

**Town of Pittsford Design Review & Historic Preservation Board  
AGENDA**

**September 12th, 2024**

*This agenda is subject to change.*

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, September 12, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

**HISTORIC PRESERVATION DISCUSSION**

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**OVERSIZED/COMMERCIAL ACCESSORY STRUCTURES**

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**165 French Road**

Applicant is requesting design review for a 240 square-foot pergola.

**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**20 Kerrygold Way**

Applicant is requesting design review to change a window into a door on the right side elevation.

**2185 West Jefferson Road**

Applicant is requesting design review for the addition of an approximately 224 square-foot addition off the rear of the home.

**17 East Park Road**

Applicant is requesting design review to add a covered entryway to the front of the home.

**44 Crestline Road**

Applicant is requesting design review to enclose the existing deck into a sunroom, add a entry/mudroom, covered deck & add a garage bay.

**RESIDENTIAL APPLICATIONS: NEW HOMES**

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**12 Bridleridge Farms**

Applicant is requesting design review for a 3,580 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

**COMMERCIAL APPLICATIONS: SIGNAGE**

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**3349 Monroe Avenue**

Applicant is requesting design review for signage for Dick's Going Going Gone.

**CERTIFICATES OF APPROPRIATENESS**

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**55 Mitchell Road**

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**321 Mendon Center Road**

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**PLANNING BOARD COMMENTARY**

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**Pittsford Oaks**

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

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*The next meeting is scheduled for Thursday, September 26, 2024, at 6PM.*

**Town of Pittsford Design Review & Historic Preservation Board**  
**MINUTES**  
**July 25, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, June 11, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Dave Wigg, Vice Chairman; Bonnie Salem; John Mitchell; Jim Vekasy

**ABSENT:** Dirk Schneider, Chairman; Kathleen Cristman; Paul Whitbeck;

**ALSO PRESENT:** Bill Zink, Building Inspector; Cathy Koshykar, Town Board Liaison

**ATTENDANCE:** There were 8 members of the public present.

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The Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6 PM.

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**HISTORIC PRESERVATION DISCUSSION**

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**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**28 Copper Woods**

*Applicant is requesting design review for the addition of a covered front entry.*

Tamara O'Shaughnessy, the homeowner, introduced the application. Mrs. O'Shaughnessy gave a brief overview of the project. Member Bonnie Salem asked if there were columns on the home already. Mrs. O'Shaughnessy said they were more of a decorative trim piece. Vice Chairman Dave Wigg asked if the roof would be metal and the homeowner confirmed. DRHPB Member Bonnie Salem asked if the flued columns might be too much along with the metal roof. The Board acknowledged that the elevation provided shows the house much simpler than it is.

DRHPB Vice Chairman Dave Wigg motioned to approve addition of a covered entry, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

**71 Framingham Lane**

*Applicant is requesting design review for approximately 224 square feet off the rear of the home.*

Richard McCarson, the homeowner, introduced the application. DRHPB Member Jim Vekasy asked if the slab was already there, the homeowner confirmed. DRHPB Member John Mitchell asked if the roof lines on the left and right elevation would match and the homeowner confirmed. John Mitchell asked the age of the home, the homeowner said he thought around 1978. John Mitchell stated the color may be tough to match with weathering.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of a 224 square foot addition off the rear of the home, as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

### **OVERSIZED ACCESSORY STRUCTURES**

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#### **33 Merryhill Lane**

Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

Nick Shotwell, the homeowner, introduced the application. DRHPB Member Jim Vekasy asked where this would be located and the homeowner indicated the approved location from the Zoning Board. DRHPB Vice Chairman Dave Wigg asked if this was a kit or to be built form scratch and the homeowner stated a contractor would be coming up with the plans.

DRHPB Member John Mitchell motioned to approve the addition of a 220 square foot shed with attached covered porch, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

#### **3 Fitzmot Glen**

*Applicant is requesting design review for a 1080 square foot detached garage.*

Tom and Natalie Nicosia, on behalf of Dennis Wilmot, introduced the application. DRHPB Member Bonnie Salem asked which elevation would face the house, Nicole stated that the North Elevation would face the house and the east elevation would face the street. DRHPB Vice Chairman Dave Wigg asked if the board and batten would be vinyl and Tom stated that it would be a rough cut hearty board.

DRHPB Vice Chariman Dave Wigg motioned to approve the construction of an approximately 1080 square feet detached garage, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

### **COMMERCIAL APPLICATIONS: SIGNAGE**

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#### **3349 Monroe Avenue**

*Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.*

Devin Ehly, of AGI introduced the application. DRHPB Vice Chairman Dave Wigg asked how the signs would be lit and Devin stated that they would be front lit.

DRHPB Member Bonnie Salem motioned to approve the construction of approximately 39.5 square feet of signage for Citizens Bank, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

### **07/11/2024 MEETING MINUTES REVIEW**

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The minutes of July 11th, 2024, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

**OTHER DISCUSSION**

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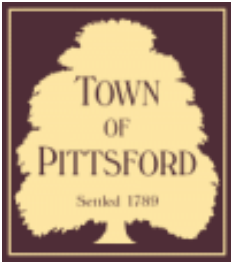
Design Review and Historic Preservation Board Vice Chairman Dave Wigg closed the meeting at 6:40 PM.

Respectfully submitted,

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Bill Zink  
*Building Inspector*

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING  
DEPARTMENT



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**RA24-000128**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 165 French Road ROCHESTER, NY 14618

**Tax ID Number:** 151.13-1-8

**Zoning District:** RN Residential Neighborhood

**Owner:** Crough, Meghan

**Applicant:** Crough, Meghan

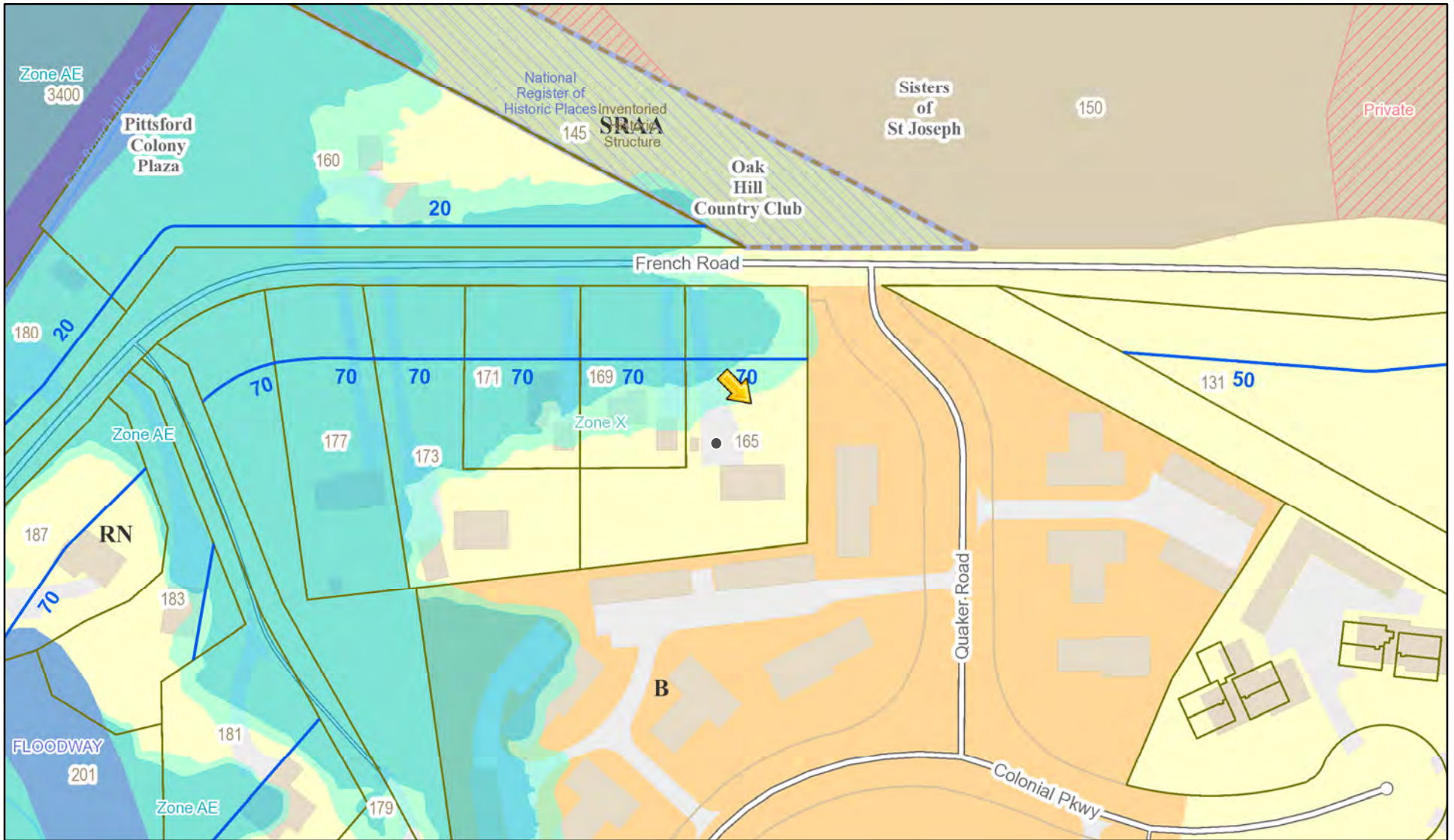
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

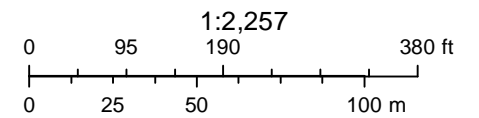
**Project Description:** Applicant is requesting design review for a 240 square foot pergola.

**Meeting Date:** August 22, 2024

# RN Residential Neighborhood Zoning



Printed August 7, 2024



Town of Pittsford GIS

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Thu Apr 25 2024

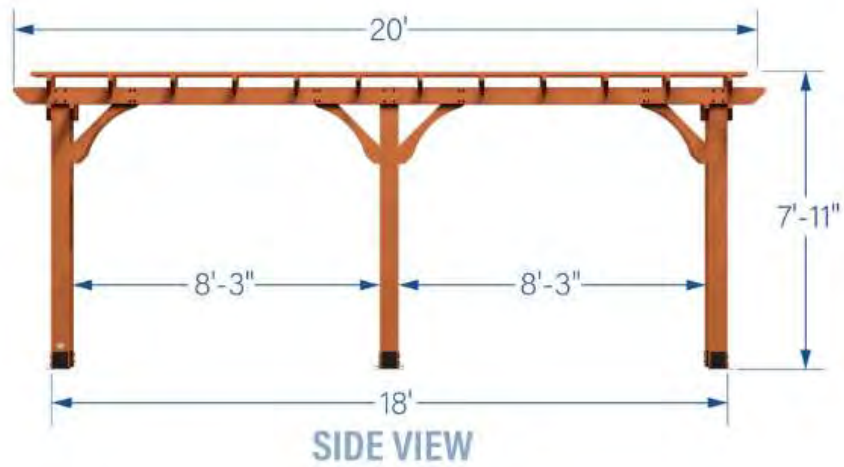
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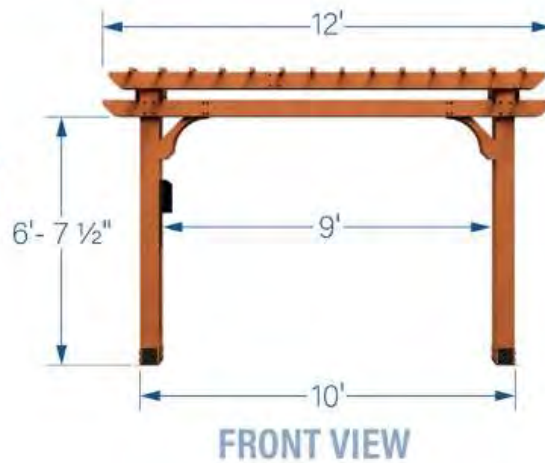
Nearmap

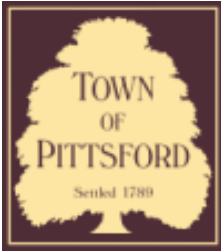






**20X12 BEAUMONT  
PERGOLA**





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000127**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 20 Kerrygold Way PITTSFORD, NY 14534

**Tax ID Number:** 163.02-5-40

**Zoning District:** PUD Planned Unit Development

**Owner:** Rubens, Jack

**Applicant:** Rubens, Jack

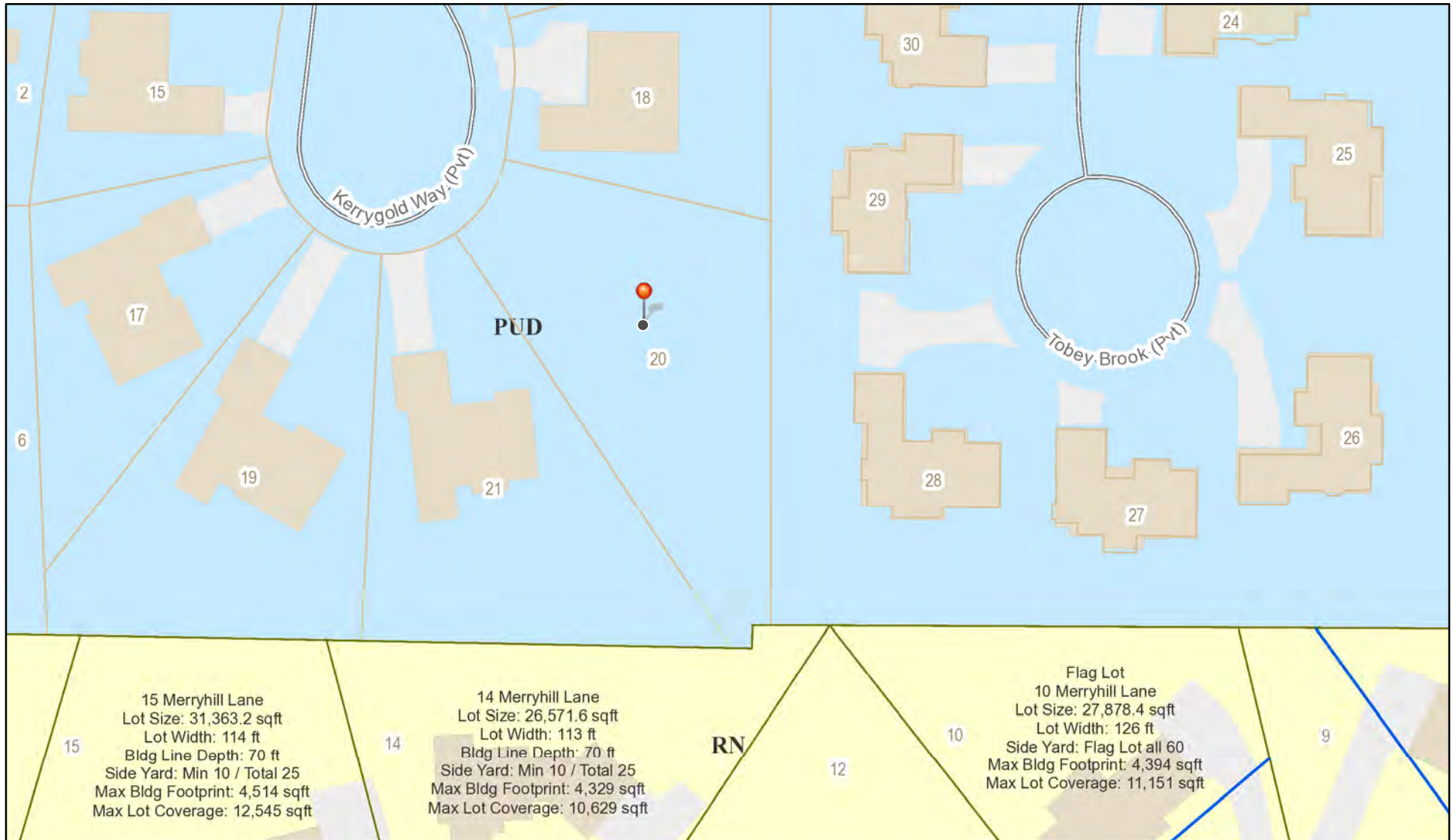
#### Application Type:

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| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
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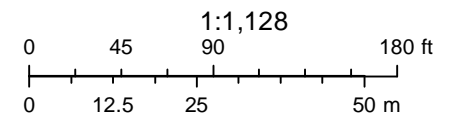
**Project Description:** Applicant is requesting design review to change a window into a door on the right side elevation.

**Meeting Date:** August 22, 2024

# RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

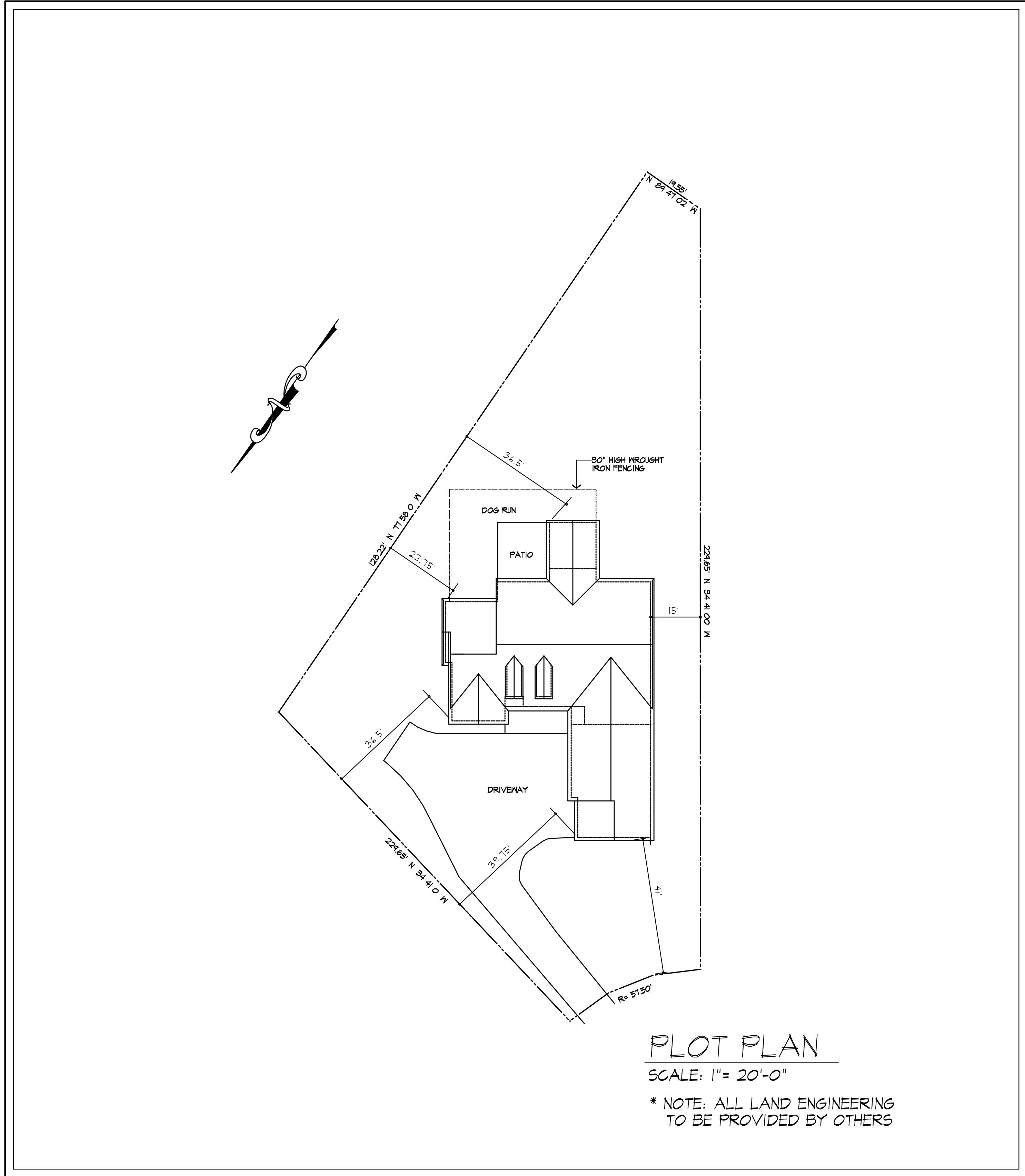
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# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SANDY GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
3500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-86. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)  
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R804.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



# LEBEAU RESIDENCE LOT 10 CLOVER ESTATES

# DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
5	1ST FLOOR PLAN
6	ROOF PLAN
7	TRUSS DIAGRAMS
8	BUILDING SECTIONS
9	WALL SECTIONS

### ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS  
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5


COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	44	44
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 2I 2I/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

### 2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1102.4.1.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.5
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.7.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.1 REQUIREMENTS.

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R802.1.1



## MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.  
LICENSED IN CO., MA., ME., NY., PA., SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.MorabitoArchitects.com

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09/21/2023

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**PROJECT:**  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

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**CLIENT:**  
M/M JIM LEBEAU

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**DRAWING:**  
TITLE PAGE

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<b>DRAWN:</b> MGM	<b>CHECKED:</b> FJM
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**DATE:** SEPTEMBER 2023

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**SCALE:** 1/4"=1'-0"

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**JOB NO.:** 23M494B

---

**SHEET:**

**1**

OF 9 SHEETS





**MORABITO ARCHITECTS**  
 PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
 LICENSED IN CO., MA, ME, NY, NY, PA, SC

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 Pittsford, NY 14534  
 (585) 264-1330  
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09/21/2023

**PROJECT:**  
 LOT 10 CLOVER ESTATES  
 LEBEAU RESIDENCE

**CLIENT:**  
 M/M JIM LEBEAU

**DRAWING:**  
 FRONT / LEFT SIDE ELEVATIONS

**DRAWN:** MSM  
**CHECKED:** PJM

**DATE:** SEPTEMBER 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M494B

**SHEET:**

**2**  
 OF 9 SHEETS

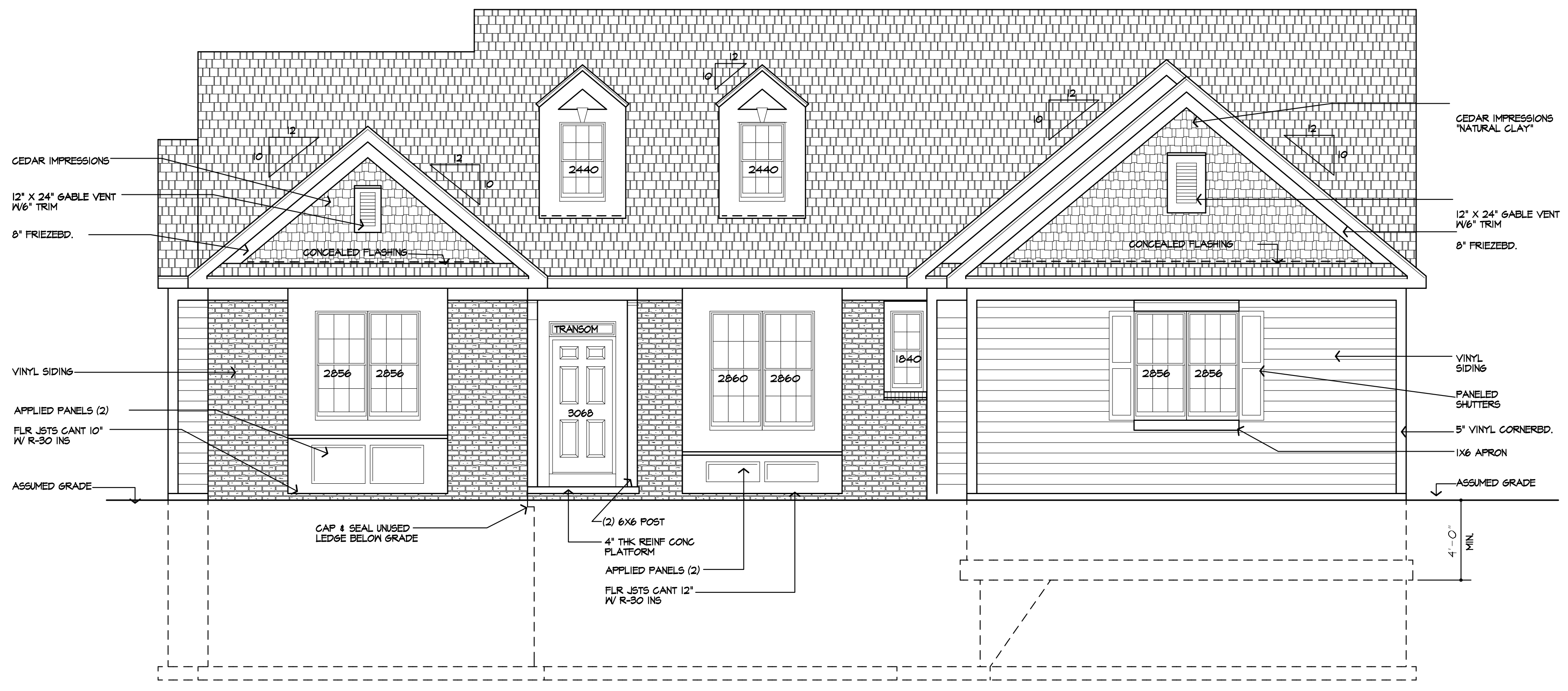


**UNLESS OTHERWISE NOTED**

- ROOFING: 30 YEAR ROOF SHINGLES
- ROOF VENTING: "SHINGLEVENT" RIDGE VENT
- FASCIAS: 8" ALUMN
- FRIEZEBDS: 8" VINYL
- CORNERBDS: 5" VINYL
- CASINGS: 6" VINYL
- SIDING: HORIZONTAL AS SELECTED
- OVERHANGS: 12"
- RAKE OVERHANGS: 12"
- MIN FTG. DEPTH: 4'-0"
- CLG HT. 1ST FLOOR: 4'-1 1/8"
- WINDOW UNIT HT 1ST FLOOR: 8'-0"
- WINDOW MFR: ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)

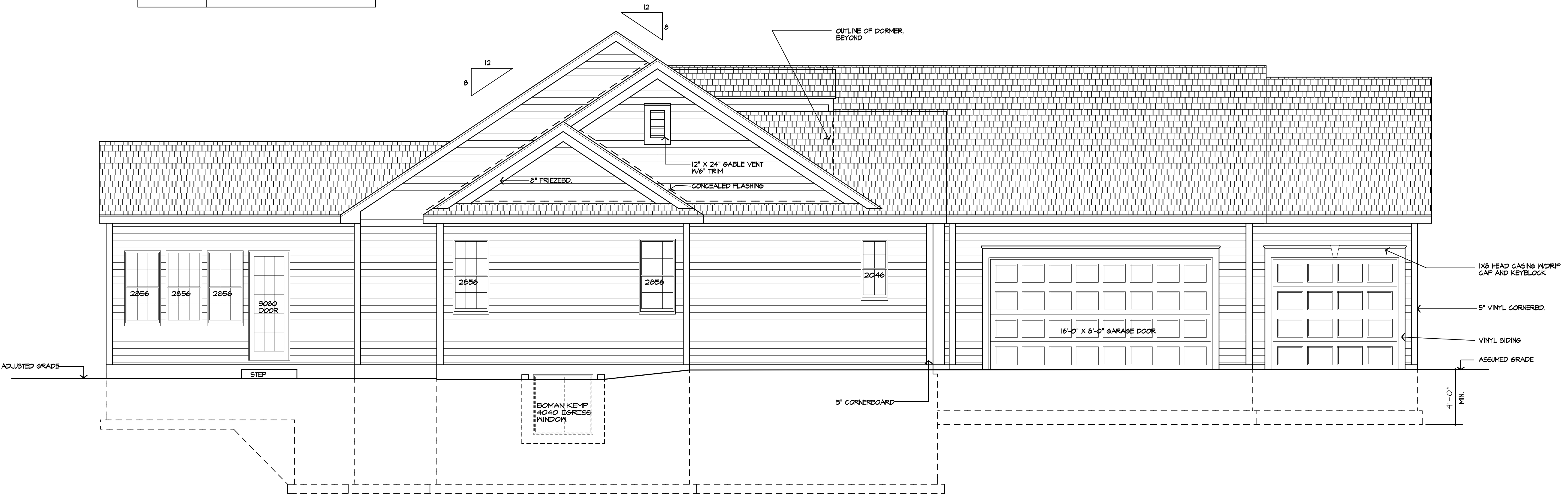
**EXTERIOR COLOR SCHEDULE**

ROOFING	ELK 'WEATHERWOOD'
SIDING	VYTEC EMINENCE COLOR: TBD
SHINGLES	'CEDAR IMPRESSIONS' PERFECTION SHINGLES, COLOR: TBD
TRIM	WHITE
SHUTTERS	AS SELECTED
BRICK	CHEROKEE SANFORD BRICK #11 SILAS LUCAS, OR STONE (SEE BELOW)
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040
FRONT DOOR	THERMA-TRU FIBERGLASS + SL.
HARDWARE	SCHLAGE # PLYMOUTH HANDSET



**FRONT ELEVATION**

AREA: 2622 S.F.



**LEFT SIDE ELEVATION**



# Proposed



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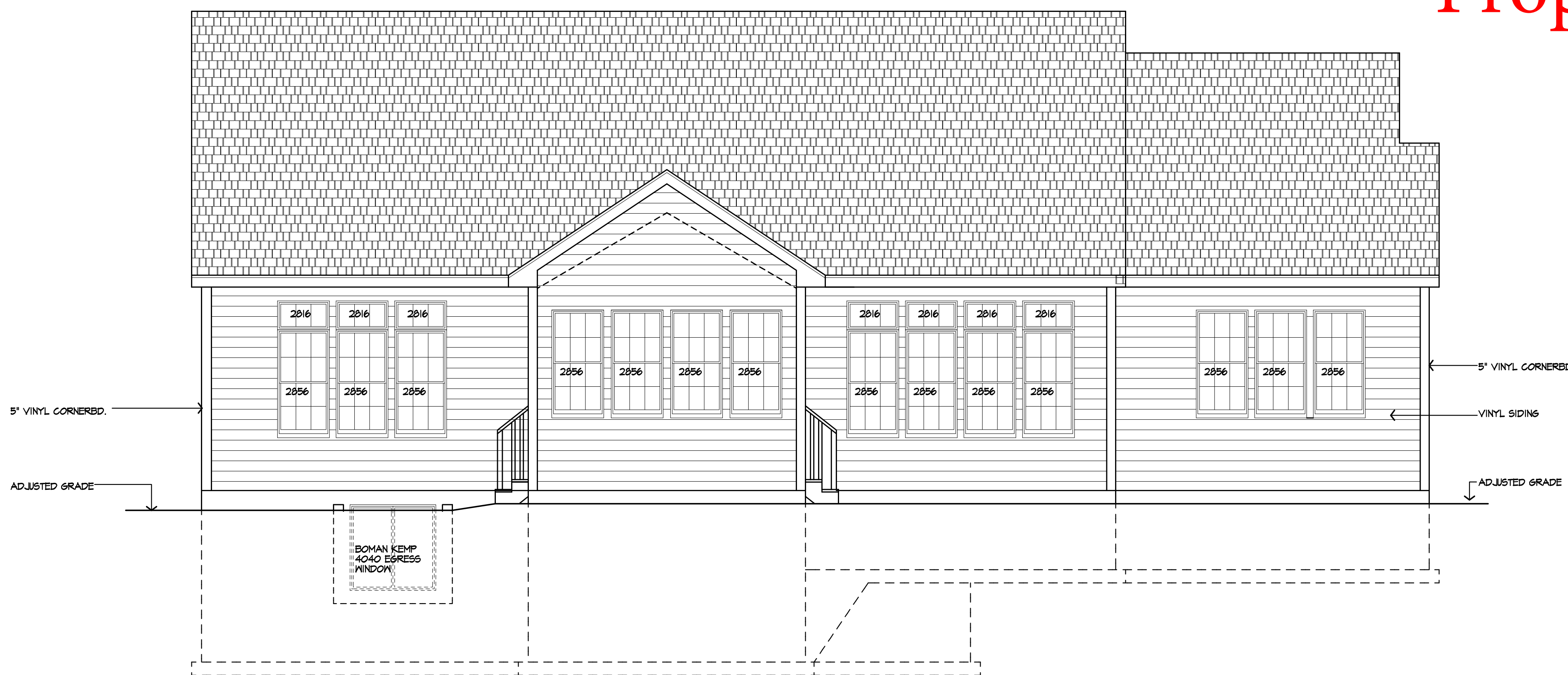
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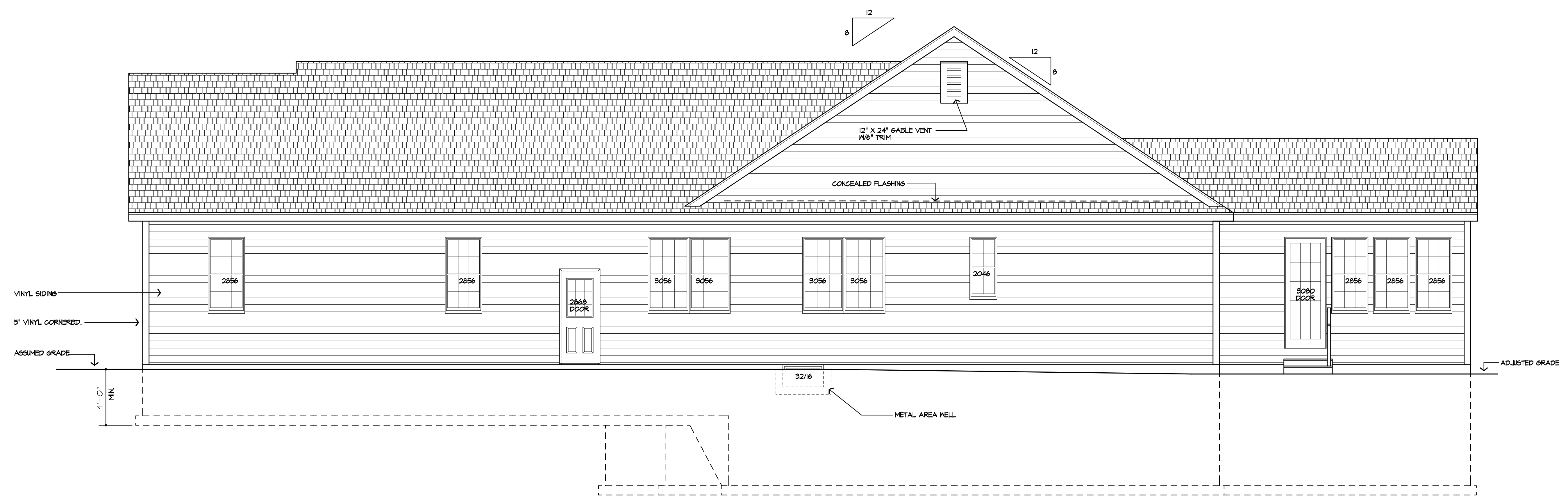
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ROOF VENTING:	"SHINGLEVENT" RIDGE VENT
FASCIAS:	8" ALUMN
FRIEZEBDS:	8" VINYL
CORNERBDS:	5" VINYL
CASINGS:	6" VINYL
SIDING:	HORIZONTAL AS SELECTED
OVERHANGS:	12"
RAKE OVERHANGS:	12"
MIN FTG. DEPTH:	4'-0"
CLS HT:	
1ST FLOOR:	9'-1 1/8"
WINDOW UNIT HT:	
1ST FLOOR:	8'-0"
WINDOW MFR:	ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)

EXTERIOR COLOR SCHEDULE

ROOFING:	ELK "WEATHERWOOD"
SIDING:	VYTEG EMINENCE COLOR: TBD
SHINGLES:	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD
TRIM:	WHITE
SHUTTERS:	AS SELECTED
BRICK:	CHEROKEE SANFORD BRICK #111 SILAS LUCAS, OR STONE (SEE BELOW)
STONE:	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040
FRONT DOOR:	THERMA-TRU FIBERGLASS + S.L.
HARDWARE:	SCHLAGE # PLYMOUTH HANDSET



REAR ELEVATION



RIGHT SIDE ELEVATION

REVISED 7/31/24 P.J.M.A  
REVISED 2/26/24  
10/31/2023  
10/24/2023 - REV. PLOT PLAN  
04/21/2023



PROJECT:  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

CLIENT:  
M/M JIM LEBEAU

DRAWING:  
REAR / RIGHT SIDE ELEVATIONS

DRAWN:	CHECKED:
MM	PJM

DATE: SEPTEMBER 2023

SCALE: 1/4"=1'-0"

JOB NO.: 23M4345

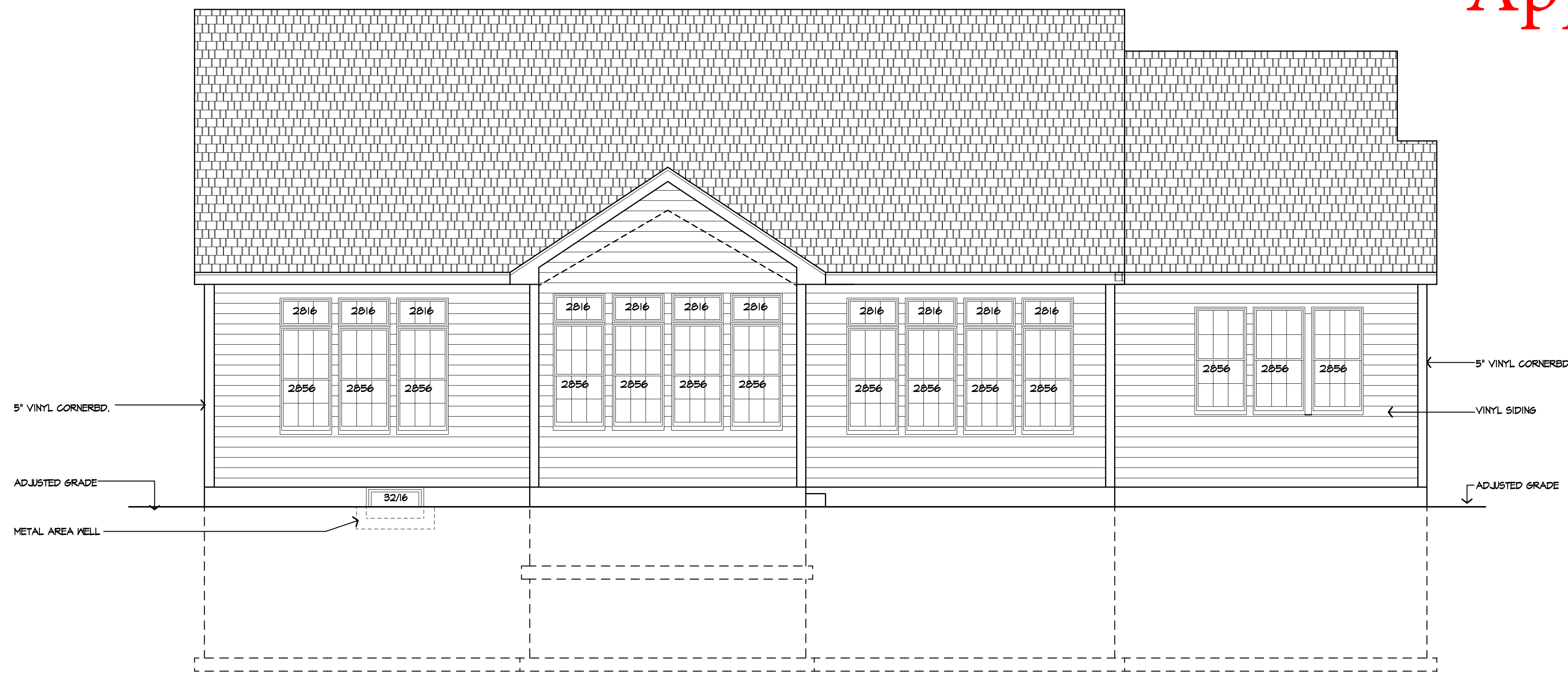
SHEET:

**3**

OF 9 SHEETS



# Approved



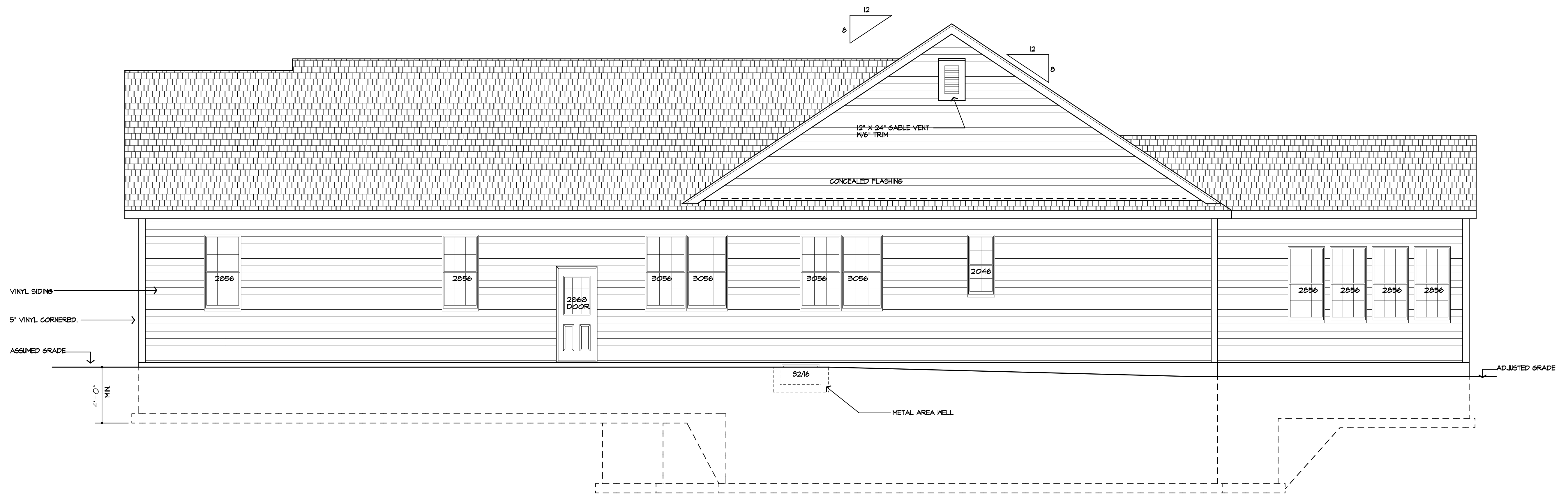
REAR ELEVATION

UNLESS OTHERWISE NOTED

ROOFING:	30 YEAR ROOF SHINGLES
ROOF VENTING:	"SHINGLEVENT" RIDGE VENT
FASCIAS:	8" ALUMN
FRIEZEBDS:	8" VINYL
CORNERBDS:	5" VINYL
CASINGS:	6" VINYL
SIDING:	HORIZONTAL AS SELECTED
OVERHANGS:	12"
RAKE OVERHANGS:	12"
MIN FTG. DEPTH:	4'-0"
CLG HT:	
1ST FLOOR:	9'-1 1/8"
WINDOW UNIT HT:	
1ST FLOOR:	8'-0"
WINDOW MFR:	ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)

