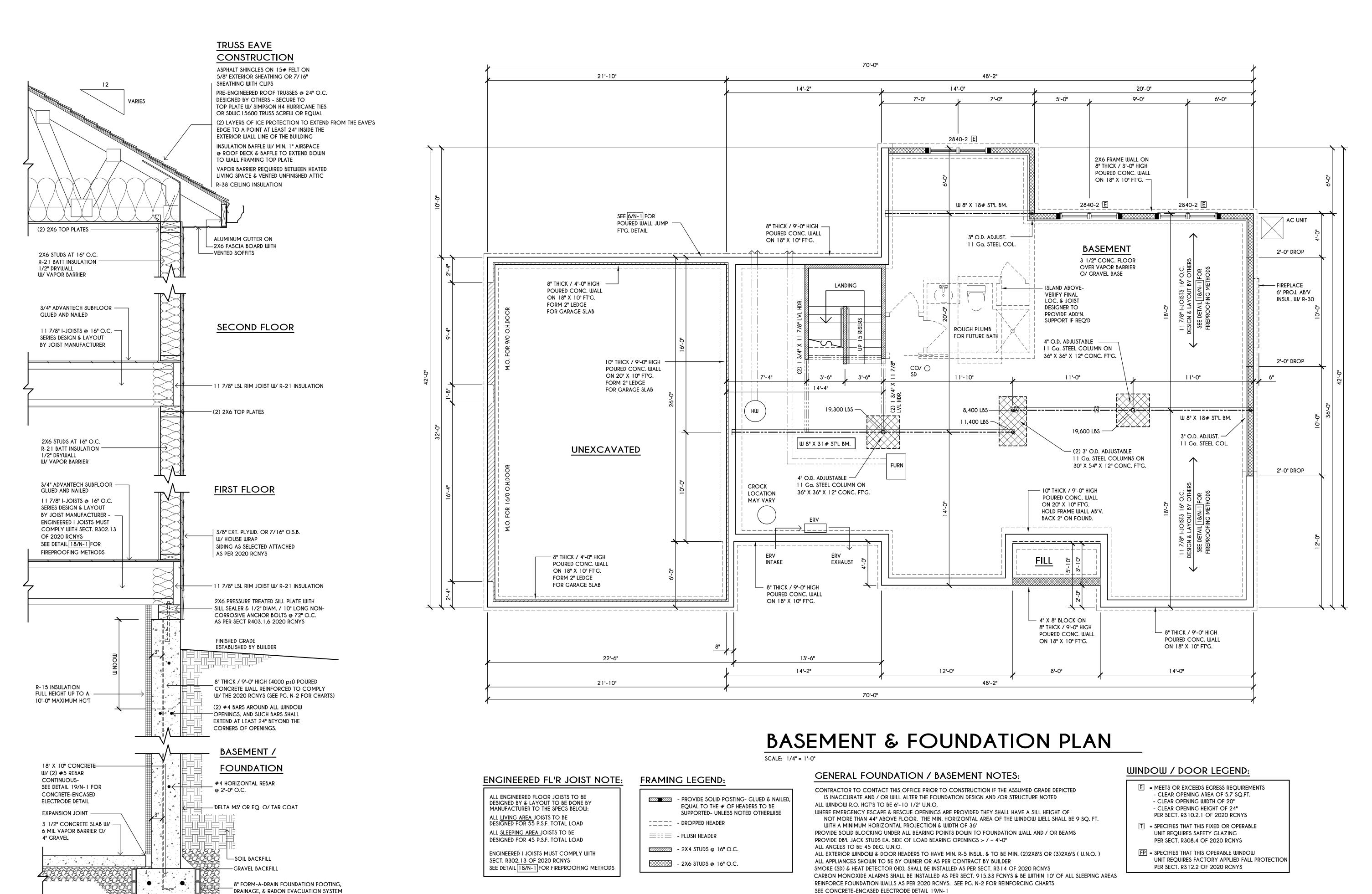
SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

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TYPICAL WALL SECTION

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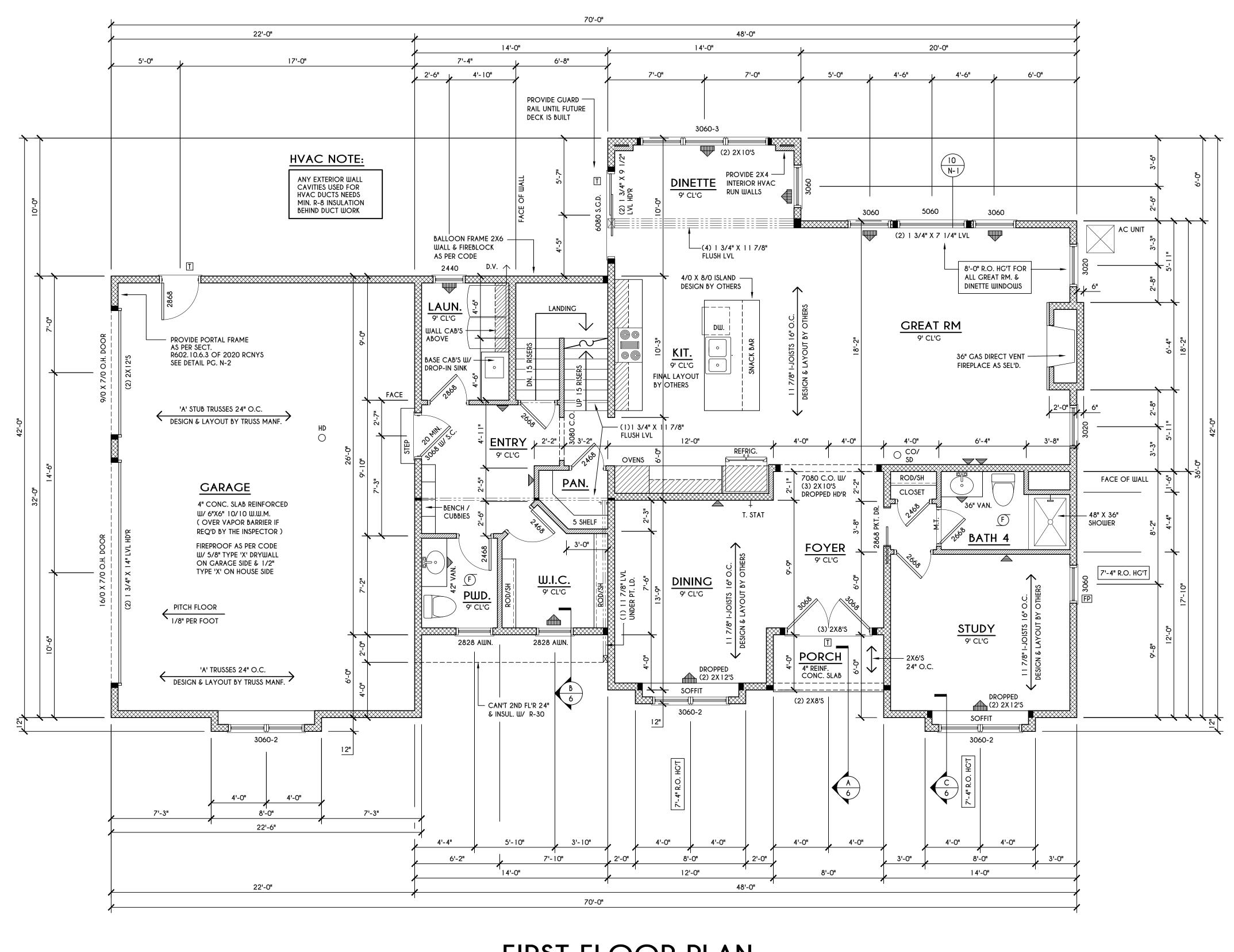
BUILDER:

COVENTRY RIDGE BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 3228

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FRAMING LEGEND:

- 2X4 STUDS @ 16" O.C.

- 2X6 STUDS @ 16" O.C.

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL <u>LIVING AREA</u> JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL <u>SLEEPING AREA</u> JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

- PROVIDE SOLID POSTING- GLUED

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.

ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325

THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

1600 SQ. FT.

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SO.FT.

- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
DED SECT D3 10 2 1 OE 2020 DCNVS

PER SECT. R308.4 OF 2020 RCNYS

PER SECT. R3 10.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE
UNIT REQUIRES SAFETY GLAZING

FP = SPECIFIES THAT THIS OPERABLE WINDOW
UNIT REQUIRES FACTORY APPLIED FALL PROTECTION
PER SECT. R312.2 OF 2020 RCNYS

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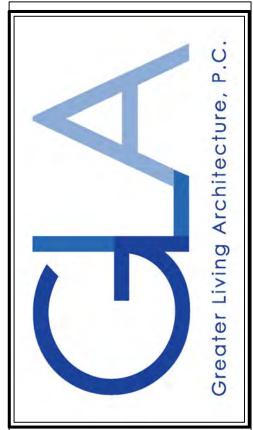
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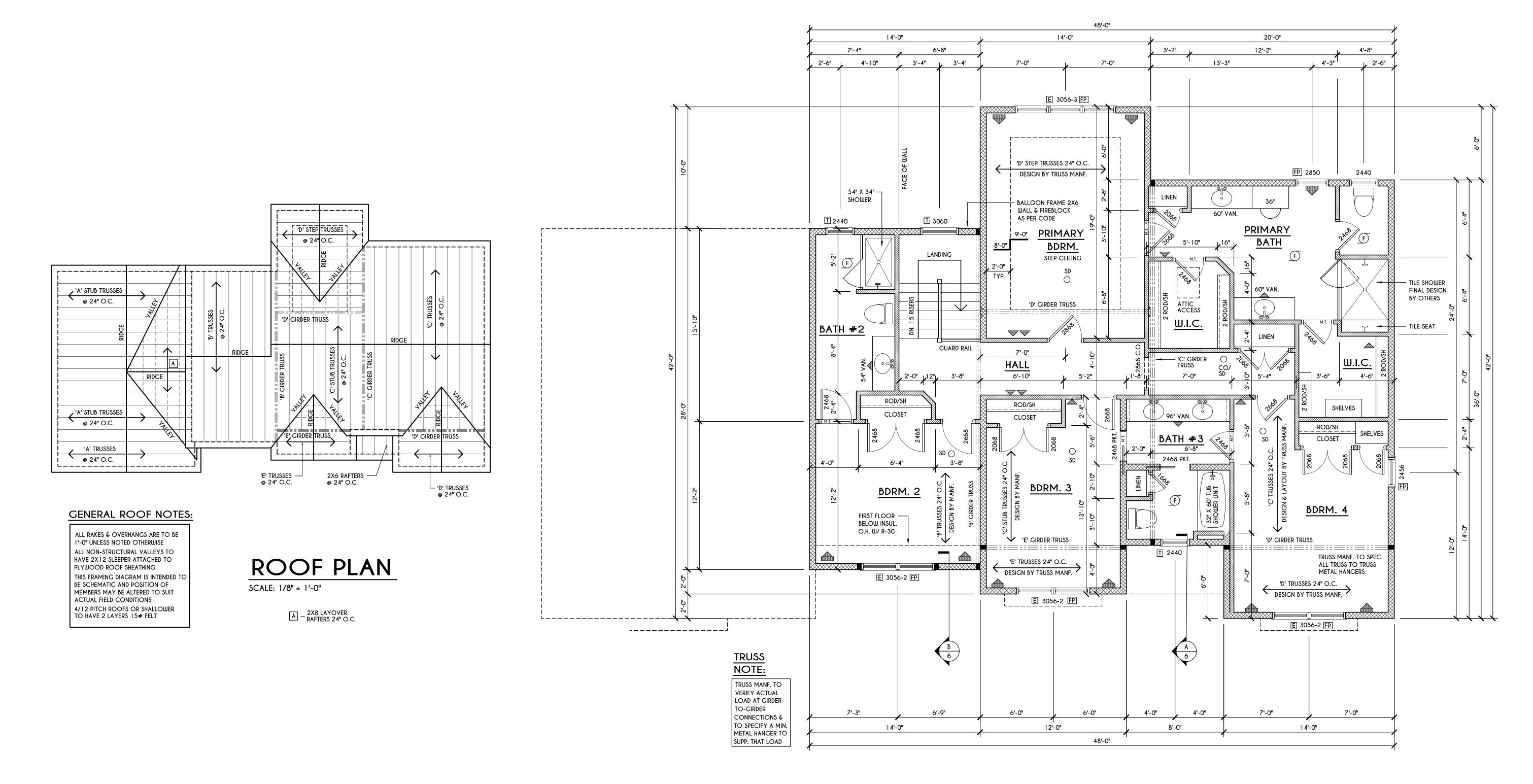
SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

FIRST FLOOR PLAN

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SECOND FLOOR PLAN

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED,
EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE ____ - DROPPED HEADER

≡≣≣ - FLUSH HEADER

- 2X6 STUDS @ 16" O.C.

- 2X4 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HG'T TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"

ALL ANGLES TO BE 45 DEG. U.N.O. ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS

CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R3 12.2 OF 2020 RCNYS

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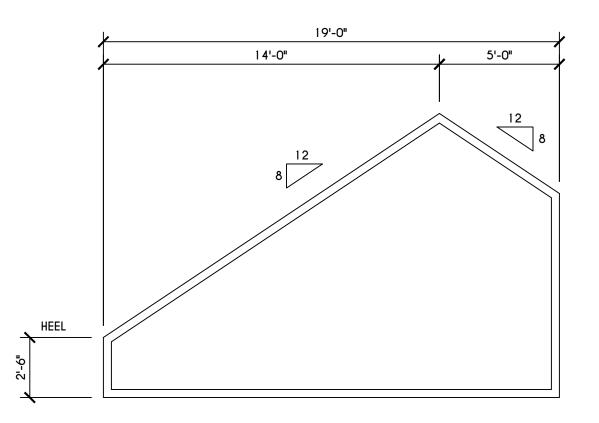
SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

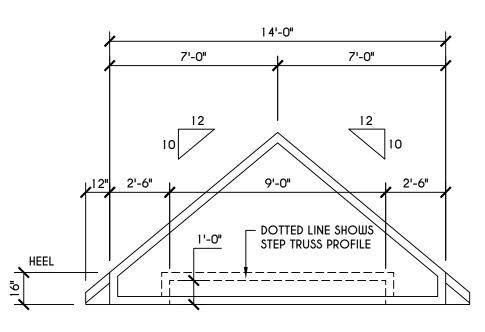
SECOND FLOOR PLAN

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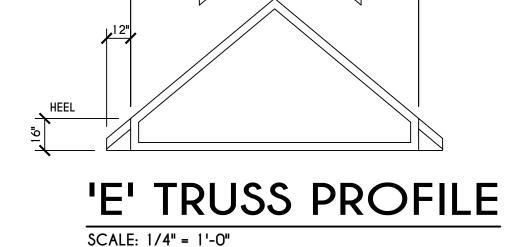
'C' STUB TRUSS PROFILE

SCALE: 1/4" = 1'-0"



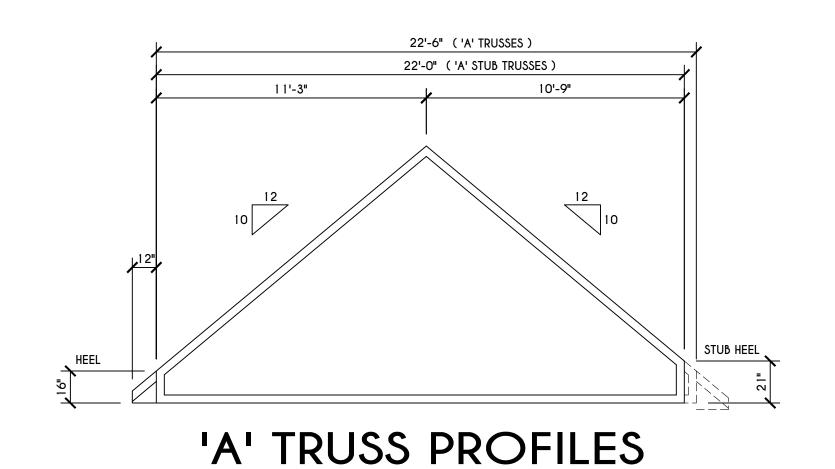
'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