EXTERIOR COLOR SCHEDULE

ROOFING	ELK "WEATHERWOOD"
SIDING	VYTEC EMINENCE COLOR: TBD
SHINGLES	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD
TRIM	WHITE
SHUTTERS	AS SELECTED
BRICK	CHEROKEE SANFORD BRICK #11 SILAS LUCAS, OR STONE (SEE BELOW)
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE GS7-2040
FRONT DOOR	THERMA-TRU FIBERGLASS + SL.
HARDWARE	SCHLAGE # PLYMOUTH HANDSET



RIGHT SIDE ELEVATION



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---

09/21/2023

---

**PROJECT:**  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

---

**CLIENT:**  
MM JIM LEBEAU

---

**DRAWING:**  
REAR / RIGHT SIDE ELEVATIONS

---

<b>DRAWN:</b> MM	<b>CHECKED:</b> FJM
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**DATE:** SEPTEMBER 2023

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**SCALE:** 1/4"=1'-0"

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**JOB NO.:** 23M494B

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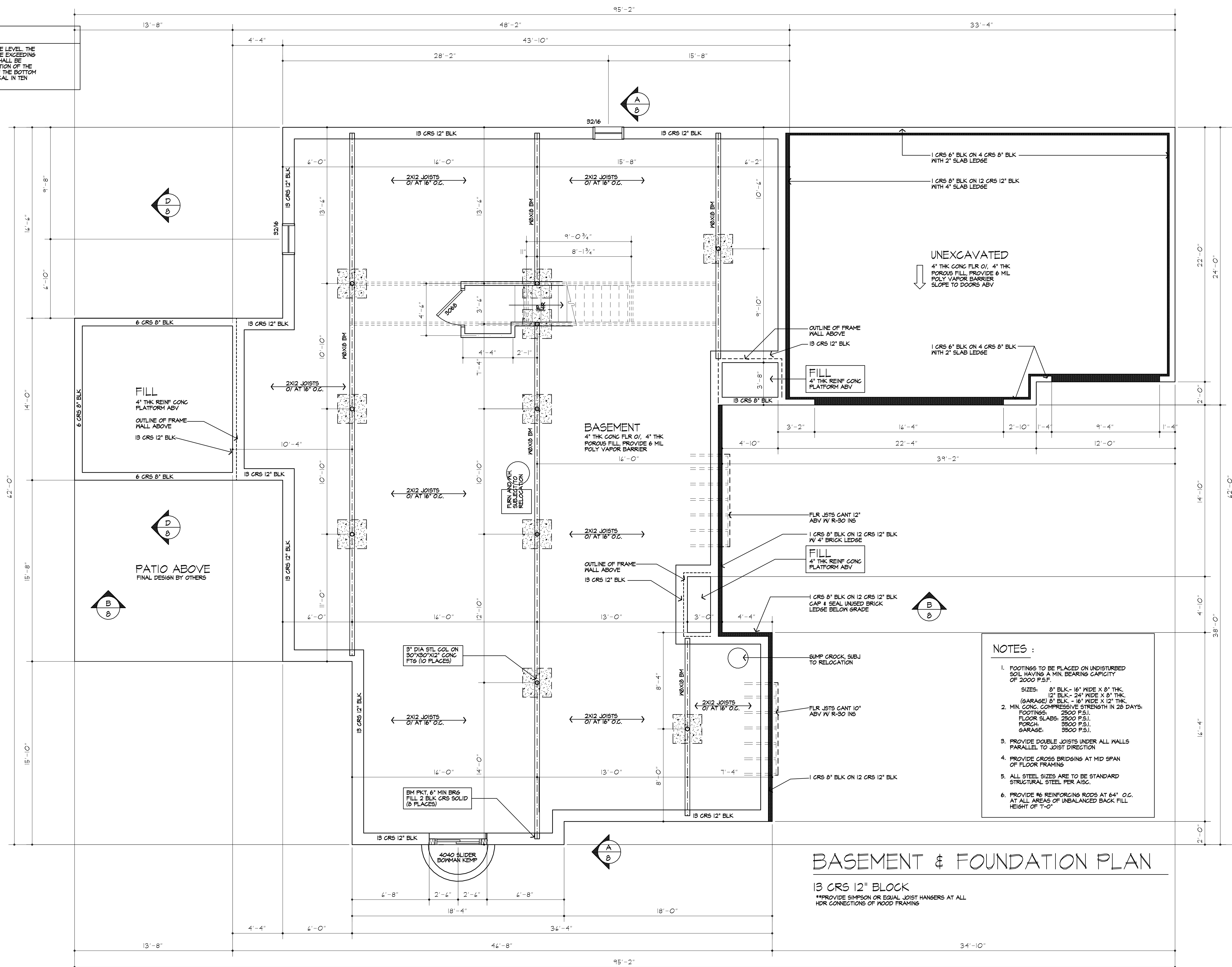
**SHEET:**

3

OF 9 SHEETS



**STEPPED FOOTING NOTE;**  
 R402.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)



- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.  
 SIZES: 8" BLK - 16" WIDE X 8" THK.  
 12" BLK - 24" WIDE X 8" THK.  
 (GARAGE) 8" BLK - 16" WIDE X 12" THK.
  - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:  
 FOOTINGS: 2500 P.S.I.  
 FLOOR SLABS: 2500 P.S.I.  
 PORCH: 3500 P.S.I.  
 GARAGE: 3500 P.S.I.
  - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
  - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
  - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
  - PROVIDE #6 REINFORCING RODS AT 64" O.C. AT ALL AREAS OF UNBALANCED BACK FILL HEIGHT OF 7'-0"

**BASEMENT & FOUNDATION PLAN**

13 CRS 12" BLOCK  
 \*\*PROVIDE SIMPSON OR EQUAL JOIST HANGERS AT ALL HDR CONNECTIONS OF WOOD FRAMING



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09/21/2023

**PROJECT:**  
 LOT 10 CLOVER ESTATES  
 LEBEAU RESIDENCE

**CLIENT:**  
 M/M JIM LEBEAU

**DRAWING:**  
 BASEMENT / FOUNDATION PLAN

**DRAWN:** M/M  
**CHECKED:** P/JM

**DATE:** SEPTEMBER 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4945

**SHEET:**

**4**  
 OF 9 SHEETS



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09/21/2023

**PROJECT:**  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

**CLIENT:**  
MM JIM LEBEAU

**DRAWING:**  
1ST FLOOR PLAN

**DRAWN:** MCM  
**CHECKED:** FJM

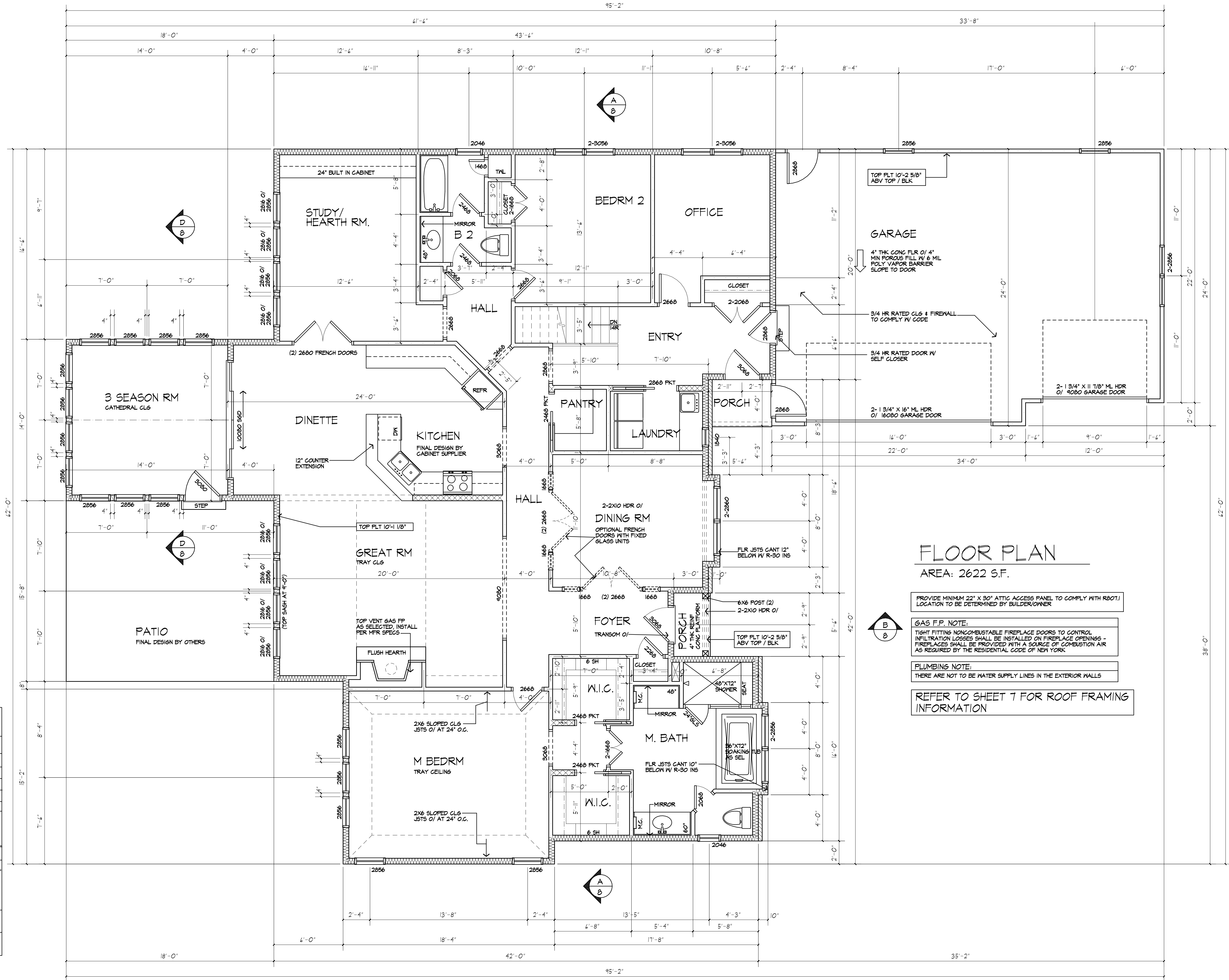
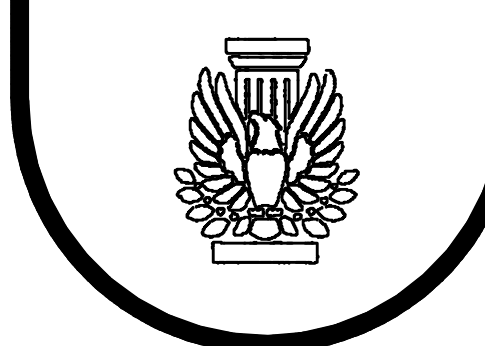
**DATE:** SEPTEMBER 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4945

**SHEET:**

**5**  
OF 9 SHEETS



**FLOOR PLAN**  
AREA: 2622 S.F.

- PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R207.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER
- GAS F.P. NOTE:**  
TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.
- PLUMBING NOTE:**  
THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS
- REFER TO SHEET 7 FOR ROOF FRAMING INFORMATION

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

**NOTE:** PROVIDE (2) 1/2" PLY. WD. GUSSETS - 2X6 WALL  
PROVIDE (1) 1/2" PLY. WD. GUSSETS - 2X4 WALL  
GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

	2X6 STUDS AT 16' O.C. W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP PLTS (INTERIOR WALL)
	2X6 STUDS AT 16' O.C. (INTERIOR WALL)		2X4 STUDS @ 16' O.C.
	PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'0"		

CUSTOM WINDOW SIZES ARE TO BE VERIFIED BY FIELD MEASUREMENTS.

USE SIMPSON OR EQUAL METAL HANSERS AT ALL HDR CONNECTIONS



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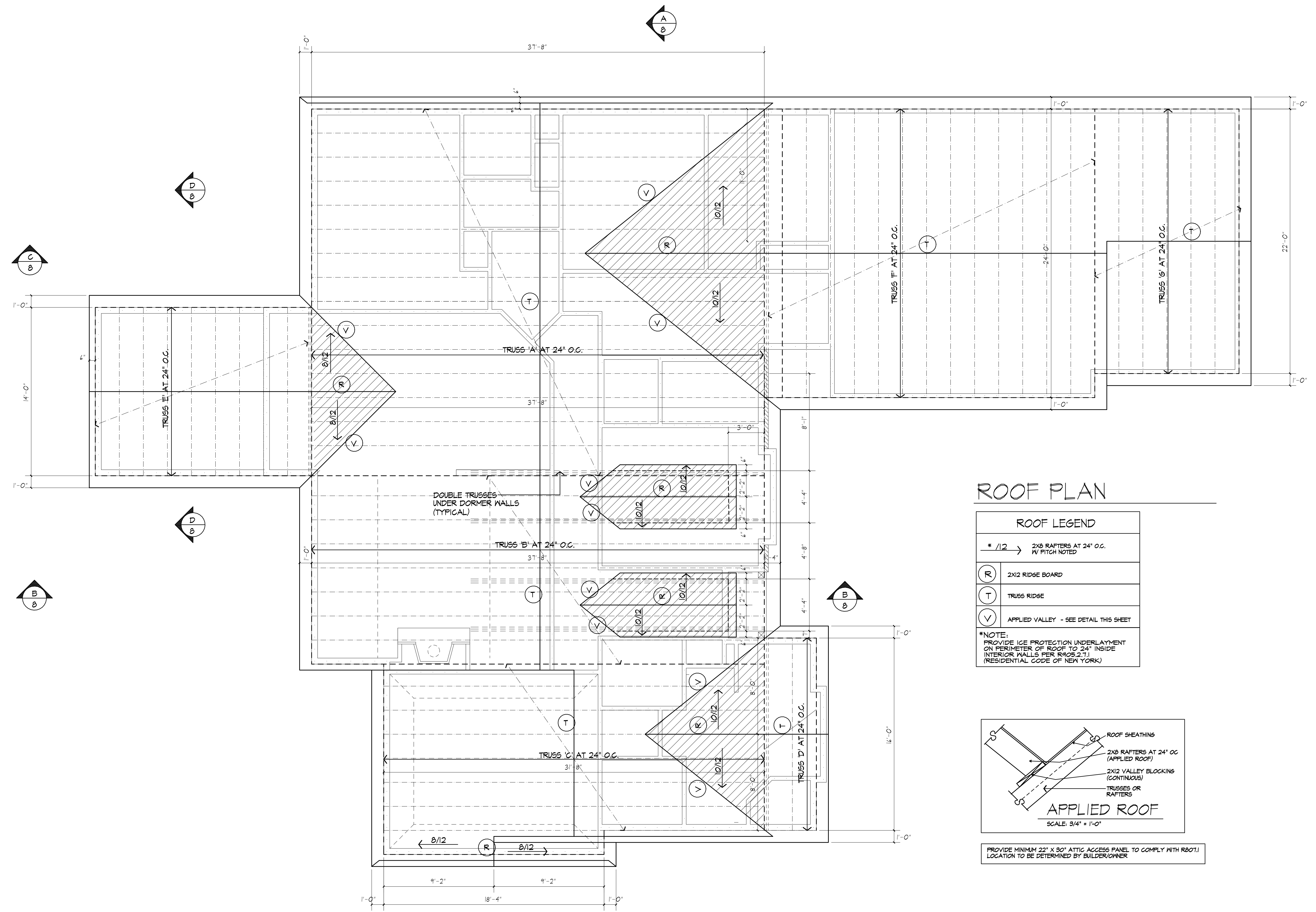
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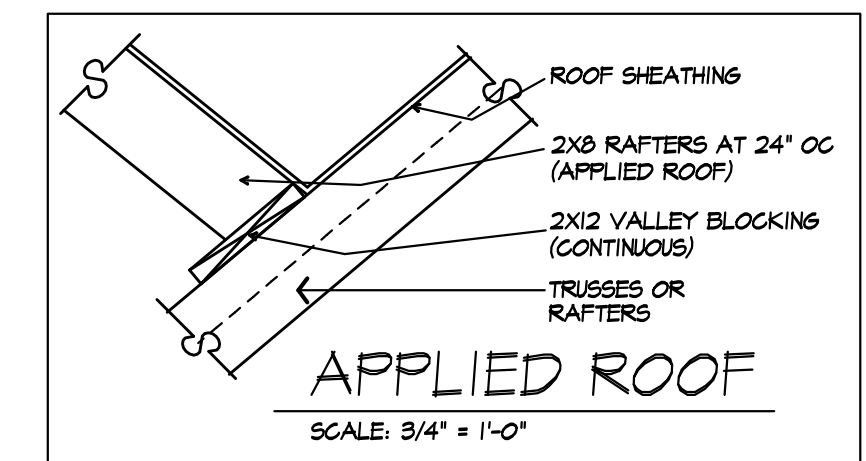
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**ROOF PLAN**

ROOF LEGEND	
* /12	2x8 RAFTERS AT 24" O.C. IN FITCH NOTED
(R)	2x12 RIDGE BOARD
(T)	TRUSS RIDGE
(V)	APPLIED VALLEY - SEE DETAIL THIS SHEET

\*NOTE:  
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.1 (RESIDENTIAL CODE OF NEW YORK)



PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R801.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER

09/21/2023

PROJECT:  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

CLIENT:  
MM JIM LEBEAU

DRAWING:  
ROOF PLAN

DRAWN: MCM  
CHECKED: FJM

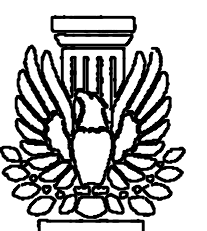
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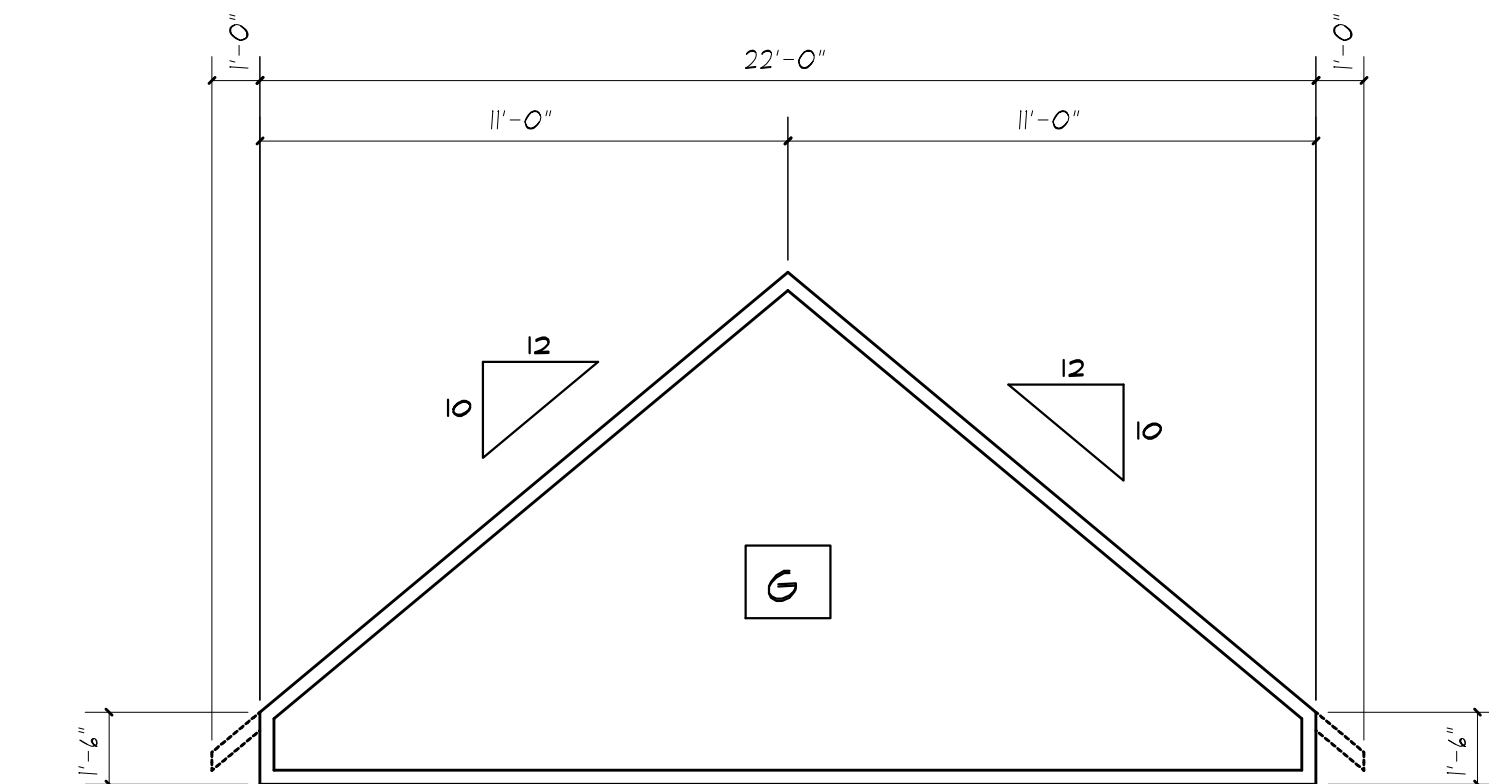
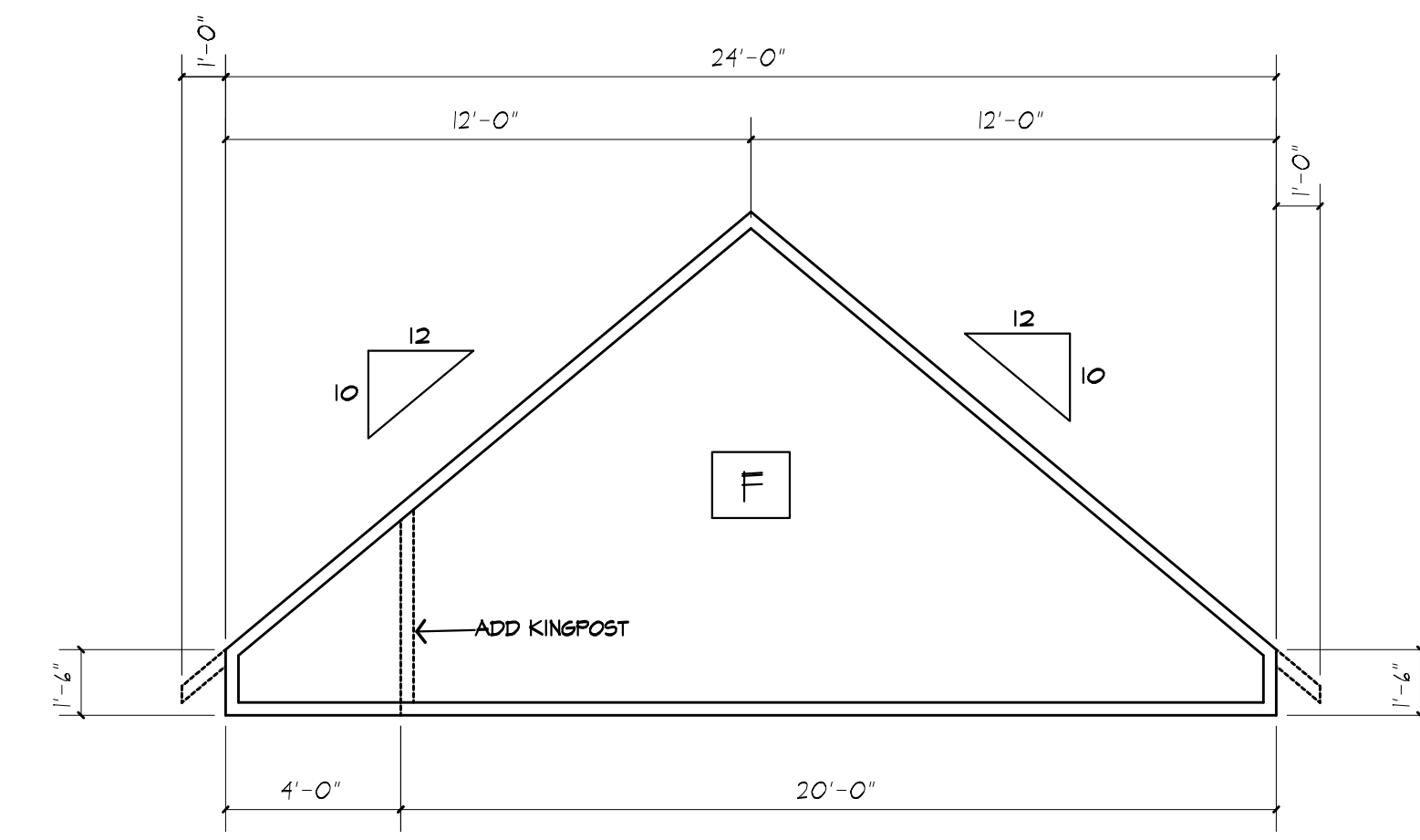
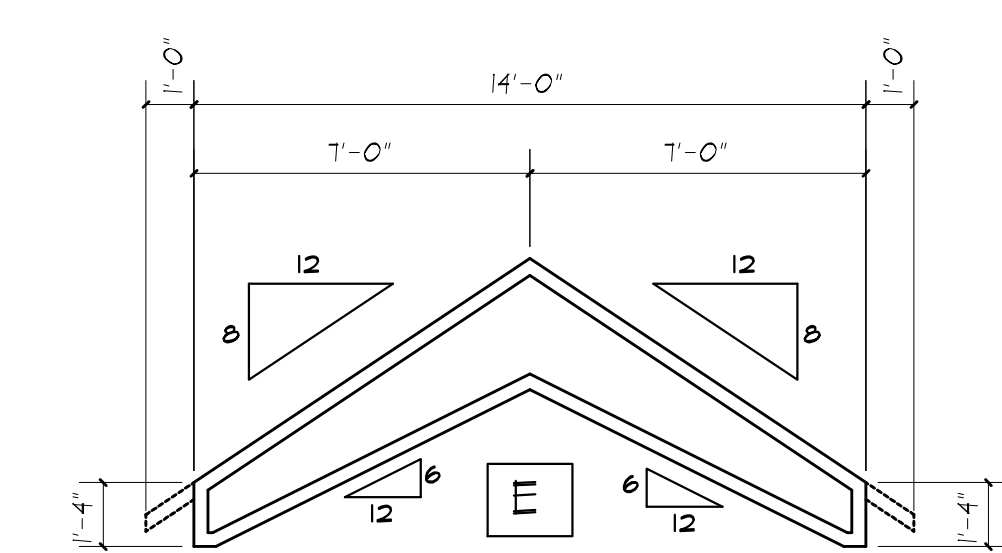
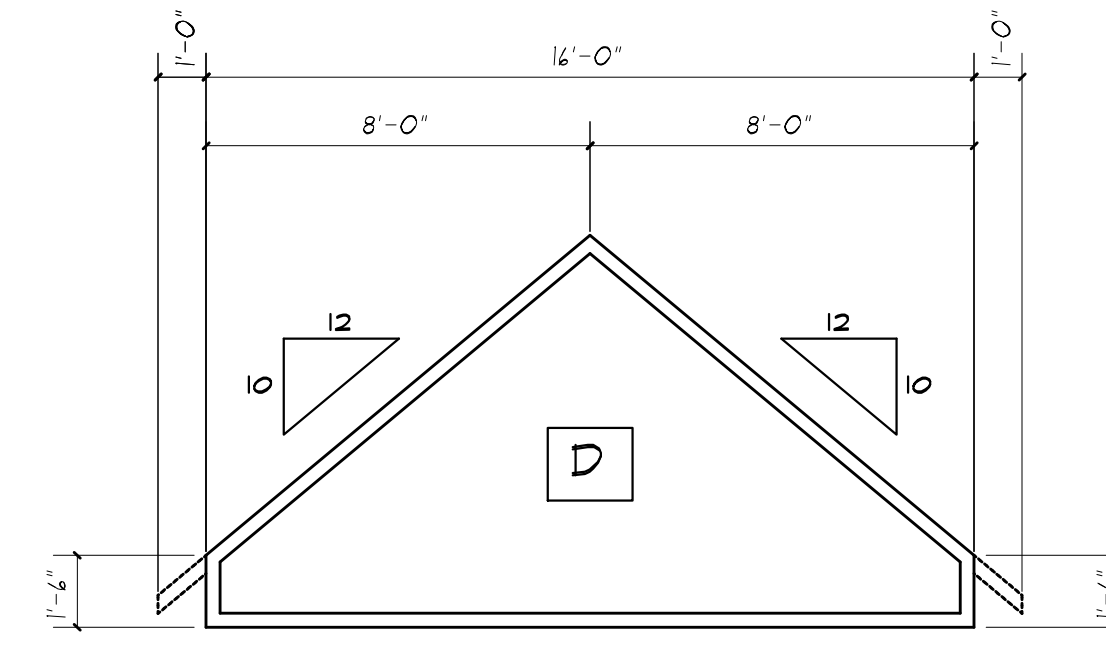
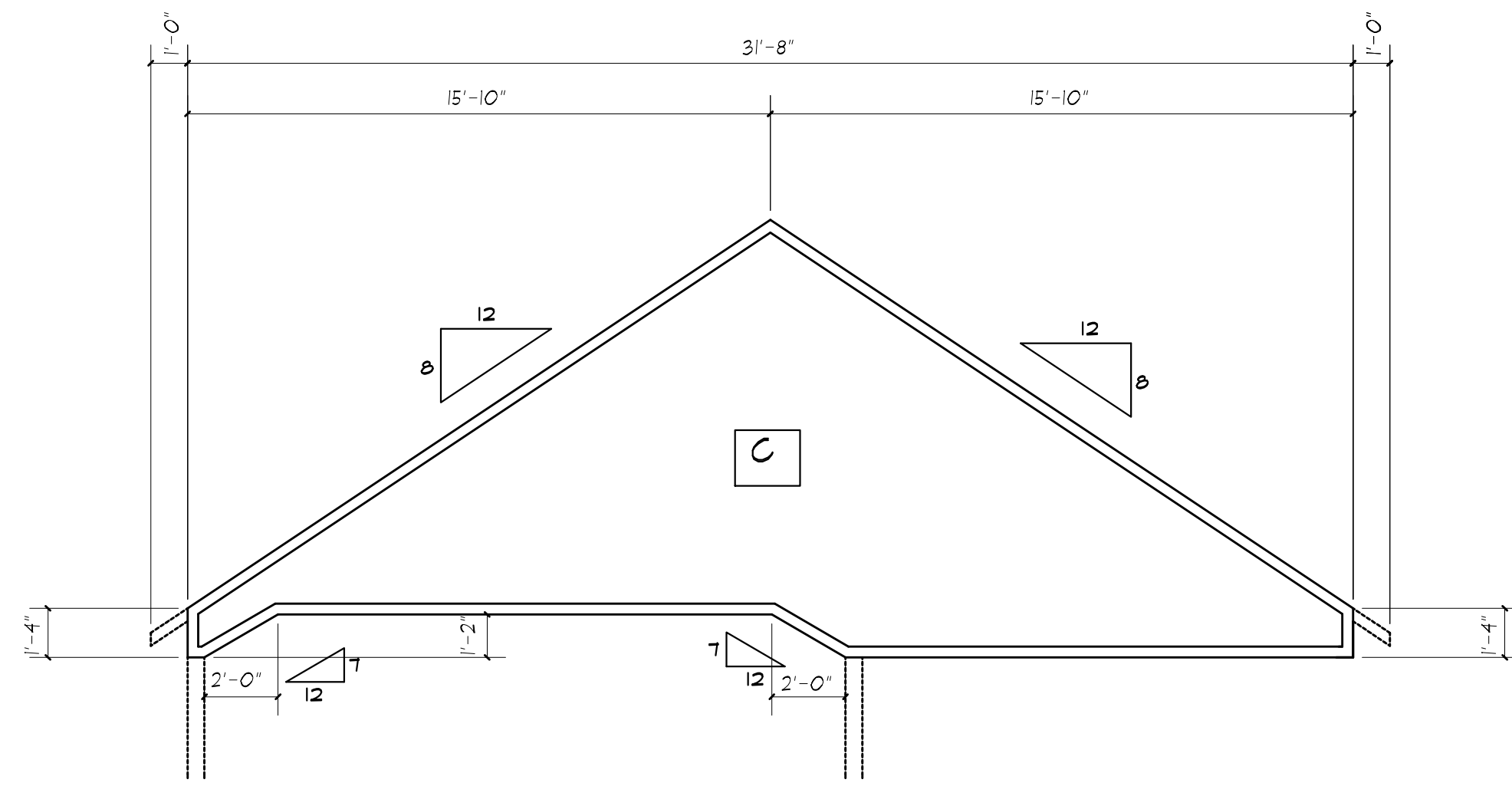
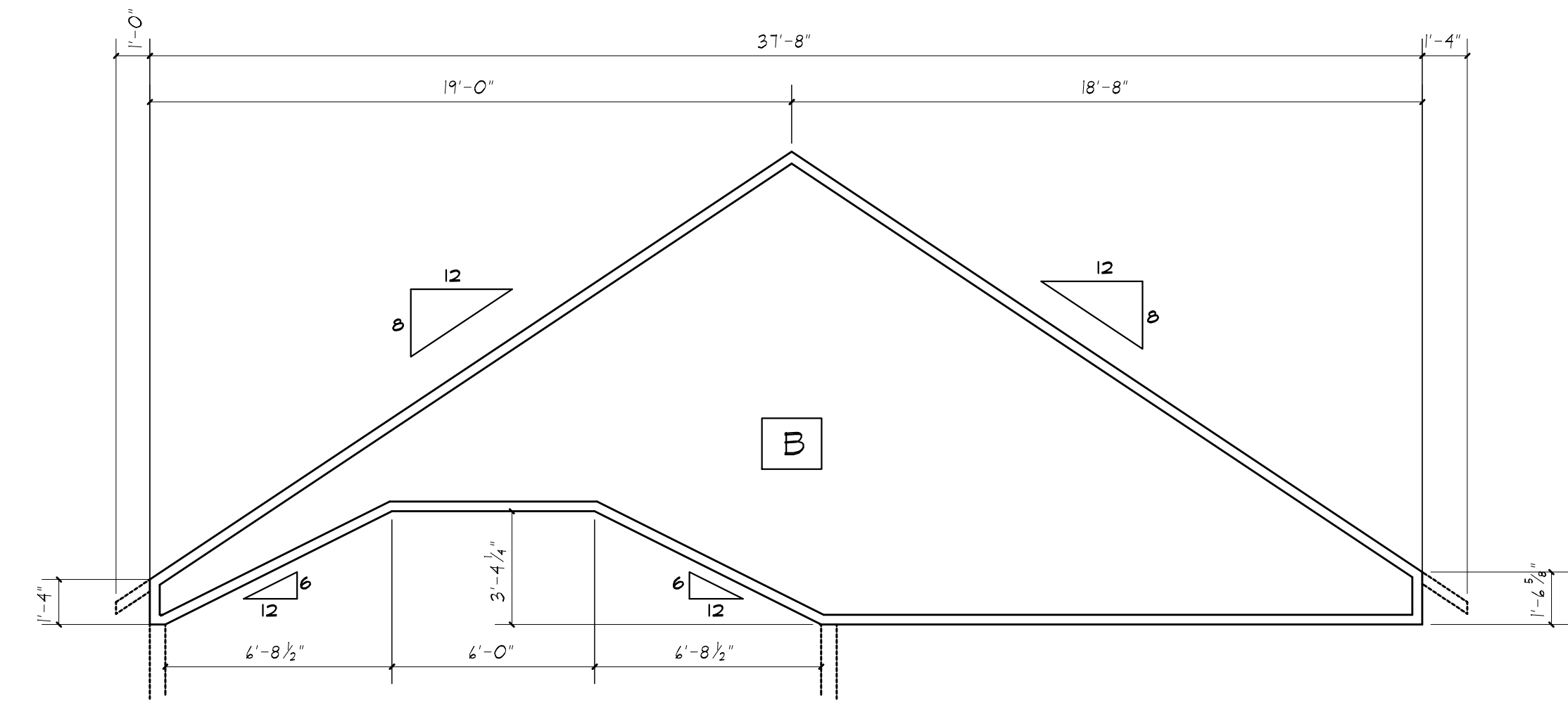
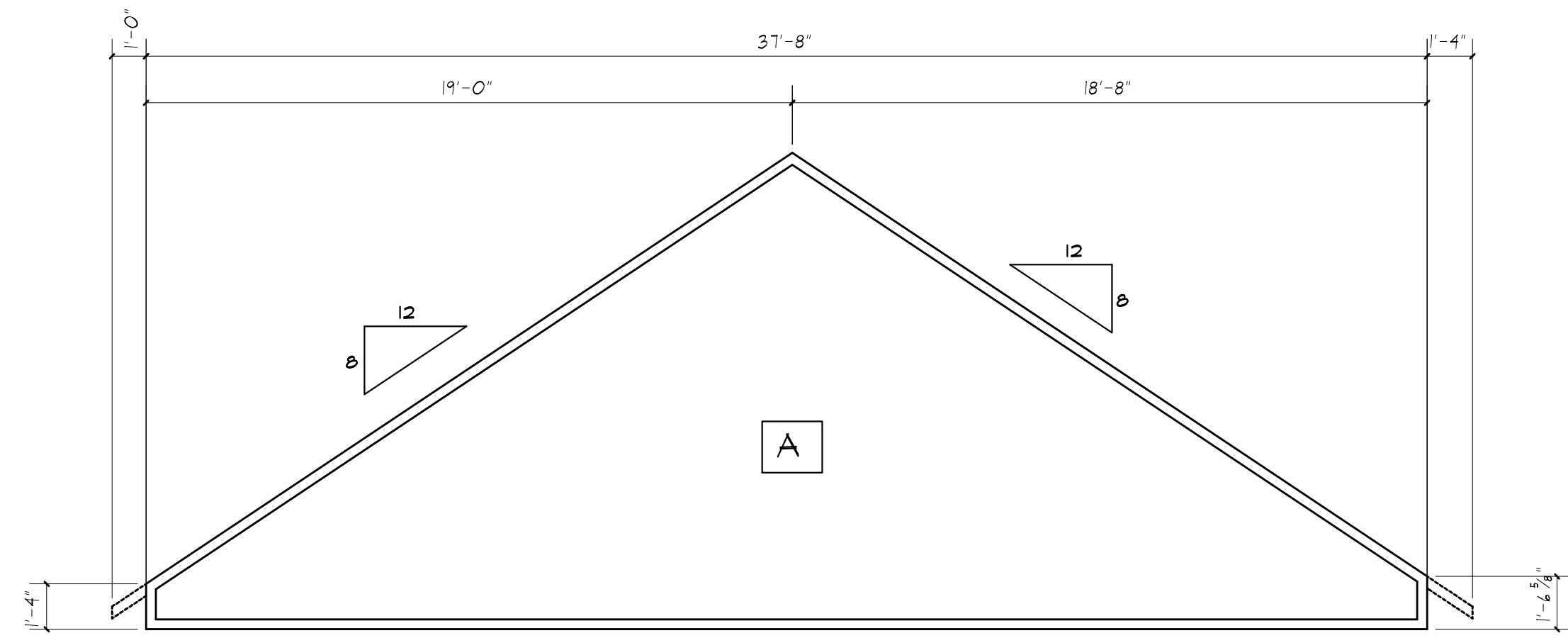
SCALE: 1/4" = 1'-0"

JOB NO.: 23M494B

SHEET:

**6**  
OF 9 SHEETS





**TRUSS DIAGRAMS**

FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION.



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09/21/2023

**PROJECT:**  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

**CLIENT:**  
M/M JIM LEBEAU

**DRAWING:**  
TRUSS DIAGRAMS

<b>DRAWN:</b> M/M	<b>CHECKED:</b> PJM
----------------------	------------------------

**DATE:** SEPTEMBER 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M494B

**SHEET:**

**7**

OF 9 SHEETS





**MORABITO ARCHITECTS**

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
LICENSED IN CO., MA, ME, NY, NY, PA, SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.MorabitoArchitects.com

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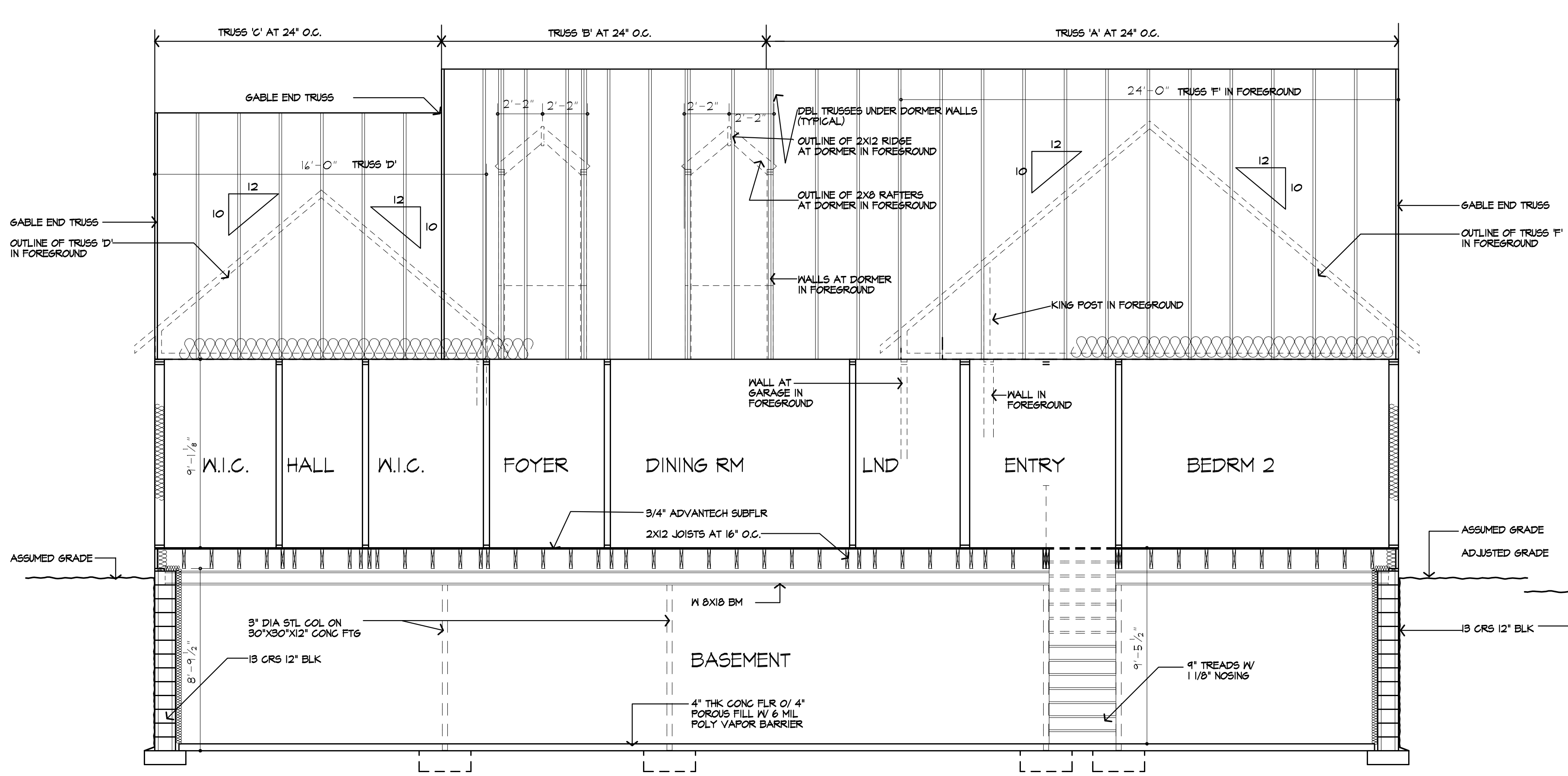
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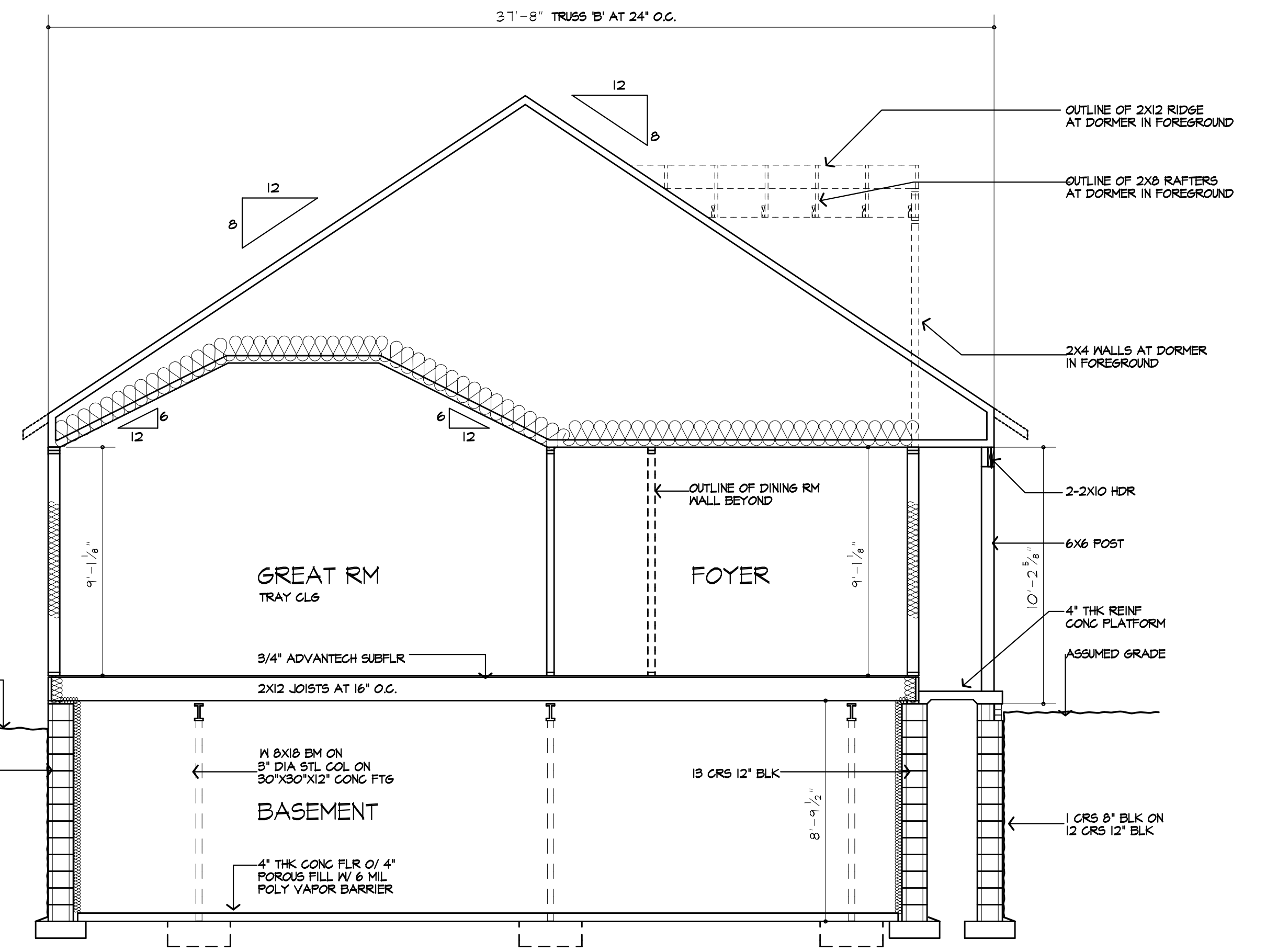
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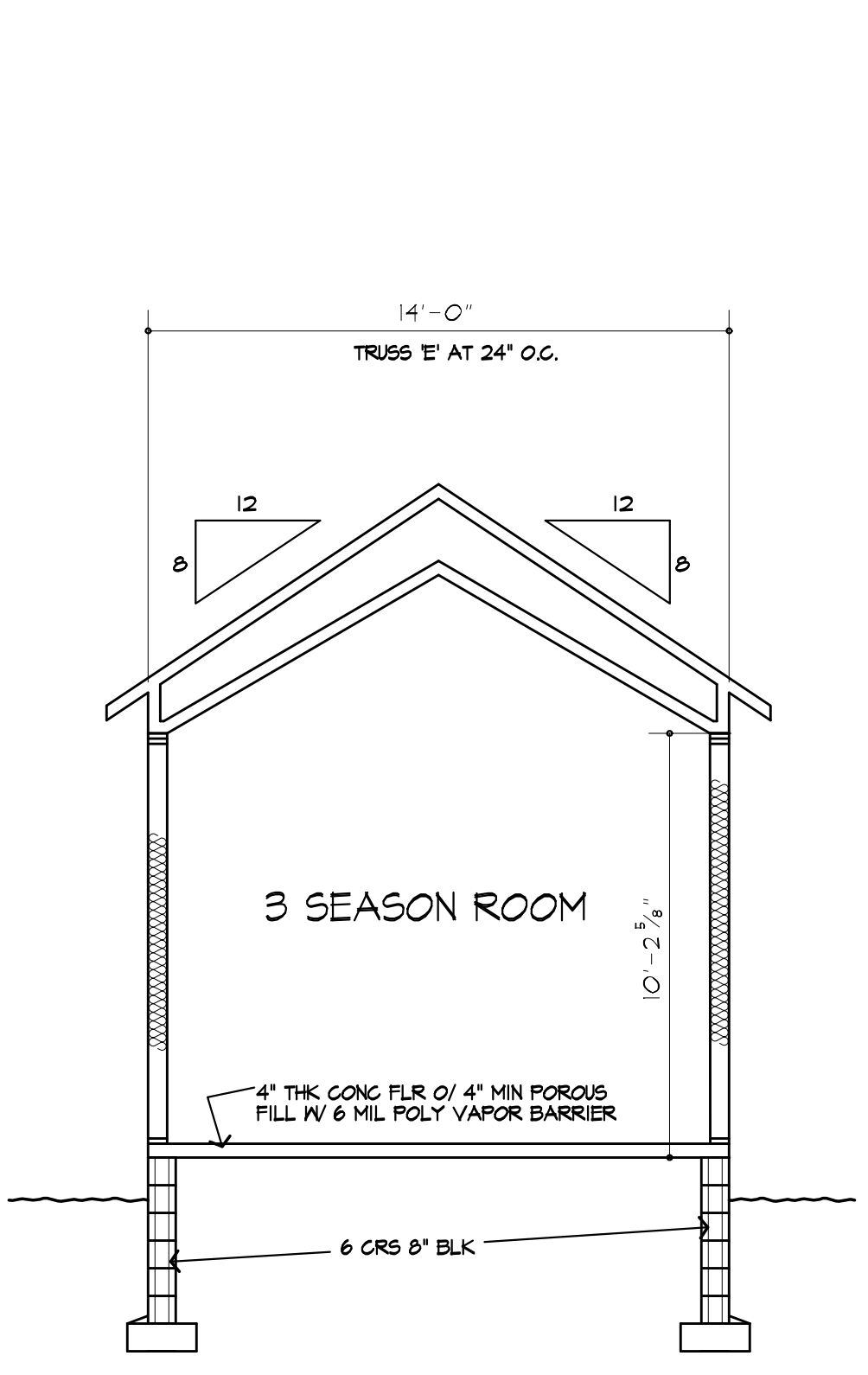
COPYRIGHT 2003  
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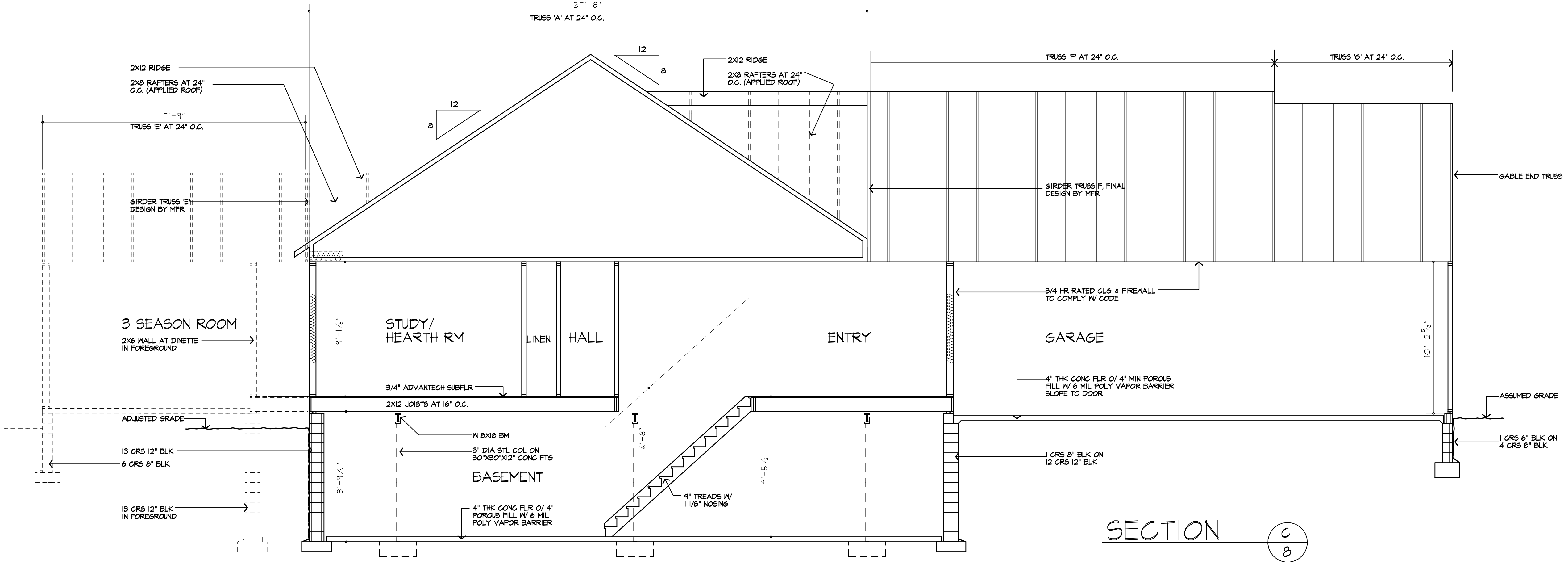
SECTION A



SECTION B



SECTION D



SECTION C

09/21/2023

**PROJECT:**  
LOT 10 CLOVER ESTATES  
LEBEAU RESIDENCE

**CLIENT:**  
M/M JIM LEBEAU

**DRAWING:**  
BUILDING SECTIONS

**DRAWN:** M/M  
**CHECKED:** FJM

**DATE:** SEPTEMBER 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M494B

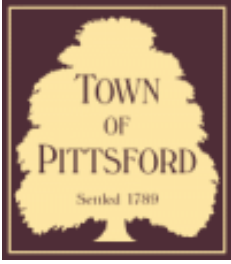
**SHEET:**

**8**  
OF 9 SHEETS









# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B24-000098**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 2185 Jefferson Road PITTSFORD, NY 14534

**Tax ID Number:** 163.02-1-52

**Zoning District:** RN Residential Neighborhood

**Owner:** Greenbaum, Robert F

**Applicant:** Ameribuilt Construction

### Application Type:

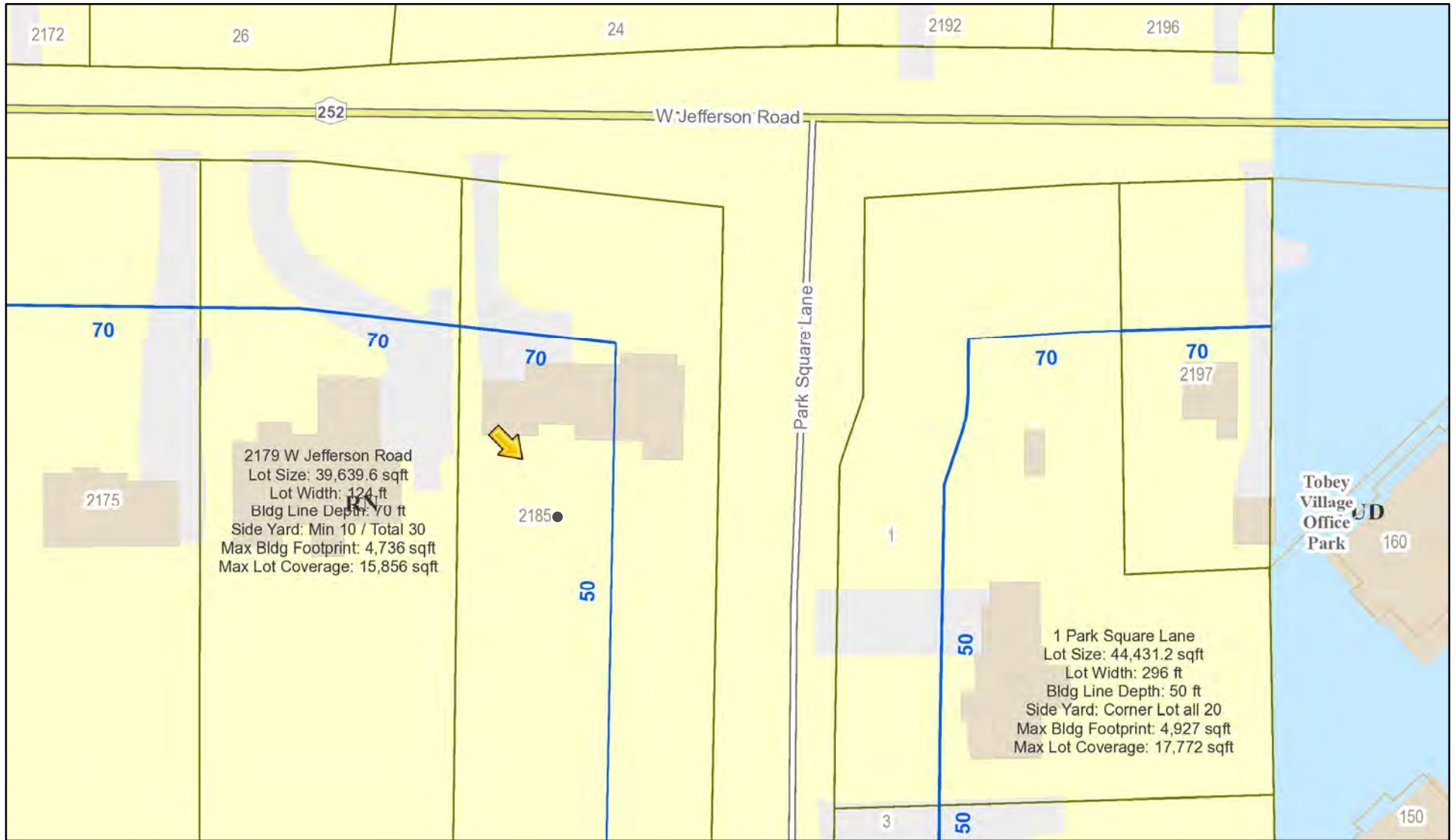
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of an approximately 224 square-foot addition off the rear of the home.

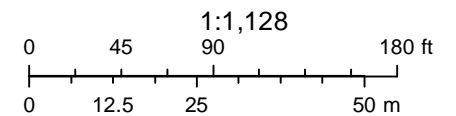
**Meeting Date:** August 22, 2024



# RN Residential Neighborhood Zoning

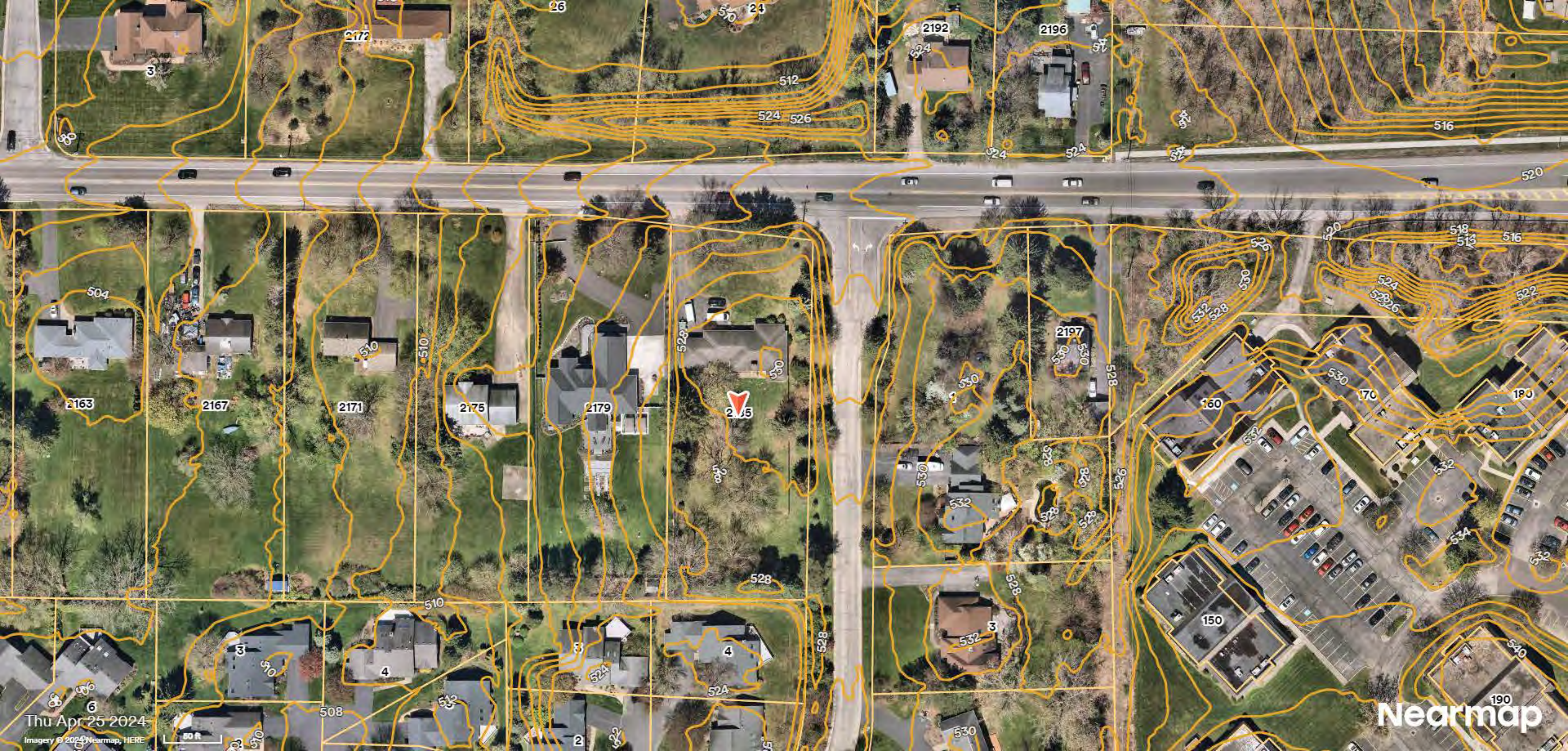


Printed August 6, 2024



Town of Pittsford GIS

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Thu Apr 25 2024

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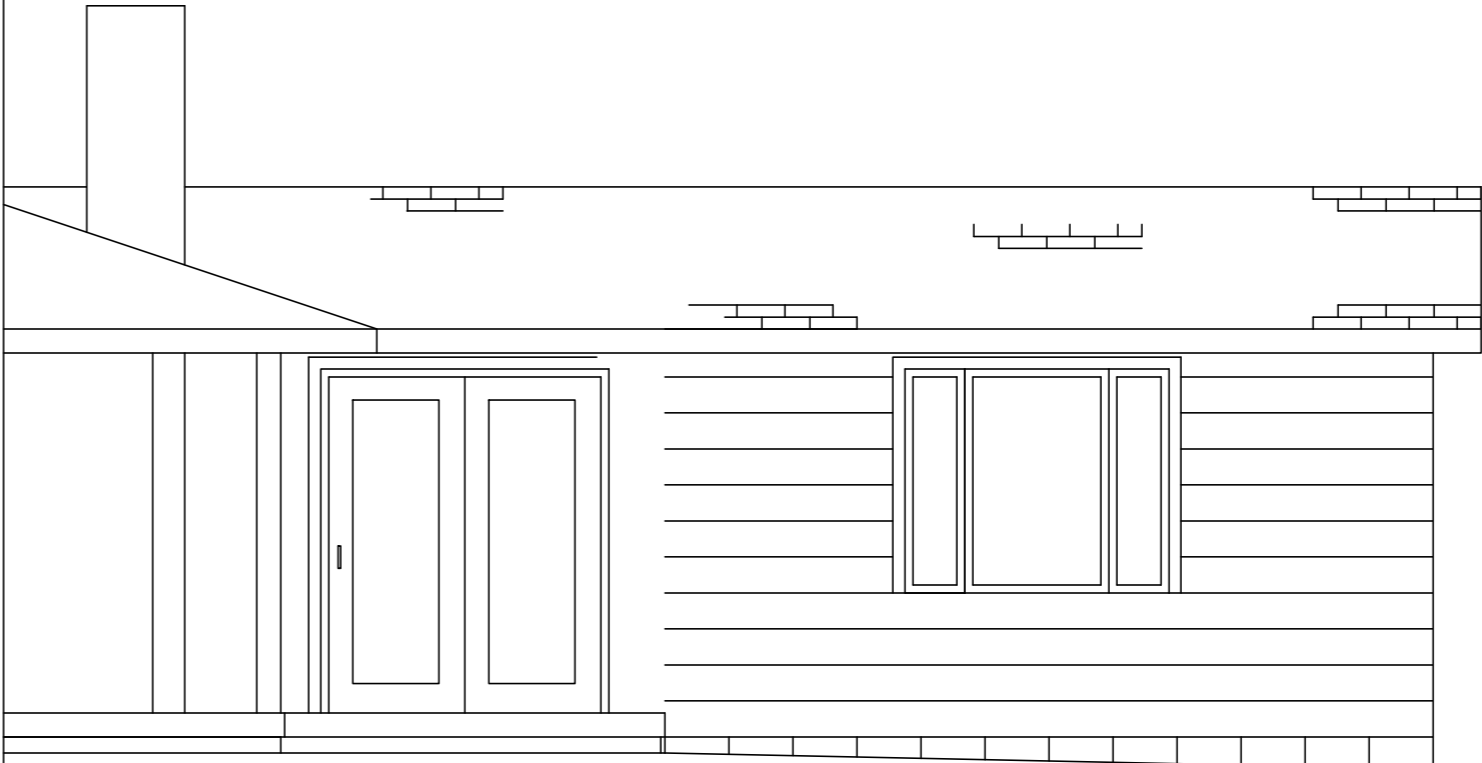
50 ft

Nearmap

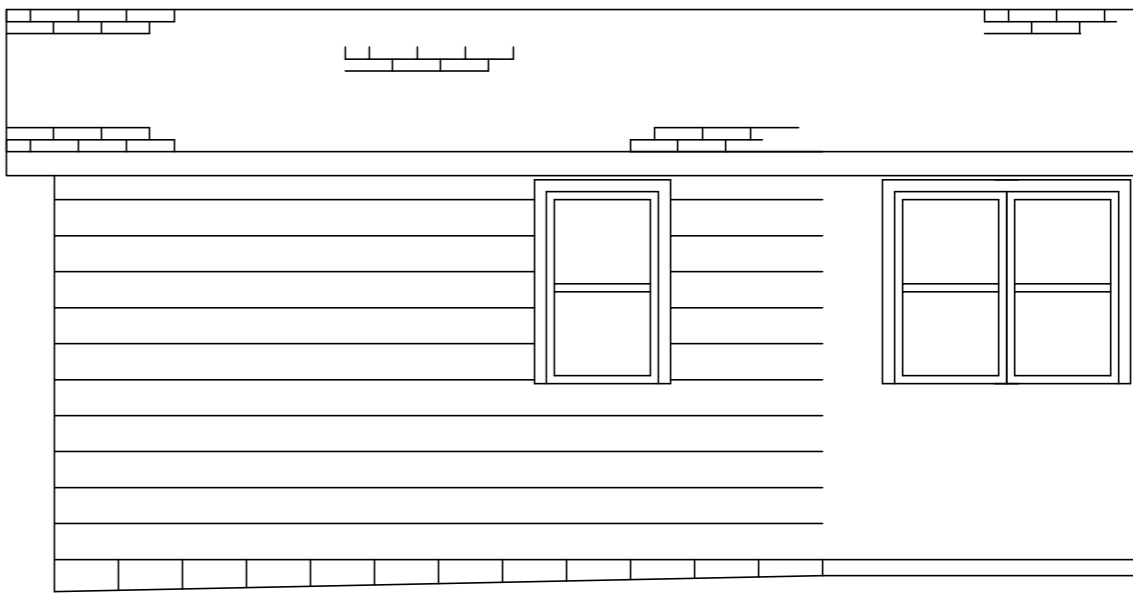
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



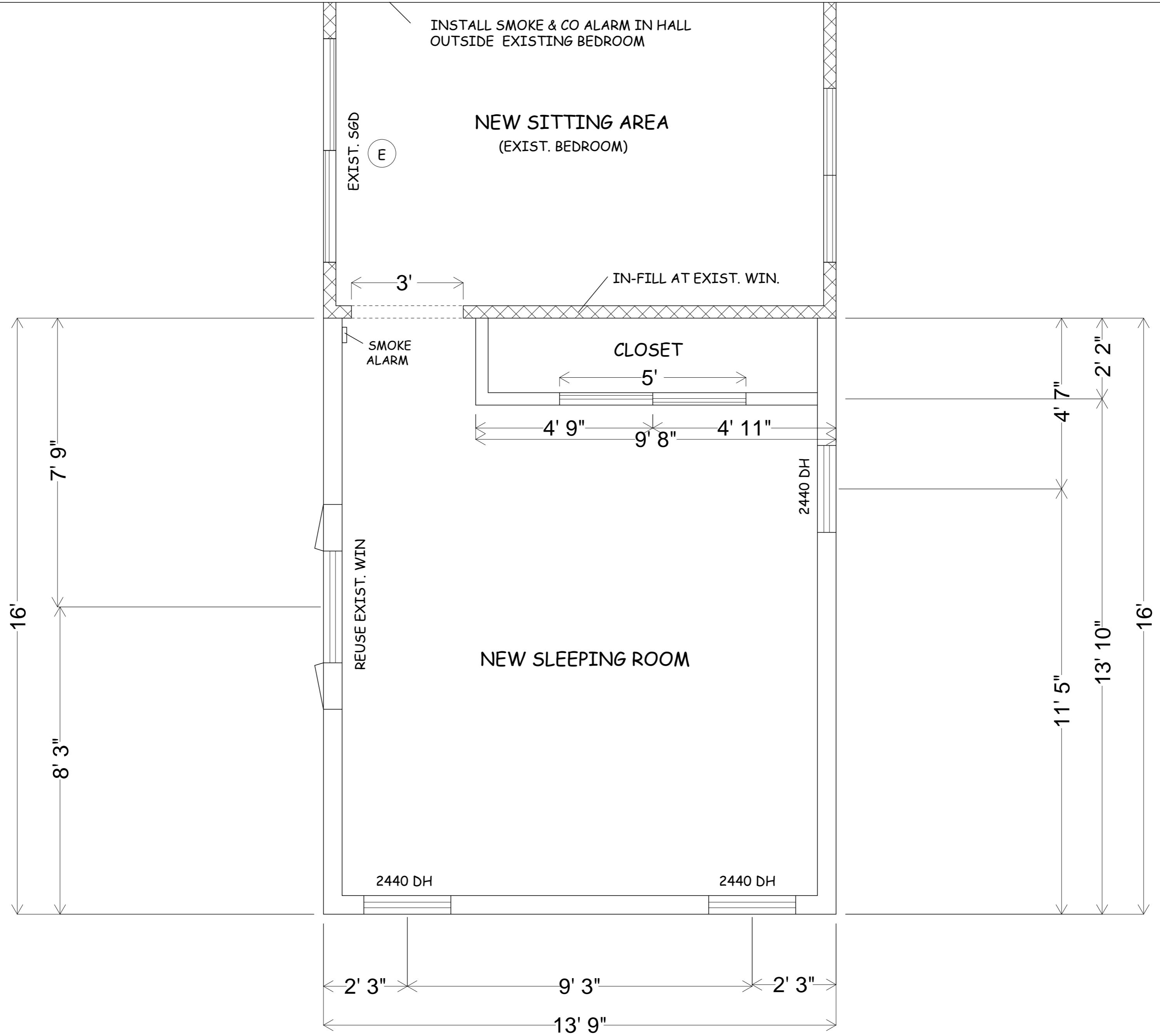
**THOMAS M. LANEY, PE**  
304 WASHINGTON ST.  
SPENCERPORT, NY 14559  
(585) 319 - 9032

**ELEVATION VIEWS**

SCALE: 1/4" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 8/5/24	REVISOR: T. M. LANEY	

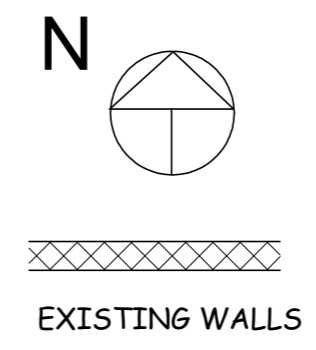
ADDITION FOR ROBERT GREENEBAUM

2185 JEFFERSON RD, PITTSFORD, NY

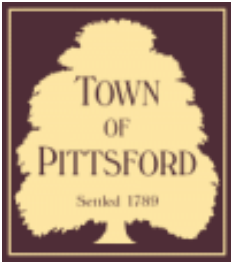


**THOMAS M. LANEY, PE**  
 304 WASHINGTON ST.  
 SPENCERPORT, NY 14559  
 (585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED  
 AND REFERENCED FROM EXISTING BUILDING



FLOOR PLAN		
SCALE: 1/2" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 8/5/24		REVISED:
ADDITION FOR ROBERT GREENEBAUM		
2185 JEFFERSON RD, PITTSFORD, NY		A3 4



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B24-000097**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 17 Park Road PITTSFORD, NY 14534

**Tax ID Number:** 151.17-2-50

**Zoning District:** RN Residential Neighborhood

**Owner:** Rowland, Elizabeth K

**Applicant:** Rowland, Elizabeth K

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

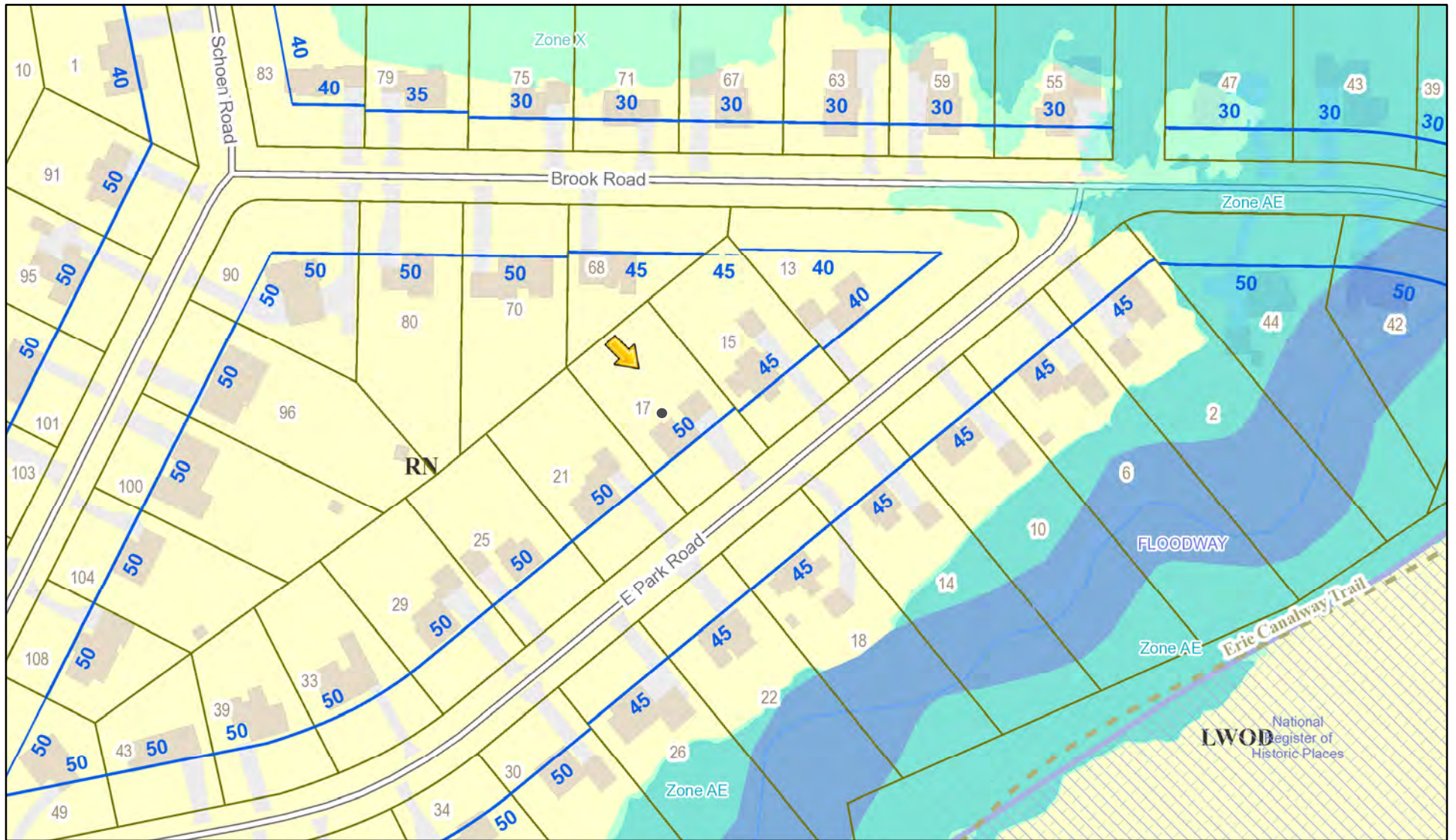
**Project Description:** Applicant is requesting design review to add a covered entryway to the front of the home.