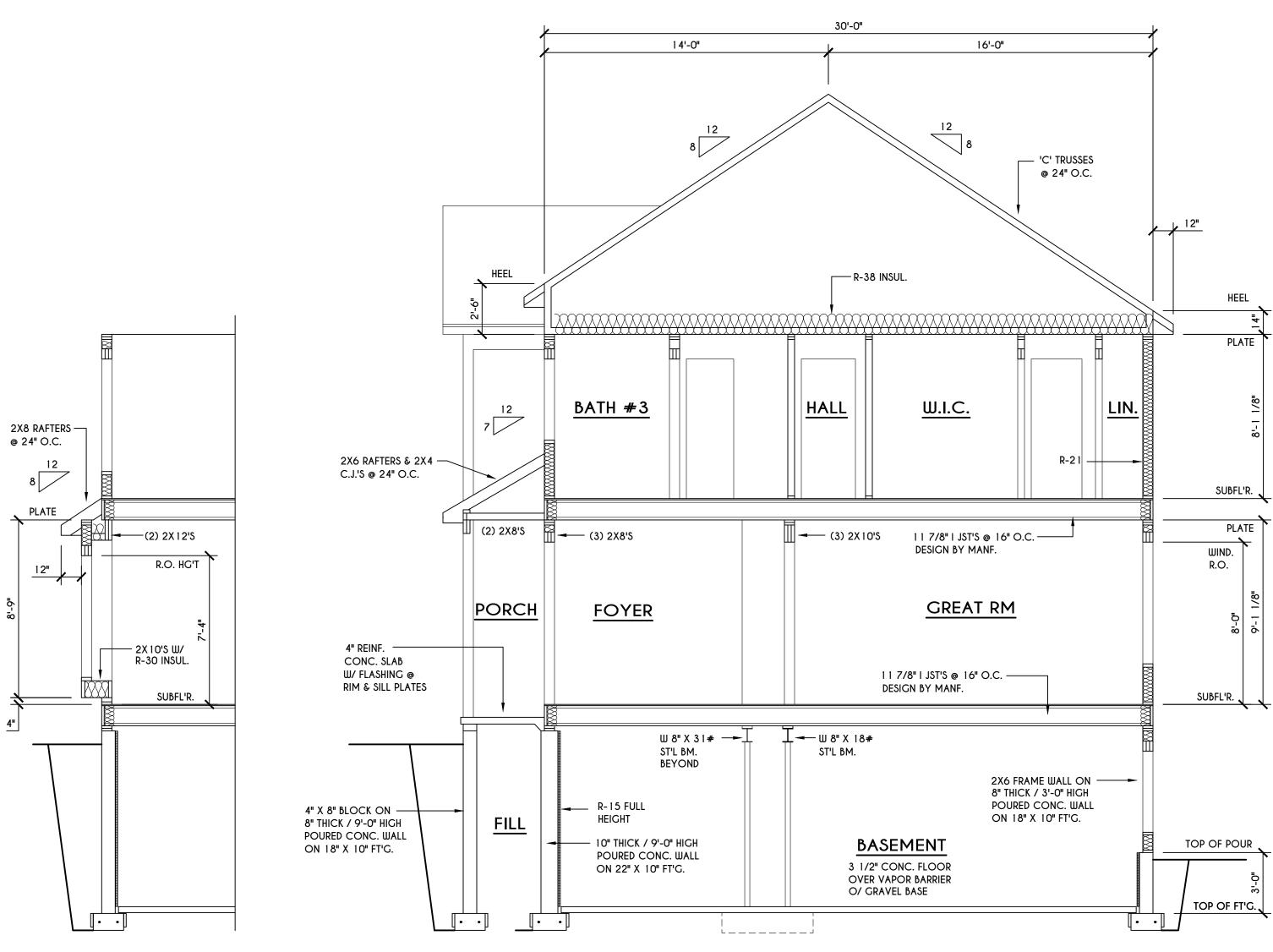
6'-0"

6'-0"



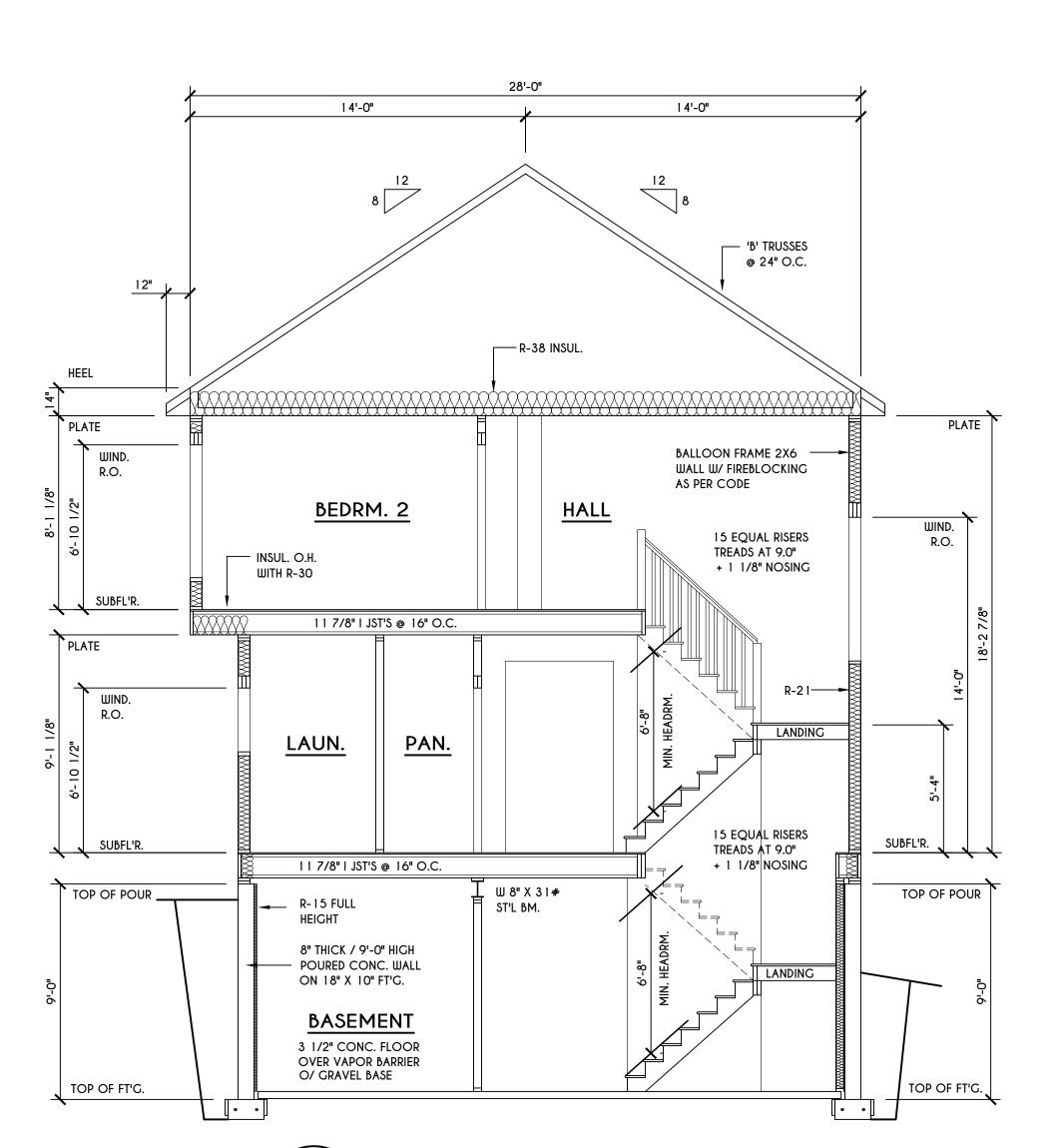
TRUSS NOTES:

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONISBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER
CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



6 SCALE: 1/4" = 1'-0"





SCALE: 1/4" = 1'-0"

B BUILDING SECTION

SCALE: 1/4" = 1'-0"

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CLIENT/LOCATION:

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BUILDER:

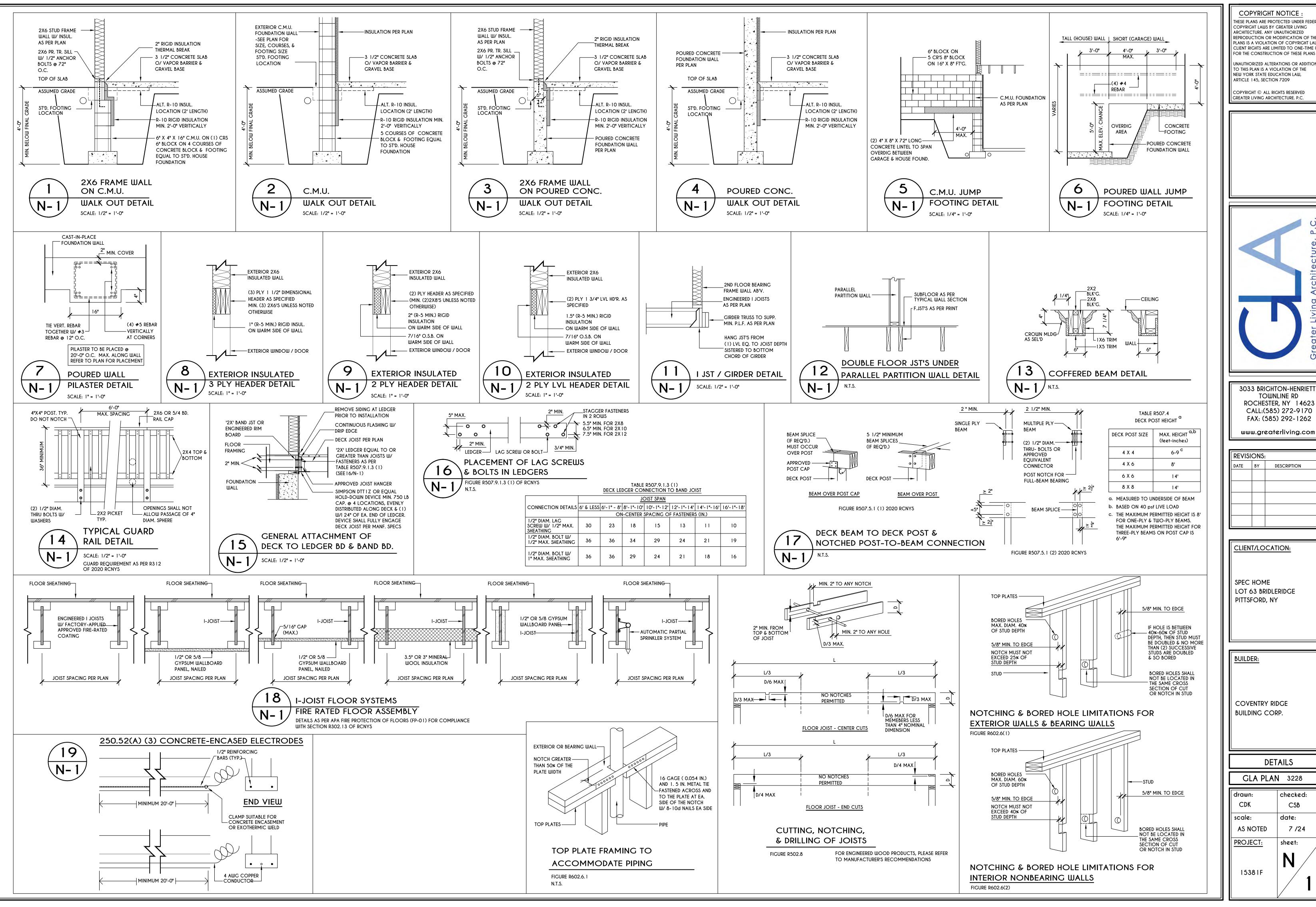
COVENTRY RIDGE
BUILDING CORP.

SECTIONS

GLA PLAN 3228

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SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

DETAILS

GLA PLAN 3228

checked: CSB scale: date: **AS NOTED** 7 /24 PROJECT: sheet: 15381F

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES a, c, fMINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) b, c SOIL CLASSES AND LATERAL SOIL LOAD d (psf PER FOOT BELOW GRADE) GW, GP, SW, AND SP SOILS GM, GS, SM-SC AND ML SOILS SC, MH, ML-CL AND INORGANIC CL SOILS WALL HEIGHT BACKFILL® #4 @ 48" O.C. 4' (OR LESS) #4 @ 48" O.C. 6'-8" #4 @ 48" O.0 #4 @ 48" O.0 #4 @ 48" O. 6'-8" #4 @ 48" O.C #5 @ 48" O.0 #6 @ 48" O.C. 4' (OR LESS #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C. 7'-4" #5 @ 48" O.C #5 @ 48" O.C #5 @ 48" O.C #6 @ 40" O.C. 4' (OR LESS) #4 @ 48" O.C. 8'-0" #4 @ 48" O.C. #5 @ 48" O.C. #5 @ 48" O.C. #5 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C. 4' (OR LESS #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C #6 @ 48" O.C #5 @ 48" O.C #6 @ 48" O.C #6 @ 40" O.C. 8'-8" 4' (OR LESS #4 @ 48" O.C #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.C. #5 @ 48" O.C. #6 @ 48" O.C. 9'-4" #5 @ 48" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 48" O.C #6 @ 40" O.C #6 @ 24" O.C #6 @ 16" O.C. 4' (OR LESS #4 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.0 #5 @ 48" O.C #6 @ 48" O.0 10'-0" #5 @ 48" O.C #6 @ 48" O.C #6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

#6 @ 48" O.C

#6 @ 40" O.C.

#6 @ 32" O.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE

#6 @ 32" O.C

#6 @ 24" O.C

#6 @ 16" O.C

#6 @ 24" O.C.

#6 @ 16" O.C.

#6 @ 16" O.C

CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(3)

	10-INCH	H MASONRY FOUNDATION W.	ALLS WITH REINFORCING WHERE	d > 6.75 INCHES ^{a, c} , f				
			1 VERTICAL REINFORCEMENT AND					
			SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)					
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60				
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.				
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.				
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.				
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.				
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.				
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.				
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.				
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.				
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.				
10'-0"	4' (OR LESS) 5' 6' 7' 8' 9'	#4 @ 56" O.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 24" O.C.				

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

c. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

	12-INC	H MASONRY FOUNDATION W	ALLS WITH REINFORCING WHERE	d > 8.75 INCHES ^{a, c, f}				
			VERTICAL REINFORCEMENT AND					
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)						
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [®]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60				
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.				
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.				
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.				
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.				
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.				
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.				
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.				
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.				
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.				
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.				
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.				
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.				
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.				
1010	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.				
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.				

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND. b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

#6 @ 72" O.C.

#6 @ 72" O.C.

#6 @ 56" O.C.

#6 @ 72" O.C.

#6 @ 48" O.C.

#6 @ 40" O.C.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

#4 @ 72" O.C.

#5 @ 72" O.C.

#6 @ 72" O.C.

TABLE R404.1.2(8)

								NT-BAR SIZE			NT WALLS ^I		
				SOIL CLASS	SES	AND DESIG	N LATERAL	SOIL (ps	f PER FOC	OT OF DEPT	H)		
MAXIMUM	MAXIMUM UNBALANCED BACKFILL	CIII CD CIII AND CD				, GS, SM-S0 45				L-CL AND II 60	NORGANIC	CL	
WALL HEIGHT	HEIGHT 9				IMIMI	JM WALL TI	HICKNESS (INCHES)					
(FEET)	(FEET)	6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
,	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR ¹	NR	NR	#4@35"	NR ¹	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR ¹	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR ¹	NR	#6 @ 34"	#6 @ 48"	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@38"	NR ¹	NR	NR	#5 @ 43"	NR	NR	NR
8	6	#4@37"	NR 1	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR ¹	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR ¹	NR	#6@34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR ¹	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@35"	NR 1	NR	NR	#5 @ 40"	NR	NR	NR
9	6	#4@34"	NR ¹	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR ¹	NR
[7	#5 @ 36"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR ¹
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR ¹	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4@48
	9	#6@34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6@41"	NR	#6@19"	#6 @ 23"	#6 @ 30"	#6 @ 39'
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@33"	NR ¹	NR	NR	#5 @ 38"	NR	NR	NR
10	6	#5 @ 48"	NR ¹	NR	NR	#6 @ 45"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6@34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR ¹
	8	#6@34"	#5 @ 38"	NR	NR	#6 @ 30"	#6@34"	#6 @ 47"	NR ¹	#6@22"	#6 @ 26"	#6 @ 35"	#6 @ 45'
	9	#6 @ 34"	#6@41"	#4@48"	NR 1	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" ^{ff}	DR	#6 @ 22"	#6 @ 27"	#6@34
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR ^j	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE

ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING. h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT

MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318. k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

I. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS. o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA			
	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.				
GENERAL REQUIREMENTS	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.			
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.				
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.			
	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	SOFFII SHALL DE ALIONED WITH THE AIK DAKKIER.			
	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL			
WALLS	THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED.	RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED			
	KNEE WALLS SHALL BE SEALED.	WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.			
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.				
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.			
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.			
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.			
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.				
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.			
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.				
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.			
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.			
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.			
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.				
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.				
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.				