**Meeting Date:** August 22, 2024

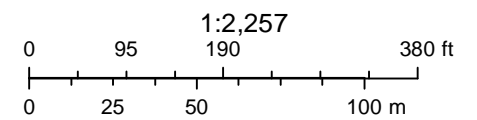




# RN Residential Neighborhood Zoning

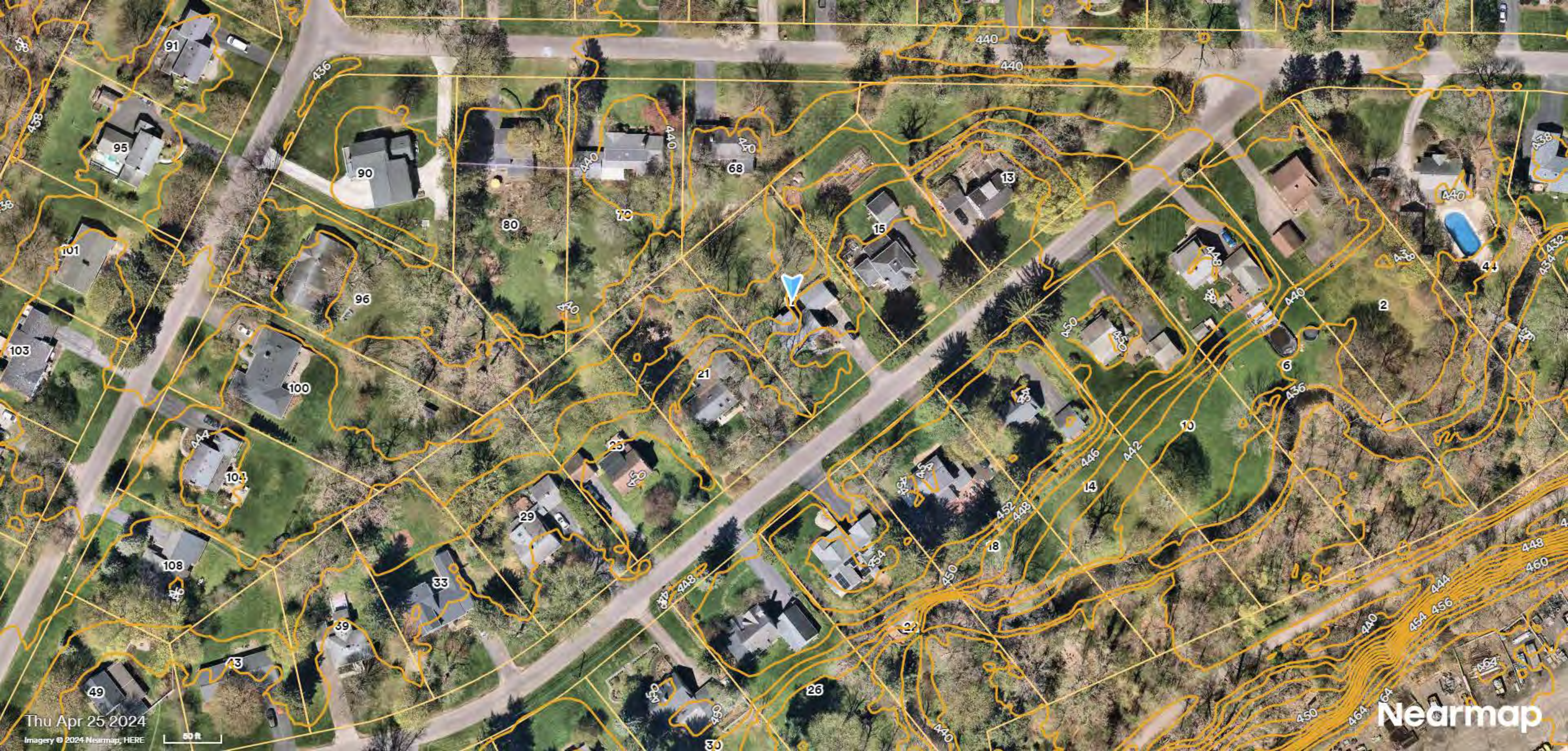


Printed August 7, 2024



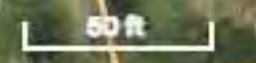
Town of Pittsford GIS

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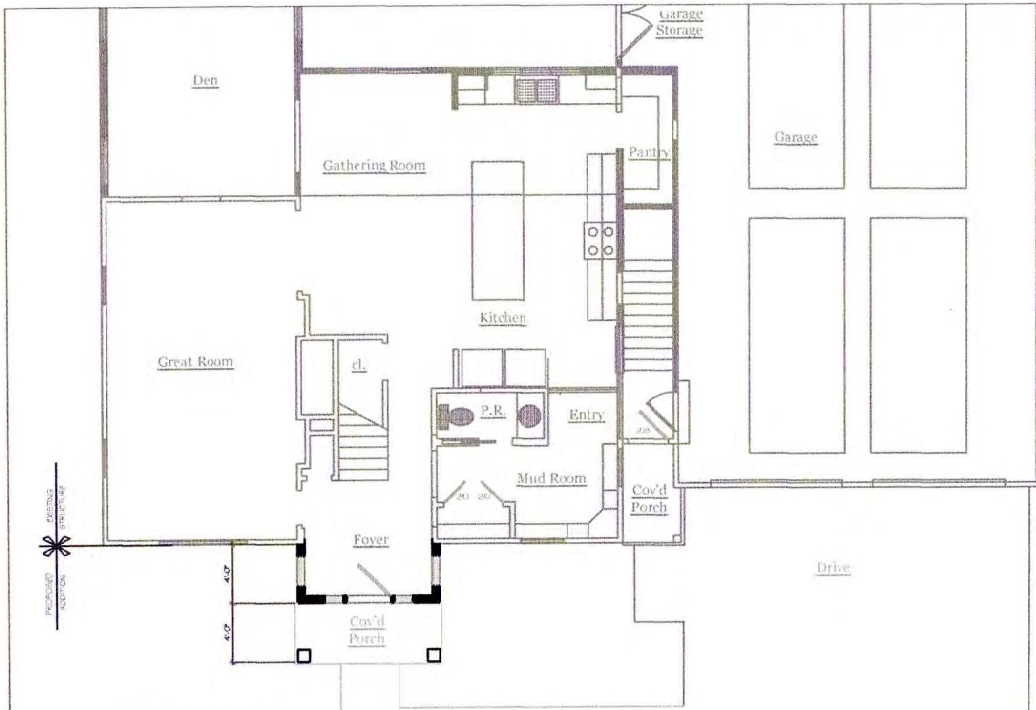


Thu Apr 25 2024

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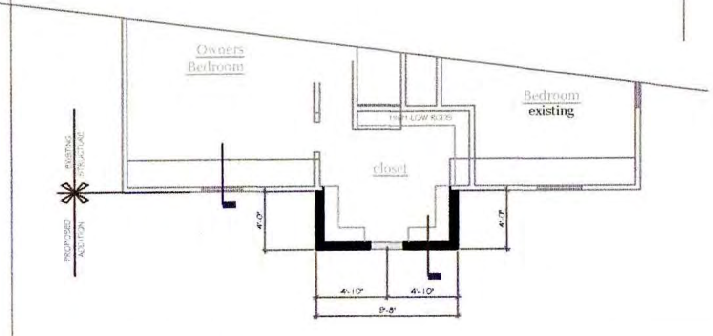


Nearmap



**Proposed  
First Floor Plan**

64 sf Co'd Porch Additions  
64 sf Addition

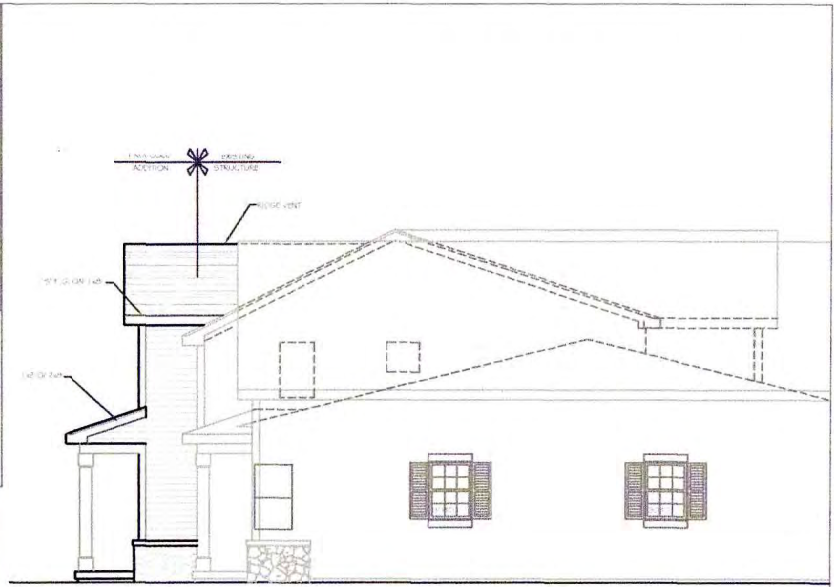


**Proposed  
Second Floor Plan**

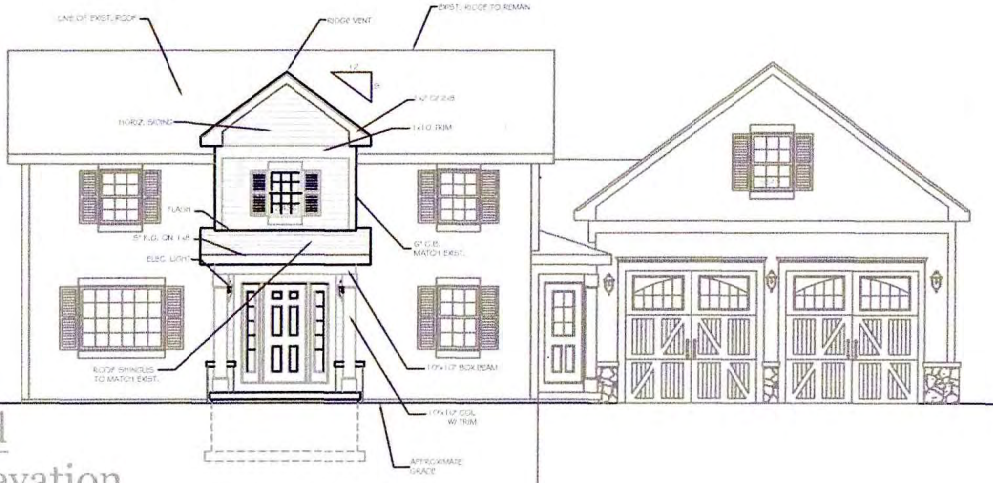
64 sf Addition

**Proposed  
Front Elevation**

1/8" = 1'-0"



**Proposed  
Right Side Elevation**



**CKH architecture**  
181 Bedford Way Road  
Arling, New York 11954  
Phone: (855) 286-1334  
Email: ckh@ckharchitecture.com

**PROJECT:** Additions and Renovations to  
17 East Park Road, Pittsford

**CLIENT:** Dan & Liz

**DATE:** July 2024

**SCALE:** A23, O4P

**DESIGNING TITLE:** Proposed First & Second Floor Plans  
Proposed Elevations

**REVISIONS:**

NO.	DATE	DESCRIPTION

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**CKH Architecture P.A.**  
181 Bedford Way Road  
Arling, New York 11954

**DRAWING NO.:** A-1

17 E. PARK RD.

EXISTING

I.P. FND.  
0.2'N, 0.2'E  
I.P. FND.  
0.2'N

1" = 20'-0"

LOT 35

LOT 36

LOT 37

180.00'

14.8'

180.00'

12.6'

2ND STORY O/H

9.8'

ENCL. PORCH

SLATE

24.1'

GARAGE

21.1'

35.7'

2 STORY FRAME HOUSE

23.7'

SLATE

24.2'

36.1'

BLACKTOP DRIVEWAY

25.0'

O.P.

CONC. WALK

16.6'

90°00'00"

90°00'00"

100.00'

300.00' TO AT BROOK

I.P. FND.  
0.3'N, 0.1'E

I.P. FND.  
0.2'N, 0.2'E



36

Subdivision

17 E. PARK RD.

PROPOSED

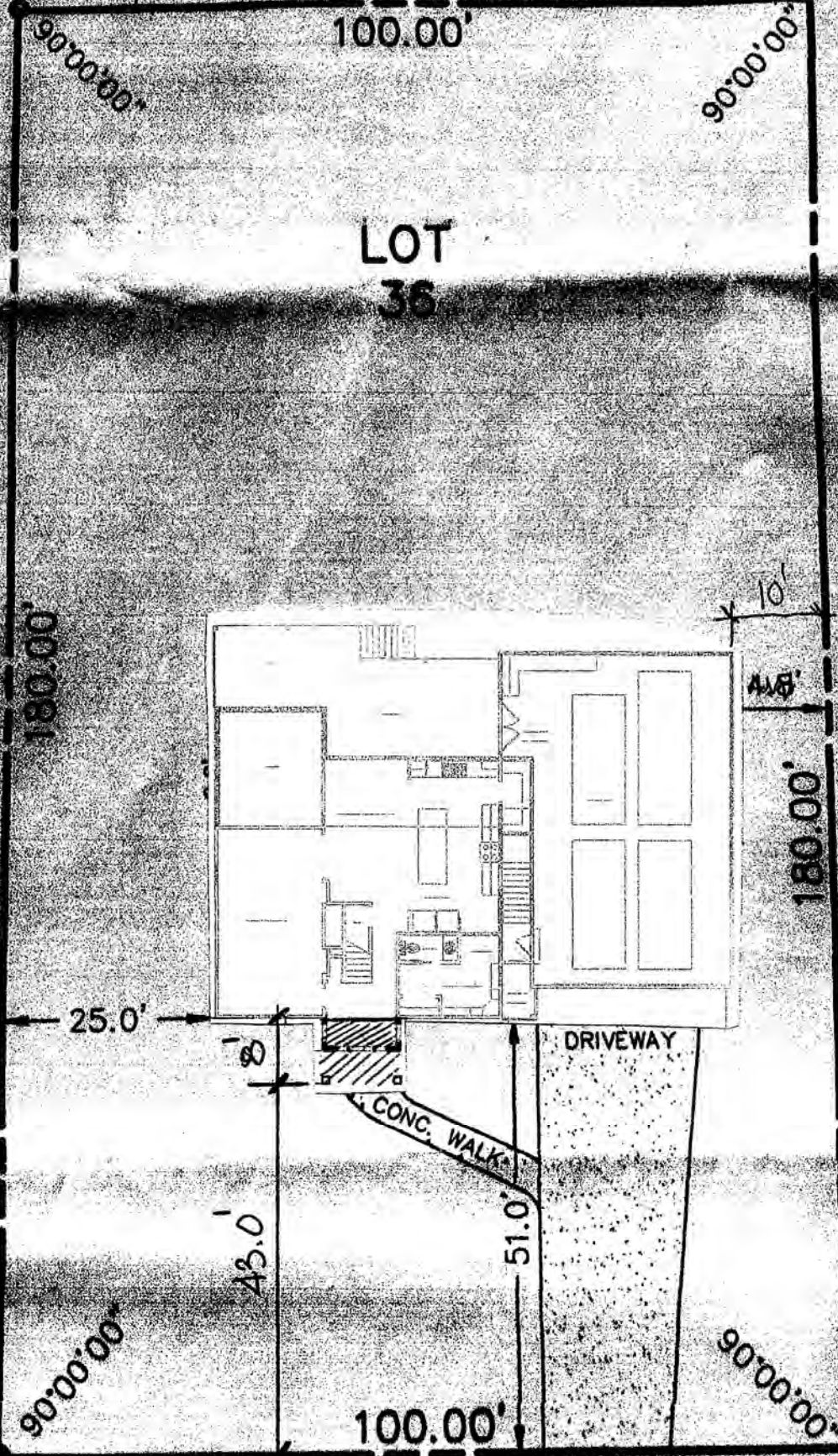
I.P. FND. 0.2'N, 0.2'E  
I.P. FND. 0.2'N

1" = 20'-0"

LOT 35

LOT 36

LOT 37



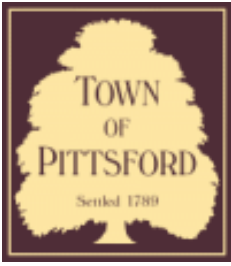
I.P. FND. 0.3'N, 0.1'E

I.P. FND. 0.2'N, 0.2'E

300.00' TO AT BROOK

ACT DADK

DOAT



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B24-000106**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 44 Crestline Road ROCHESTER, NY 14618

**Tax ID Number:** 138.18-2-76

**Zoning District:** RN Residential Neighborhood

**Owner:** Glenz, Susan E

**Applicant:** CKH Architecture P.C.

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review to enclose the existing deck into a sunroom, add a entry/mudroom, covered deck & add a garage bay.

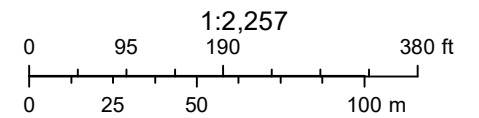
**Meeting Date:** August 22, 2024



# RN Residential Neighborhood Zoning



Printed August 7, 2024



Town of Pittsford GIS

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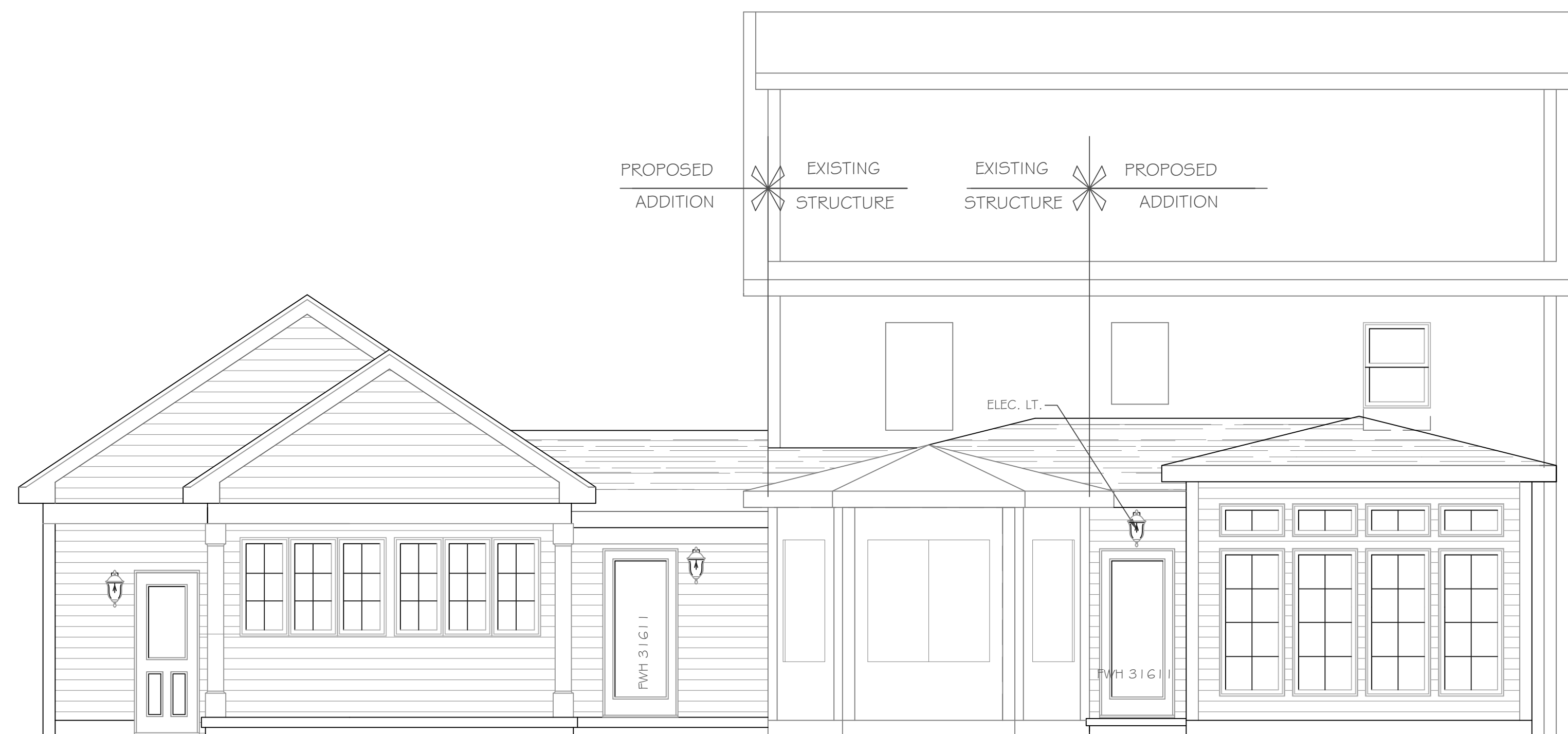
Left Side Elevation



Front Elevation



Right Side Elevation



Rear Elevation

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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
 Existing Floor Plan & Elevations

**PROJECT:**  
 Additions and Renovations to:  
 44 Crestline Road, Rochester, N.Y.

**CLIENT:**  
 Susan Glenz

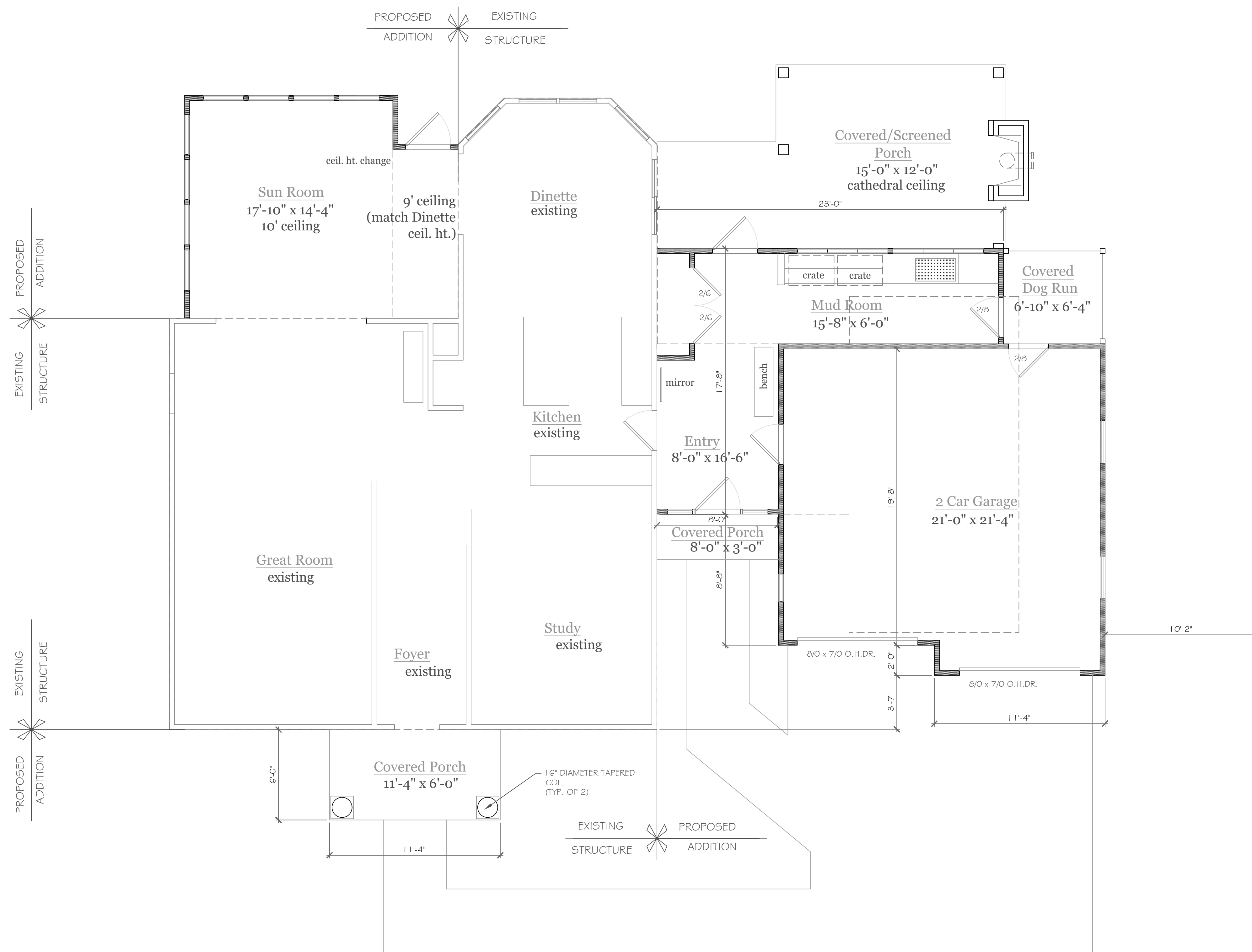
**JOB NO.:**  
 A23-010

**DATE:**  
 June 2024

**PHASE:**  
 Construction Documents

**CKH**  
 architecture  
 1 501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone-(585) 249-1334  
 e-mail-CKHennessey@frontstreet.net

**DRAWING NO.:**  
 A-1



# First Floor Plan

501 sf Addition  
448 sf Garage Addition

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REVISIONS-	NO.	DATE	DESCRIPTION

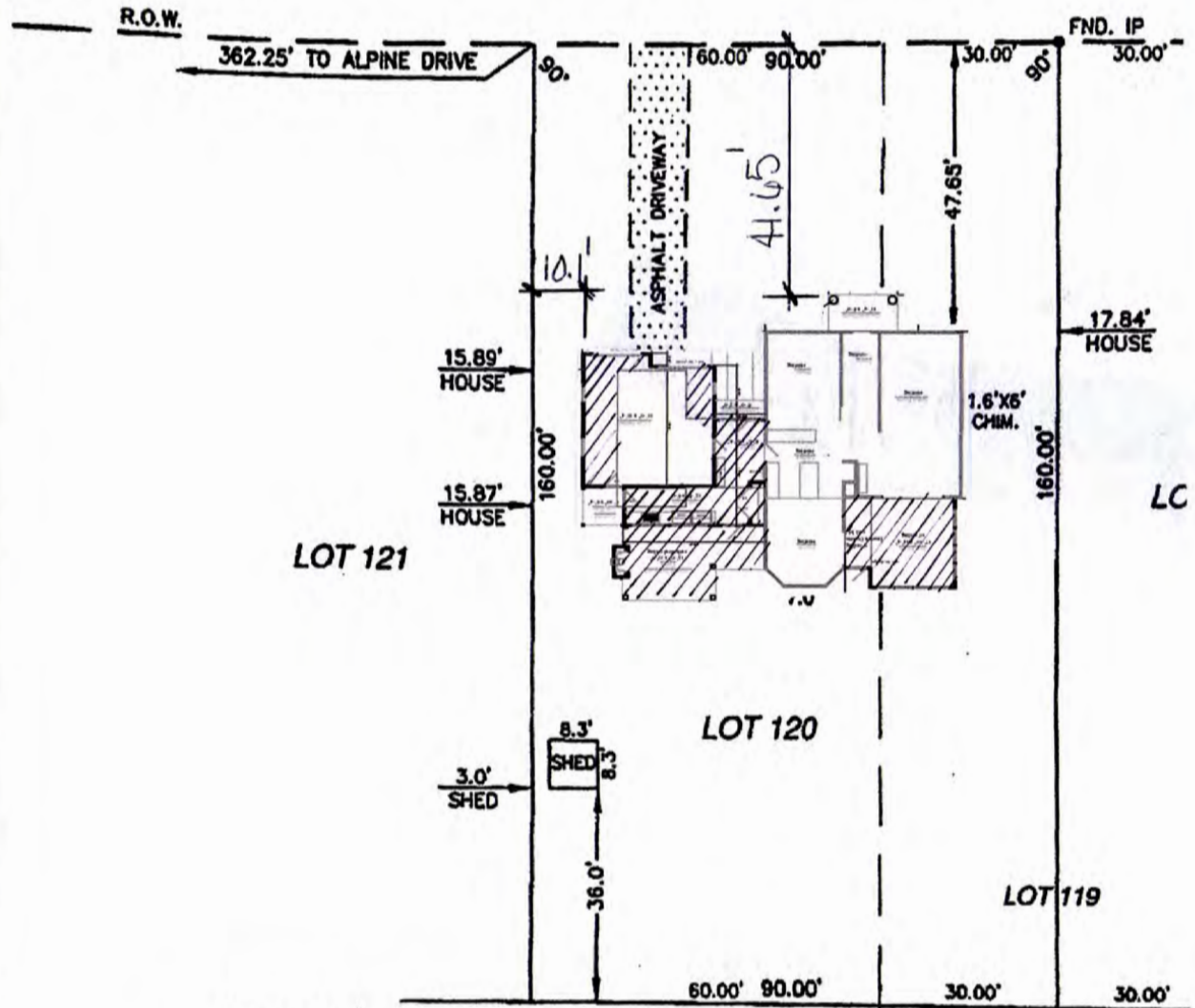
<b>PROJECT-</b> Additions and Renovations to: 44 Crestline Road, Rochester, N.Y.	<b>DRAWING TITLE-</b> First Floor Plan	<b>CLIENT-</b> Susan Glenz	<b>PHASE-</b> Construction Documents
<b>JOB NO.-</b> A23-010	<b>DATE-</b> June 2024	<b>DATE-</b> June 2024	<b>DATE-</b> June 2024

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone-(585) 249-1334  
e-mail-CKHennessey@frontier.net



# CRESTLINE ROAD

(60' ROW)



**EASEMENT  
ALONG REAR BOUNDARIES TO:  
ROCHESTER GAS & ELECTRIC CORP.  
ROCHESTER TELEPHONE CORP.  
NEW YORK TELEPHONE CO.  
LIBER 1517, PAGE 409**

LOT 85

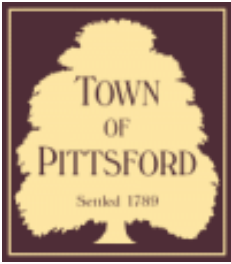
LOT 86

**REFERENCES:**

1. ABSTRACT PROVIDED BY STEWART TITLE INSURANCE COMPANY  
ABSTRACT No. 199607, DATED DECEMBER 13, 2021
2. DEED; LIBER 10259, PAGE 408
3. EAST AVENUE TRACT, LIBER 49 OF MAPS, PAGE 27

**CERTIFICATION:**





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B24-000102**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 12 Bridleridge Farms PITTSFORD, NY 14534

**Tax ID Number:** 191.01-1-64

**Zoning District:** RRSP Rural Residential South Pittsford

**Owner:** Bridlebridge Farms LLC

**Applicant:** Bridlebridge Farms LLC

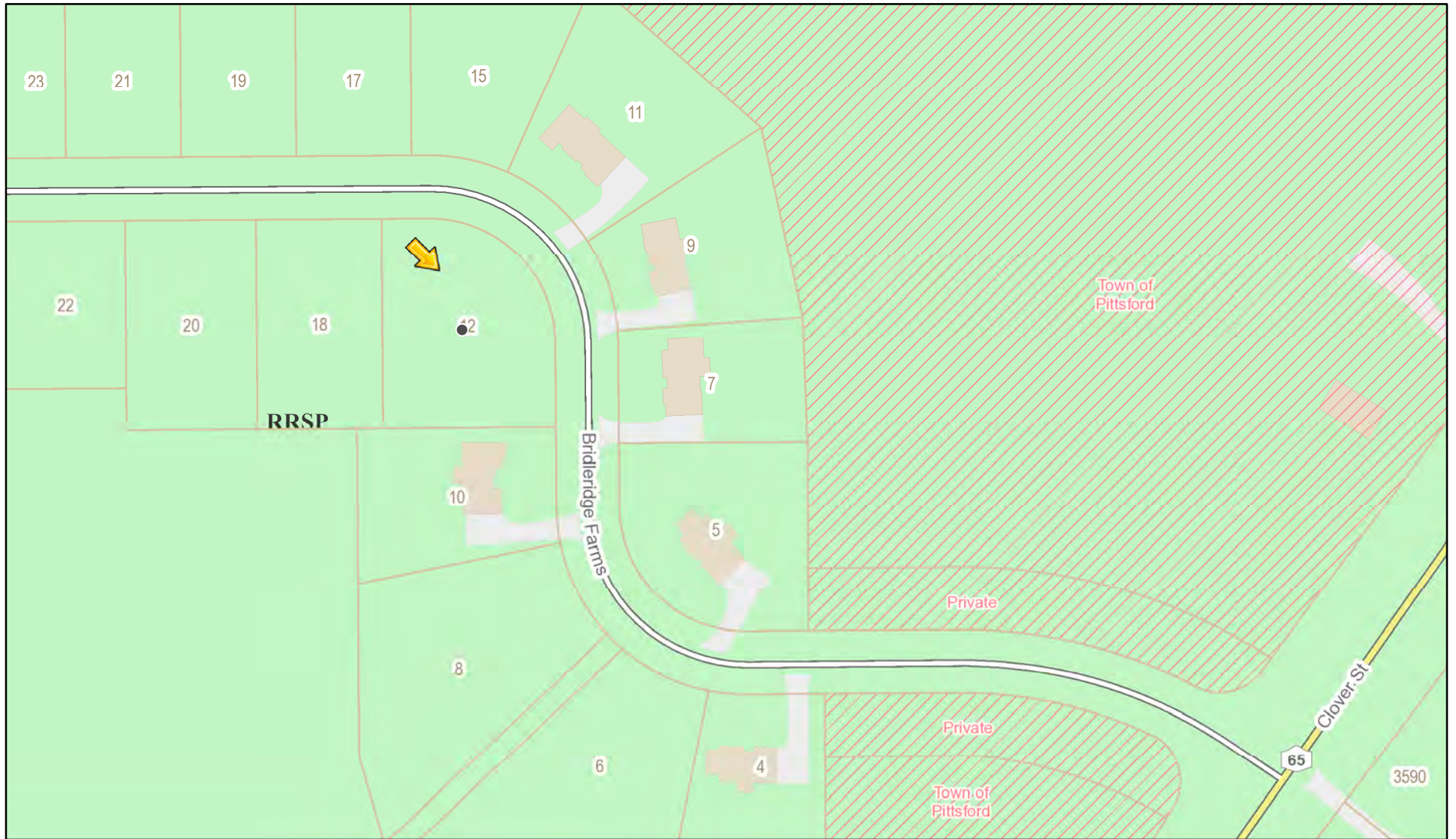
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

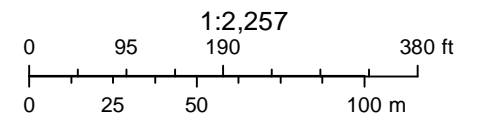
**Project Description:** Applicant is requesting design review for a 3,580 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

**Meeting Date:** August 22, 2024

# RN Residential Neighborhood Zoning



Printed August 6, 2024



Town of Pittsford GIS

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Thu Apr 25 2024

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Nearmap





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DATE	BY	DESCRIPTION

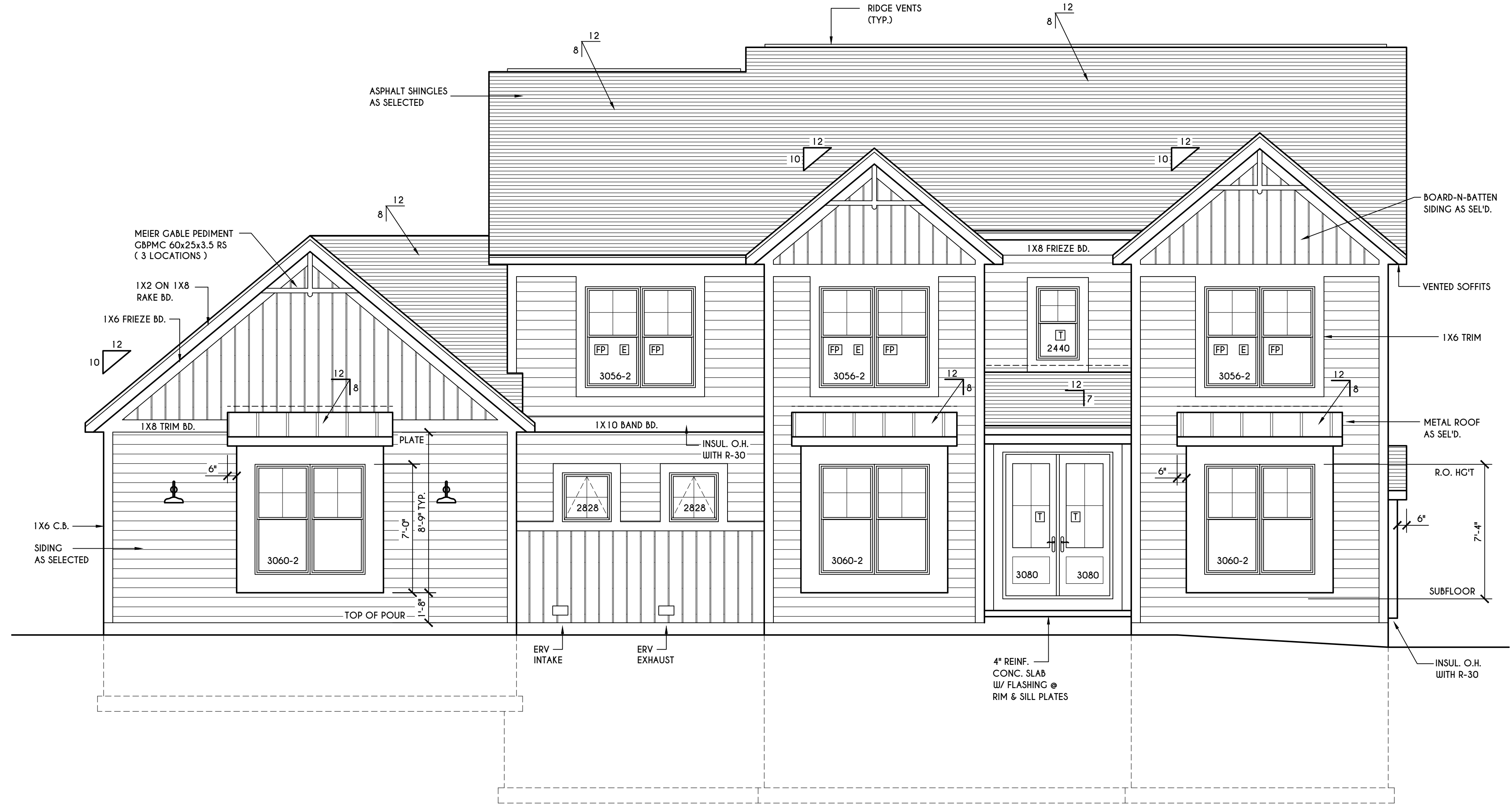
**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 63 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 3228**

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 24
PROJECT: 15381F	sheet: 1 / 6



**FRONT ELEVATION**

FIRST FLOOR LIVING AREA = 1600 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1628 SQ.FT.  
 TOTAL LIVING AREA = 3228 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 44,516 CU.FT.

TABLE M 1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>. 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M 1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.27  
 SHGC ..... 0.29

**DOORS:** SELECTION BY OWNER

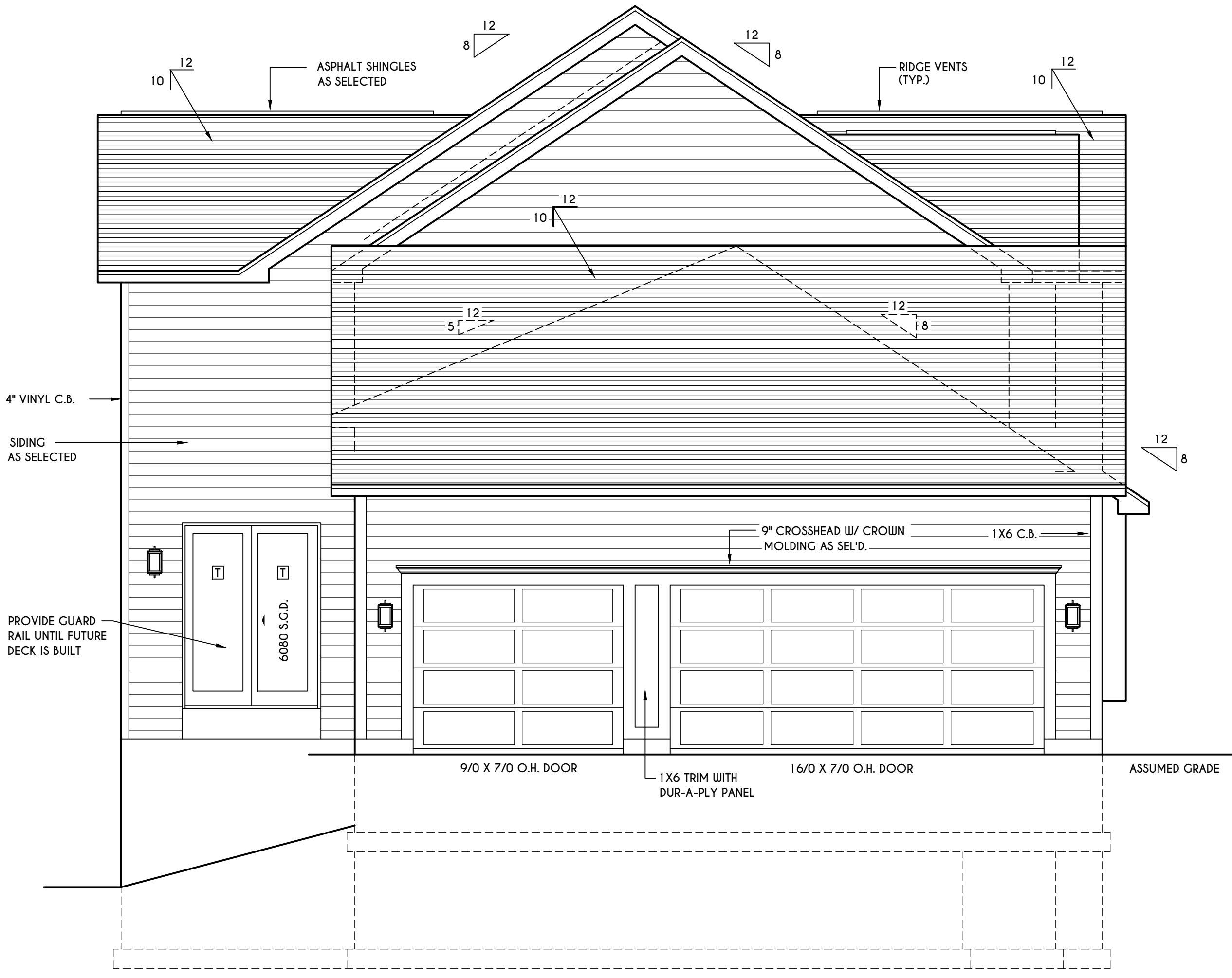
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SWING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCCNY

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES TO BE 12" AND ALL OVERHANGS TO BE 16" FROM FRAME WALLS UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.  
**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 ( PAGE 1 )

**PLOT PLAN**

SCALE: 1" = 50'-0"



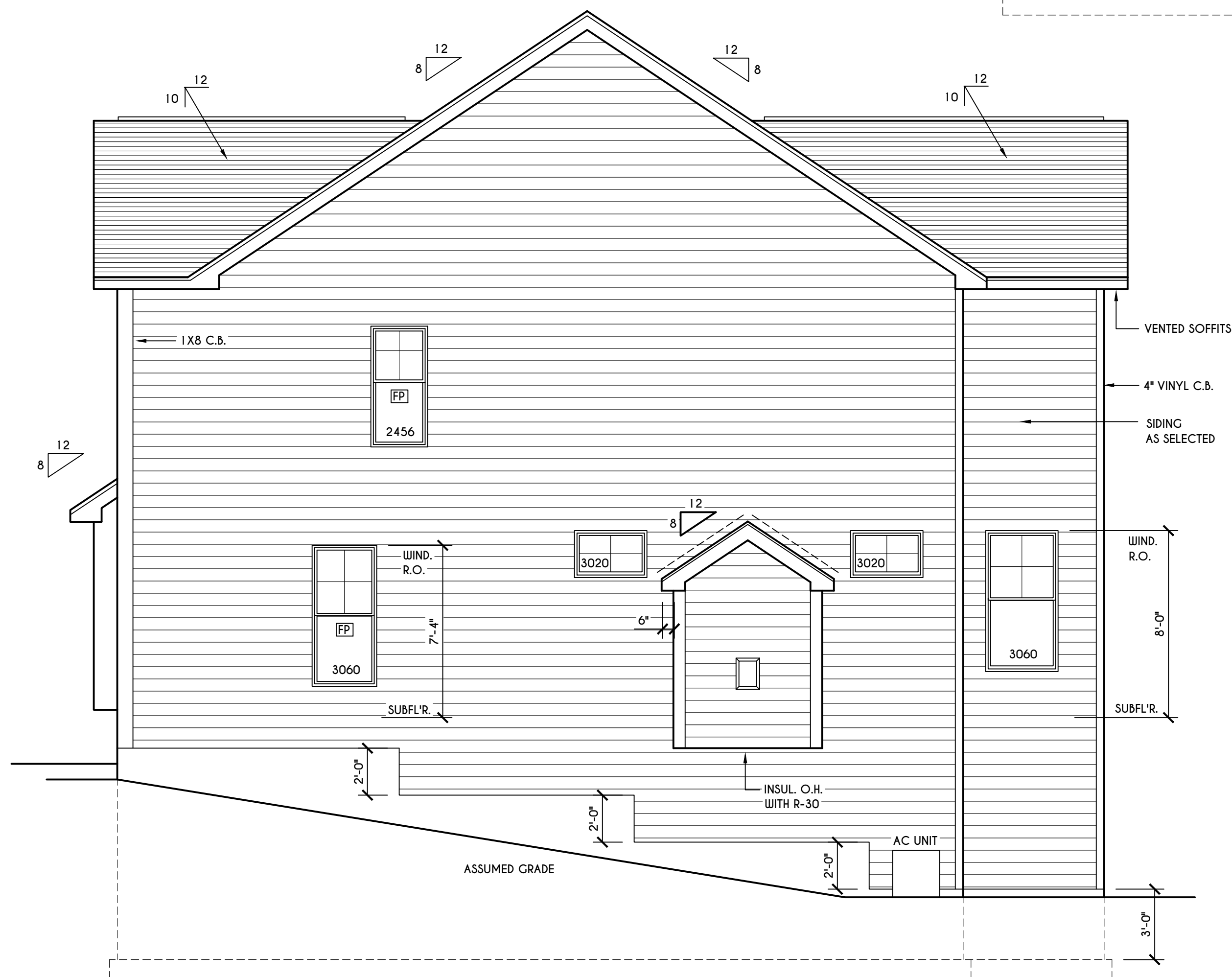
**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



### REAR ELEVATION

SCALE: 1/4" = 1'-0"



### RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**WINDOWS:** HARVEY OR EQUAL  
 U-FACTOR ..... 0.27  
 SHGC ..... 0.29

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

**WINDOW / DOOR LEGEND:**

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  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  - PER SECT. R310.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

ALL RAKES TO BE 12" AND ALL OVERHANGS TO BE 16" FROM FRAME WALLS UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 C.F.M. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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DATE	BY	DESCRIPTION

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SPEC HOME  
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 PITTSFORD, NY

**BUILDER:**

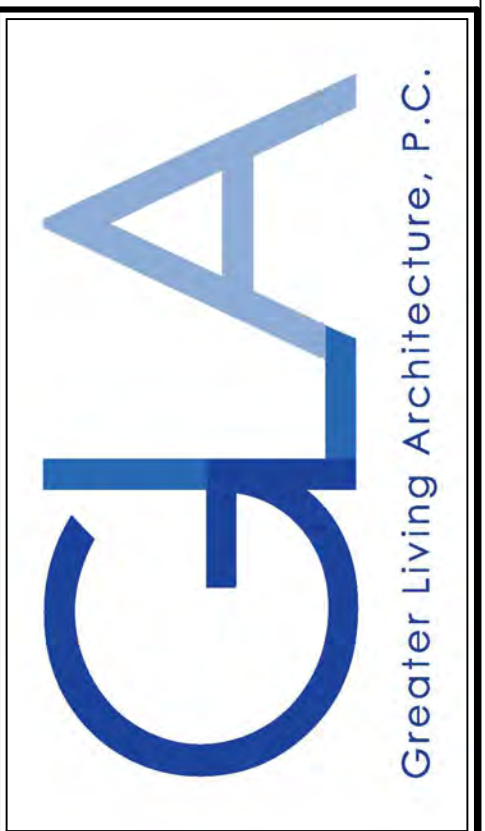
COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

GLA PLAN 3228

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scale: AS NOTED	date: 7 / 24
PROJECT: 1538 1F	sheet: 2 / 6

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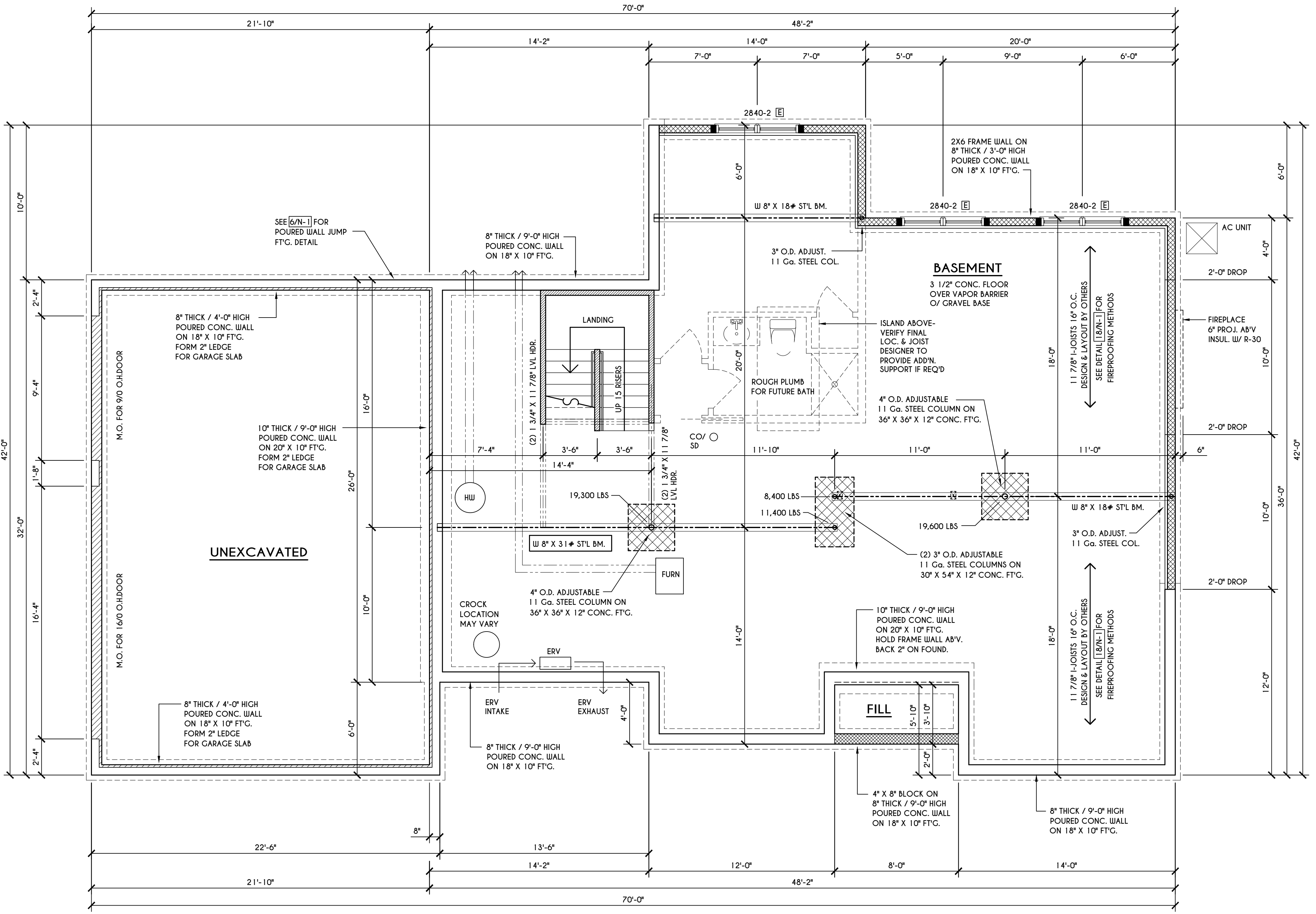
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**FOUNDATION PLAN**

GLA PLAN 3228

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 24
PROJECT: 15381F	sheet: 3 / 6



**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS  
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

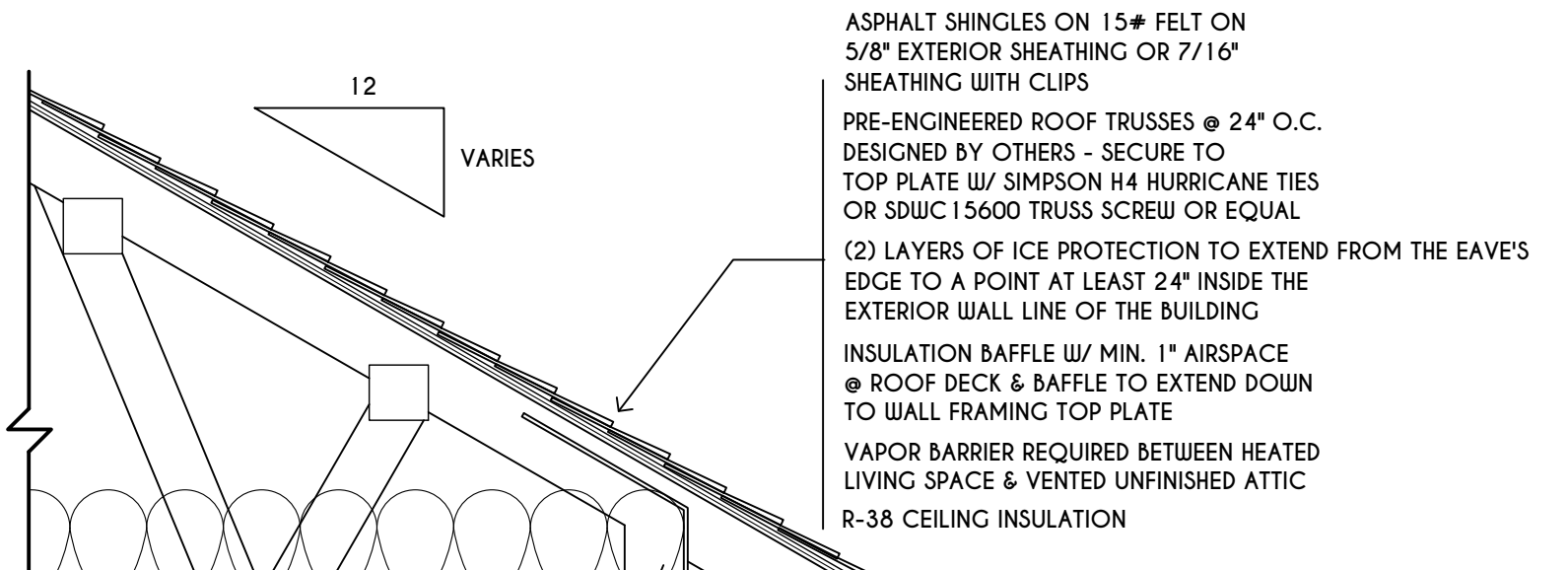
**GENERAL FOUNDATION / BASEMENT NOTES:**

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE D/NL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

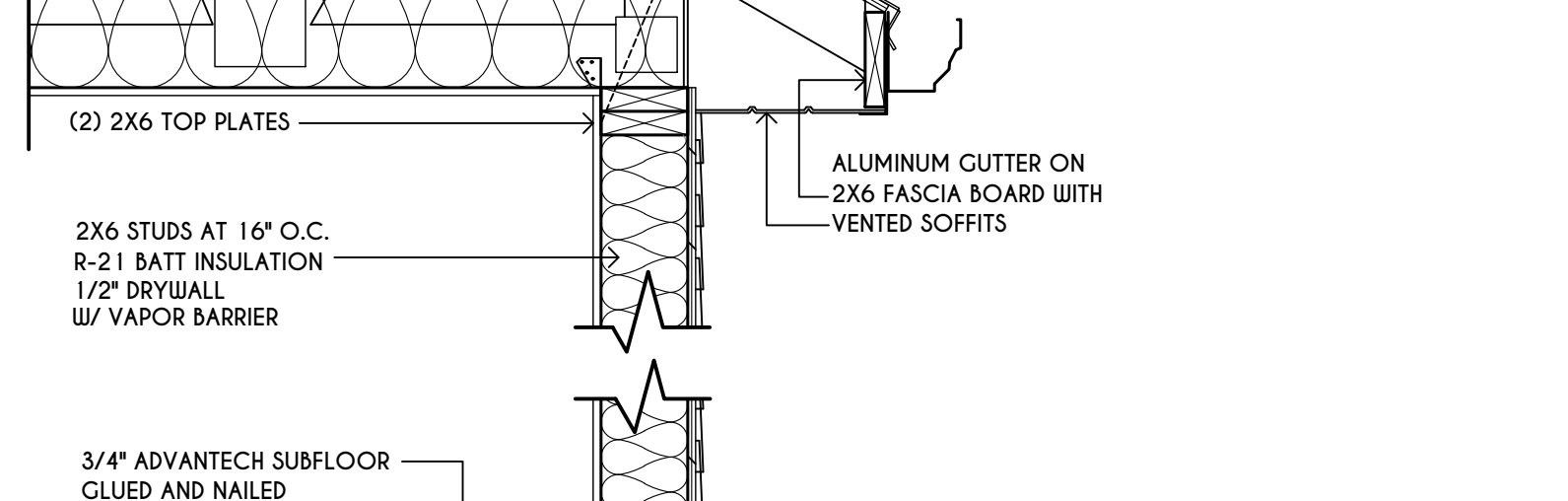
**WINDOW / DOOR LEGEND:**

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

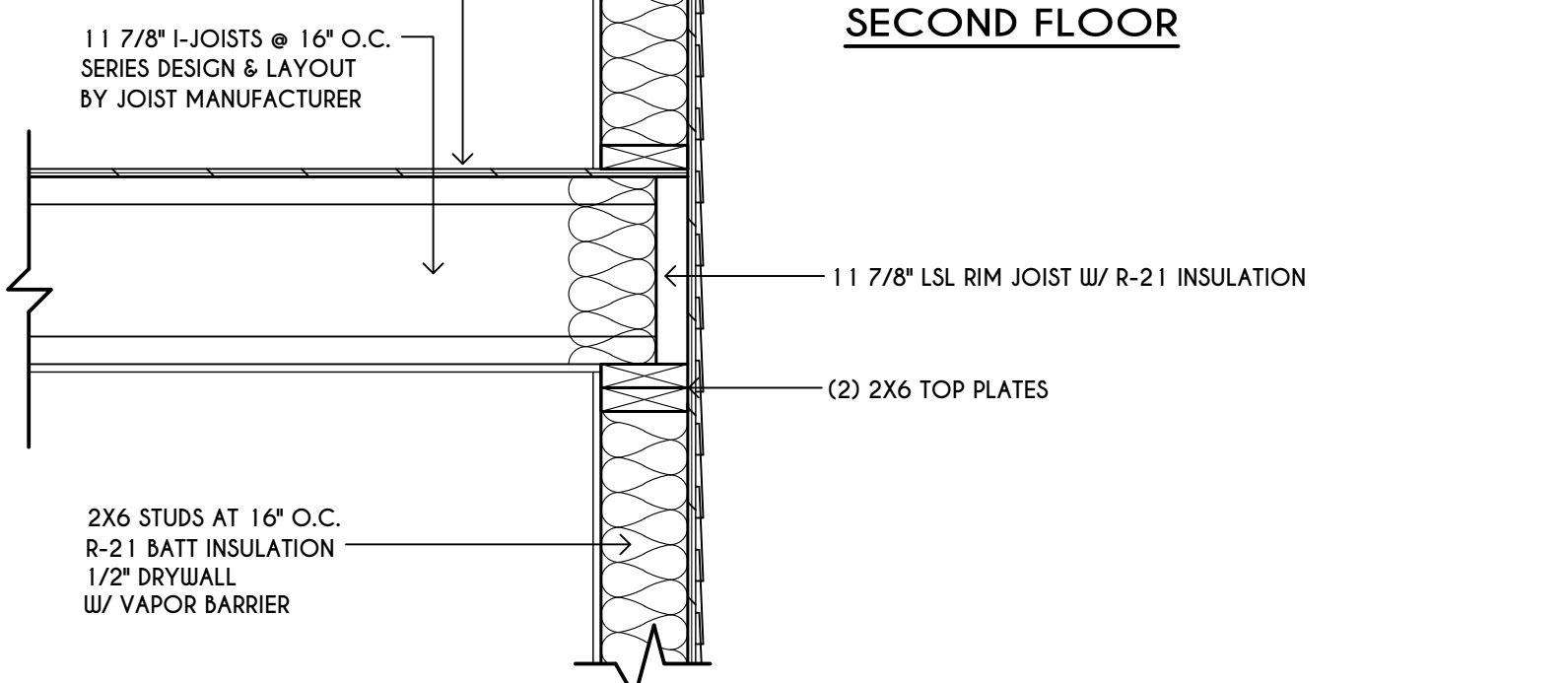
**TRUSS EAVE CONSTRUCTION**



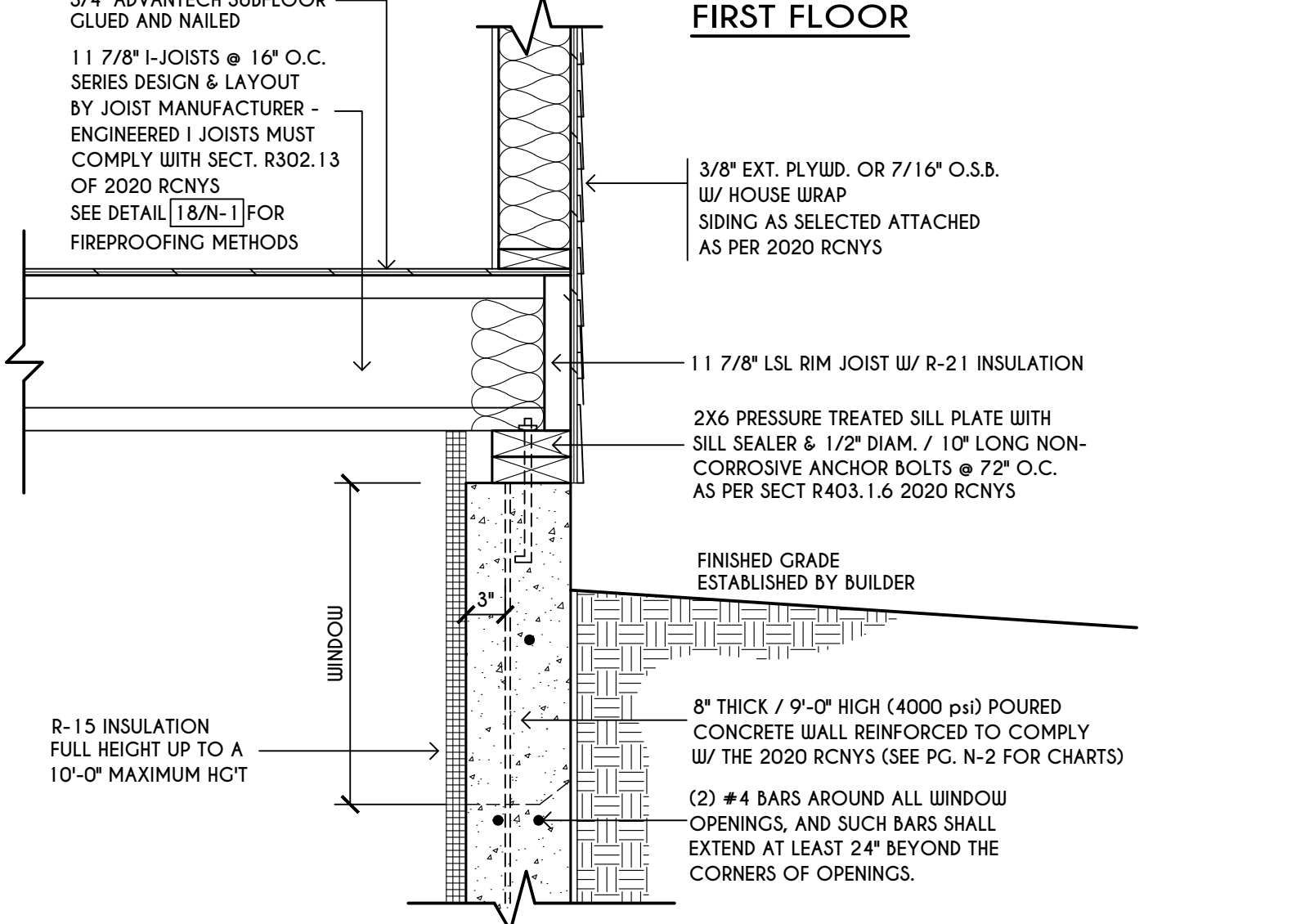
**SECOND FLOOR**



**FIRST FLOOR**



**BASEMENT / FOUNDATION**



**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"

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 PITTSFORD, NY

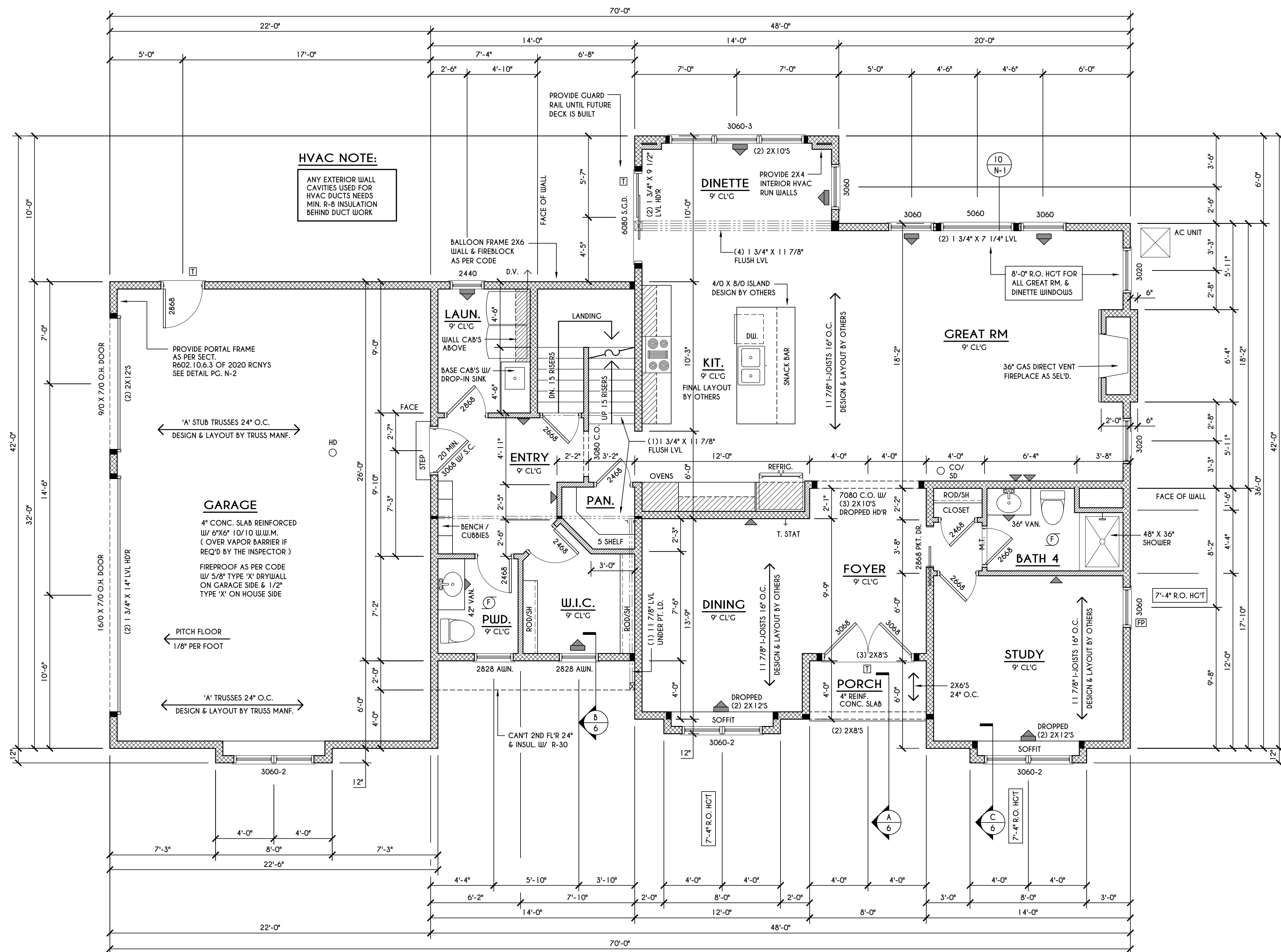
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3228

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 24
PROJECT: 1538 IF	sheet: 4 / 6



**HVAC NOTE:**  
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAIL, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1600 SQ. FT.

**GENERAL FIRST FLOOR PLAN NOTES:**

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE D&L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS  
 - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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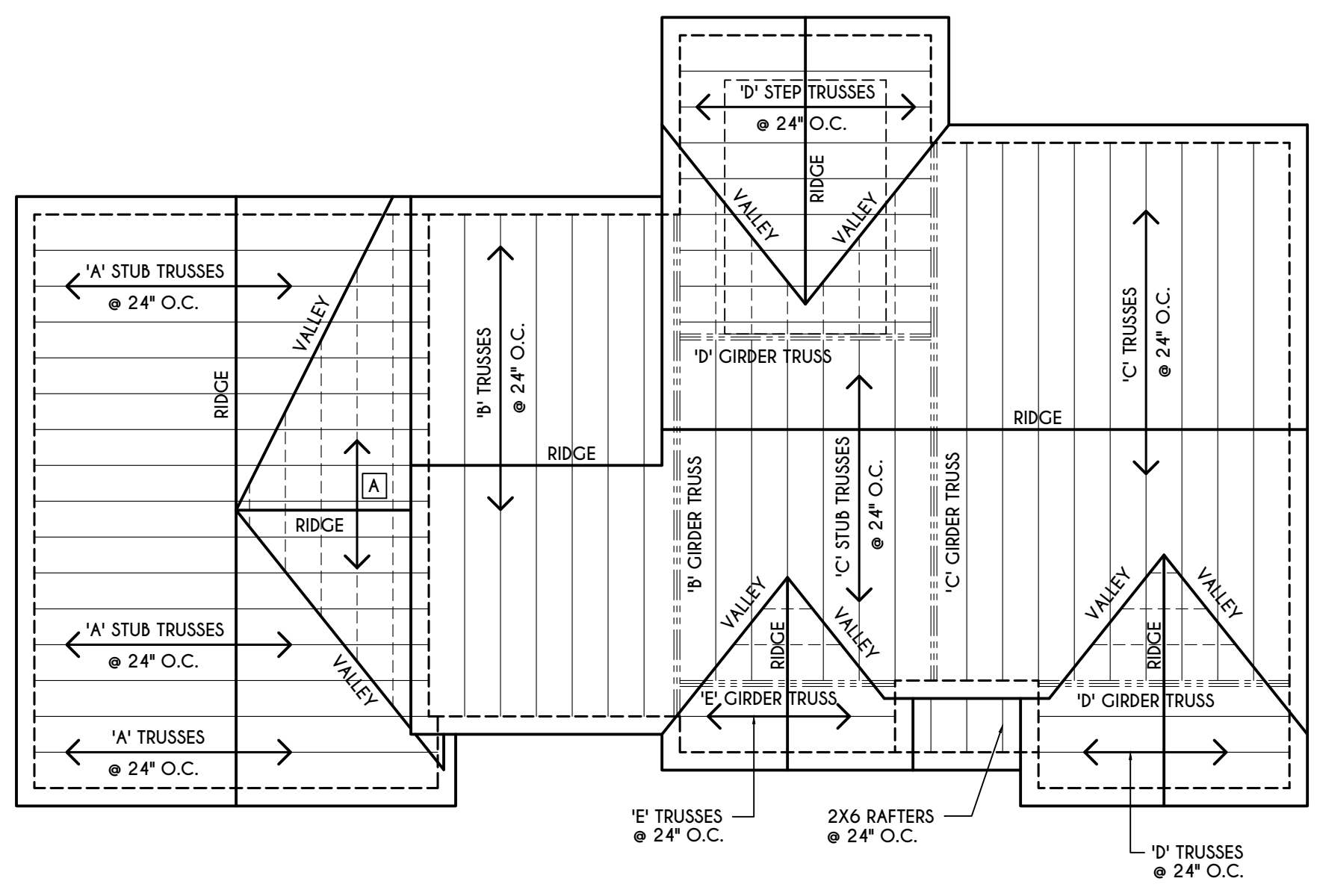
**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 63 BRIDLERIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 3228

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 24
PROJECT: 15381F	sheet: 5 / 6



**GENERAL ROOF NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

A 2X8 LAYOVER RAFTERS 24" O.C.

**TRUSS NOTE:**  
 TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**SECOND FLOOR PLAN**

1628 SQ.FT.

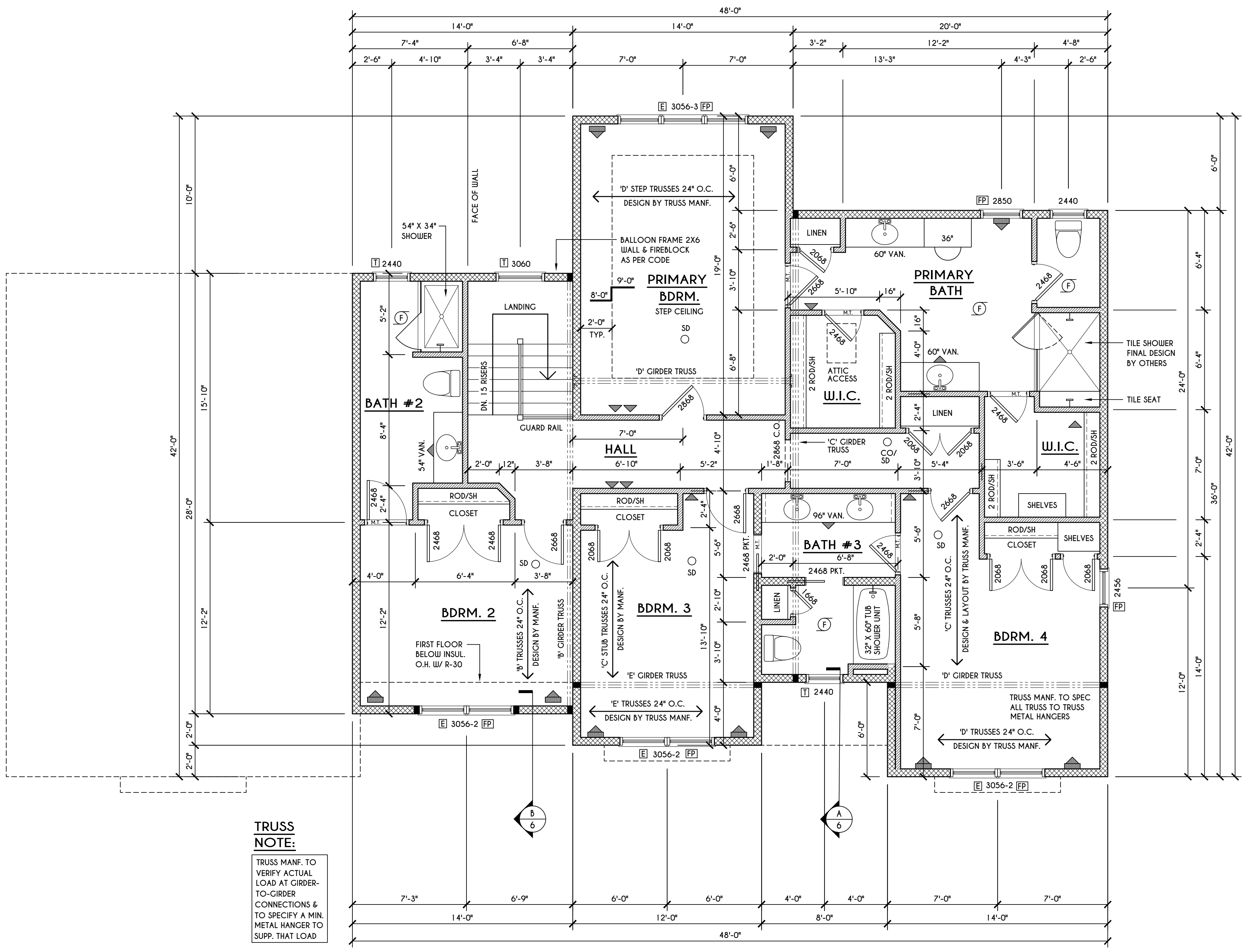
SCALE: 1/4" = 1'-0"

**GENERAL SECOND FLOOR PLAN NOTES:**

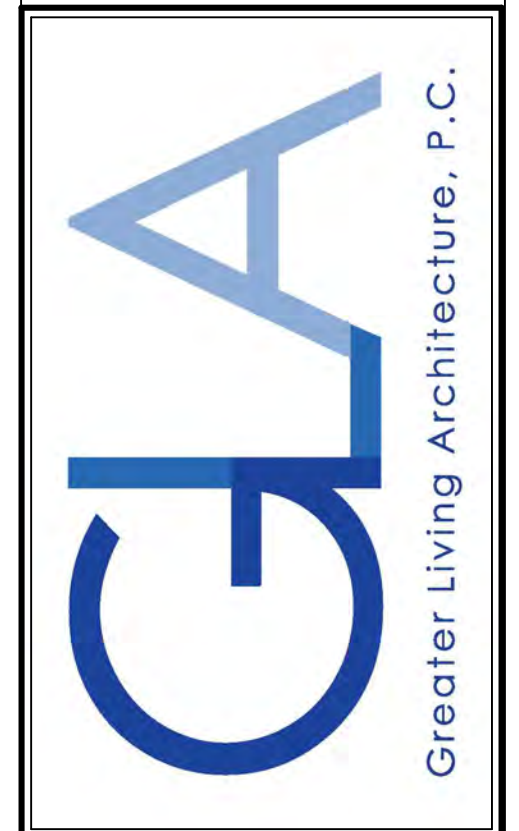
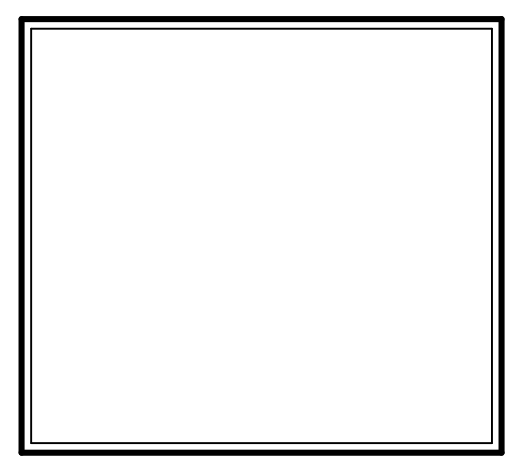
SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DIM. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

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 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
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 - CLEAR OPENING HEIGHT OF 24"  
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 F = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
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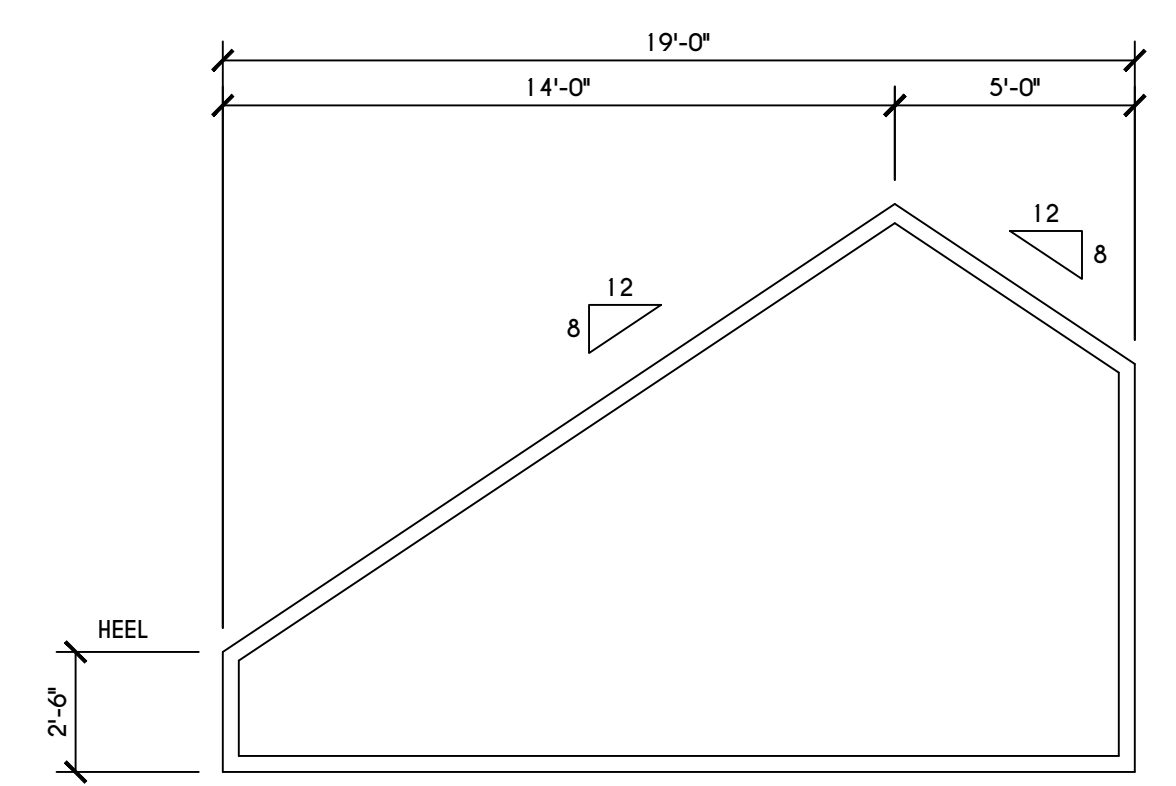
DATE	BY	DESCRIPTION

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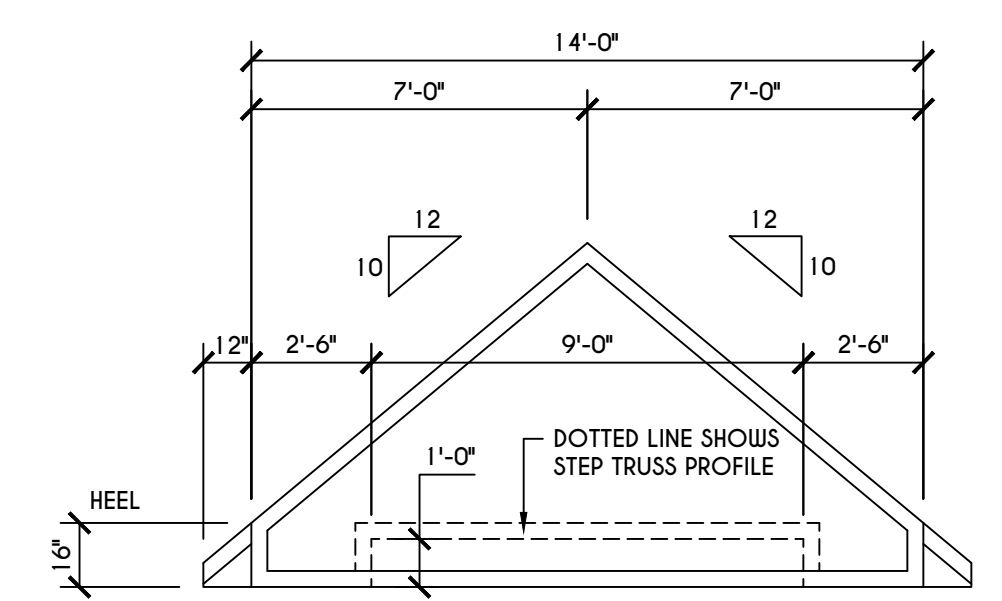
**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECTIONS**  
 GLA PLAN 3228

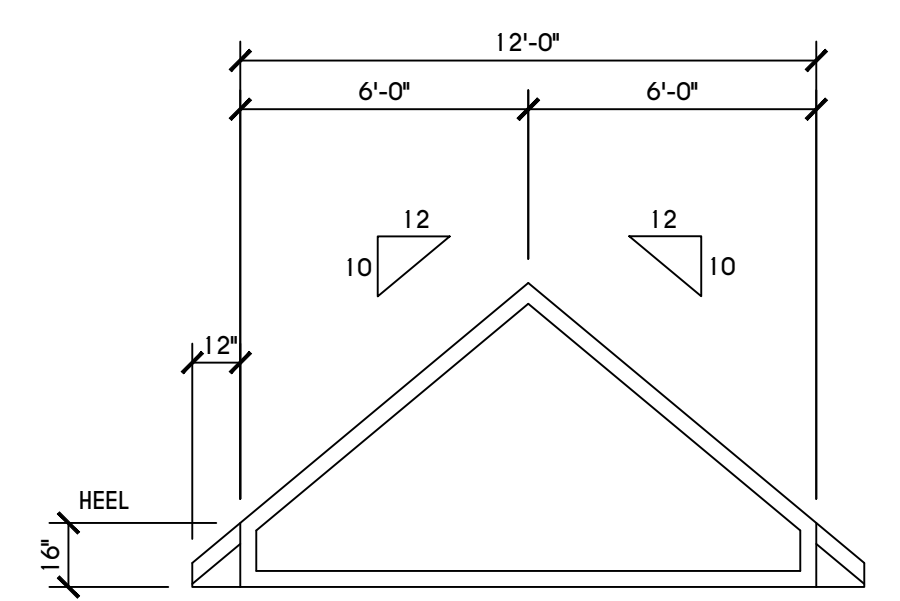
drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 24
PROJECT: 15381F	sheet: 6 / 6



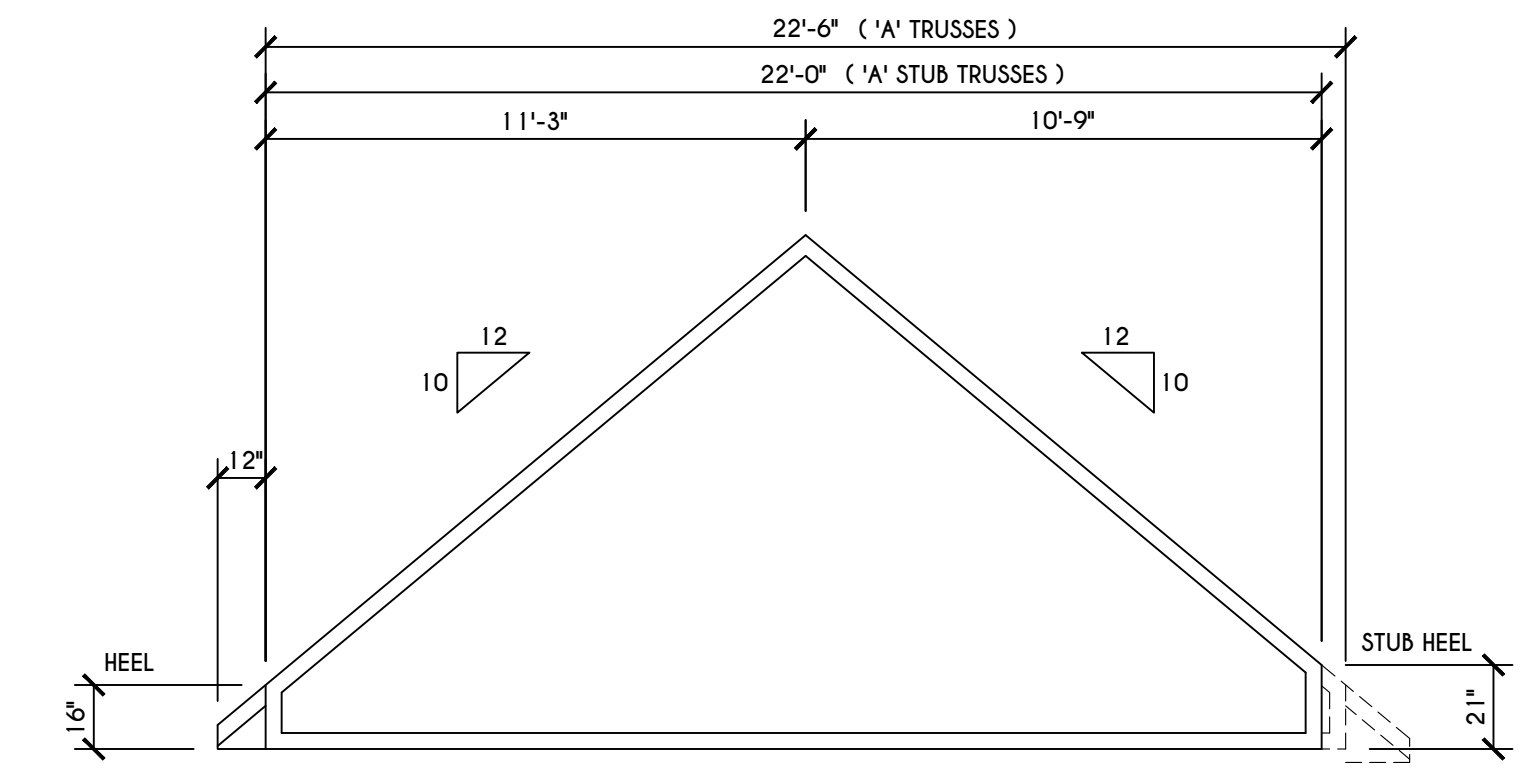
**'C' STUB TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"