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A

R401.4.1 GEOTECHNICAL EVALUATION. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1

TABLE R401.4.1 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

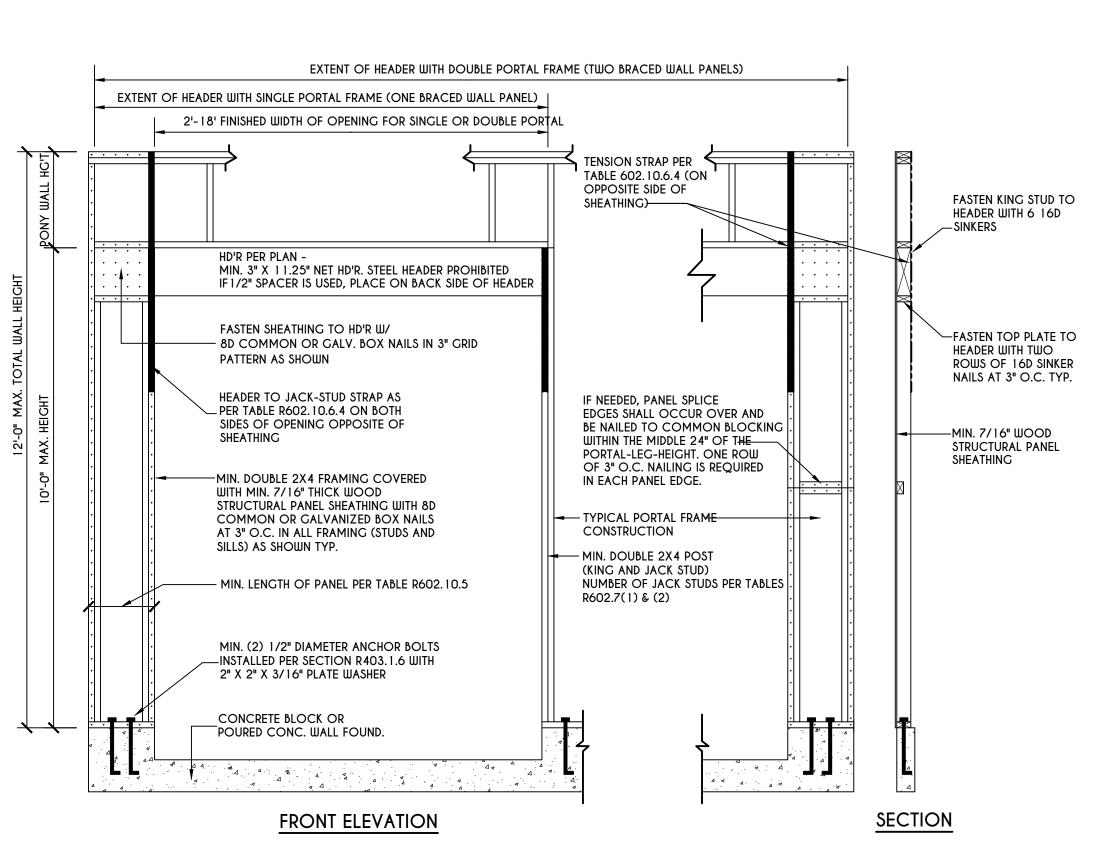
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

<u> </u>	
UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
СН	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
МН	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
ОН	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C SCALE: N.T.S.

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NEW YORK STATE EDUCATION LAW,

ARTICLE 145, SECTION 7209

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Ι,			
	REVISI	ONS:	
	DATE	BY	DESCRIPTION

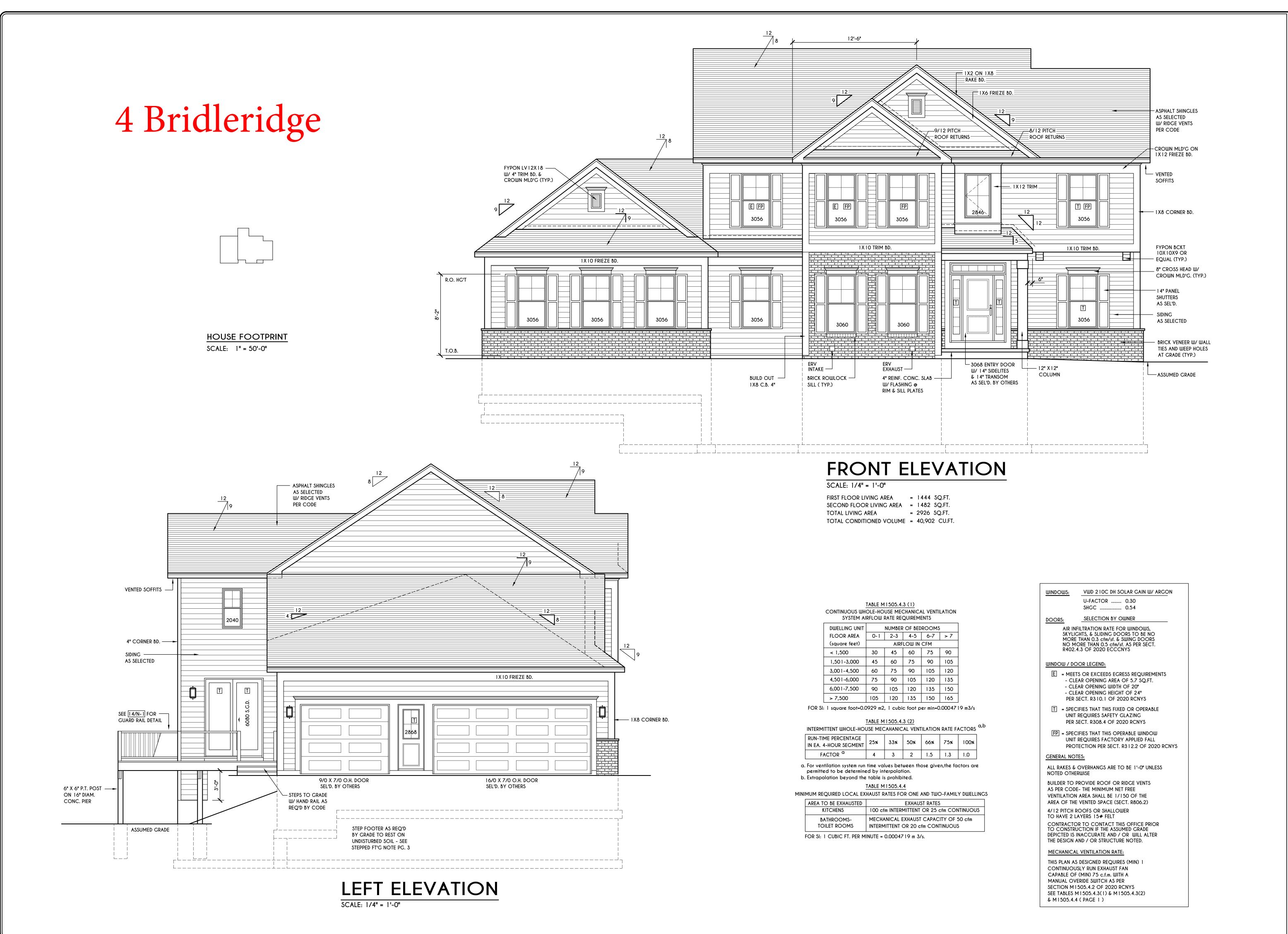
CLIENT/LOCATION: SPEC HOME LOT 63 BRIDLERIDGE PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP.

REINFORCING NOTES

GLA PLAN 3228 checked: drawn: CDK CSB

scale: 7 /24 AS NOTED PROJECT: sheet: 15381F



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REVIS	REVISIONS:							
DATE	ВҮ	DESCRIPTION						

CLIENT/LOCATION:

SPEC HOUSE
LOT 67 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

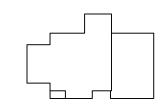
COVENTRY RIDGE

BUILDING CORP.

ELEVATIONS

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	11/23
PROJECT:	sheet:
15420H	6





HOUSE FOOTPRINT SCALE: 1" = 50'-0"

> ASPHALT SHINGLES AS SELECTED

W/ RIDGE VENTS PER CODE

VENTED SOFFITS -

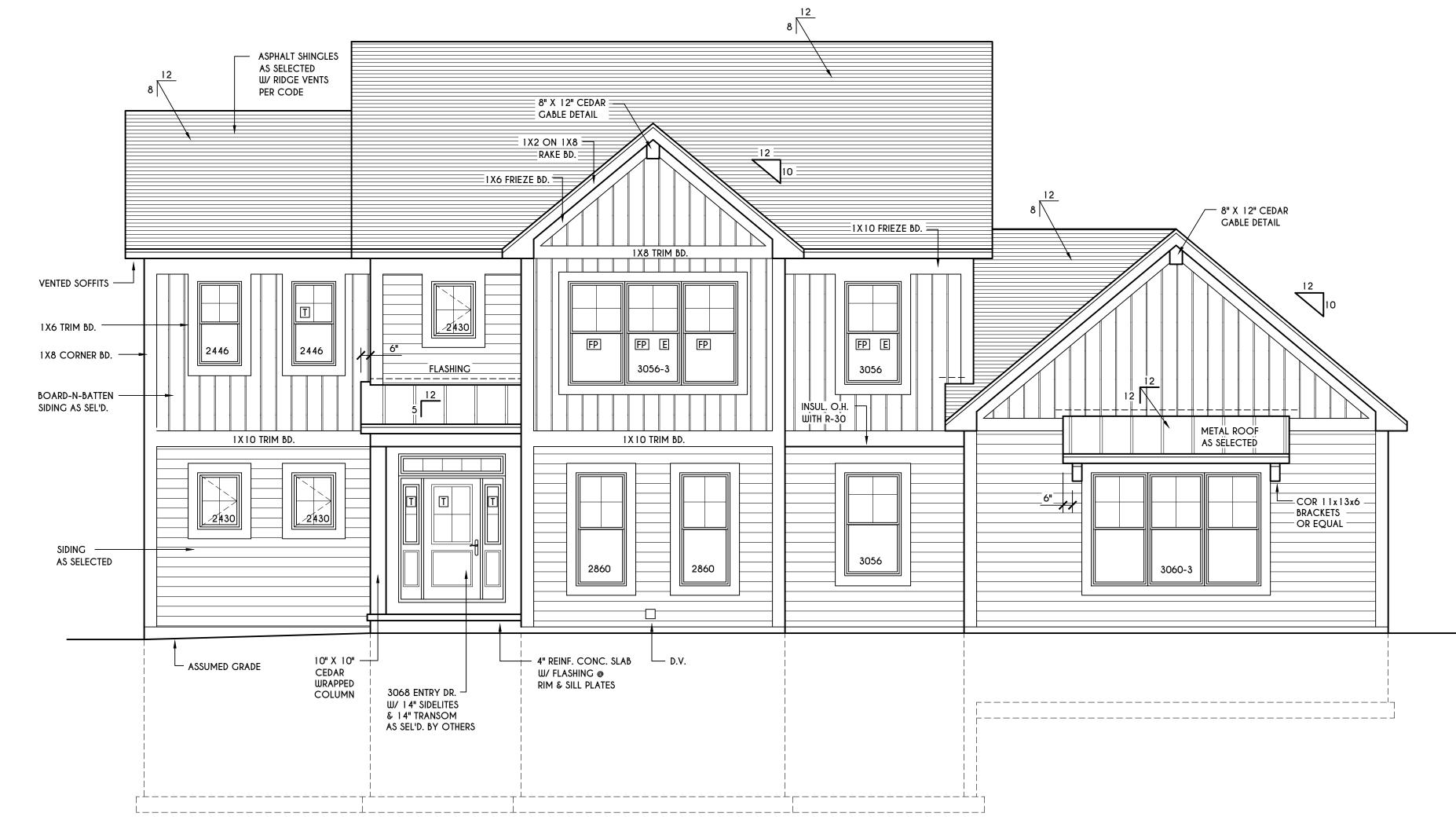
4" VINYL C.B. ——

FP

2856

W/ HAND RAIL AS

REQ'D BY CODE



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1X10 FRIEZE BD.

■ 1X8 CORNER BD.

AS SELECTED

CEDAR

4" REINF. CONC. SLAB

W/ FLASHING @

RIM & SILL PLATES

WRAPPED

COLUMN

FIRST FLOOR LIVING AREA = 1396 SQ.FT. SECOND FLOOR LIVING AREA = 1414 SQ.FT. TOTAL LIVING AREA = 2810 SQ.FT.

TOTAL CONDITIONED VOLUME = 38,224 CU.FT.

TABLE M 1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT	NUMBER OF BEDROOMS							
FLOOR AREA	0-1	2-3	4-5	6-7	> 7			
(square feet)	AIRFLOW IN CFM							
< 1,500	30	45	60	75	90			
1,501-3,000	45	60	75	90	105			
3,001-4,500	60	75	90	105	120			
4,501-6,000	75	90	105	120	135			
6,001-7,500	90	105	120	135	150			
> 7,500	105	120	135	150	165			

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

17.000.110 (2)							
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b							
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%	
FACTOR ^a	4	3	2	1.5	1.3	1.0	

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation. b. Extrapolation beyond the table is prohibited.