**'D' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

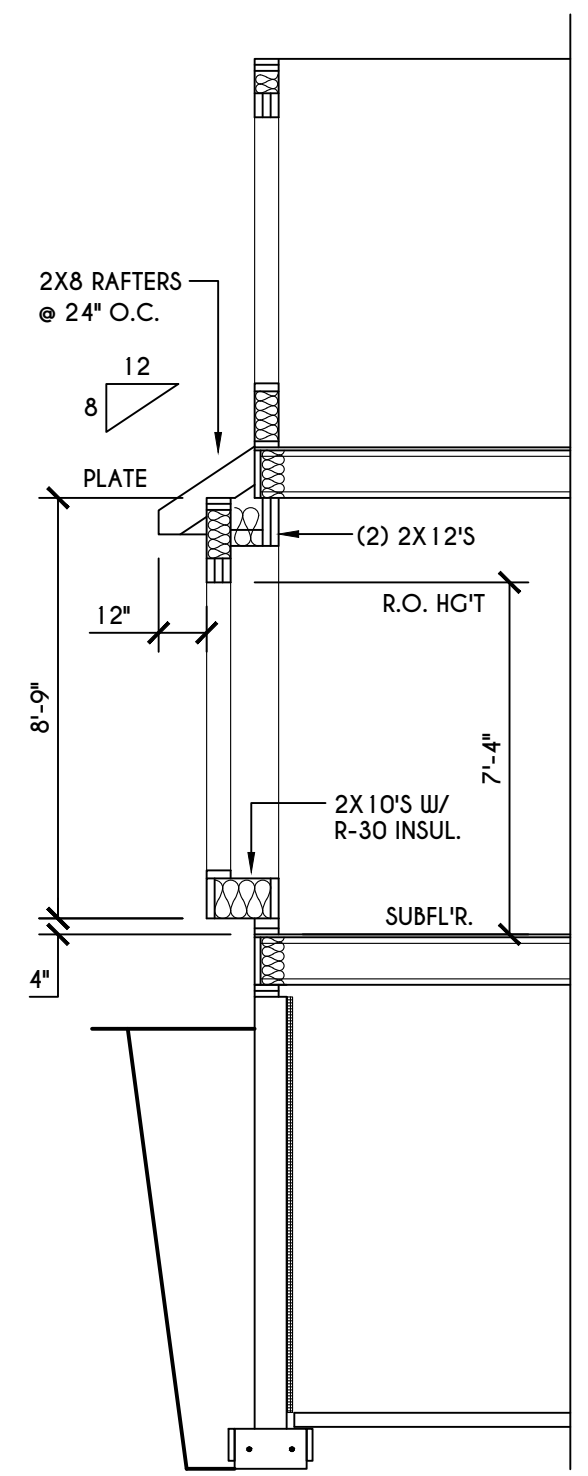


**'E' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

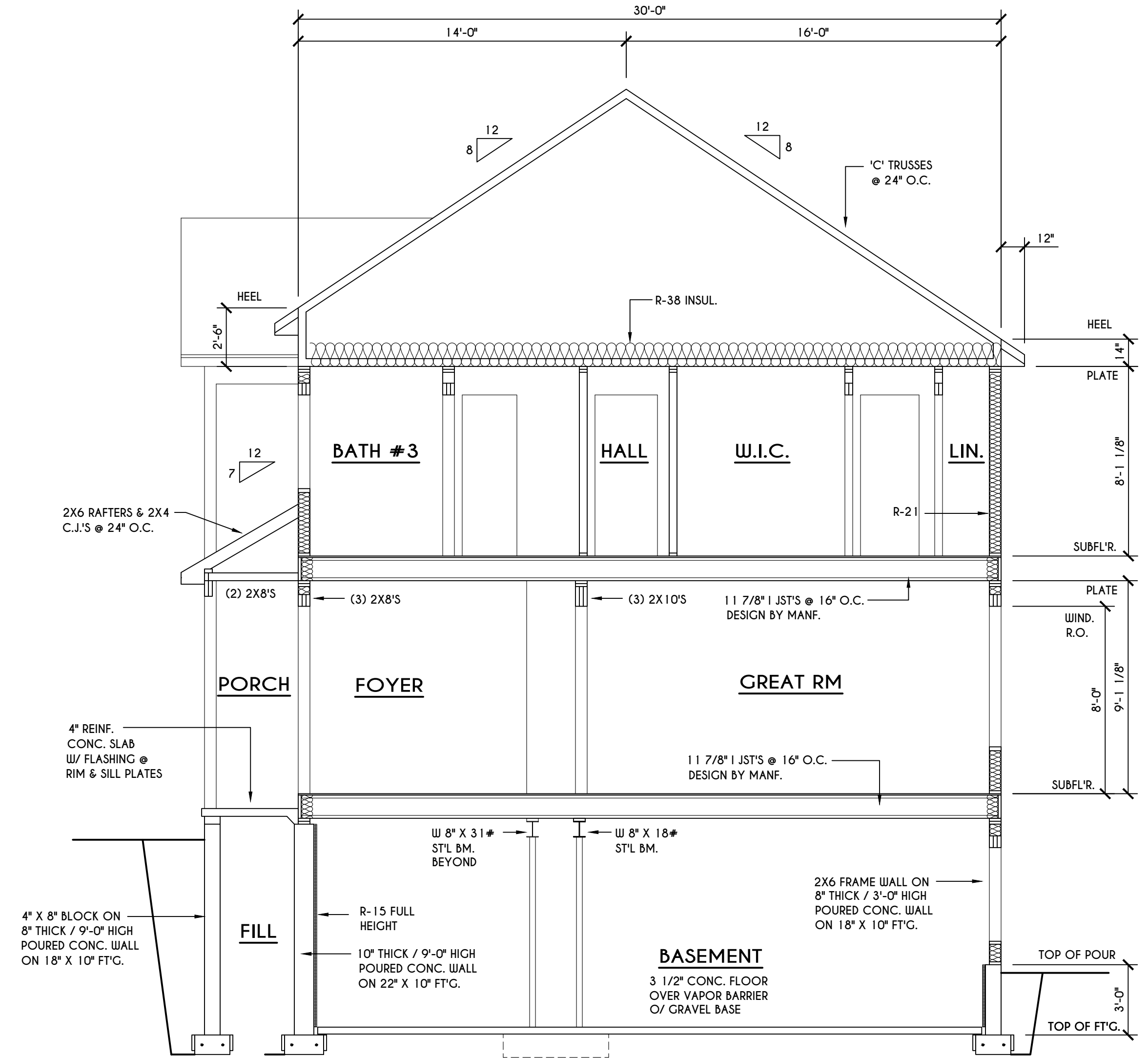


**'A' TRUSS PROFILES**  
 SCALE: 1/4" = 1'-0"

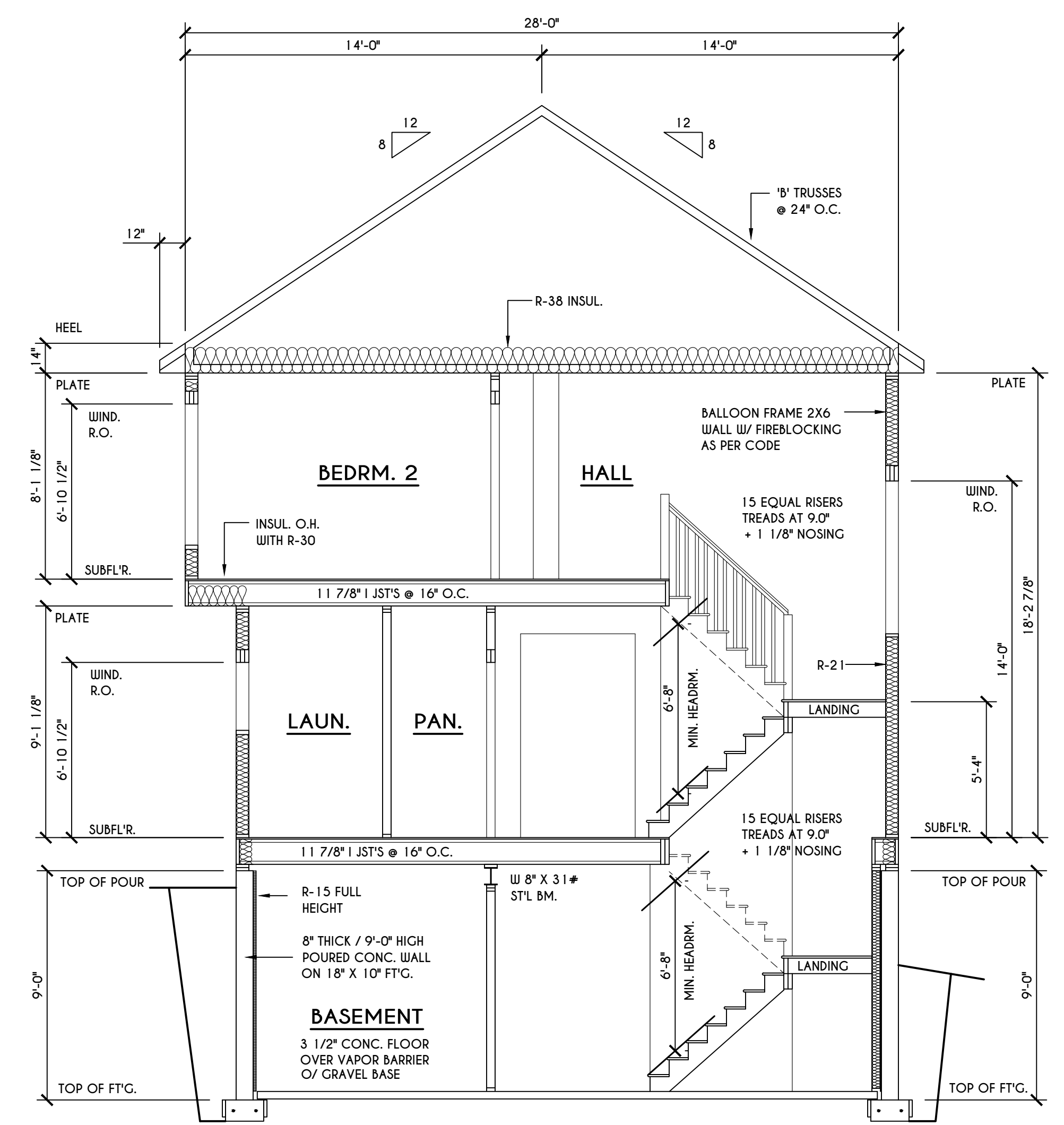
**TRUSS NOTES:**  
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD  
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



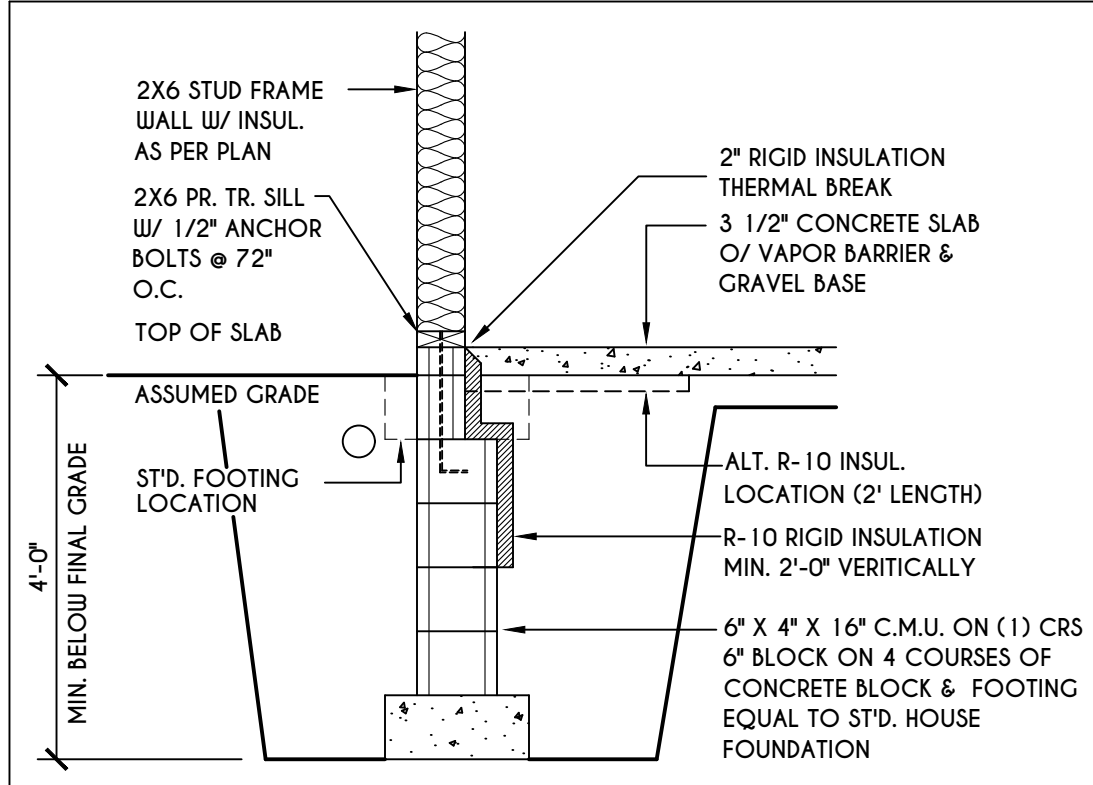
**C BUILDING DETAIL**  
 SCALE: 1/4" = 1'-0"



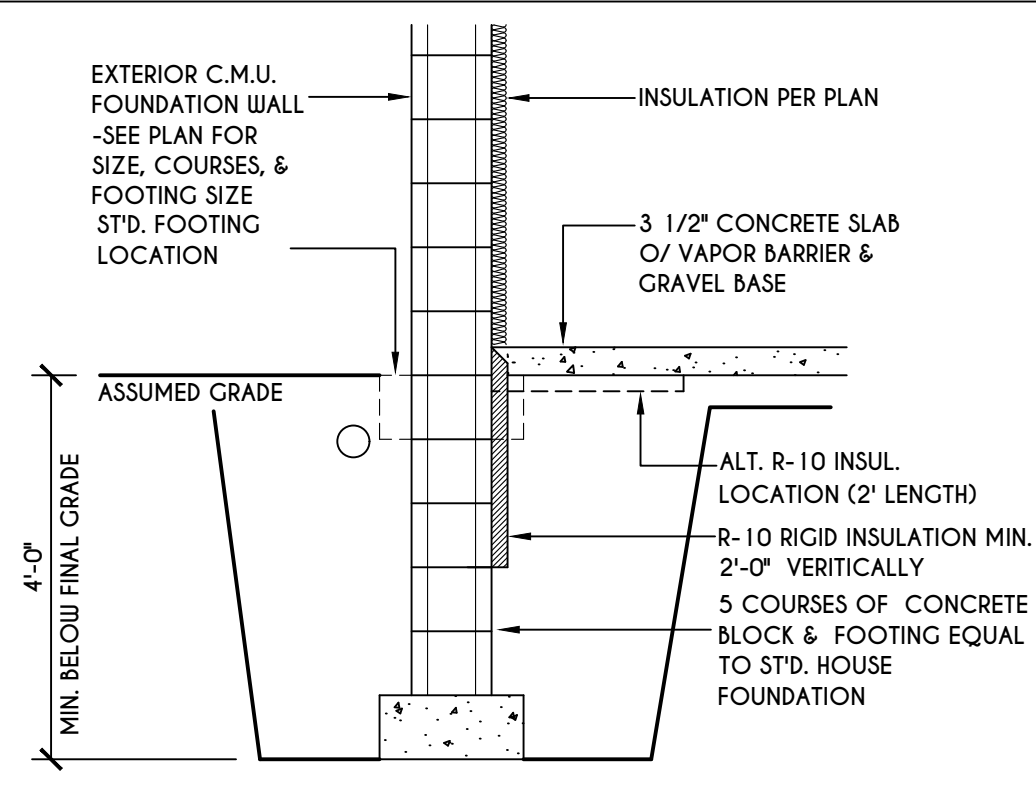
**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



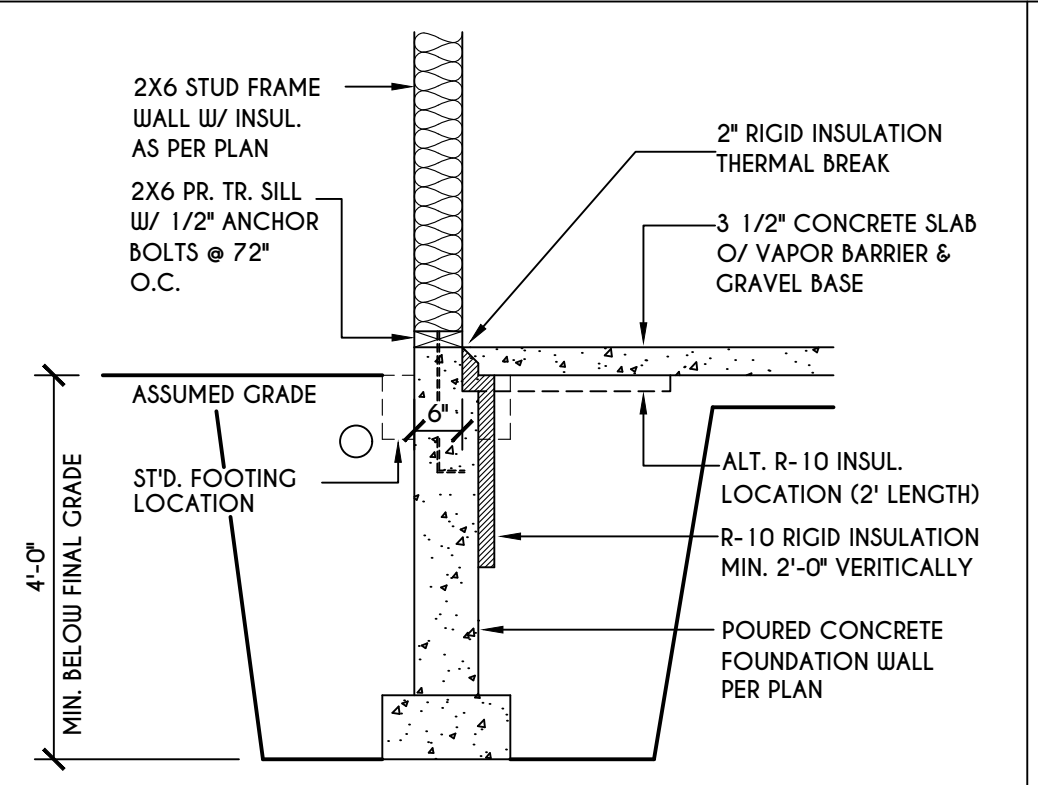
**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



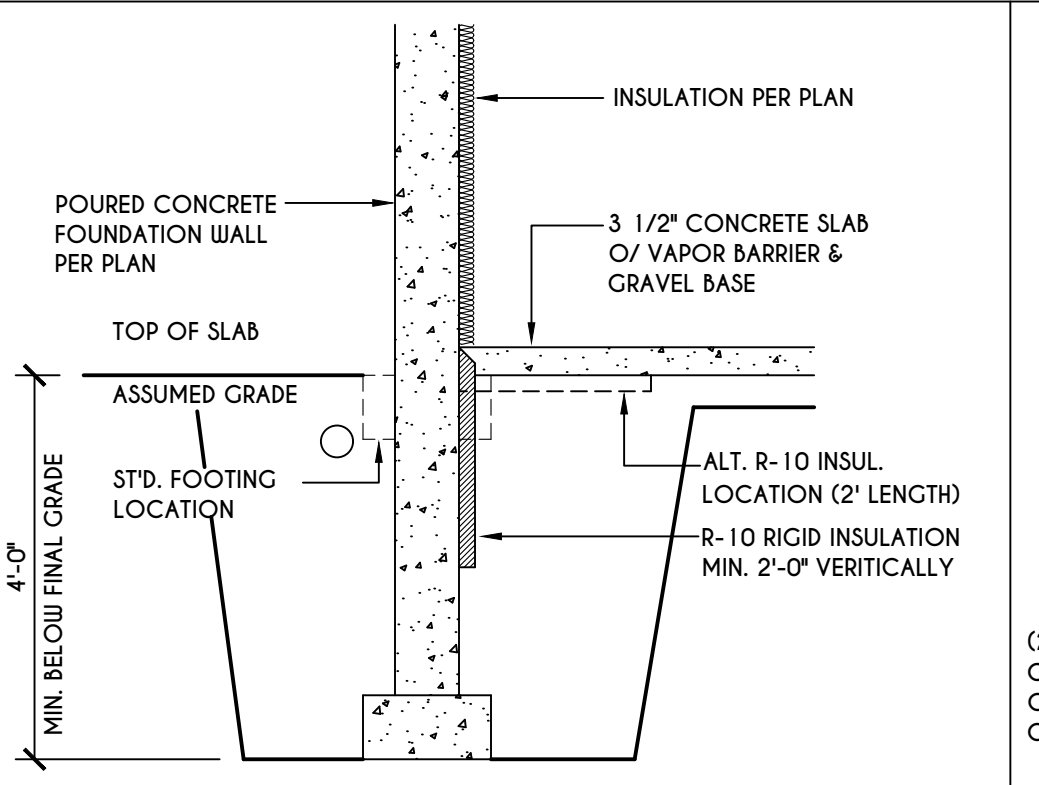
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**N-1**  
2X6 FRAME WALL ON C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



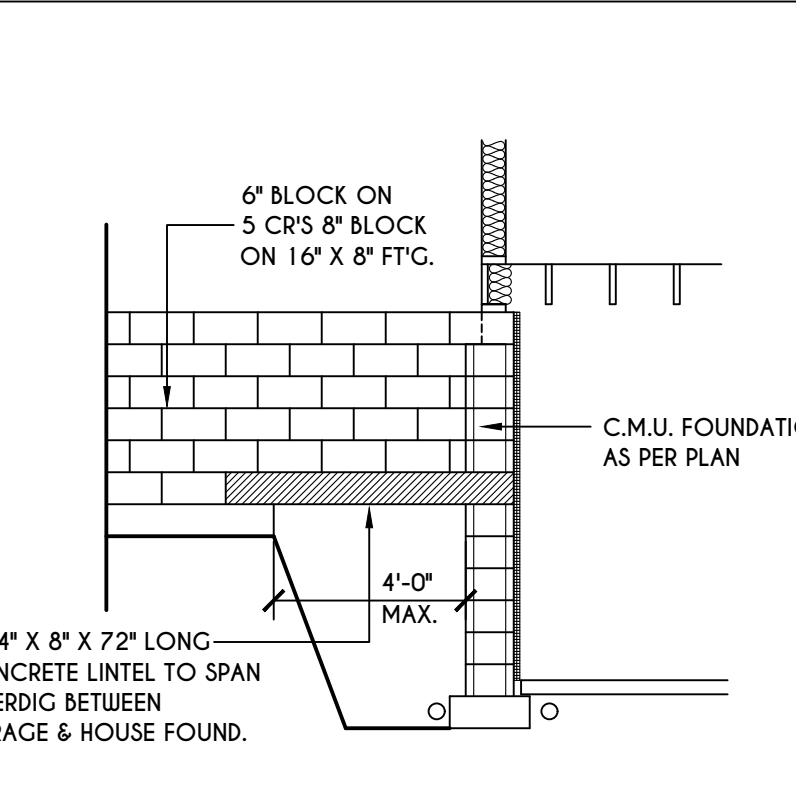
**2**  
**N-1**  
C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



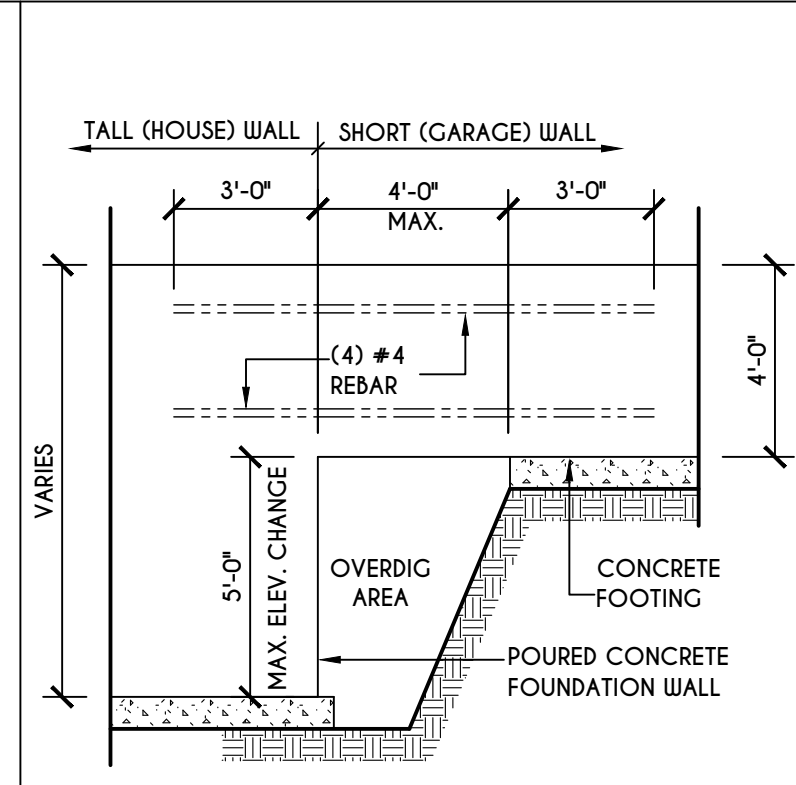
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**N-1**  
2X6 FRAME WALL ON POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



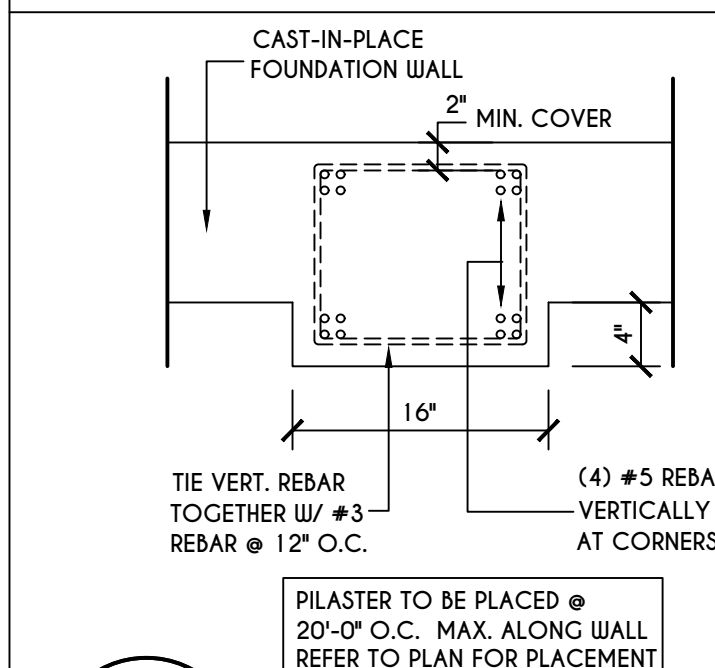
**4**  
**N-1**  
POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



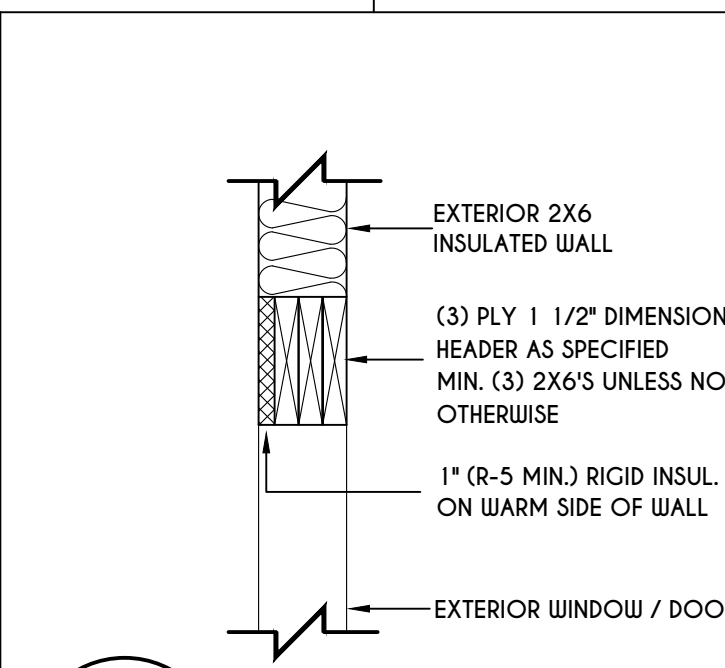
**5**  
**N-1**  
C.M.U. JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



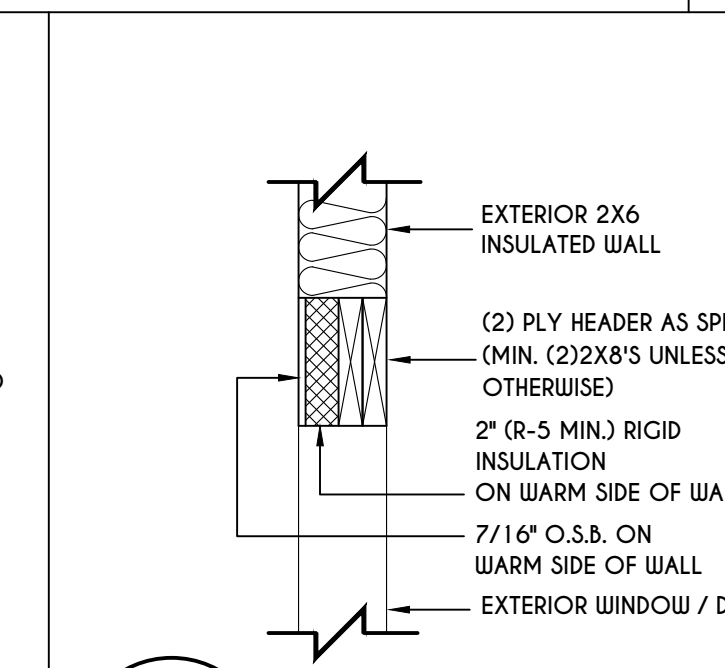
**6**  
**N-1**  
POURED WALL JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



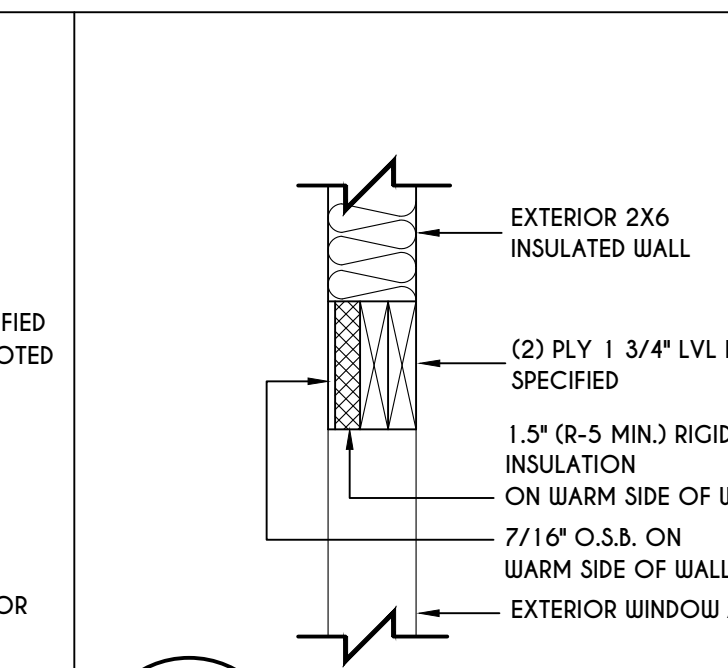
**7**  
**N-1**  
POURED WALL PILASTER DETAIL  
SCALE: 1" = 1'-0"



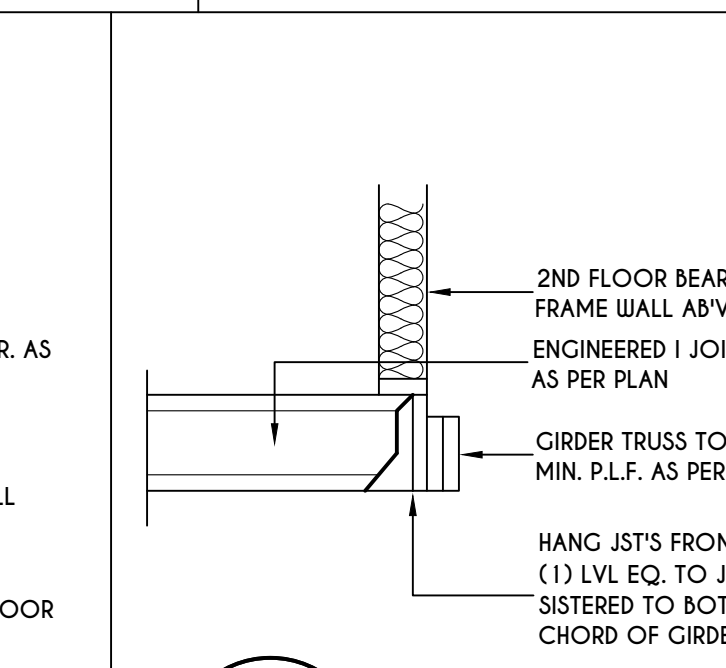
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**N-1**  
EXTERIOR INSULATED 3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



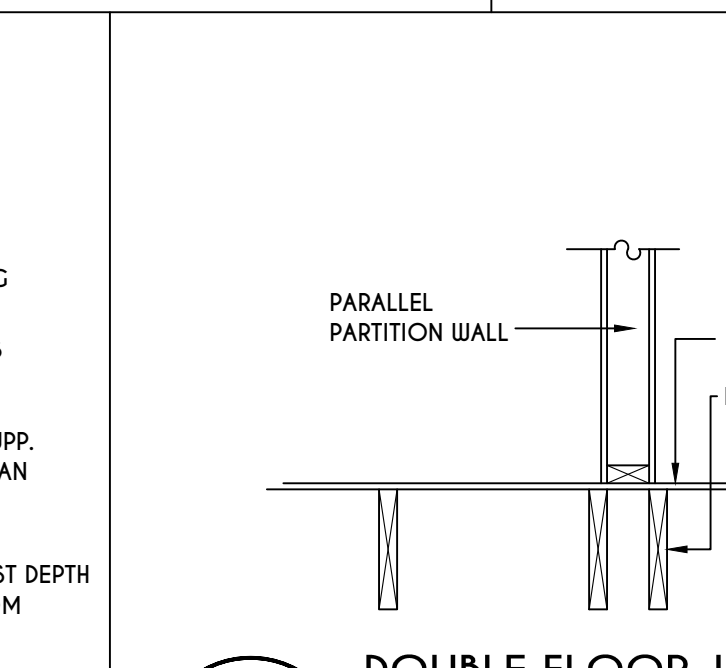
**9**  
**N-1**  
EXTERIOR INSULATED 2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



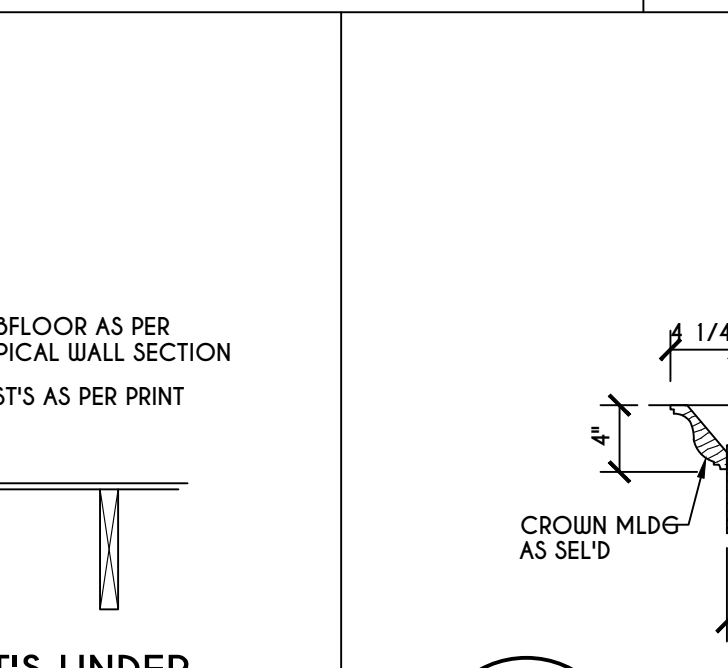
**10**  
**N-1**  
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



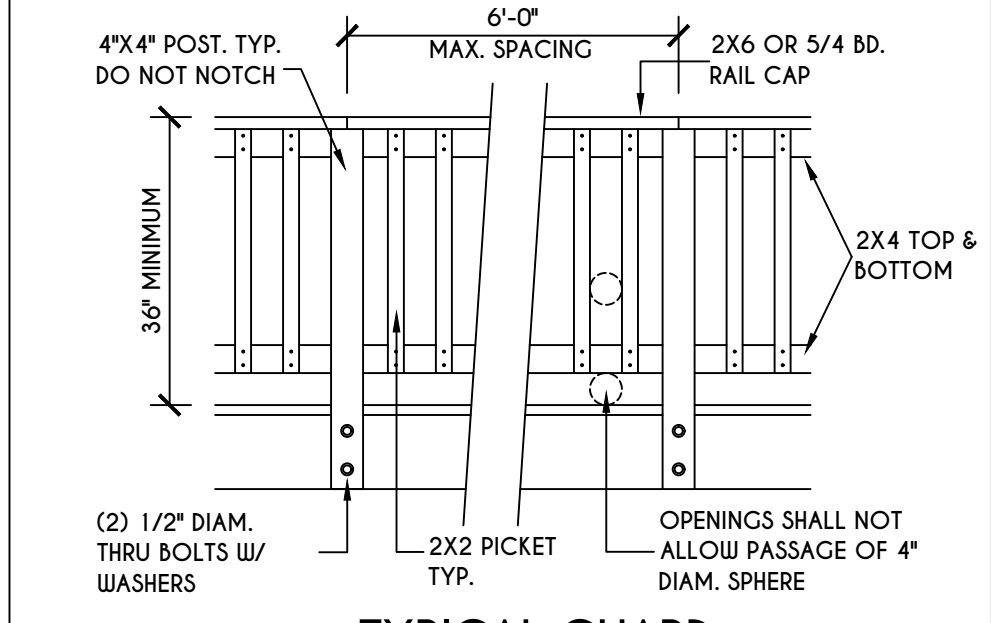
**11**  
**N-1**  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



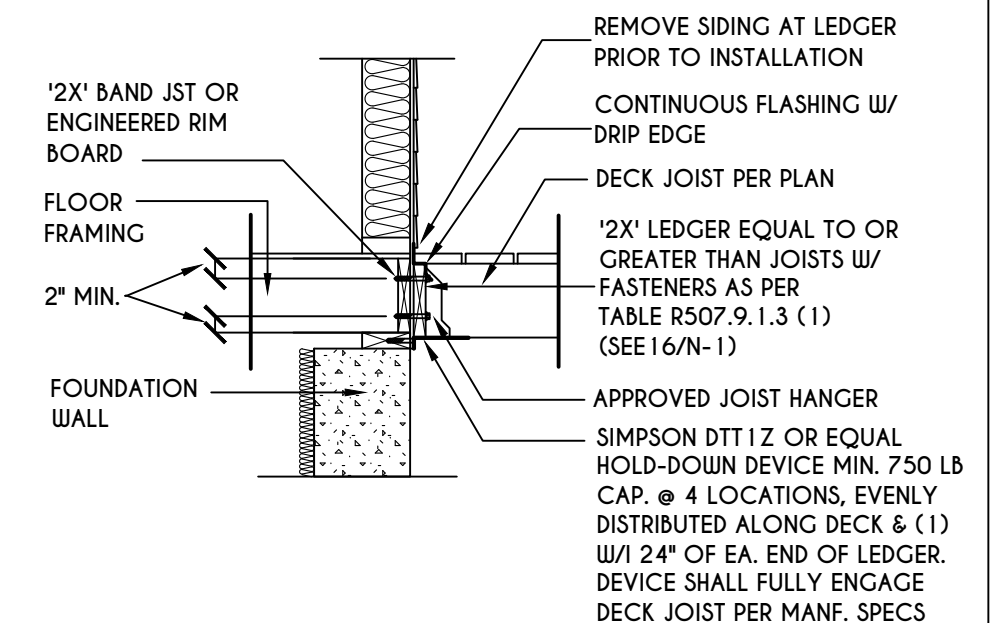
**12**  
**N-1**  
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL  
N.T.S.