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-	MECHANICAL EXHAUST CAPACITY OF 50 cfm
TOILET ROOMS	INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

VWD 210C DH SOLAR GAIN W/ ARGON U-FACTOR 0.30

SHGC 0.54

SELECTION BY OWNER AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE

UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS FP = SPECIFIES THAT THIS OPERABLE WINDOW

UNIT REQUIRES FACTORY APPLIED FALL

PROTECTION PER SECT. R312.2 OF 2020 RCNYS GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVIS	REVISIONS:					
DATE	ВҮ	DESCRIPTION				

CLIENT/LOCATION:

THE NEWPORT - SPEC LOT 1 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

GIA PIAN 2810

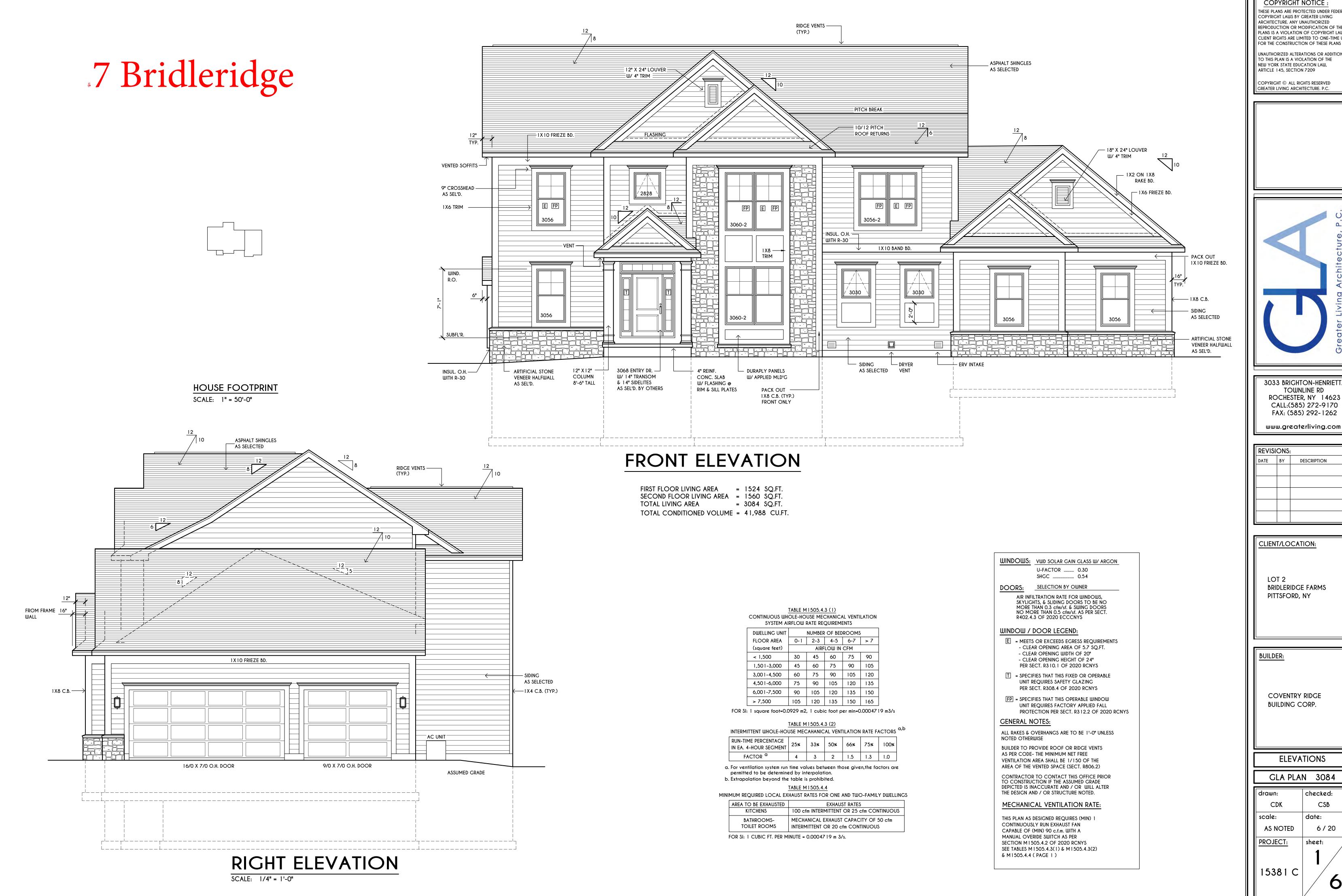
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	scale:	date:
	AS NOTED	10 / 23
	PROJECT:	sheet:
	15420J	1 / 6

LEFT ELEVATION SCALE: 1/4" = 1'-0"

2856

2856

ASSUMED GRADE



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www.greaterliving.com

DATE BY DESCRIPTION	
	DATE

CLIENT/LOCATION:

BRIDLERIDGE FARMS PITTSFORD, NY

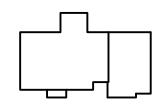
BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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9 Bridleridge

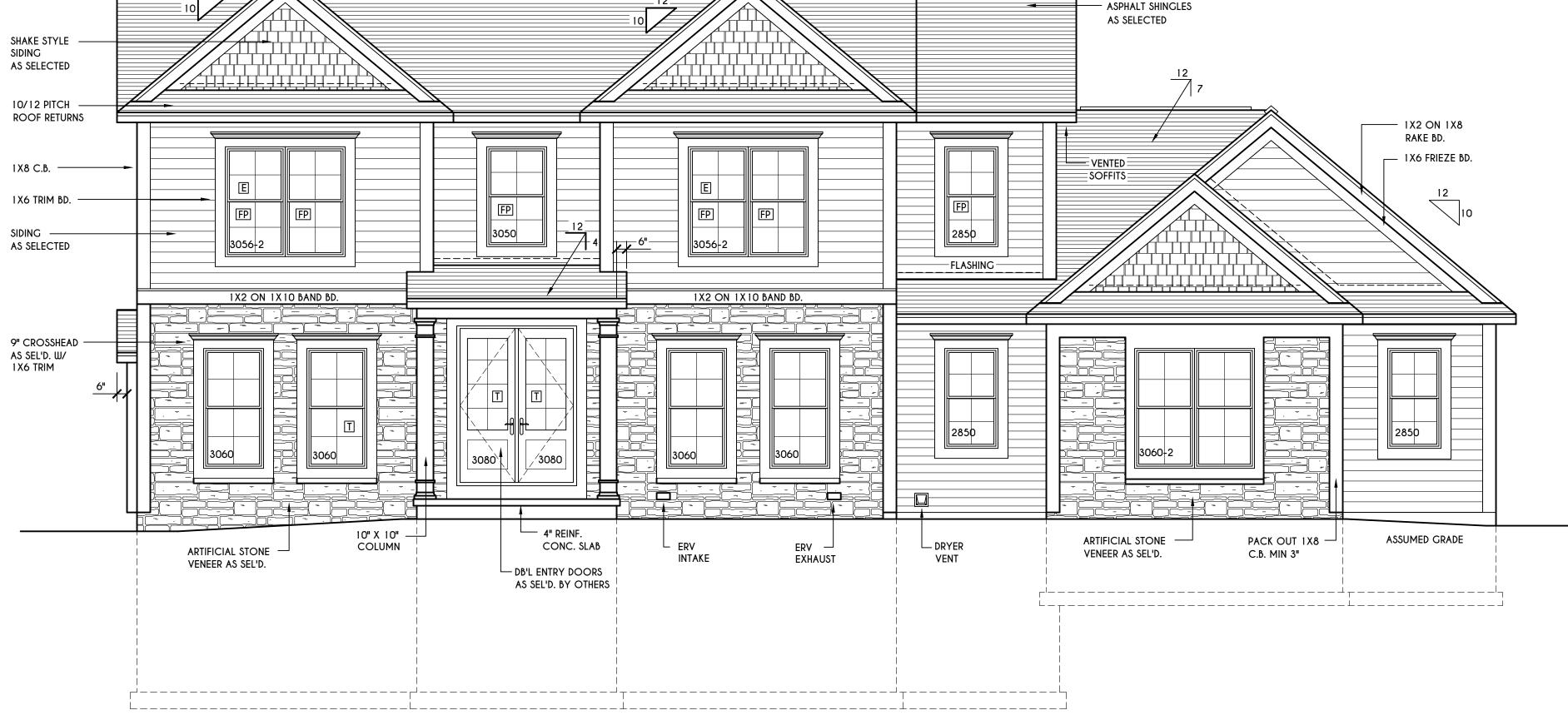


HOUSE FOOTPRINT

SCALE: 1" = 50'-0"

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIDGE VENT (TYP.) —

FRONT ELEVATION

SCALE: 1/4" = 1'-0

FIRST FLOOR LIVING AREA = 1488 SQ.FT.
SECOND FLOOR LIVING AREA = 1517 SQ.FT.
TOTAL LIVING AREA = 3005 SQ.FT.
TOTAL CONDITIONED VOLUME = 40,807 CU.FT.

WINDOWS: VWD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30

R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.

- CLEAR OPENING WIDTH OF 20"

NO MORE THAN 0.5 cfm/sf. AS PER SECT.

- CLEAR OPENING HEIGHT OF 24"
PER SECT. R3 10.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE
UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW

UNIT REQUIRES FACTORY APPLIED FALL

PROTECTION PER SECT. R312.2 OF 2020 RCNYS

MANUAL OVERIDE SWITCH
SECTION M1505.4.2 OF 2

SEE TABLES M1505.4.3(1)

& M1505.4.4 (PAGE 1)

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
4/12 PITCH ROOFS OR SHALLOWER

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

TO HAVE 2 LAYERS 15# FELT

THIS PLAN AS DESIGNED REQUIRES (MIN) 1
CONTINUOUSLY RUN EXHAUST FAN
CAPABLE OF (MIN) 90 c.f.m. WITH A
MANUAL OVERIDE SWITCH AS PER
SECTION M1505.4.2 OF 2020 RCNYS
SEE TABLES M1505.4.3(1) & M1505.4.3(2)

TABLE M 1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

3131EM AIRFLOW RATE REQUIREMENTS							
	DWELLING UNIT NUMBER OF BEDROOMS					•	
	FLOOR AREA	0-1	2-3	4-5	6-7	> 7	
	(square feet)		AIRFLOW IN CFM				
	< 1,500	30	45	60	75	90	
	1,501-3,000	45	60	75	90	105	
	3,001-4,500	60	75	90	105	120	MIN
	4,501-6,000	75	90	105	120	135	
	6,001-7,500	90	105	120	135	150	
	> 7,500	105	120	135	150	165	
FOR SI	: 1 square foot=0.0)929 m2	, 1 cubi	c foot p	er min=C	.00047	19 m3/s

TABLE M 1 505.4.3 (2) INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED EXHAUST RATES

KITCHENS 100 cfm INTERMITTENT OR 25 cfm CONTINUOUS

BATHROOMS- MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

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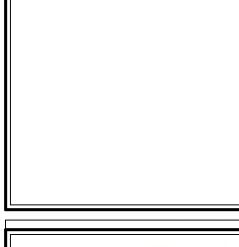
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ARTICLE 145, SECTION 7209





3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

R	REVISIONS:					
D	ATE	BY	DESCRIPTION			
⊩						

CLIENT/LOCATION:

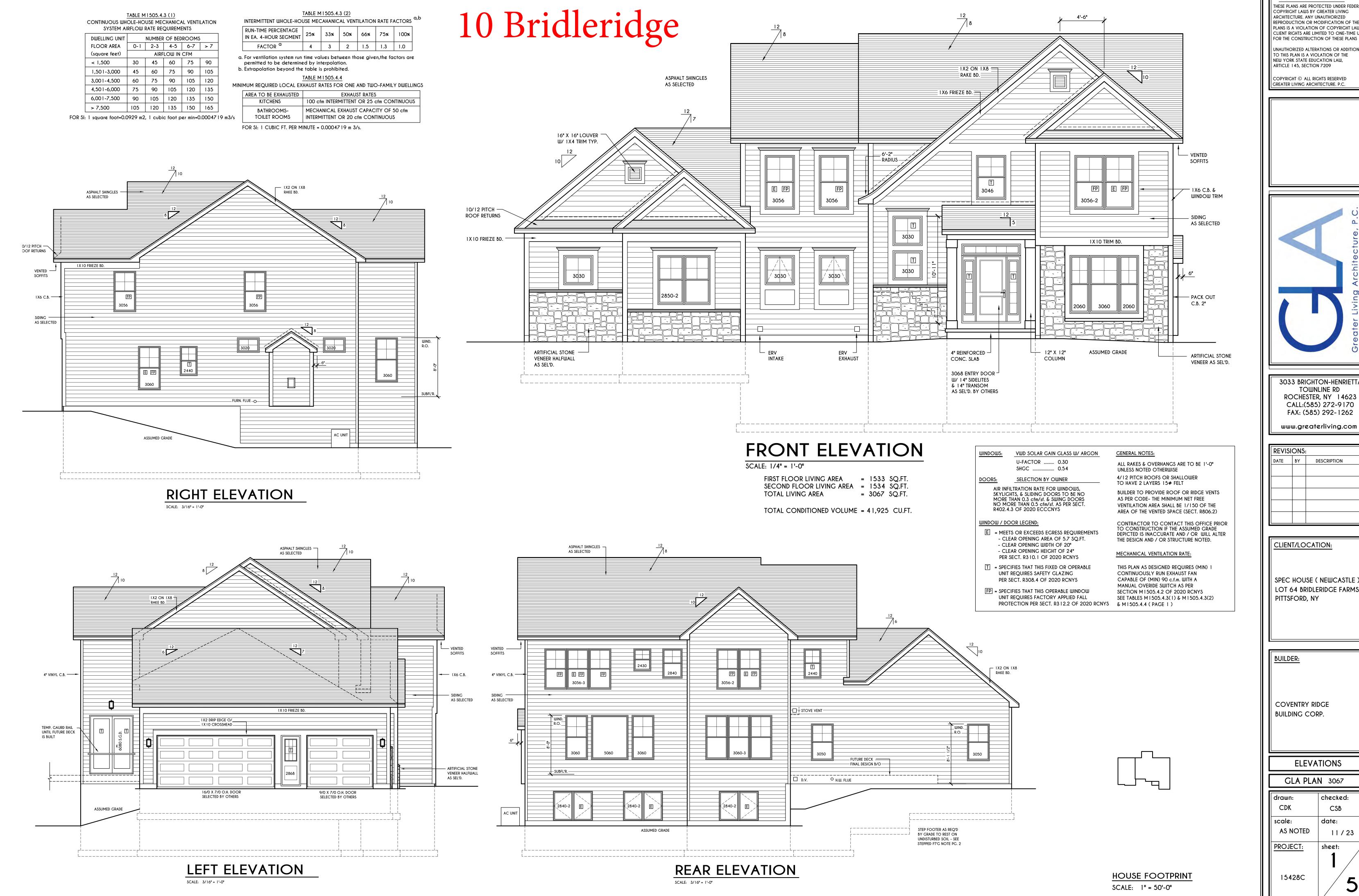
ALT. "LATTIMORE" LOT 3 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

32 /(12/(10000					
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AS NOTED	10 / 23				
PROJECT:	sheet:				
15399C	6				



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REVISIONS:				
DATE	ВҮ	DESCRIPTION		

CLIENT/LOCATION:

SPEC HOUSE (NEWCASTLE) LOT 64 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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SCALE: 1/4" = 1'-0"

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CLIENT/LOCATION:

SPEC HOME LOT 4 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER:

COVENTRY RIDGE

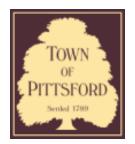
BUILDING CORP.

ELEVATIONS

GLA PLAN 3332

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CDK	CSB
scale:	date:
AS NOTED	10 / 23
PROJECT:	sheet:
15475B	6

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # S24-00008

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Sign & Lighting Services LLC

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	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
✓	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

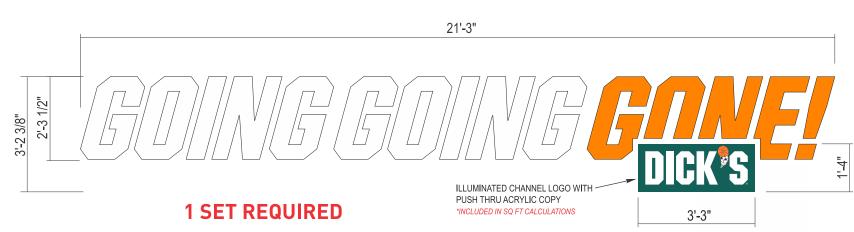
Project Description: Applicant is requesting design review for signage for Dick's Going Gone.

Meeting Date: August 22, 2024

EXISTING CONDITIONS

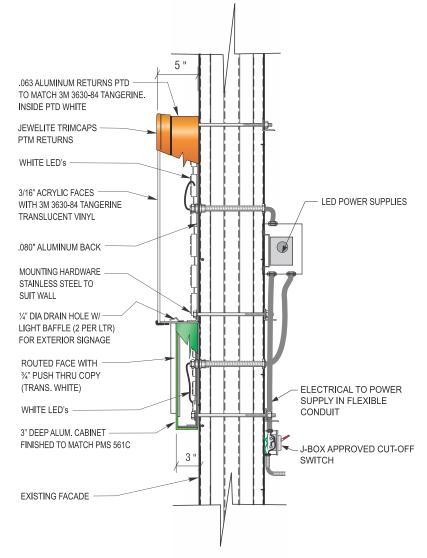


PROPOSED: SQ. FT. 67.86



NEW ILLUMINATED LOGO & CHANNEL LETTERS 67.95 Sq. Ft.