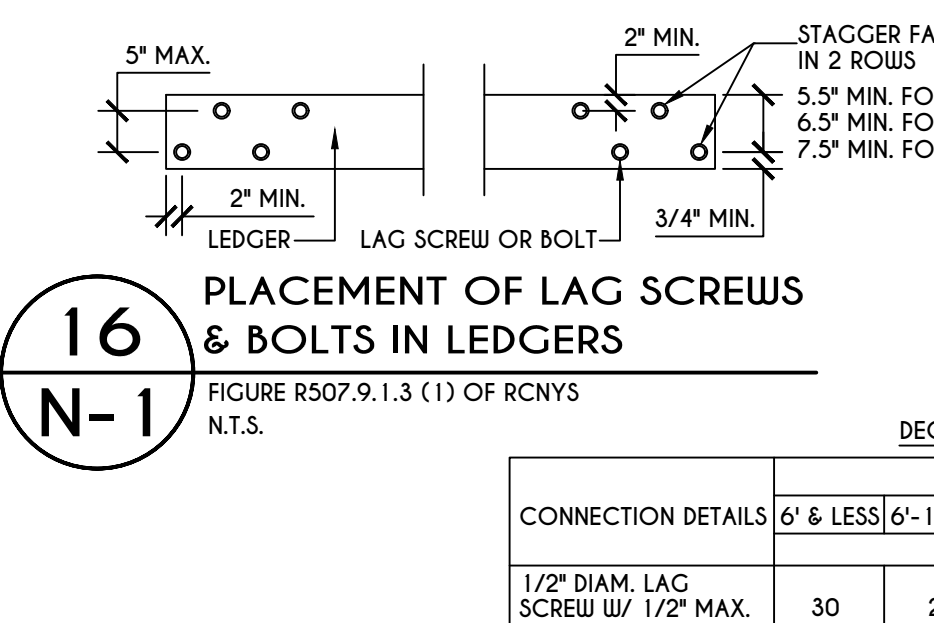
**13**  
**N-1**  
COFFERED BEAM DETAIL  
N.T.S.



**14**  
**N-1**  
TYPICAL GUARD RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



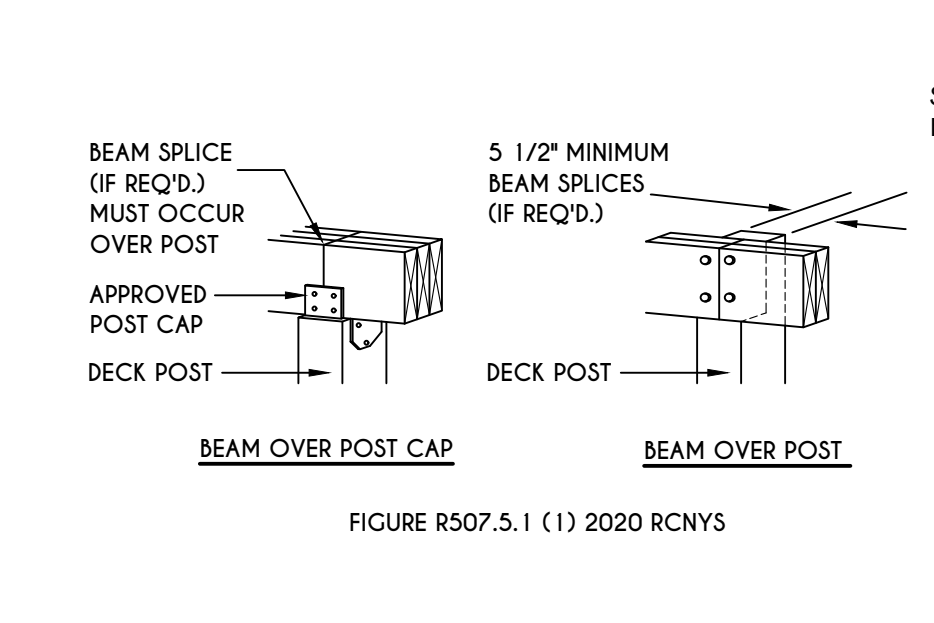
**15**  
**N-1**  
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



**16**  
**N-1**  
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS  
FIGURE R507.9.1.3 (1) OF RCNYS  
N.T.S.

TABLE R507.9.1.3 (1) DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

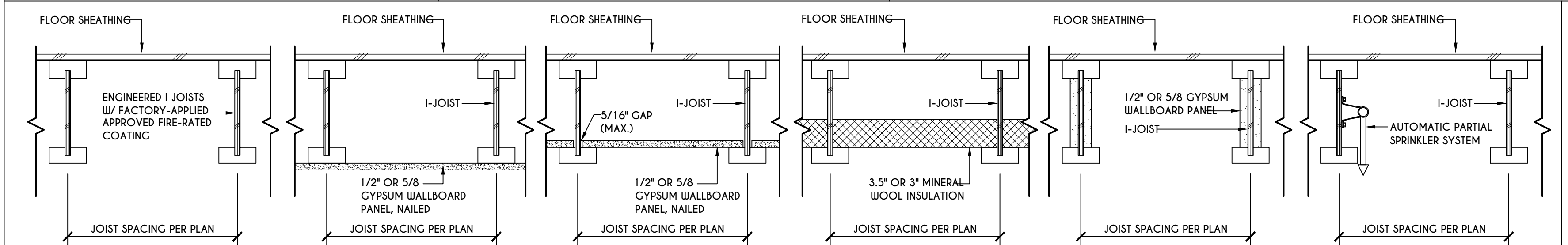


**17**  
**N-1**  
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION  
N.T.S.

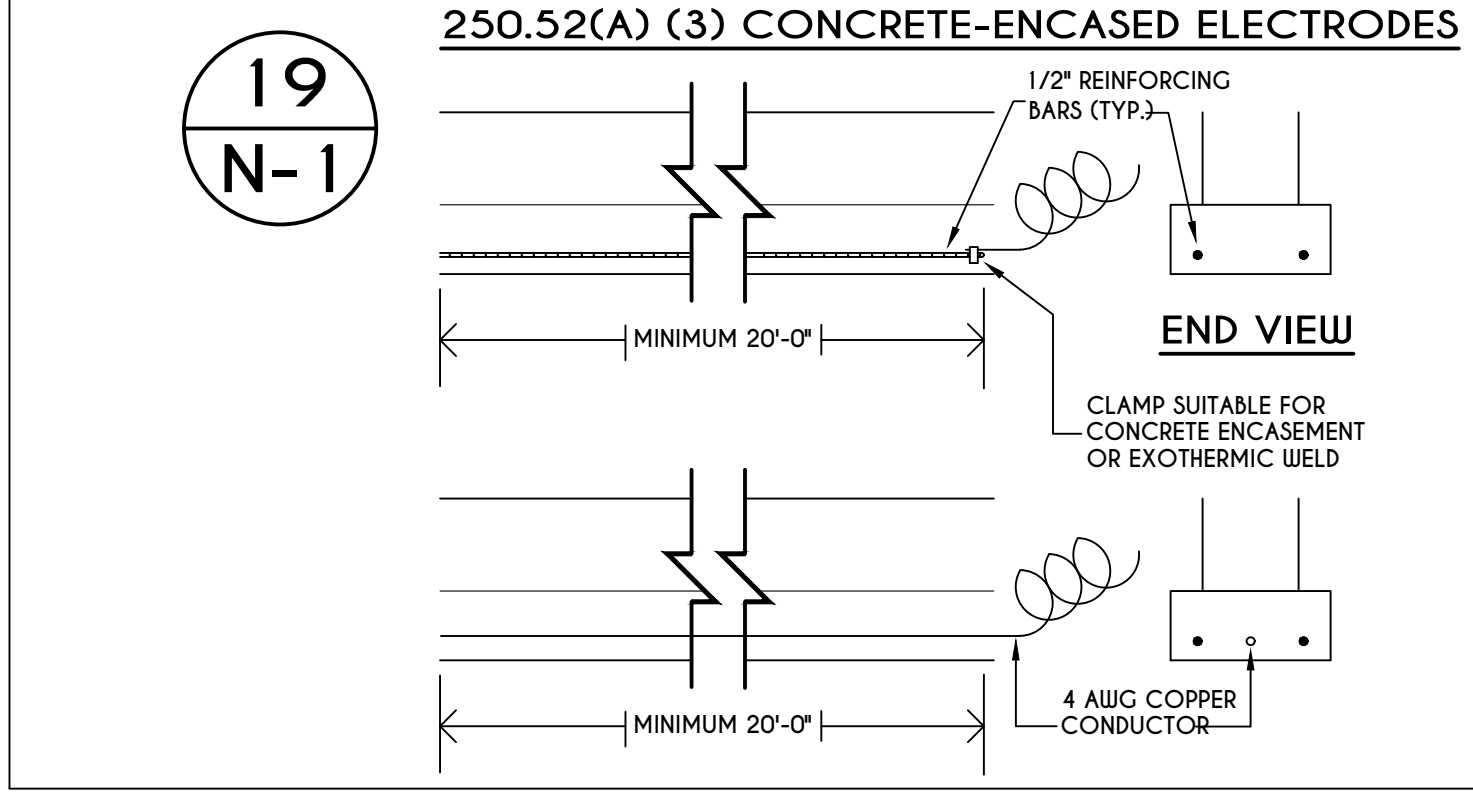
TABLE R507.4 DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT <sup>a,b</sup> (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

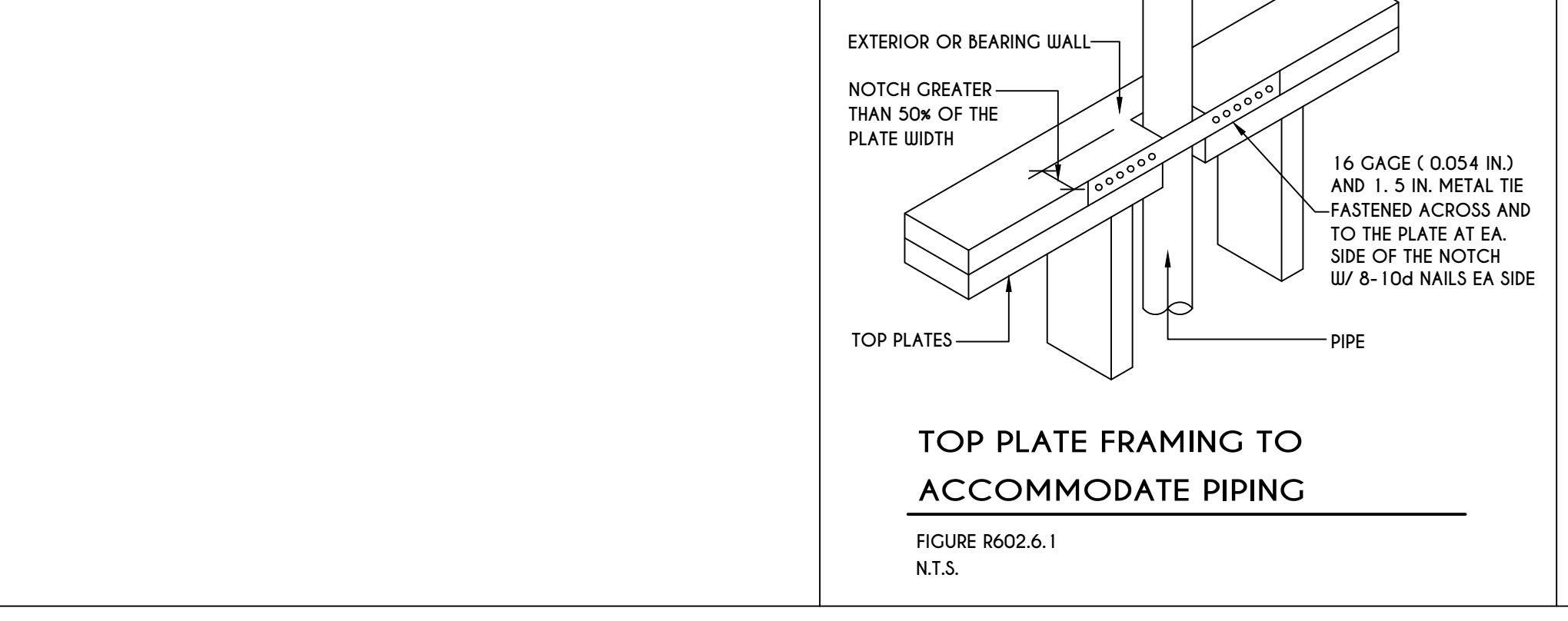
a. MEASURED TO UNDERSIDE OF BEAM  
b. BASED ON 40 psf LIVE LOAD  
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



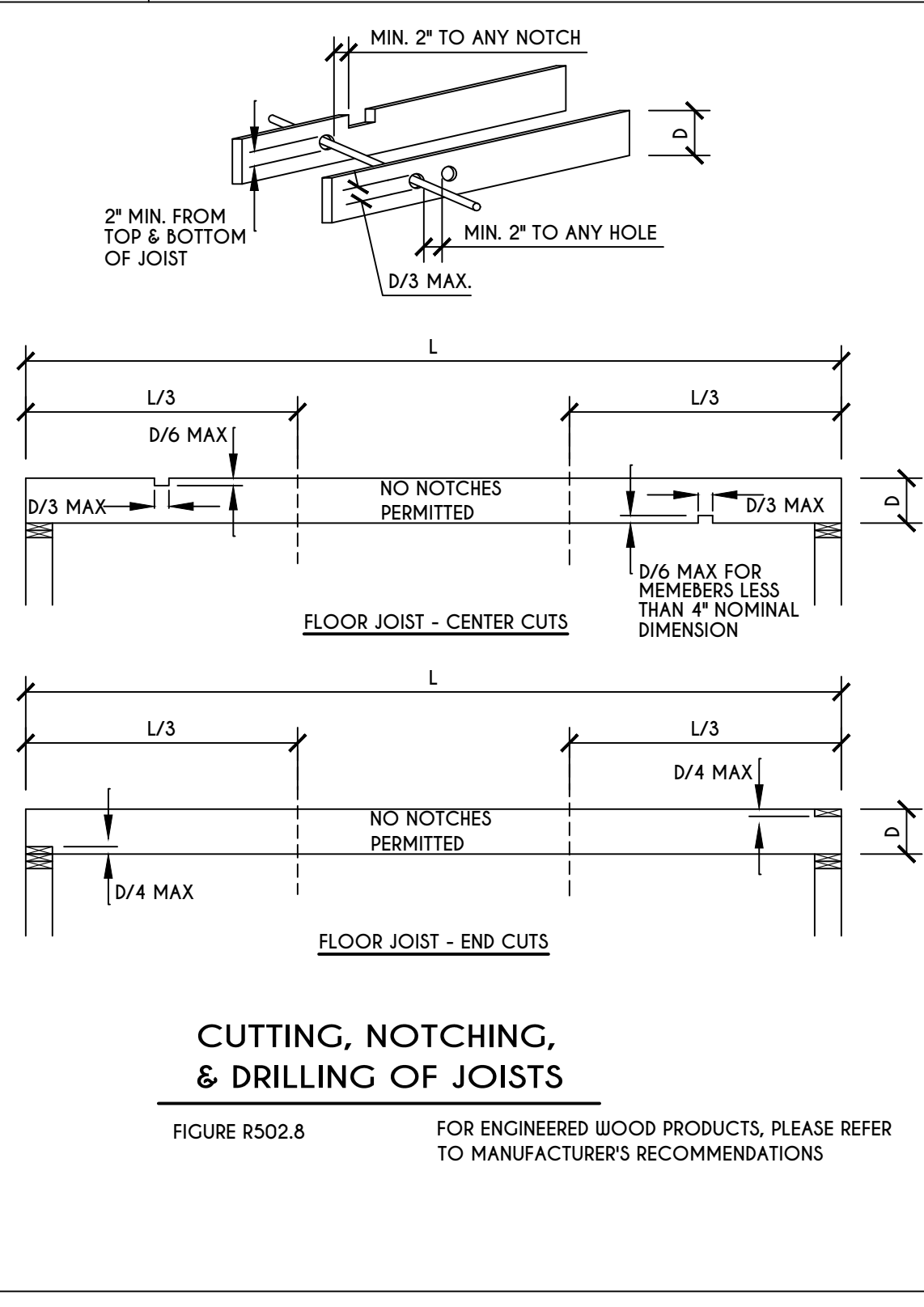
**18**  
**N-1**  
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



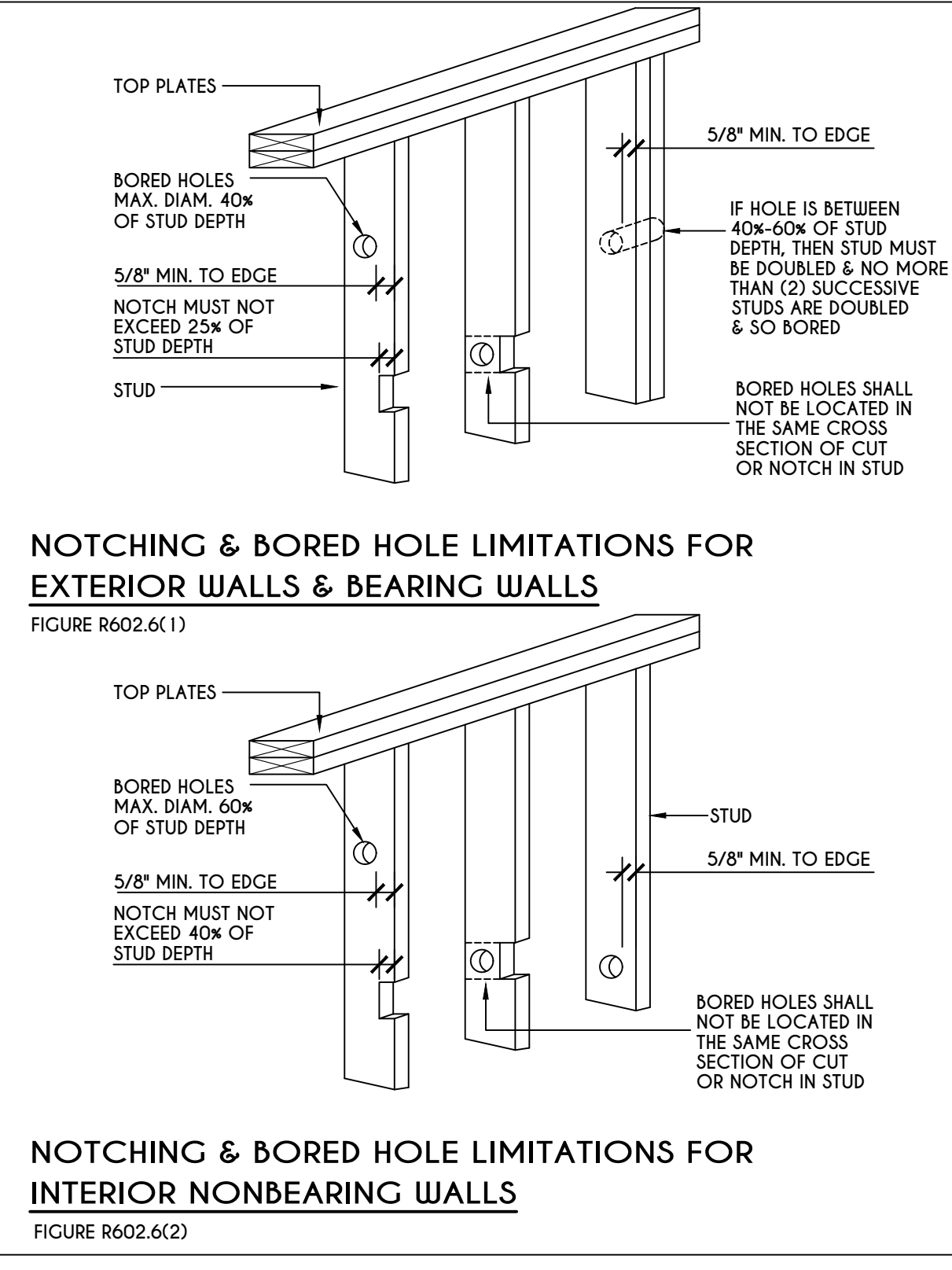
**19**  
**N-1**  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
END VIEW  
MINIMUM 20'-0"  
1/2" REINFORCING BARS (TYP.)  
CLAMP SUITABLE FOR CONCRETE ENCASEMENT OR EXOTHERMIC WELD  
4 AWG COPPER CONDUCTOR  
MINIMUM 20'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING  
FIGURE R602.6.1  
N.T.S.

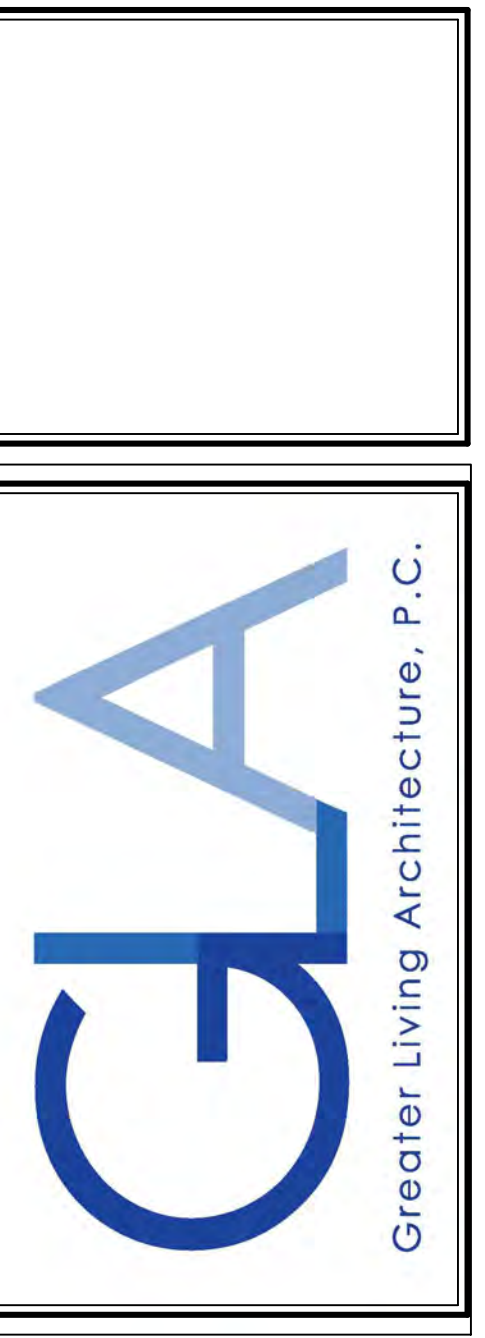


CUTTING, NOTCHING, & DRILLING OF JOISTS  
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS  
FIGURE R602.6(1)  
TOP PLATES  
BORED HOLES MAX. DIAM. 40% OF STUD DEPTH  
5/8" MIN. TO EDGE  
STUD  
5/8" MIN. TO EDGE  
BORED HOLES SHALL NOT BE LOCATED IN THE SAME CROSS SECTION OF CUT OR NOTCH IN STUD

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:  
  
SPEC HOME  
LOT 63 BRIDLERIDGE  
PITTSFORD, NY

BUILDER:  
  
COVENTRY RIDGE  
BUILDING CORP.

DETAILS

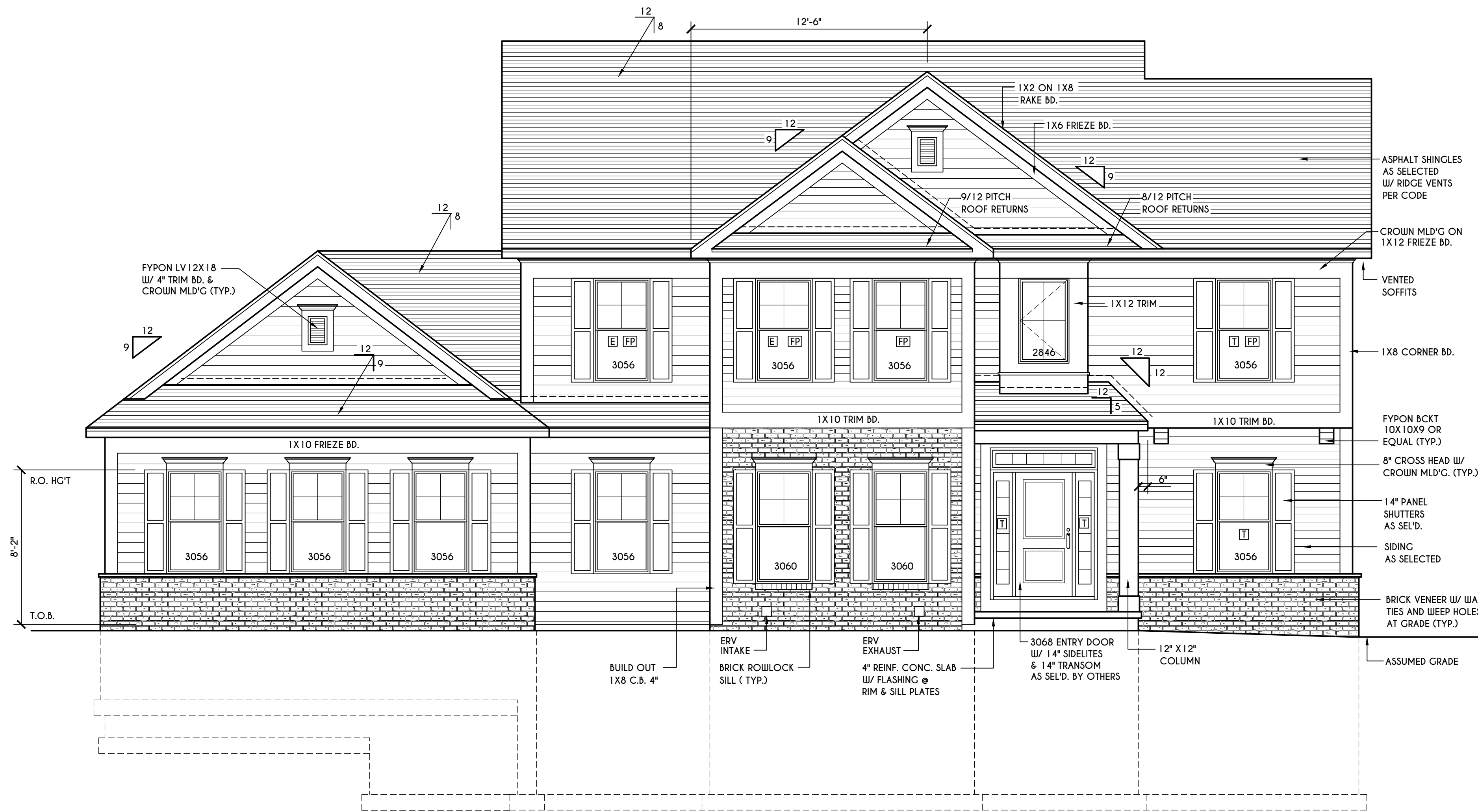
GLA PLAN 3228	drawn: CDK	checked: CSB
scale: AS NOTED	date: 7/24	PROJECT: 1538 IF
sheet: N	sheet: 1	





# 4 Bridleridge

HOUSE FOOTPRINT  
SCALE: 1" = 50'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1444 SQ.FT.  
SECOND FLOOR LIVING AREA = 1482 SQ.FT.  
TOTAL LIVING AREA = 2926 SQ.FT.  
TOTAL CONDITIONED VOLUME = 40,902 CU.FT.

TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS, TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

WINDOWS: VUD 2 LOC DH SOLAR GAIN W/ ARGON

U-FACTOR ..... 0.30  
SHGC ..... 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft<sup>2</sup> & SLIDING DOORS NO MORE THAN 0.5 cfm/ft<sup>2</sup>. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

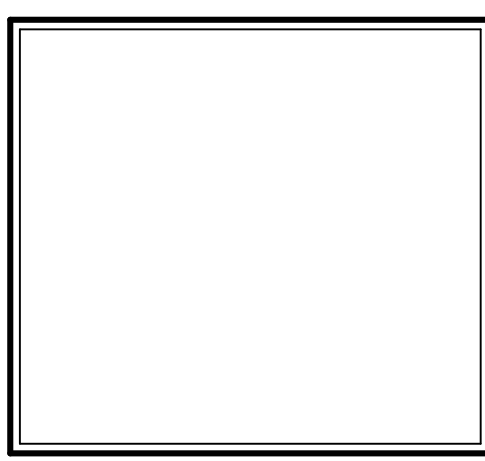
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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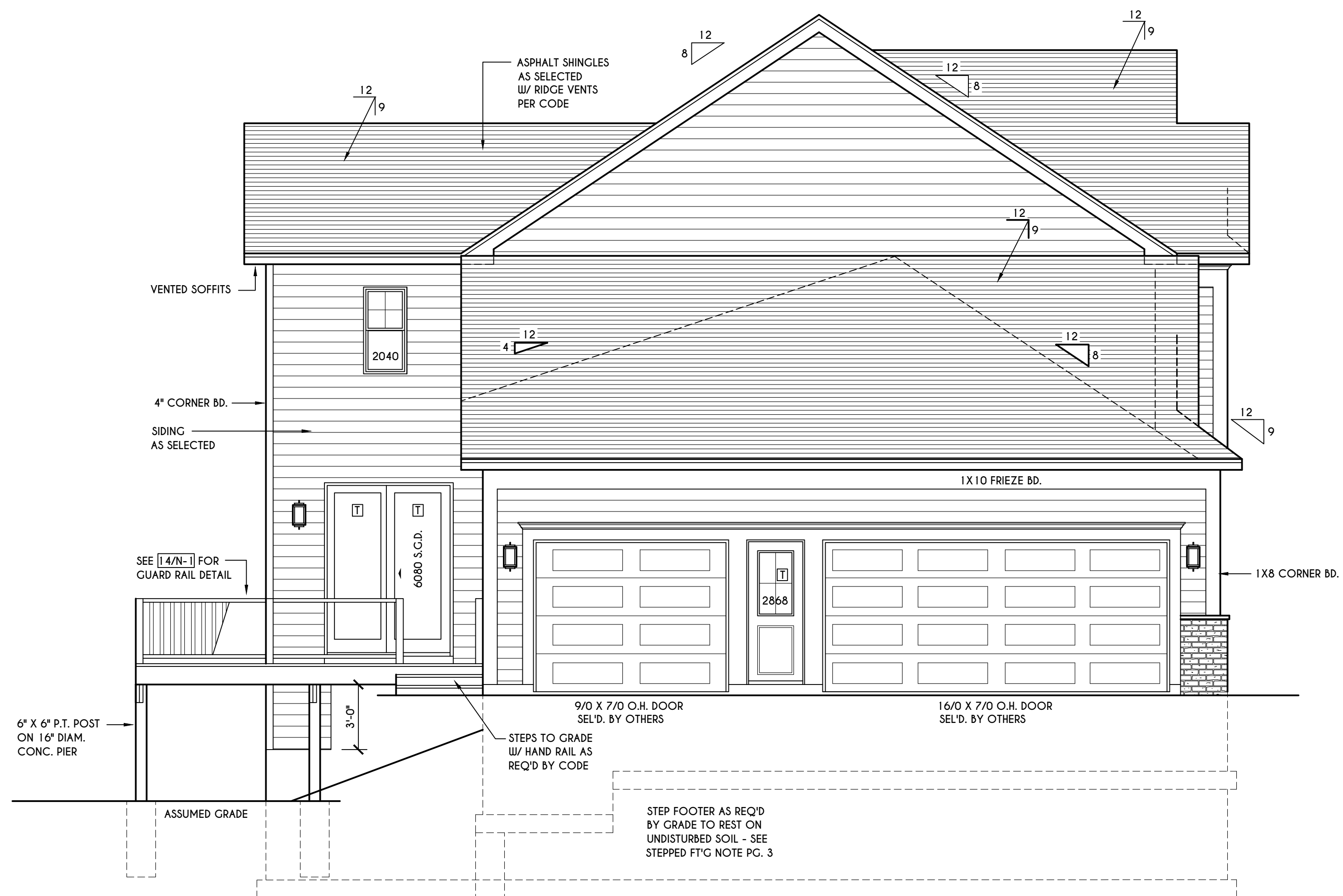
DATE	BY	DESCRIPTION

CLIENT/LOCATION:  
  
SPEC HOUSE  
LOT 67 BRIDLERIDGE FARMS  
PITTSFORD, NY

BUILDER:  
  
COVENTRY RIDGE  
BUILDING CORP.

ELEVATIONS  
GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 23
PROJECT: 15420H	sheet: 1 / 6

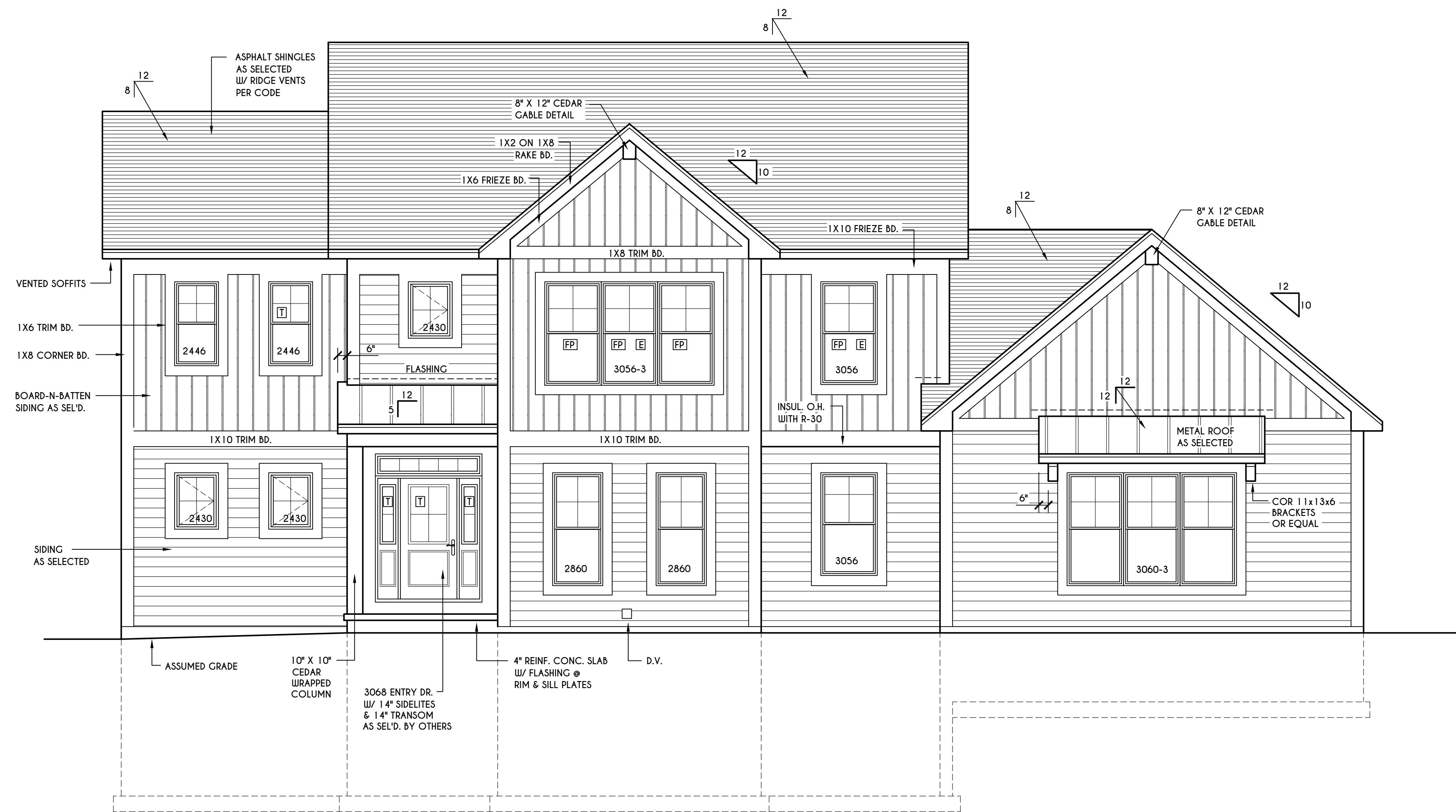
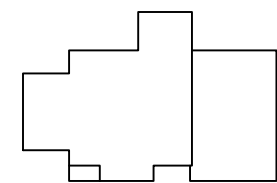


## LEFT ELEVATION

SCALE: 1/4" = 1'-0"

# 5 Bridleridge

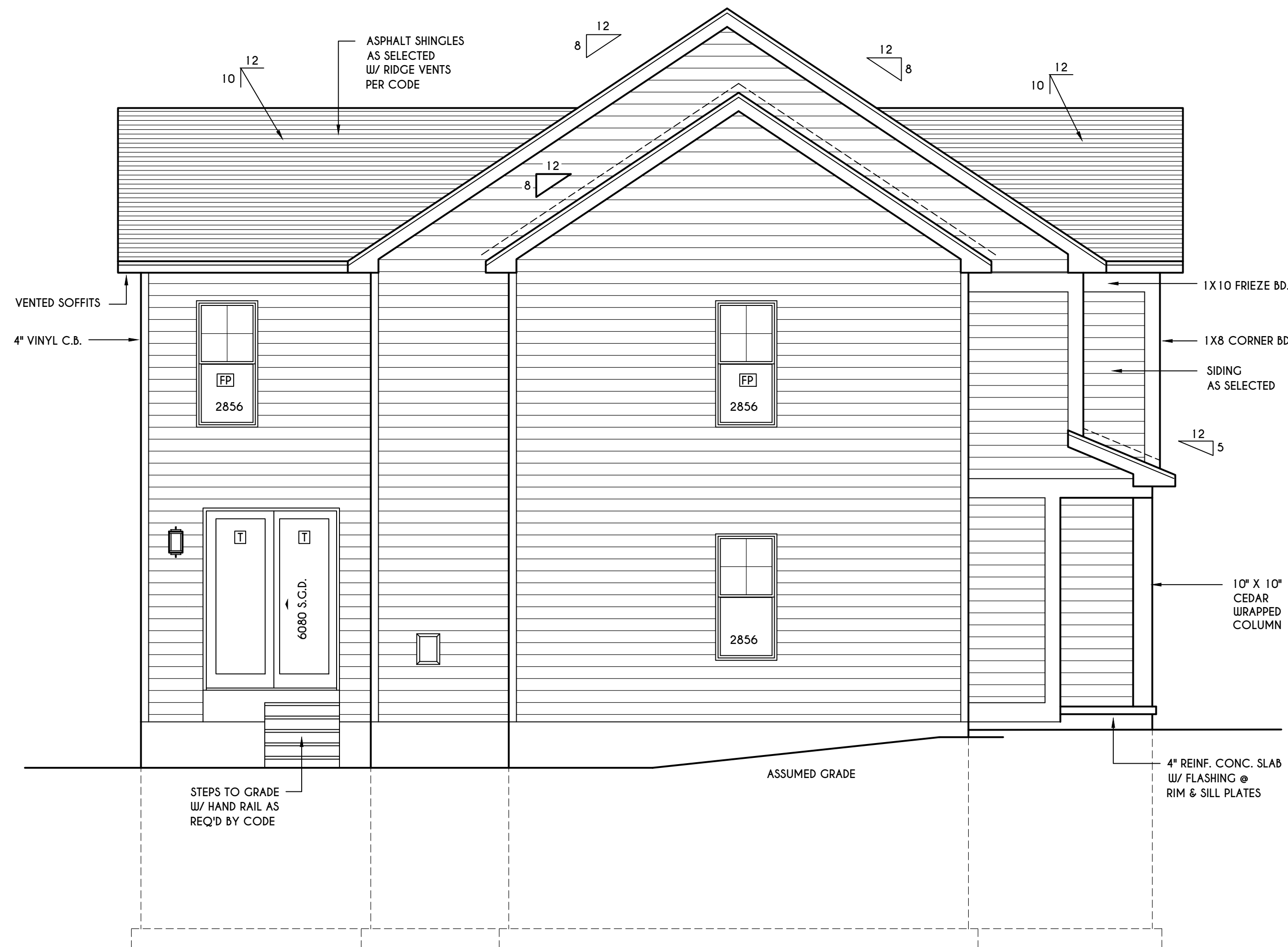
HOUSE FOOTPRINT  
SCALE: 1" = 50'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1396 SQ.FT.  
SECOND FLOOR LIVING AREA = 1414 SQ.FT.  
TOTAL LIVING AREA = 2810 SQ.FT.  
TOTAL CONDITIONED VOLUME = 38,224 CU.FT.



## LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

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MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

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FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

WINDOWS: VUD 210C DH SOLAR GAIN W/ ARGON

U-FACTOR ..... 0.30  
SHGC ..... 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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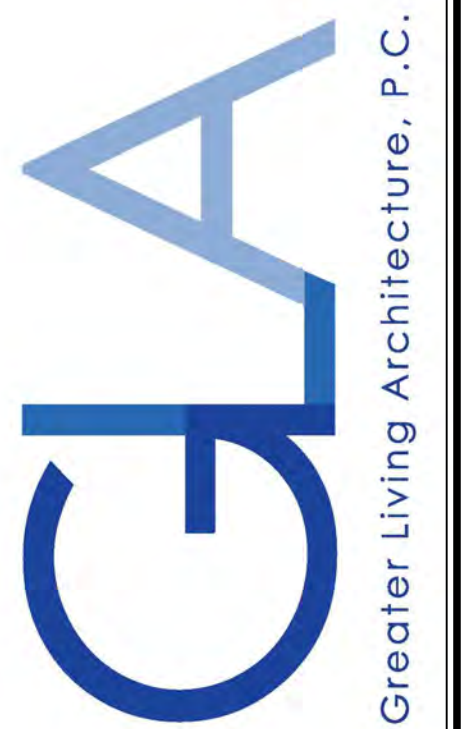
4/12 PITCH ROOFS OR SHALLOWER

TO HAVE 2 LAYERS 15# FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

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SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE  
BUILDING CORP.