PAINTED TO MATCH PMS 561C
PAINTED TO MATCH PMS 151C
#7725-066 3M FOREST GREEN (OPAQUE)
#3630-84 3M TANGERINE (TRANS.)
#7725-22 3M BLACK (OPAQUE))
#3630-33 3M RED (TRANS.)
#3630-51 3M SILVER (TRANS.)
WHITE SIGN FACE



SECTION @ L.E.D. LTR

image one

677 Dunksferry Rd. Bensalem, PA 19020 800 Business Park Dr. Freehold, NJ 07728

i1ind.com **215.826.0880** #5479 FORMER 4444

LOCATION:

3349 MONROE AVE
SPACE 42
ROCHESTER, NY 14618



DSE 12.13.23 PERMIT DRAWINGS

A 12.14.23 CHANGED PILL BOX TO VINYL
DS 11.18.24 ADDED 3RD SIGN ON SIDE ELEVATION PER MARKUP
A 07.25.24 REMOVED 1 SET CHANNEL LETTERS
DS 2



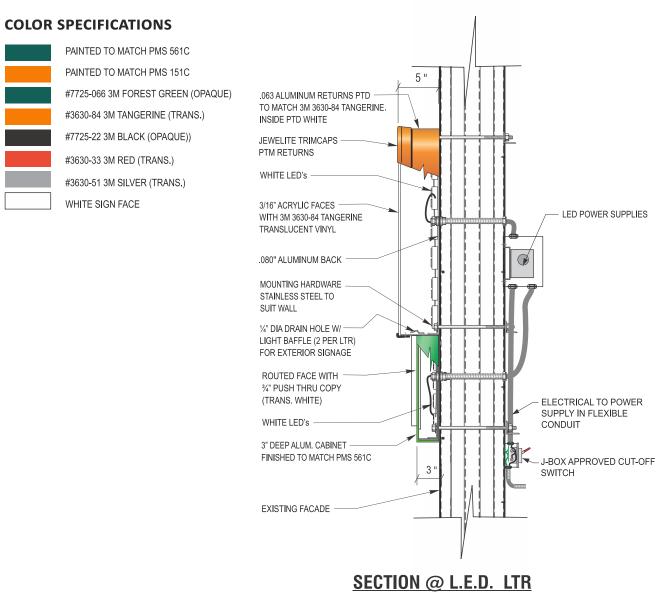
EXISTING CONDITION



31'-11 5/8" 1,-10 5/8" 3'-6" ILLUMINATED CHANNEL LOGO WITH PUSH THRU ACRYLIC COPY *INCLUDED IN SQ FT CALCULATIONS 5'-11 1/2"

1 SET REQUIRED

2 NEW ILLUMINATED LOGO & CHANNEL LETTERS 156.18 Sq. Ft. SCALE: 3/8" = 1'-0"



PROPOSED: SQ. FT. 165



677 Dunksferry Rd. Bensalem, PA 19020

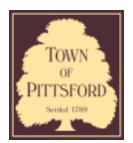
800 Business Park Dr. Freehold, NJ 07728

i1ind.com 215.826.0880

#5479 FORMER 4444
LOCATION:
3349 MONROE AVE SPACE 42 ROCHESTER, NY 14618

DSE 12.13.23 PERMIT DRAWINGS

12.14.23 CHANGED PILL BOX TO VINYL 01.18.24 ADDED 3RD SIGN ON SIDE ELEVATION PER MARKUP 07.25.24 REMOVED 1 SET CHANNEL LETTERS



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # CA24-000002

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 55 Mitchell Road PITTSFORD, NY 14534

Tax ID Number: 164.11-2-12.11

Zoning District: RN Residential Neighborhood

Owner: Sands, Mackenzie Applicant: Sands, Mackenzie

Aρ	plic	atio	n T	ype:

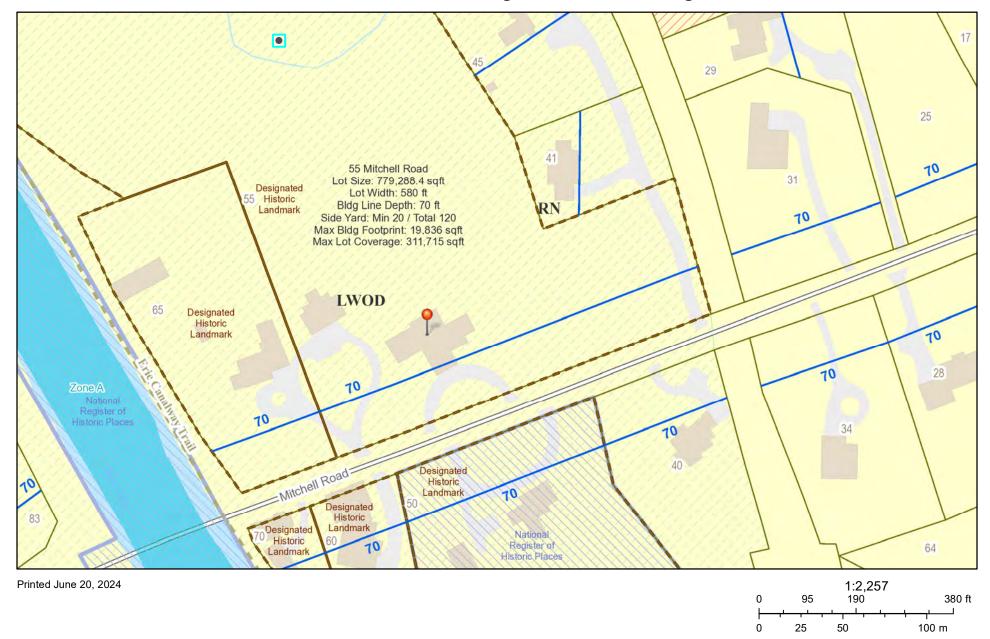
·P P		
	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
✓	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: August 22, 2024



RN Residential Neighborhood Zoning



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

				Case#					
1.	Property A	Address:	55 Mitch	nell Road					
2.	Tax Accou	ınt Numbe	er: 164.1	11-2-12.11					
3.	Applicant's	s Name:	Steele L	andscape	Architectu	re (Sue Stee	ele)		
	Address:	770 Ayra	ault Rd #1	108			_ Phone:	(585) 747-	-9996
		Fairport		Street	e New York	14450	_ E-mail:	sue@ste	ele.la
			City		State	Zip Code	_		
4.	Applicant's	s Interest	in Proper	ty:					
	Owner:		·	Lessee:		Holdi	ing Purch	ase Offer:	
	Other (explain): C)wner's R	epresenta	tive, Lands	cape Archite	ect		
_	0 "		اما	nnifer San	de				
5.	Owner (if o			illici Gari	<u> </u>				
	Address:	Address: 55 Mitchell Rd			<u> </u>		_ Phone:		
		Pittsford		Street	NY	14534	E-mail:		
			City		State	Zip Code	_ = 1114111		
	Has the O	wner beei	n contact	ed by the	Applicant?	Yes		No	
3 .	Application	n prepare	d by: Ste	eele Lands	scape Archi	tecture			
	Address:		ault Rd #1				Phone:	(585) 747-	-9996
		_		Street	!		_		
		Fairport			NY	14450	_ E-mail:	sue@ste	ele.la
			City		State	Zip Code			
7.	Project De	sign Prof	essional (íf Available)	: (same as	s applicant)			
	Address:						_ Phone:		
				Street	t				
			City		State	Zip Code	_ E-mail:		
			City		Slate	∠ip code			

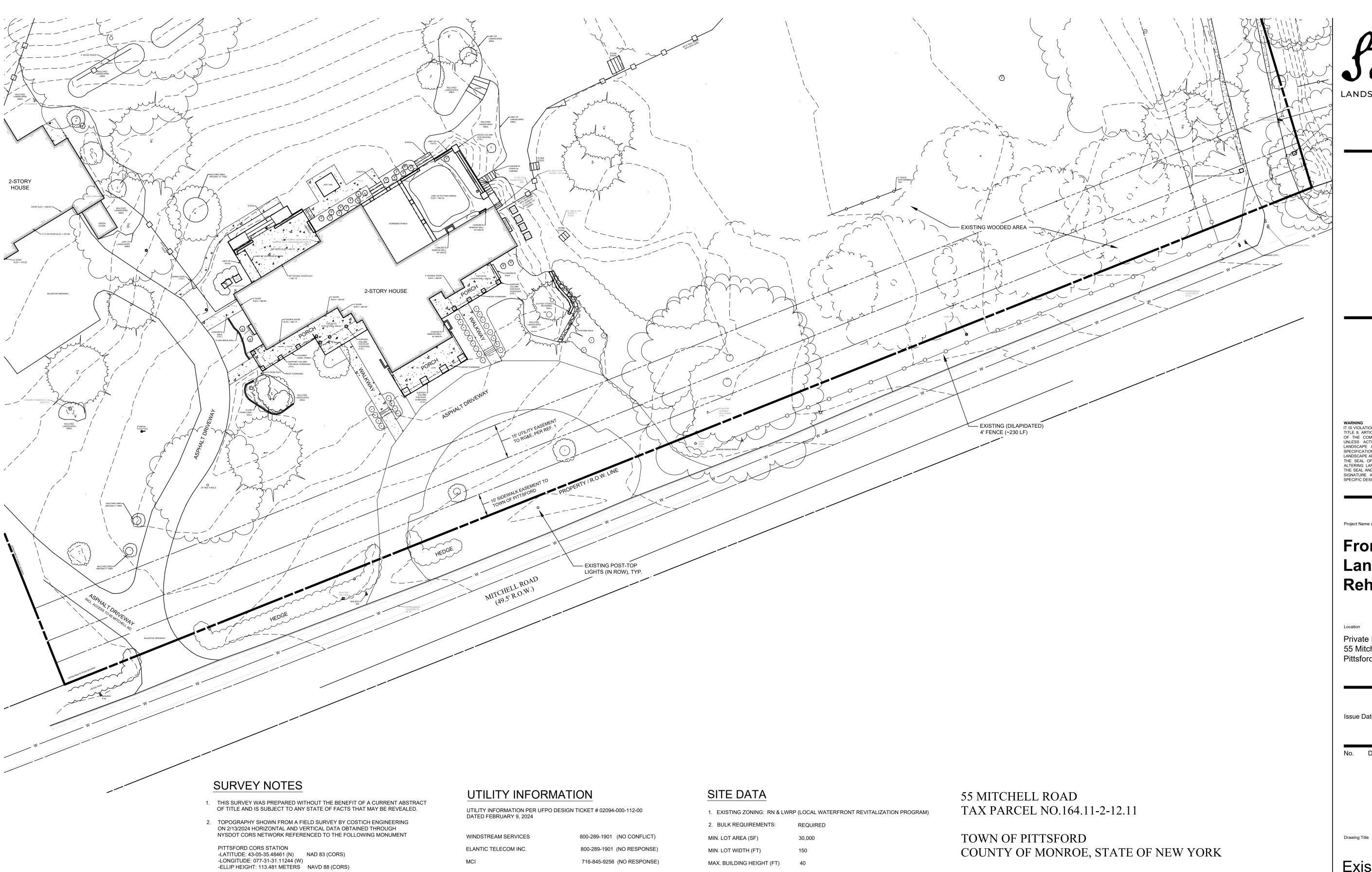
8.	Project Contractor (if Available): TBD								
	Address:	Phone:							
	Street								
	City State Zip Code	E-mail:							
9.	Present use of Property: Residence								
10.	Zoning District of Property: RN & LWRP								
11.	Is the property located in a Town Designated Historic District?								
	Yes No Locally designated landma	rk							
		_							
12.	Is the property listed on the National Registry of Historic Places	s?							
	Yes No 🗵								
13.	Will State or Federal Funding be used in this project, or will the application for Tax Credits or other State and Federal benefits? Yes □ No ☒								
	-								
	If Yes, please explain:								
11	Drange and Exterior Improvements								
14.	Proposed Exterior Improvements: A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):								
	No exterior architectural modifications to structures are proposed. Proposed project is site and landscape work only.								

Rev. 10/10/2023 8

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary): Project includes: (1) Rehabilitation of the existing driveway, including minor radius changes to improve maneuverability, line-of-sight safety at Mitchell Rd, and addition of a landscaped 2-car parking area with accent paving. (2) Rehabilitation of dilapidated fence along Mitchell Rd and addition of matching historic-style fence along driveway frontage. (3) Proposed landscaping, including removal of privet hedge (currently in right-of-way) and replacement with traditional beech hedge (out of right-of-way), along with additional landscaping and trees. See included design packet, existing and proposed drawing sheets. Optional masonry pier add-on (to proposed fence at driveway entrances) also submitted for review. 15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary). N/A 16. Additional materials submitted with this application (if available): Parcel map Architectural elevations **Photographs** Architectural plans Fence design, 3D renderings Other materials **SEE SIGNED SINATURE PAGE - SEPARATE FILE** **Applicant Certification:** I certify to the best of my knowledge that the information supplied on this application is complete and accurate. Signature of applicant Date **Owner Consent:** If the applicant is other than the owner, does the owner concur with this application? Yes \boxtimes No

Rev. 10/10/2023 9

If Yes, owner's signature:



LANDSCAPE ARCHITECTURE

770 Ayrault Road #1108 Fairport, New York 14450 (585) 747-9996

WARNING
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Project Name and Address

Front Entry Landscape Rehabilitation

Private Residence 55 Mitchell Road Pittsford, New York 14534

Issue Date: JUNE 3, 2024

Revision

DRHPB SUBMITTAL

NOT FOR CONSTRUCTION

Existing Conditions Plan

EX-01

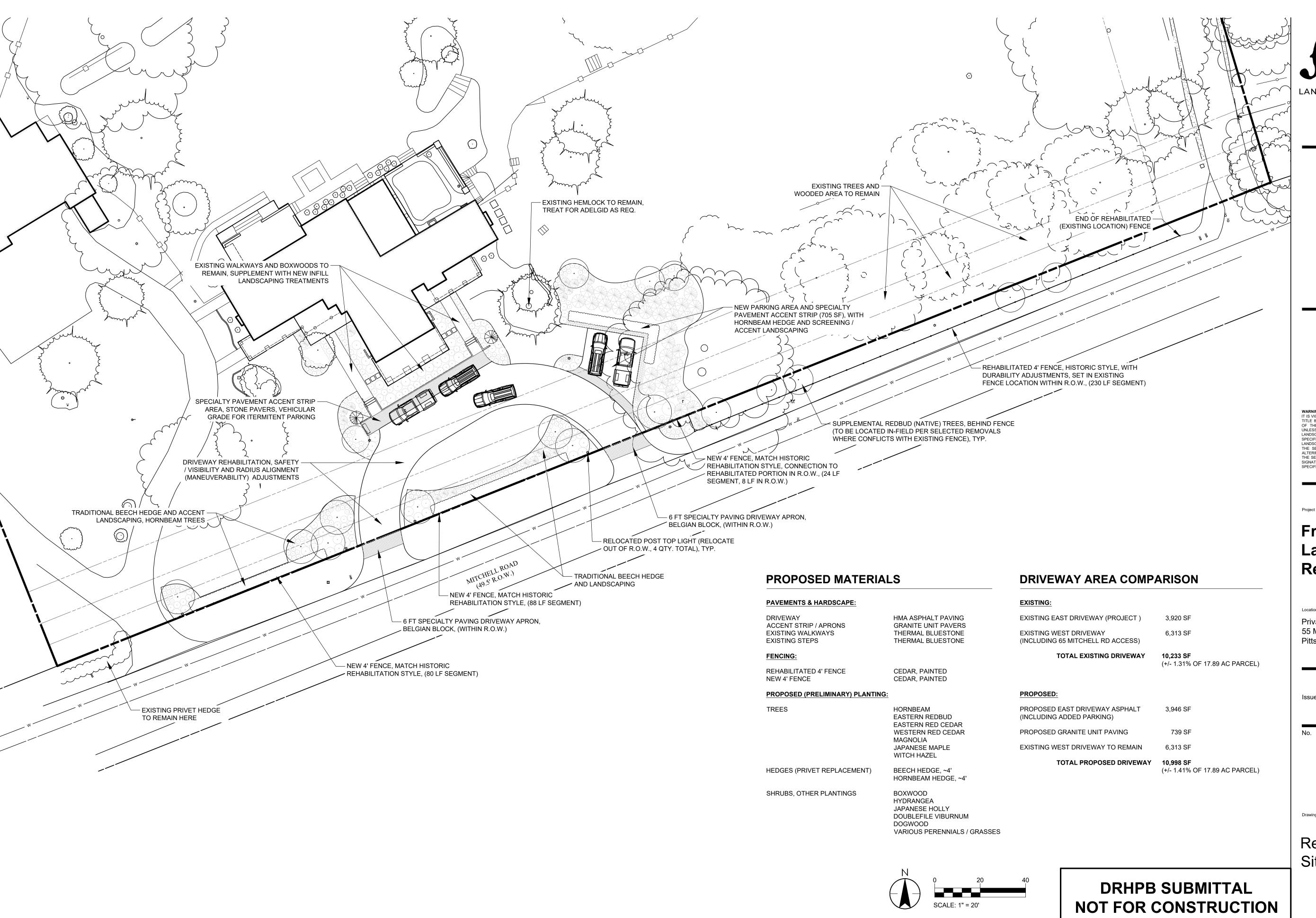
REFERENCES

MAP ENTITLED " PLAN OF LAND OWNED Y LYNDON H. WELLS JR" CREATED BY THE MRB GROUP DATED 08/11/1999

WINDSTREAM SERVICES	800-289-1901 (NO CONFLICT)
ELANTIC TELECOM INC.	800-289-1901 (NO RESPONSE)
MCI	716-845-9256 (NO RESPONSE)
MONROE COUNTY WATER AUTHORITY	585-442-200 X 285 (UTILITIES PLOTTED)
ROCHESTER GAS AND ELECTRIC	585-771-4745 NO CONFLICT
CHARTER COM NORTHEAST W. NY	317-575-7800 X2 (NO RESPONSE)
VILLAGE OF PITTSFORD	585-586-9320 (NO RESPONSE)
PITSFORD SEWER DISTRICT #1	585-248-6490 (NO RESPONSE)

2. BULK REQUIREMENTS:	REQ
MIN. LOT AREA (SF)	30,0
MIN. LOT WIDTH (FT)	150
MAX. BUILDING HEIGHT (FT)	40
MIN. FRONT YARD SETBACK (FT)	70
MIN. SIDE YARD SETBACK (FT)	25
MIN. REAR YARD SETBACK (FT)	50





LANDSCAPE ARCHITECTURE

770 Ayrault Road #1108 Fairport, New York 14450 (585) 747-9996

WARNING
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Project Name and Address

Front Entry Landscape Rehabilitation

Private Residence 55 Mitchell Road Pittsford, New York 14534

Issue Date: JUNE 3, 2024

Revision

Drawing Title

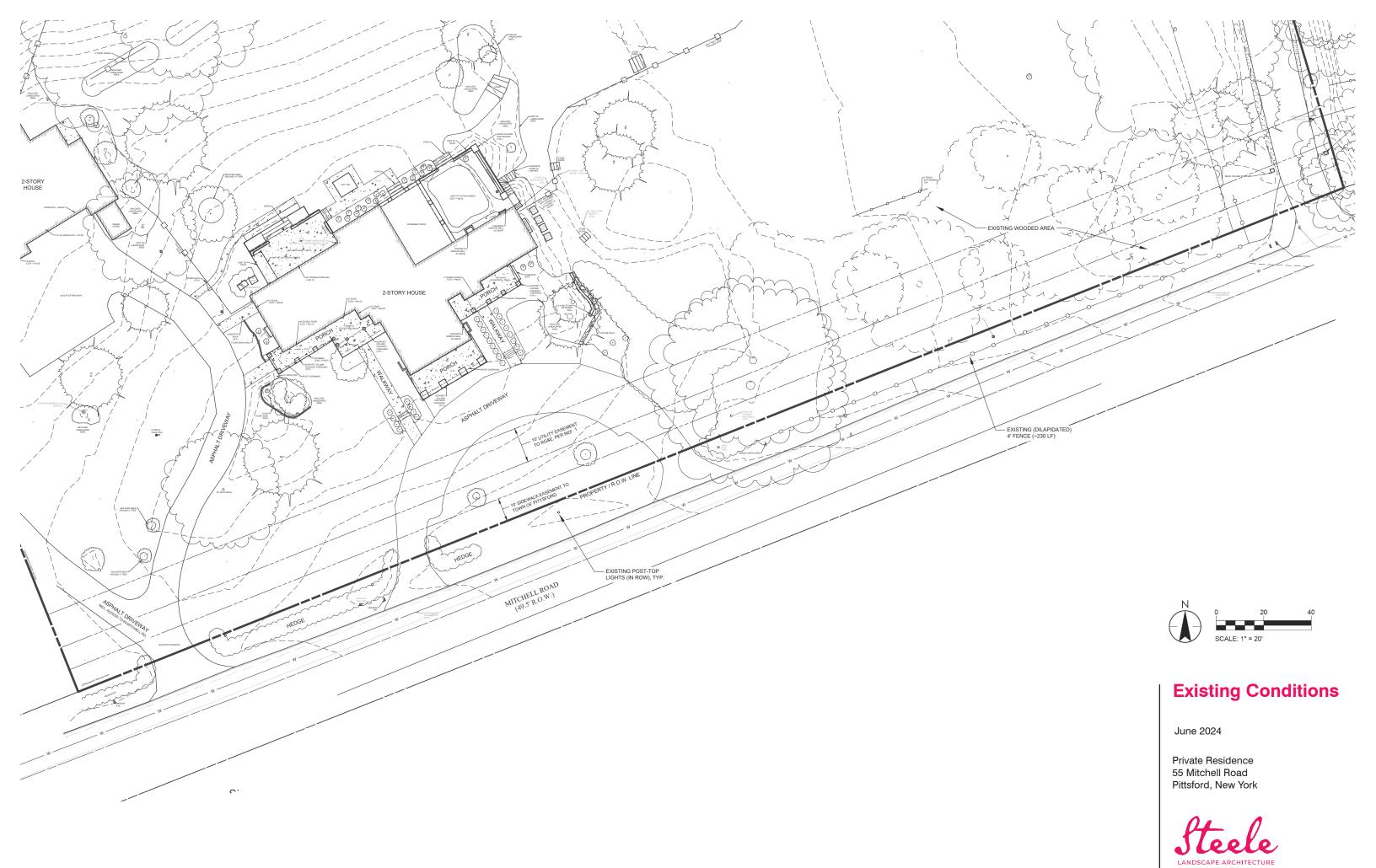
Rehabilitation Site Plan

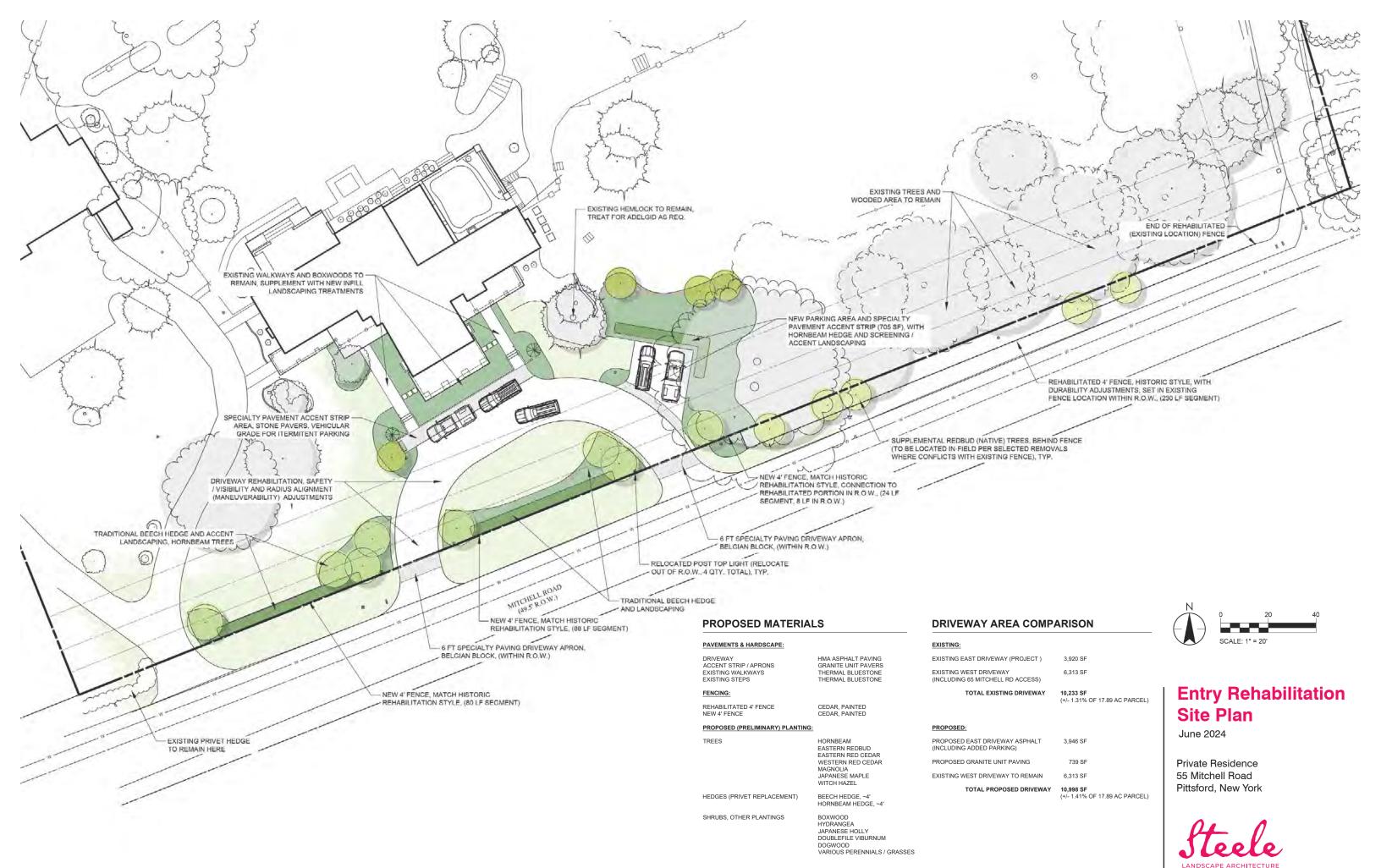
55 Mitchell Road

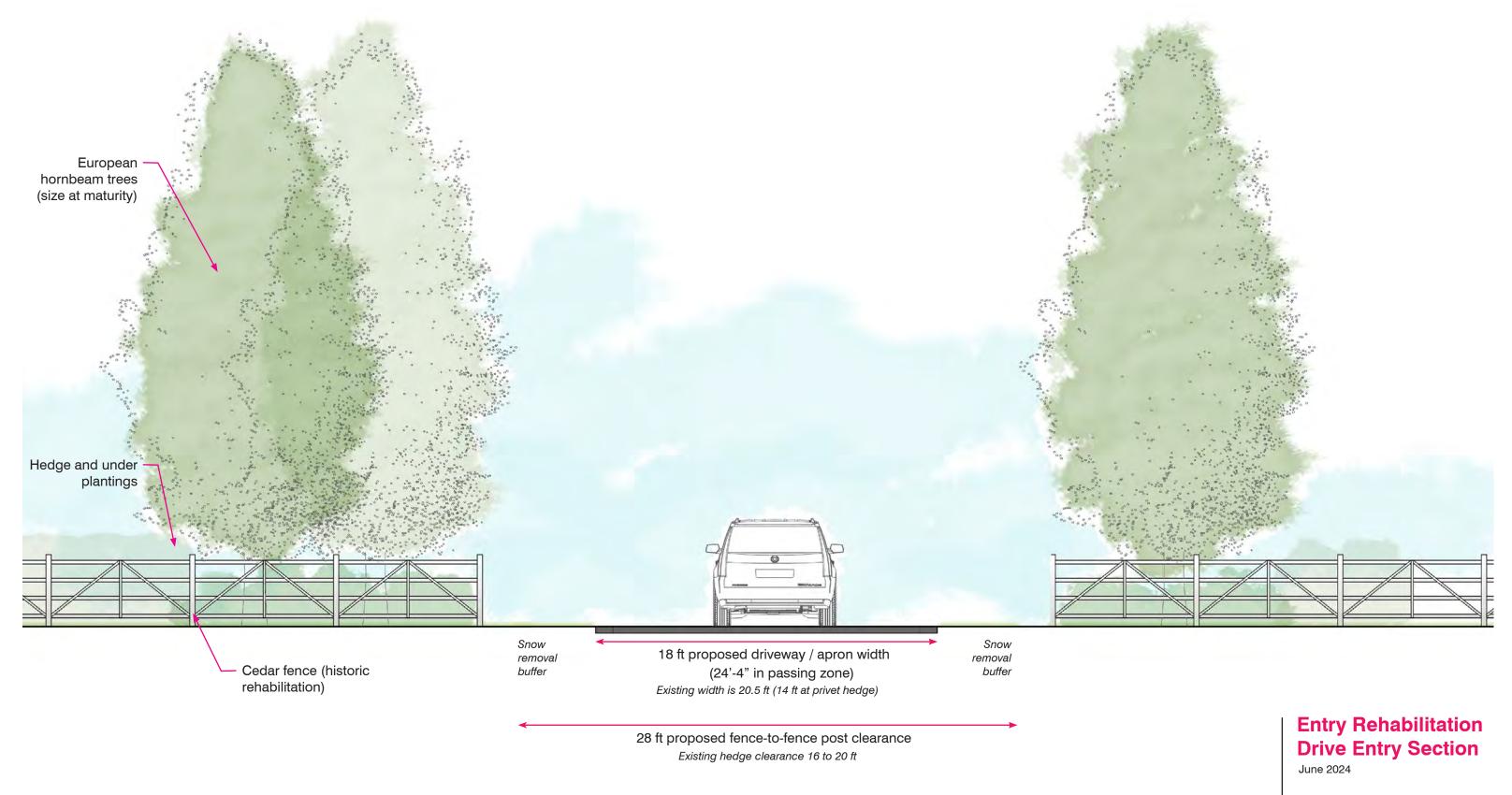
Front Entry Landscape Rehabilitation

June 2024 **DRHPB Review Submittal**









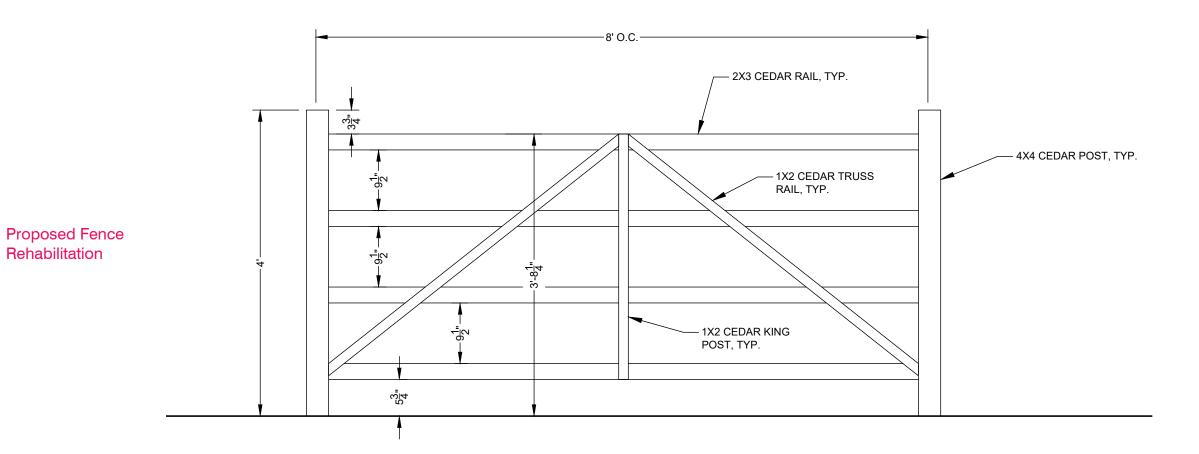


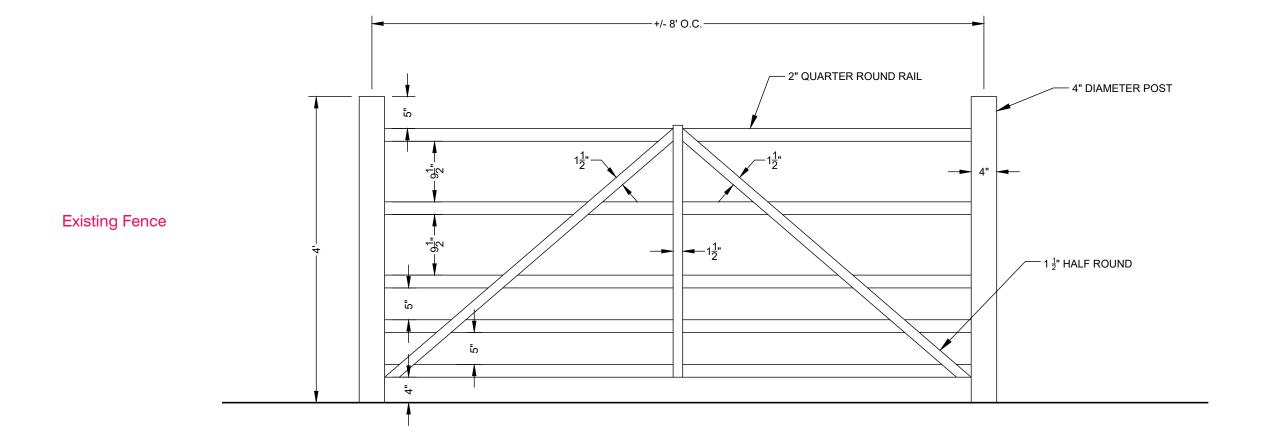


Optional Alternative Masonry Pier Add-On

June 2024





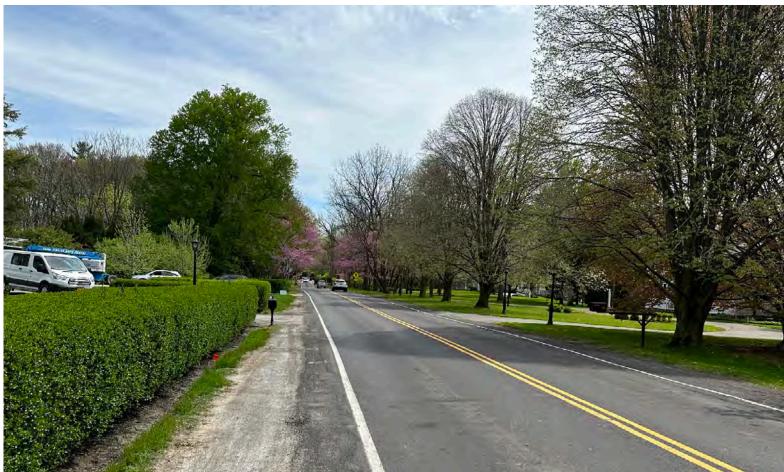


Fence Rehabilitation Comparison

June 2024











Existing Conditions Photos

June 2024











Existing Conditions Photos

June 2024











Existing Conditions Photos

June 2024











Entry Rehabilitation Renderings

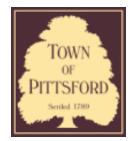
June 2024











Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # CA24-000004

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 321 Mendon Center Road PITTSFORD, NY 14534

Tax ID Number: 177.04-1-5.2 **Zoning District:** AG Agricultural **Owner:** Pieper, William R **Applicant:** Pieper, William R

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	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
✓	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: August 22, 2024



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

	Case #	_ RECEIVED
1.	Property Address: 321 Mendon Cent	er Rd JUL 2 4 2024
2.	Tax Account Number:	TOWN OF PITTSFORD
3.	Applicant's Name: William and Sharon Address: 321 Mendon Center Rd Street Pittsford Ny 14534 City State Zip C	Pieper Phone: <u>585-230-53</u> 70 E-mail: <u>Wmpieper@aol.co</u>
4.	Applicant's Interest in Property: Owner: Lessee: Other (explain):	Holding Purchase Offer:
5.	Owner (if other than above): Address: Street City State Zip C	Phone:
6.	Has the Owner been contacted by the Applicant? Application prepared by: William and Shar Address: 321 Mendon Center Rd Pittsford NY 14 City State Zip C	Phone: <u>585-230-537</u> 0 534 E-mail: <u>wmpiepere aol</u> .com
7.	Project Design Professional (if Available): Address: Street City State Zip C	Phone:

Print Form

Reset Form

	Address: Phone:
	Street E-mail:
_	City State Zip Code
9.	Present use of Property: Resident al
10.	Zoning District of Property: Residential
11.	Is the property located in a Town Designated Historic District? Yes No
12.	Is the property listed on the National Registry of Historic Places? Yes No
13.	Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits? Yes No If Yes, please explain:
	NYS Tax credit \$5000 Federal Investment tax credit \$5568
14.	Proposed Exterior Improvements: A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):
	NO adverse effect to the architectual
	integrity of the house. Solar panels
	on south side of near addition of home
	Panels are not a permanent addition to the
	home. (meaning they can be removed)

8.

Project Contractor (if Available):

В.	changes in landscaping,	te improvements proposed with this project (include proposed significant plant material alterations, and other improvements be materials such as driveways and retaining walls; attach ssary):
	No	ne
, 14 - 14 - 14 - 14 - 14 - 14 - 14 - 14 		
15. If 1	the structure is a Commercia provements proposed at the	Il Property open to the Public, please describe all interior project site (attach additional sheets if necessary).
		NO
16. Ac	lditional materials submitted	with this application (if available):
	Parcel map	Architectural elevations
	Photographs	☐ Architectural plans
	Other materials	Solar panels
l c	mplete and accurate.	ledge that the information supplied on this application is Haron Pieper
	Consent: he applicant is other than the Yes No If Yes, owner's signature:	e owner, does the owner concur with this application?





103% Consumpti on Offset

\$57,768 \$13,312

Lifetime **Electricity Bill** Savings

Net Cost of this solar system

\$44,456

Estimated net savings over system lifetime SYSTEM OPTIONS

20 Panels

20 Panel System with Battery



These 2 roofs only Your Solution



Dan Lewis 3157591880 MEmail

Solar Panels Silfab Solar Inc. 8.400 kW Total Solar Power 20 x 420 Watt Panels (SIL-420 BG) 10,118 kWh per year

Inverter Sol-Ark 9 kW Total Inverter Rating 1 x 12K-P [240V]

Warranties: 12 Year Panel Product Warranty, 30 Year Panel Performance Warranty, 10 Year Inverter Product Warranty

System Performance

321 Mendon Center Rd, Pittsford, NY 14534-9714, Monroe County



4	2,470	25,265	N/A
Beds	Bldg Sq Ft	Lot Sq Ft	Sale Price
2	1870	SFR	N/A
Baths Yr Built		Туре	Sale Date

Owner Information

Owner Name: Owner Name 2: Do Not Mail: Owner Occupied: Pieper William R Pieper Sharon

Tax Billing Address: Tax Billing City & State: Tax Billing Zip:

321 Mendon Center Rd Pittsford, NY 14534 9714

Yes

Tax Billing Zip+4:

Location Information

School District: School District Name:

Subdivision: Township:

Census Tract: Carrier Route: 264601 Pittsford

Pittsford 123.06 R004

2017

\$0

0%

Zoning:

Assessment District: Location Influence:

Flood Zone Code: Flood Zone Date: Flood Zone Panel:

08/28/2008 36055C0366G

Tax Information

Tax ID:

Alt. Tax ID: Lot #: Block #: Legal Description: 264689-177-040-0001-005-2 % Improved:

264689A1770400001005200 5

1

SWIS Code:

2016

Tax Appraisal Area:

264689 4689

2015

\$205,600

\$26,700

87%

L47 T12 R5 UNRECORDED MAP 6200-113

Assessment & Tax

Assessment Year

Assessed Value - Total Assessed Value - Land Assessed Value - Improved YOY Assessed Change (\$) YOY Assessed Change (%) Market Value - Total Market Value - Land Market Value - Improved **Exempt Building Value Exempt Land Value Exempt Total Value**

\$205,600 \$205,600 \$26,700 \$26,700 \$178,900 \$178,900 \$0 0% \$205,600 \$205,600 \$26,700 \$26,700 \$178,900 \$178,900

\$178,900 \$205,600 \$26,700 \$178,900

1

Full

Hot Air

Oil

Characteristics

Land Use - State : Land Use - CoreLogic: Lot Acres:

Lot Sq Ft: Lot Frontage: Lot Depth: # of Buildings: Building Type:

Single Family Resid

0.58 25,265 148 170 1

Half Baths: Total Rooms:

Basement Type: Basement Sq Ft:

Finished Basement Sq Ft: Fireplaces:

Heat Type: Heat Fuel Type:

SKETCH ADDENDUM

Borrower PIEPER

Property Address 321 MENDON CENTER ROAD

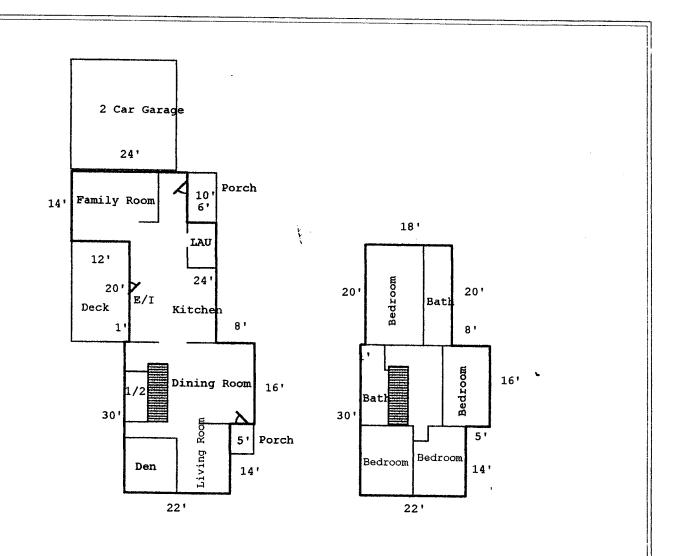
City PITTSFORD County MONROE

Lender/Client COMMONWEALTH UNITED

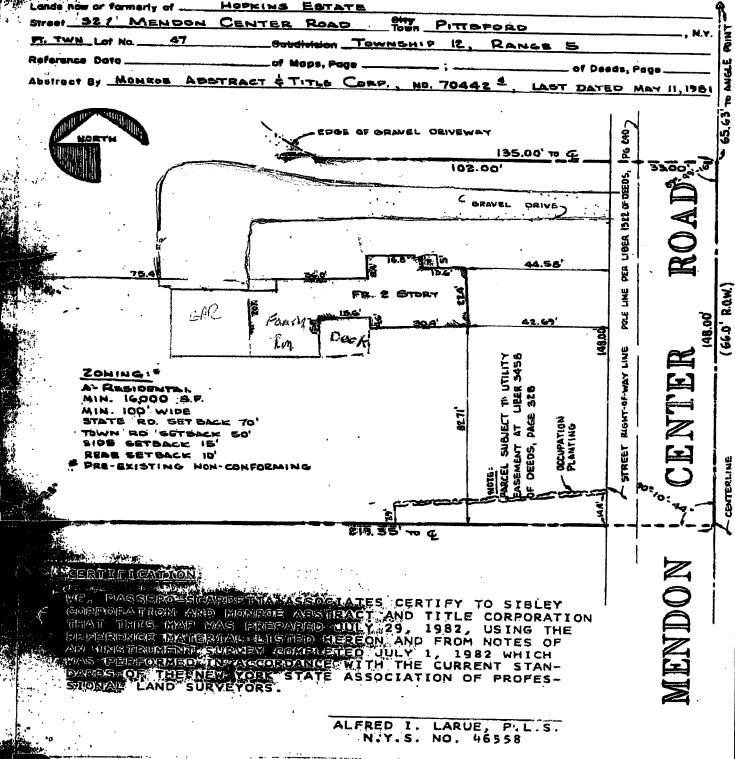
State NY

Zip Code 14534

Address 190 LINDEN OAKS, ROCHESTER, NY 14625



INSTRUMENT SURVEY



PASSERO-SCARGE THA ASSOCIATES

SCALE I" . 30'

ARCHITECTS - ENGINDERS - SUNCETORS 45 LANE AVENUE, ROCHESTER, N.Y. 14608/76-458-2180

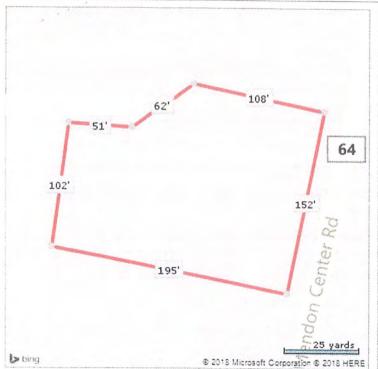
287, 62 ---- July 29, 1782

HO LARE AVENUE, HOCHESTER, N.Y. 14508/715-458-2180

IMPORTATION IS TO CHAMBERLAIN, D'AMANDA, BAUMAN, CHATMAN & OPPENHEIMER.

Dwg No. 8118 F-2

Property Map

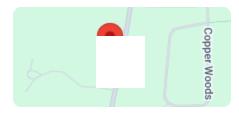




Google Maps 321 Pittsford Mendon Center Rd



















National Park Service

ARTICLE

Solar Panels on Historic Properties: On a Rear Porch Roof

Gothic Revival House, Vermont

This is another example of a minimally intrusive installation of a solar hot water system. The solar collectors are located on a new roof sheltering an access ramp added to the rear of the residence. In some instances, new additions may provide opportunities to incorporate solar panels on a historic property in a sensitive way.



This view of the historic house from the front (above) shows that it retains its historic character, because the solar collectors were installed on the sloped roof over a new access ramp at the rear of the property and are not visible from the street (right).



Next article: Avoiding the impact of solar panels on a cultural landscape (https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm)



solar panels

historic buildings

technical preservation services

Last updated: April 18, 2022

Was this page helpful?



National Park Service

ARTICLE

Solar Panels on Historic Properties: On a Low-Slope Gable

Vermont Residence

The gable end of this historic apartment building faces the street. Low profile solar collectors for a water heating system were flush mounted on the sloped roof on the south side of the gable. Though visible, these few panels have relatively little impact on the historic character of the property. However, if the roof had been a more prominent feature of the property, this installation may not have been appropriate.



Low-profile solar collectors located on the south side of the gable roof are minimally visible.

From this angle, the panels are more noticeable, yet the historic character of the building is not significantly diminished.



Next article: Solar panels on a cross gable (https://www.nps.gov/articles/000/solar-panels-on-historic-properties-cross-gable.htm)



solar panels

historic buildings

technical preservation services

Last updated: April 18, 2022

Pittsford Oaks responses to DRB comments

July 25, 2024

TOWN OF PITTSFORD DEVELOPMENT REVIEW COMMITTEE – Planning Comments

For Planning Board Meeting 7/8/24

SUBJECT: Pittsford Oaks Apartments

Preliminary Site Plan & Preliminary/Final Subdivision (Tobey PUD)

Tax Parcel #s 163.02-1-24.111, 163.02-1-23.1, 163.02-1-36

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

A written response to these comments must be provided for Planning Board and DRC Committee Review prior to a decision on this application. A digital copy of this document will be provided so that it may be incorporated into the response.

***Questions about specific DRC comments should be directed to the Planning, Zoning, and Development Department (Doug DeRue or April Zurowski).

NOTE: The address for Pittsford Federal Credit Union (PFCU) is 20 Tobey Village Road.

PLANNING AND ZONING ISSUES:

GENERAL

4. The Preliminary Site Plan application made to the Planning Board may not be consistent with the Tobey Planned Unit Development (PUD) general regulations adopted by the Town Board. Please address how the plans meet these requirements of the Tobey PUD. The Planning Board and Design Review & Historic Preservation Board should review the responses and determine if adjustments to the building and site are necessary. The general regulations for the Tobey PUD are provided, below. (DPW)

General Design Requirements:

In designing site development plans and architectural details for structures within the Tobey PUD, the following guidelines will apply. These guidelines will be followed by all reviewing agencies of the Town of Pittsford.

Design Requirements

- 1. Facades of new buildings should be broken down into smaller masses of varied sizes and orientations to create smaller, human-scale, pedestrian-friendly environments in keeping with the residential character of the community.
- 2. Unless specific provisions to the contrary are provided herein, no structure shall exceed 30 feet in height. Chimneys attached to such structures may extend 10 feet above the highest point of the building structure. One flagpole, used exclusively for the display of flags, not exceeding 30 feet in height, is permitted.
- 3. A variety of roof types, heights and gable orientations will be provided in order to retain the town's diverse, yet traditional character. Very steep, flat or very low- pitched roofs should be avoided.

- 4. Building design should creatively reflect traditional elements of the Town. Diversity that is in tune with the massing, proportion and street relationships of traditional buildings will be required. Village-like clusters of buildings should be encouraged over individual structures isolated by parking areas or lawns. Dormers and other architectural elements should be kept in proportion with overall building design. Architectural detailing will be used to create variety and interest of new buildings.
- 5. The use of traditional materials such as painted or stained wood clapboards, end trim and natural brick and stone, should be encouraged. Materials, textures and colors that are compatible with existing adjacent residential development will be required.
- 6. A variety of traditional windows will be required. Excessive regularity or irregularity, large picture windows and glass curtain walls shall be avoided.
- 7. Signage should be used to provide direction to drivers and pedestrians in commercial and office complexes and should be at scale appropriate to such uses. Consistent, well-designed signage systems for each development parcel will be required as an element of site plan approval. Specific signage requirements are detailed in the specific provisions for each development parcel. In no case will illumination of signage be permitted, unless specifically authorized by the Town Board.

Landscape Architecture/Site Planning

- 1. New buildings are subject to Design Review and Historic Preservation Board approval.
- 2. New non-residential buildings should be located with parking areas behind the buildings in order to create non-residential centers that reflect traditional development patterns, such as those found in the Village of Pittsford. Resulting developments should preserve a gateway appearance through this intersection.
- 3. Attractive pedestrian-oriented open spaces should be created by clustering buildings together to preserve open space along other sections of the street or behind the buildings.
- 4. Street trees will be required to shade and enclose the street and to define the edge of the public areas and private space.
- 5. Pedestrian-oriented environments, particularly within residential areas, commercial and office complexes and as entry features between parking facilities and buildings in stand-alone developments, will be required.
- 6. The design of new buildings will reflect the historic architecture of the town in terms of scale, massing, roof shape, gable orientation, window size, shape, and spacing, and exterior materials. Special attention to compatibility of color, materials, form and textures with adjacent structures and the context of the project site with its surroundings will be required.
- 7. Large buildings will be required to be <u>compatible</u> with the townscape by designing breaks in the <u>building mass and roof lines</u>, and by including appropriate architectural detail. New buildings should be scaled down into groupings of smaller structures to avoid large bulky masses.

Parking and Traffic

1. Where practicable, parking should be located behind commercial and office structures to visually screen them from the road. As an alternative, depressed parking lots that minimize parking lot visibility may be acceptable. Terrain will govern the acceptable parking approach.

- 2. Landscaping of parking areas designed to provide shade and buffer adjoining uses will be required. Large areas of asphalt should be divided into smaller units through the use of landscaping or other innovative techniques.
- 3. Adjacent non-residential areas will be required, where practicable, to share parking areas and provide inter-connections.
- 4. Outdoor lighting should be screened by shields or hoods to prevent glare onto adjacent premises. Intensity levels of individual fixtures should be reduced by utilizing a large number of smaller light poles. In smaller pedestrian areas, lights will be utilized to improve the quality of lighting. All outdoor lighting should be limited to 3,000 K or less.

Response: The Preliminary site plan application was designed around the previously approved development and the Planned Unit Development general regulations. Facades were broken down into smaller masses of varied sizes and orientations using different materials and designs. Varying roof heights and gable orientations were engineered, and very steep roofs were eliminated along with flat or very low-pitched roofs visible from the previous development. Natural stone was used to accent the varying facades and textures of the development face similar to others found within the community. Breaks in the building mass and roof lines were incorporated to help reduce the size and scale of the structure. The structure was designed into an "H" design to resemble less of a single large building mass, and more so of clustered building layout utilizing large open "courtyard" type areas in both the front and rear of the development. The rear courtyard in particular is designed to create pedestrian-oriented areas within the residential areas to allow social gatherings and nature views. Glass curtain walls were avoided while designing a cohesive variety of varying traditional windows and sizes. No illuminated signage other than that authorized by the Town Board will be utilized. Directional signage within the development will be provided to assist drivers and pedestrians within the area. The majority of the parking has been designed underground in the garage to create more of an open appearance around the development protecting the woods and greenspace, rather than surrounding it by adjacent parking lots and open fields of pavement. The parking garage also acts to visually shield the parked cars from the road. The few parking fields within this development were divided into smaller units through the use of landscaping and the use of trees to create more shading. Street trees have also been designed into the landscape plans to enhance shading, provide a defined edge of the public areas and preserve open space along sections of the street. Outdoor lighting will be screened by shields or hoods to prevent glare onto adjacent premises. Outdoor lighting will be limited to 3,000K.

- 7 The project area is immediately adjacent to 2867 Clover Street, a locally designated historic landmark and eligible landmark for listing on the New York State Register of Historic Places. (DPW, DRHPB) *Response: Acknowledged.*
- 8. The apartment building directly behind the historic home has the potential to negatively impact it and the public view from the intersection of Clover Street and West Jefferson Road. It should be limited in overall height and varied in across the length (2, 3 and 4 stories) to break up the linear viewshed. The DRHPB and Planning Board should be united in efforts to eliminate any negative impact. (DRHPB)

 Response: Acknowledged. The design was scaled back and is now in full conformance with the P.U.D. height quidelines approved for this parcel by the Town Board.

- 9. All opportunities to reduce negative impacts and to buffer the historic home from the new development should be implemented. Significant landscaping/buffering, reduced lighting, and limiting parking along the east side of the building could reduce impacts. (DRHPB)
 Response: Acknowledged. Lighting will be shielded or screened and limited to more than 3,000K. Additional landscape was designed into the rear of the historic home including a new retaining wall to protect and delineate the boundaries with vegetation and hardscaped wall.
- 10. The potential impact to neighbors on Tobey Road, including altered views and increased traffic, should be minimized and opportunities to reduce impacts and buffer should be implemented. (DRHPB) Response: Agreed and acknowledged. The landscape plan is designed to help mitigate impacts on Tobey Road by creating a buffer of trees and vegetation creating a natural buffer. The developer has ensured the project will have access to two signalized traffic intersections to mitigate and reduce traffic safety concerns.
- 11. Please provide winter renderings of the apartment building from the locations where summer renderings were provided. (DRHPB)

Response: Additional renderings to be provided under separate cover.

CLEARING/GRADING/DEMOLITION

13 The new building will require the demolition of the existing Barn Bazaar structures on site, for which a demolition permit from the Building Department is required. The published legal notice includes the demolition of these structures. A demolition permit will not be issued prior to Preliminary Site Plan approval. (DPW, BD, DRHPB)

Response: Acknowledged.

- 27 Please eliminate the encroachment into Parcel 12 for additional parking, if possible. If not, limited use and buffering with landscaping should be provided. There should be no further encroachment into Parcel 12 and no removal of mature trees, shrubs, or other landscaping and buffering material. (DRHPB)
 Response: The development will not encroach any further into Parcel 12 beyond what is approved in the Town of Pittsford P.U.D. Parking will be limited to overflow guest parking only when required. General parking will be available under the building in the private covered parking garage and along the parking lot south of the building. No mature trees will be removed outside of the parking area and retention pond. The existing mature trees surrounding the East side of the retention pond will remain, and additional trees will be planted to the South of the retention pond.
- 36 Does the under-building parking area require ventilation fans? If so, where will they be located and will they impact the historic home? (DRHPB, DPW)

 Response: Ventilation provided in underground parking area. No exhaust fans are proposed on the east face of the building.

LIGHTING/LANDSCAPING/SIGNAGE

77 The Town Board PUD approval includes the following:

Street trees will be required to shade and enclose the street and to define the edge of the public areas and private space.

Landscaping:

- a. The land between the Market Rate Apartment House and Pittsford Federal Credit Union, West Jefferson Road, and Clover Street will be maintained as open space, except for required emergency access.
- b. Landscaping is required to be consistent with the Tobey PUD general provisions.
- c. As part of the site plan review process, the final landscaping plan will be subject to review and approval by the Planning Board, with a focus on buffering public views, adjacent residential uses, and the historic home on Clover Street. The Planning Board will apply the landscaping cost requirements set forth in Town Code §185-194(C). (DPW)

Response: Acknowledged.

- 78 The plans do not adequately provide buffering between Cloverwood Senior Living and the proposed 54-space parking lot. Although existing trees exist on the Cloverwood property, buffering must be maintained throughout the life of the apartment building by the property owners. Please adjust plans to show buffering in this area. (DPW, DRHPB)
 - Response: In addition to the provided landscaping, to the south of the proposed parking lot is an existing mature wooded to provide buffering. Additional landscaping provided.
- The New York State Parks, Recreation, and Historic Preservation Office (NYSPRHPO) provided a letter dated February 7, 2024 stating that "the project as described will have no adverse impact on the historic resources provided the following condition is met: A portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and the Historic resource." Should you be unable to meet this condition, consultation with NYSPRHPO will be required. As proposed, the plans do not appear to preserve any mature tree canopy between the project and the historic resource. Existing trees greater than 12 inches in diameter in this region must be identified to evaluate the extent of the mature tree canopy. Trees that will be protected should be identified on the plans including those on 2867 Clover Street. It is presumed that if the mature tree canopy currently buffering the historic home is not saved the New York State Parks, Recreation and Historic Preservation Office will advise that plan changes are necessary or additional buffer planting will be required to buffer the historic home. (DPW, DRHPB) *Response: Landscape buffering provided.*
- 80 It is recommended that plantings are included between the proposed retaining wall and the historic home at 2867 Clover Street. Does the retaining wall have a decorative finish? The wall shall be shielded as much as possible from the existing resident. The Town recommends a discussion with the property owner regarding appropriate screening from the apartment building. (DPW, EB, DRHPB)

Response: Additional landscaping provided as requested.

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment.

DPW - Department of Public Works

EB - Environmental Board

PSD – Sewer Department

HWY – Highway Department

PARK – Parks Department

PRAB – Parks and Rec Advisory Board

TE – Town Engineer

TRE – Town Review Engineer (MRB Group)

FD – Fire Department (PFD – Pittsford, BFD – Brighton)

FM - Fire Marshal

BD – Building Department

MCDPD - Monroe County Department of Planning & Development



ANDREW M. CUOMO

ERIK KULLESEID

Governor

Acting Commissioner

April 1, 2019

Mr. Charles Vandrei Agency Historic Preservation Officer, Division of Lands and Forests New York State Department of Environmental Conservation 625 Broadway Albany, NY 12233-4255

Re: DEC

Friendly Commons at Cloverwood Redevelopment & Construction Project

2851 Clover Street, Pittsford, NY

19PR01925

Dear Mr. Vandrei:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6NYCRR Part 617).

We note that the four buildings located at 2851 Clover Street, also known as the Barn Bazar, are not eligible for listing in the State and National Registers of Historic Places. We further note that the nearby property at 2867 Clover Street is eligible for listing in the SR/NR as a good example of Greek Revival vernacular architecture.

We have reviewed the submission received on 3/20/2019. Based upon our review, it is the OPRHP's opinion that the proposed project will have No Adverse Impact upon historic resources.

If there are substantive changes to the project, consultation with our office should resume. If you have any questions, I can be reached at (518) 268-2217.

Sincerely,

Christina Vaqvolgyi

Historic Preservation Technical Specialist e-mail: christina.vaqvolqyi@parks.ny.gov

via e-mail only



KATHY HOCHUL Governor ERIK KULLESEID
Commissioner

February 7, 2024

Andrew Burns Passero Associates 242 West Main Street Suite 100 Rochester, NY 14614

Re: DEC

Pittsford Oaks Redevelopment

2851 Clover St, Pittsford, Monroe County

24PR00320

Dear Andrew Burns:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project.

We note that the proposed undertaking is immediately adjacent to 2867 Clover Street, which is eligible for listing in the State and National Registers of Historic Places under criterion C, as a good example of Greek Revival vernacular architecture. We have reviewed the submission received on January 11, 2024, including the site plan dated November 2023. Based on that review, it is the OPRHP's opinion that the project, as described, will have No Adverse Impact on historic resources provided the following condition is met:

• A portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and the historic resource.

Should you be unable to meet this condition, consultation with this office will resume. If you have any questions, you can call or e-mail me at the contact information below.

Sincerely,

Robyn Sedgwick

Historic Site Restoration Coordinator e-mail: robyn.sedgwick@parks.ny.gov

cc: B. Bawden - Passero

From: Andrew Burns

To: Sedgwick, Robyn M (PARKS)

Cc: <u>David Cox</u>; <u>Danny Daniele (djd@danielefamily.com)</u>; <u>Anthony Daniele</u>

Subject: Pittsford Oaks No Adverse Impact

Attachments: SHPO No Impact.pdf

OPRHP No Adverse Impact Letter.pdf Pittsford Oaks Landscaping.pdf

Good afternoon Robyn, hope all is well.

We are following-up on your attached response letter dated February 7, 2024. Specially, regarding retaining the existing tree canopy between the project and the historic resource.

Based on site and grading limitations, removal of existing trees between our project parcel and the historic property will be required. Please note that no trees will be removed from the historic property and that sufficient landscaping will be planted to replace what buffering is potentially being removed. Attached is a proposed Landscaping Plan for your review.

In addition, a previously approved senior living facility project with similar scope was reviewed by OPRHP back in 2019. The review noted that the project would have No Adverse Impoact on impact on the historic resource. OPRHP Response letter dated 4/1/2019 attached for you use.

Please follow-up if any additional information is required at this time. Thanks!

Sincerely, Andrew Burns, PE Project Manager Cell: 585-451-5843

Office: 585-760-8565

PASSERO ASSOCIATES Service. Solutions. Results.

passero.com



2023















West elevation for comparison was not provided



2024

Rendering would be more helpful if it included parking areas, dumpsters, generator, and compactor

Cloverwood



1 East Elevation



2 West Elevation



3 North Elevation

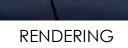


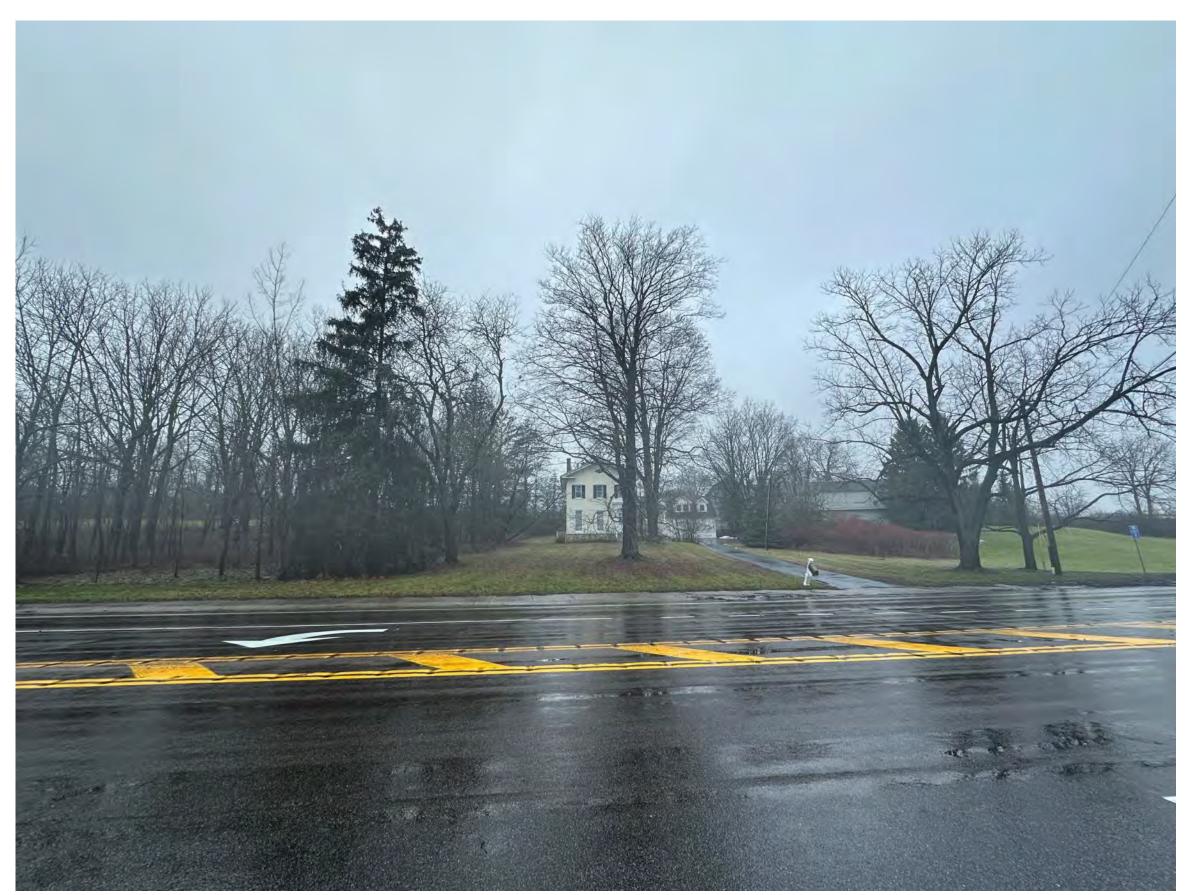
3 South Elevation











EXISTING



RENDERING