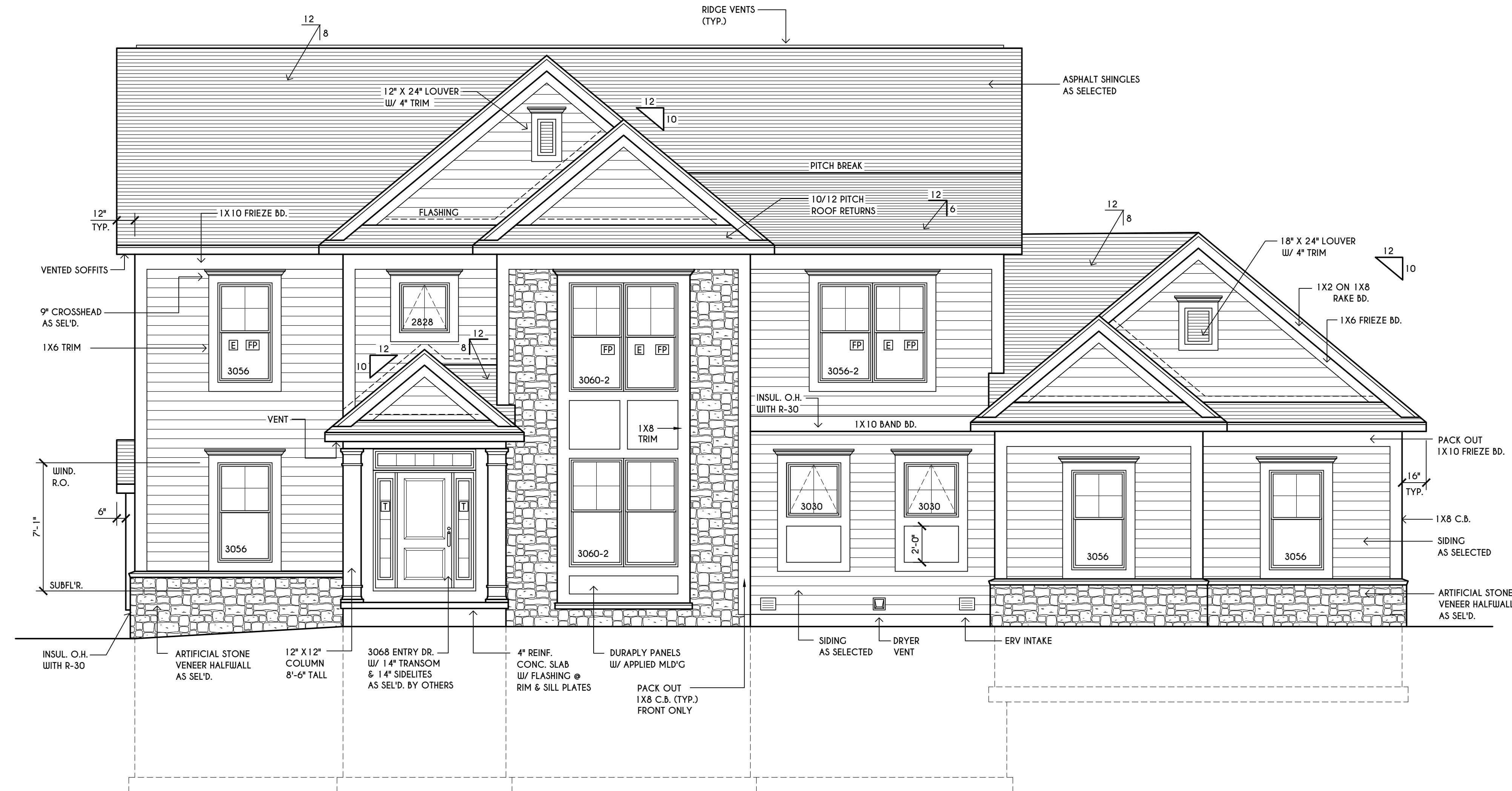
ELEVATIONS

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 1 / 6

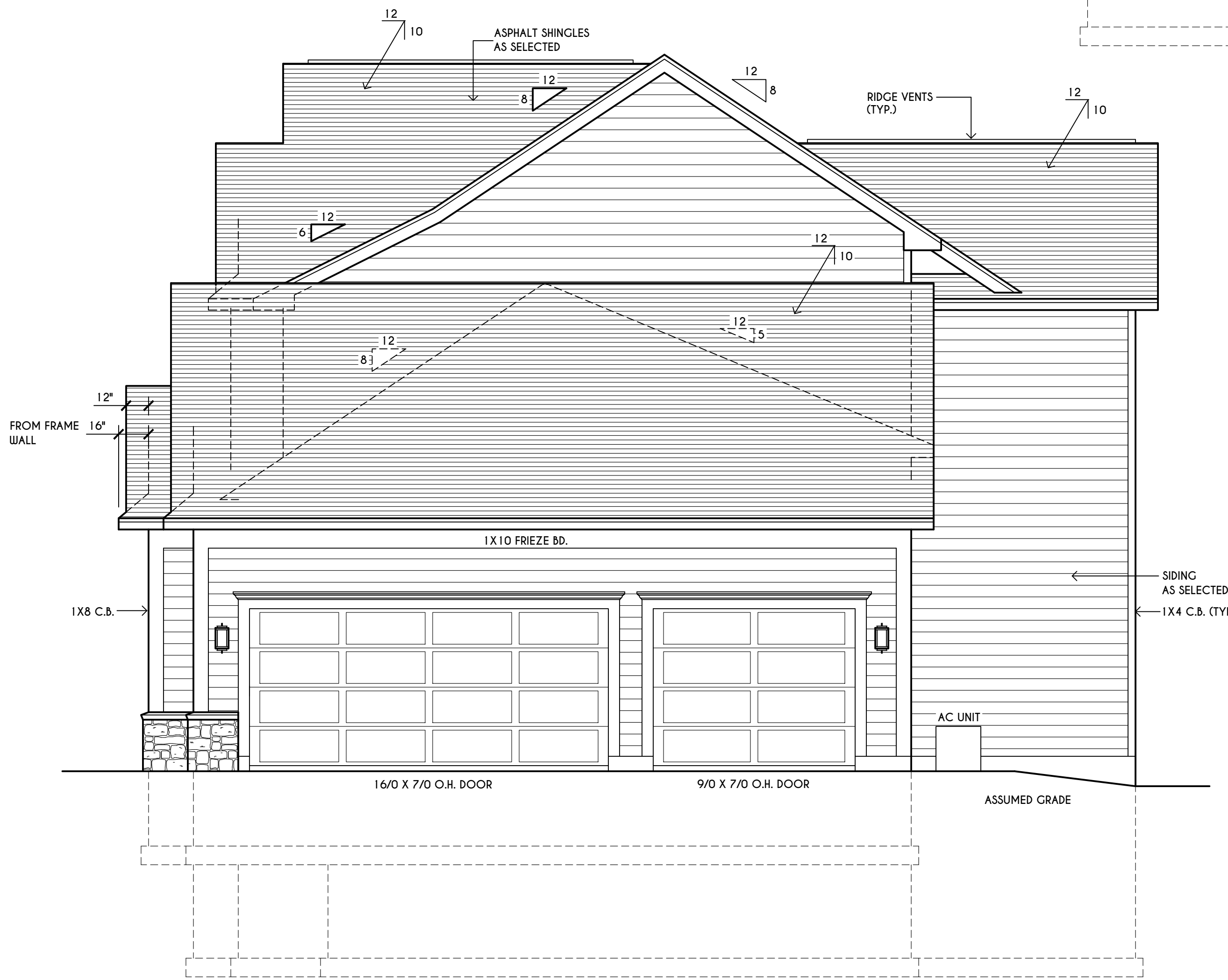
# 7 Bridleridge

**HOUSE FOOTPRINT**  
SCALE: 1" = 50'-0"



## FRONT ELEVATION

FIRST FLOOR LIVING AREA = 1524 SQ.FT.  
SECOND FLOOR LIVING AREA = 1560 SQ.FT.  
TOTAL LIVING AREA = 3084 SQ.FT.  
TOTAL CONDITIONED VOLUME = 41,988 CU.FT.



## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M 1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M 1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** VWD SOLAR GAIN GLASS W/ ARGON  
U-FACTOR ..... 0.30  
SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

**WINDOW / DOOR LEGEND:**

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

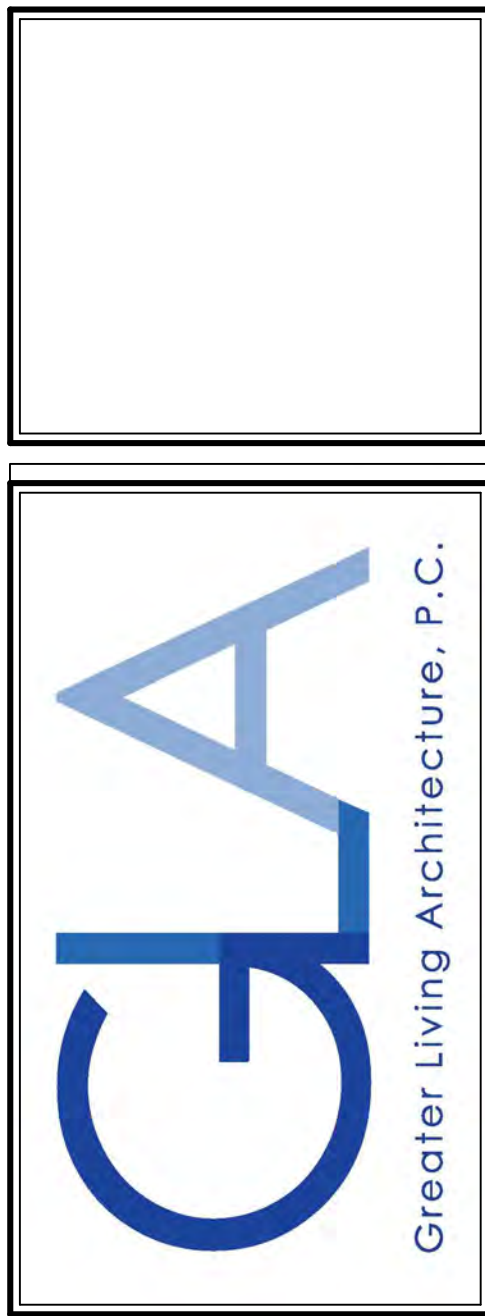
**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 ( PAGE 1 )

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

LOT 2  
BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**

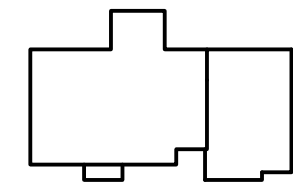
COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**

GLA PLAN 3084

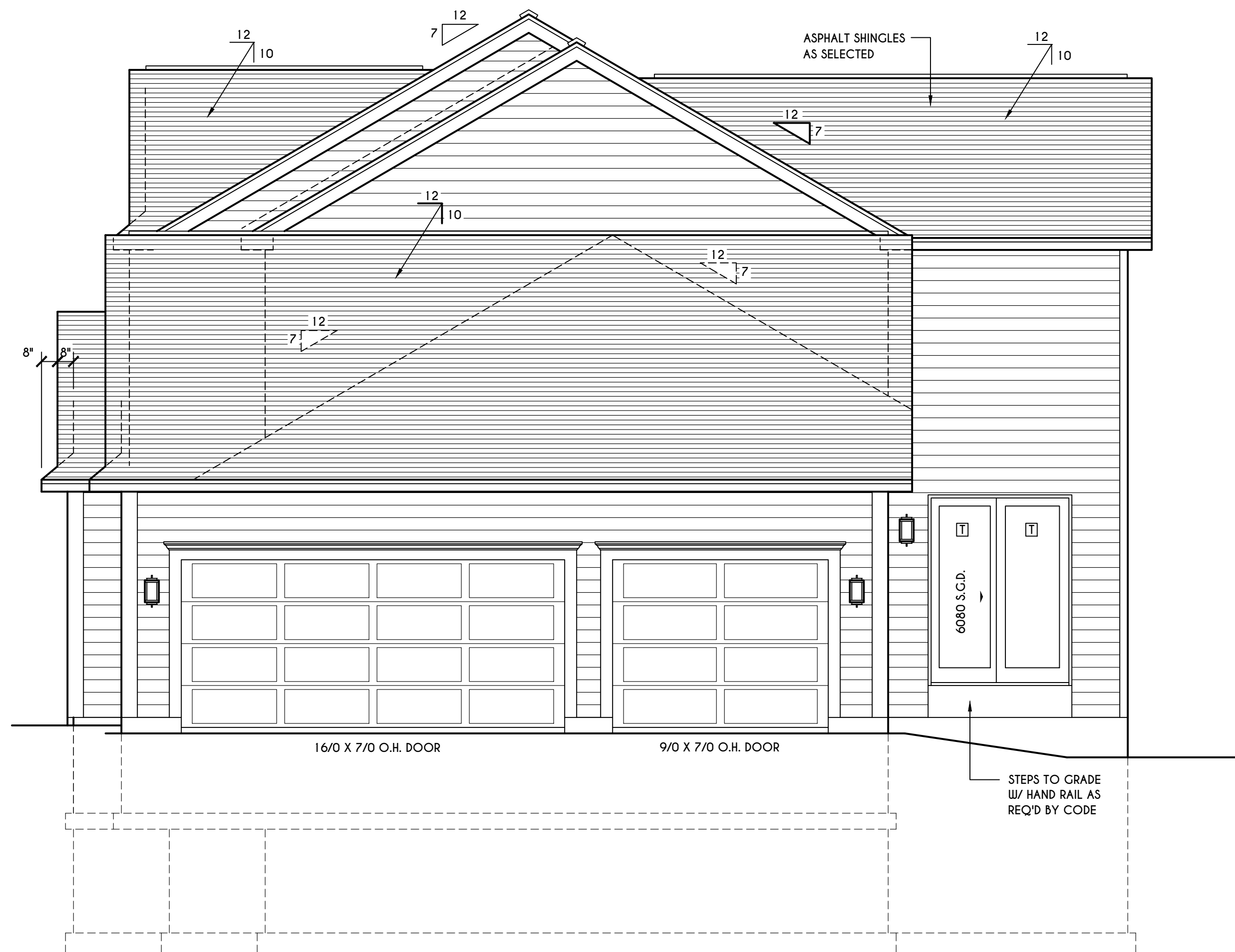
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CDK	CSB
scale:	date:
AS NOTED	6 / 20
PROJECT:	sheet:
15381 C	1 / 6

# 9 Bridleridge



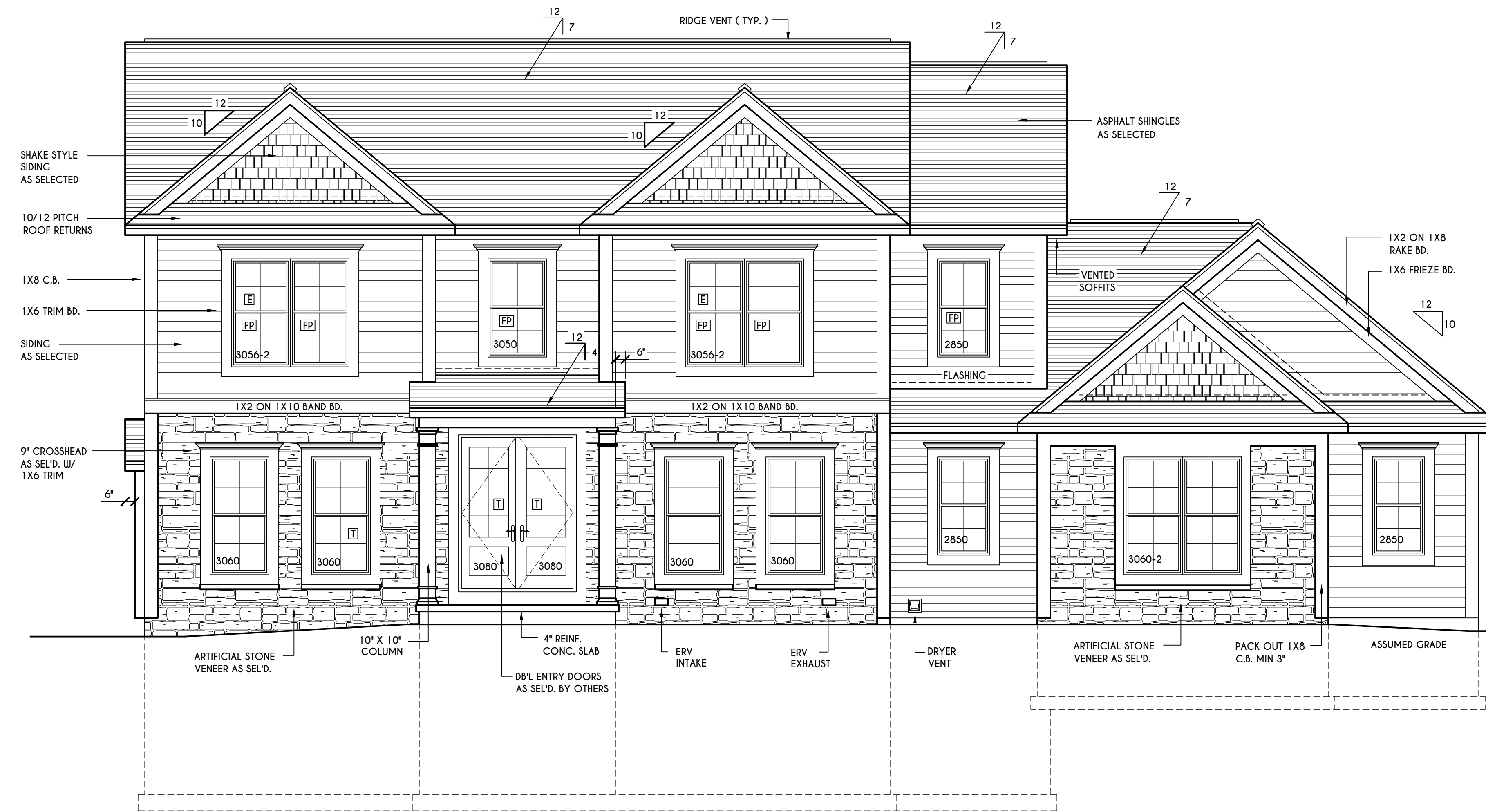
## HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1488 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1517 SQ.FT.  
 TOTAL LIVING AREA = 3005 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 40,807 CU.FT.

**WINDOWS:** VLD SOLAR GAIN GLASS W/ ARGON  
 U-FACTOR ..... 0.30  
 SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY.

**WINDOW / DOOR LEGEND:**  
 [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR Sf: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT FACTOR a	25%	33%	50%	66%	75%	100%
	4	3	2	1.5	1.3	1.0

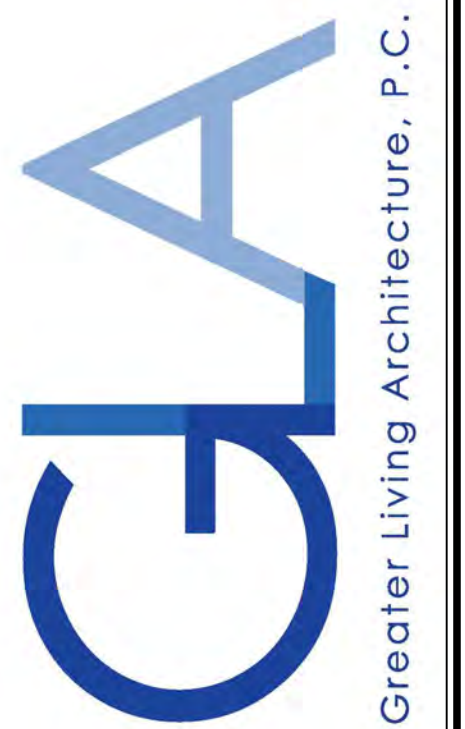
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR Sf: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

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 www.greatliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 ALT. "LATTIMORE"  
 LOT 3 BRIDLERIDGE FARMS  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

## ELEVATIONS

GLA PLAN 3005

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15399C	sheet: 1 / 6

# 10 Bridleridge

**TABLE M1505.4.3 (1)**  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7 > 7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,001-4,500	60	75	90	105
4,501-6,000	75	90	105	120
6,001-7,500	90	105	120	135
> 7,500	105	120	135	150

**TABLE M1505.4.3 (2)**  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

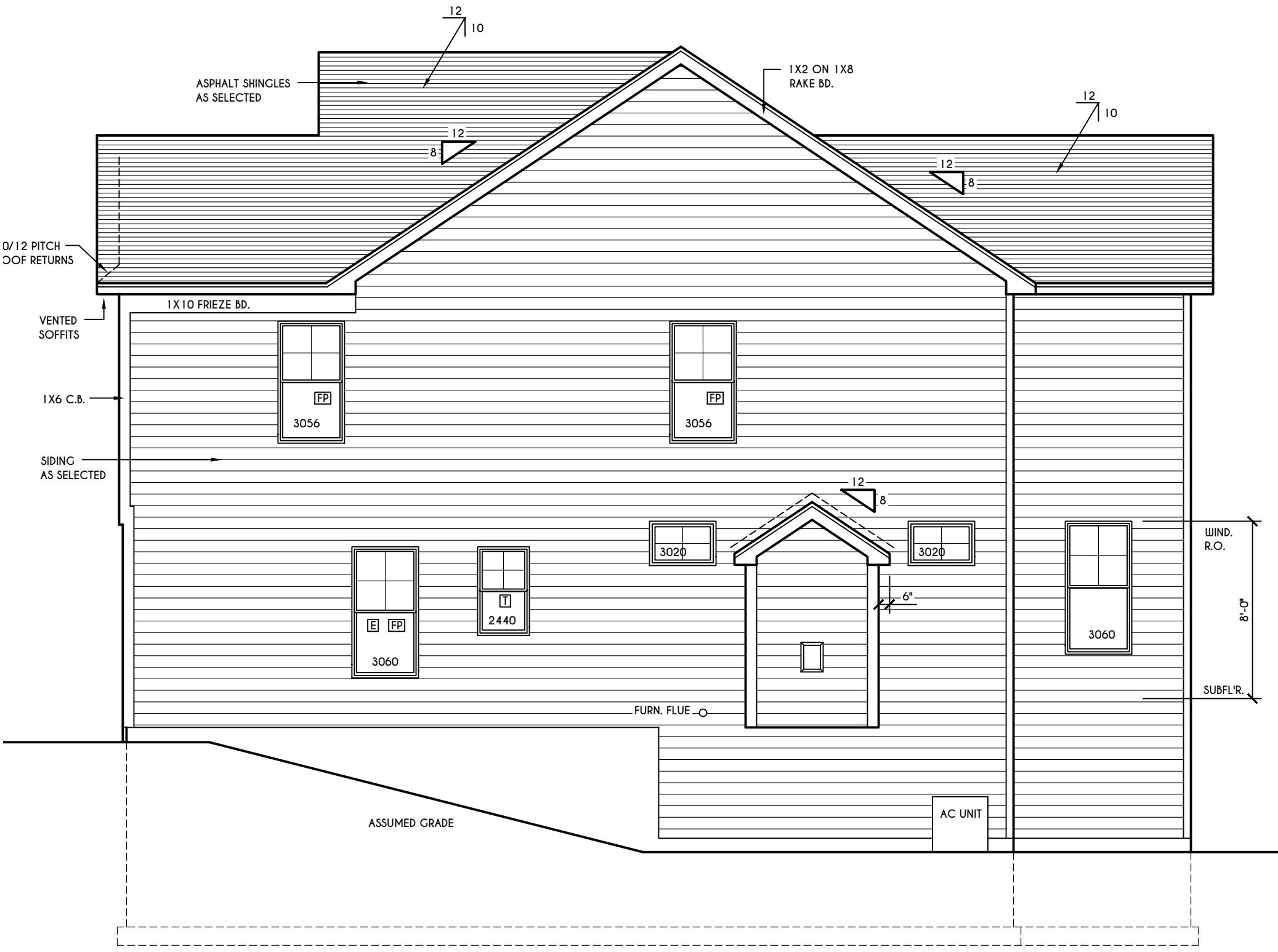
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT FACTOR	25%	33%	50%	66%	75%	100%
	FACTOR	4	3	2	1.5	1.3

**TABLE M1505.4.4**  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

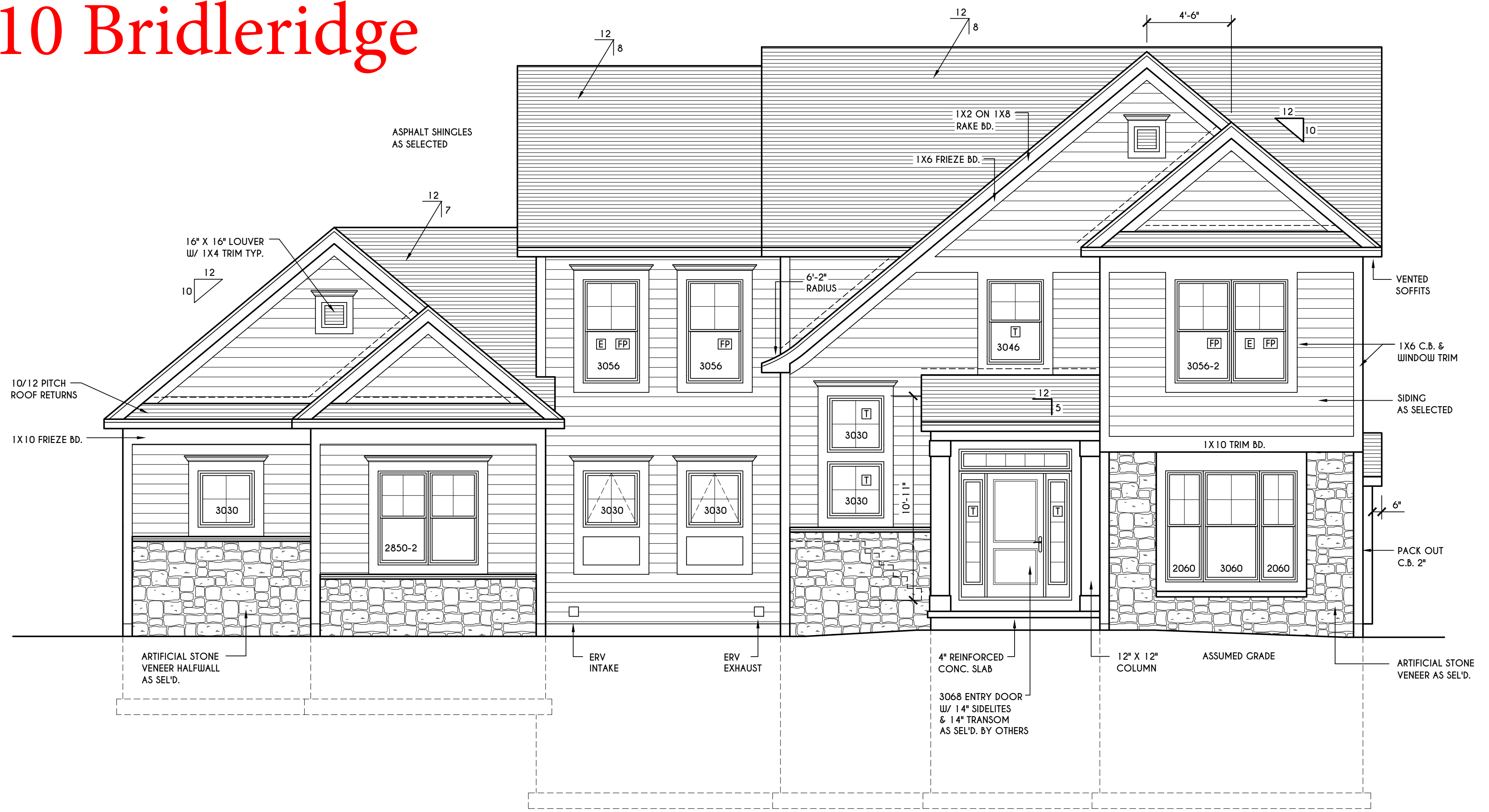
FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.00047 19 m<sup>3</sup>/s

FOR SI: 1 CUBIC FT. PER MINUTE = 0.00047 19 m<sup>3</sup>/s.



**RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1533 SQ.FT.  
SECOND FLOOR LIVING AREA = 1534 SQ.FT.  
TOTAL LIVING AREA = 3067 SQ.FT.  
TOTAL CONDITIONED VOLUME = 41,925 CU.FT.

**WINDOWS:**  
VUID SOLAR GAIN GLASS W/ ARGON  
U-FACTOR ..... 0.30  
SHGC ..... 0.54

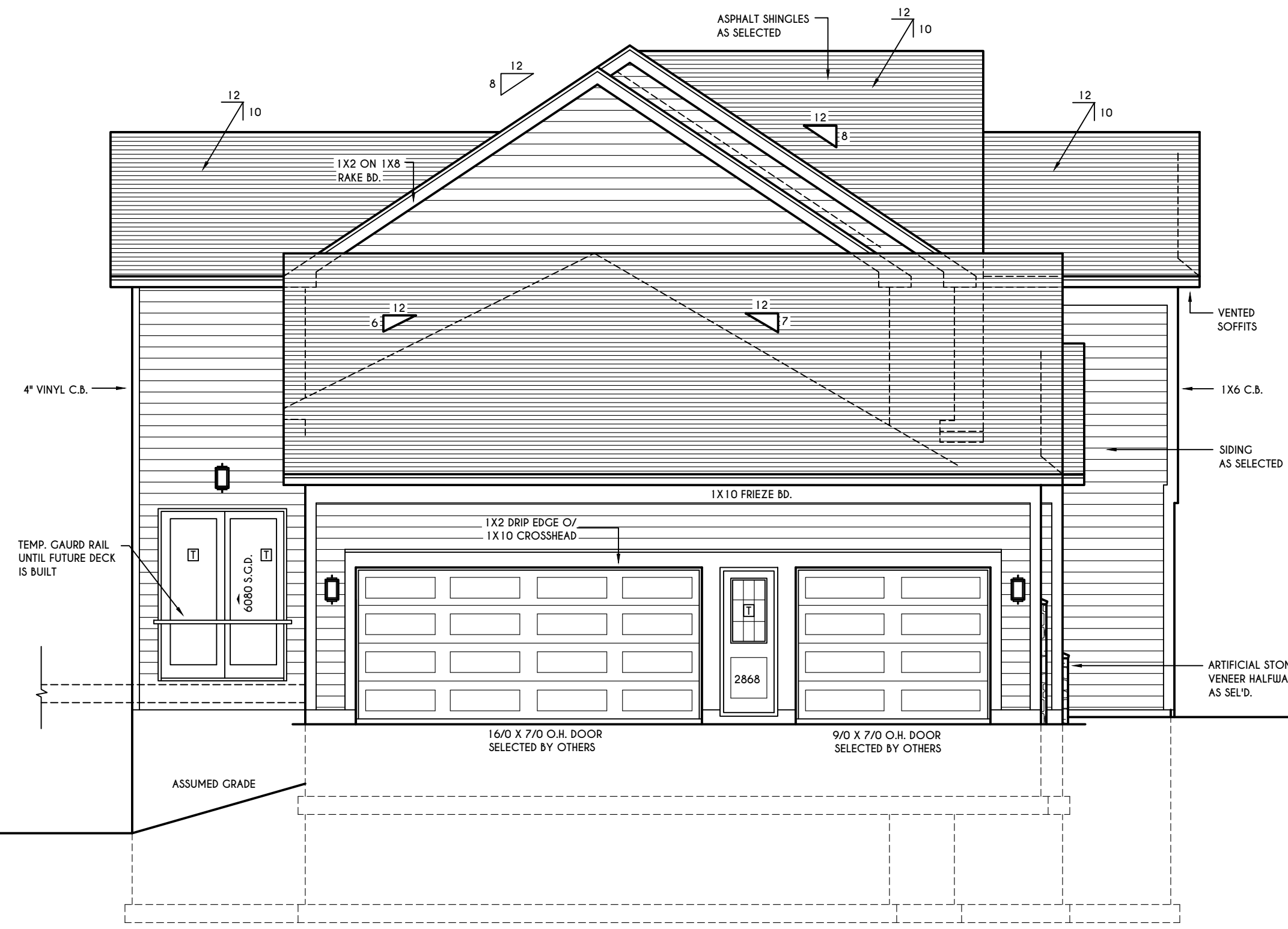
**DOORS:**  
SELECTION BY OWNER

**AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNS**

**WINDOW / DOOR LEGEND:**  
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE-THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



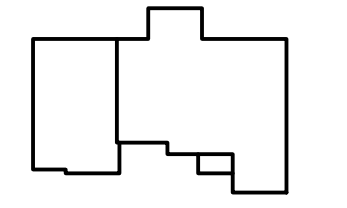
**LEFT ELEVATION**

SCALE: 3/16" = 1'-0"



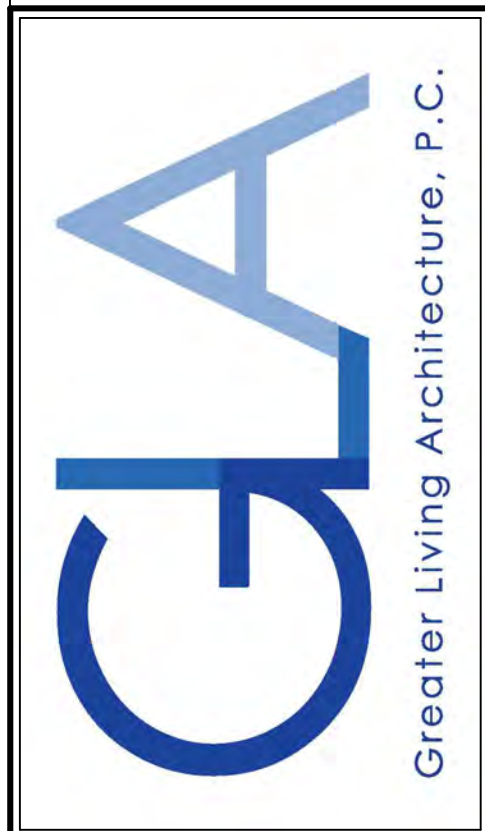
**REAR ELEVATION**

SCALE: 3/16" = 1'-0"



**HOUSE FOOTPRINT**  
SCALE: 1" = 50'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

SPEC HOUSE ( NEWCASTLE )  
LOT 64 BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**

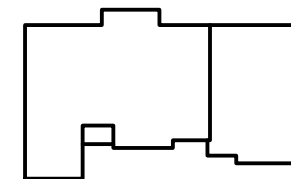
COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**

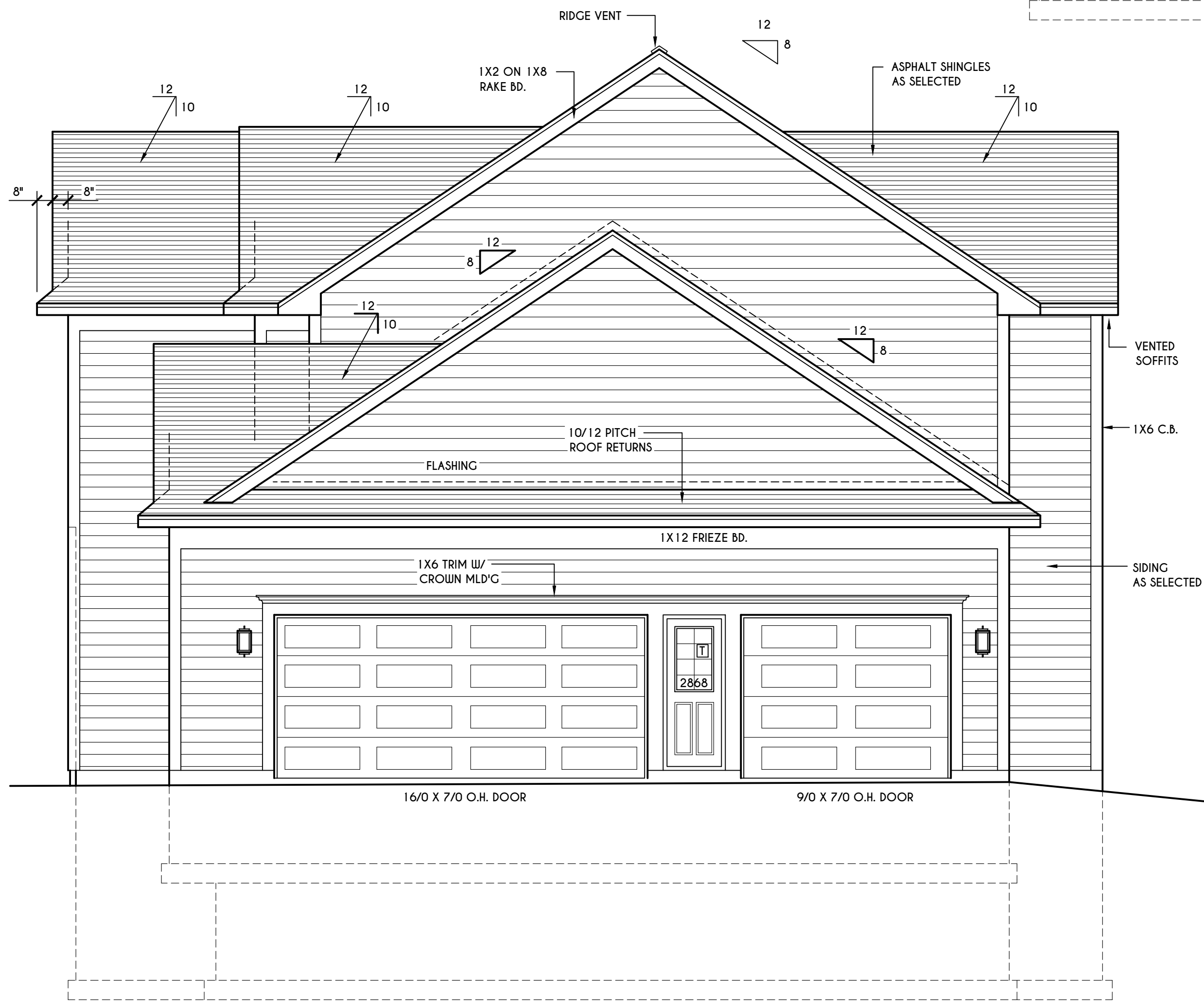
GLA PLAN 3067

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 23
PROJECT: 15428C	sheet: 1 / 5

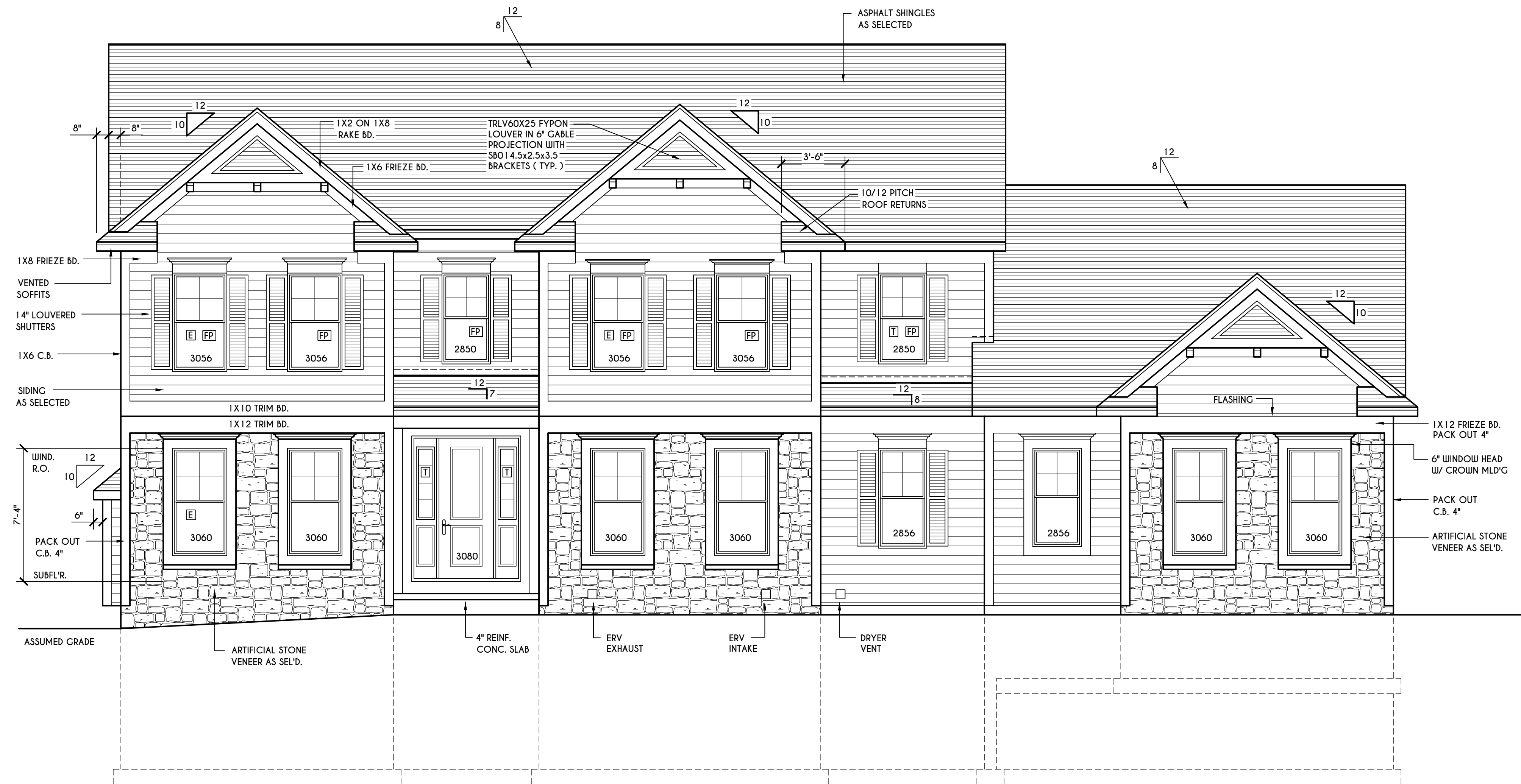
# 11 Bridleridge



**HOUSE FOOTPRINT**  
SCALE: 1" = 50'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1649 SQ.FT.  
SECOND FLOOR LIVING AREA = 1683 SQ.FT.  
TOTAL LIVING AREA = 3332 SQ.FT.  
TOTAL CONDITIONED VOLUME = 45,803 CU.FT.

**WINDOWS:** VUID SOLAR GAIN GLASS W/ ARGON  
U-FACTOR ..... 0.30  
SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNS

**WINDOW / DOOR LEGEND:**  
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY CLAZING PER SECT. R308.4 OF 2020 RCNYS  
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DUELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR a					
	25%	33%	50%	66%	75%	100%
FACTOR b	4	3	2	1.5	1.3	1.0

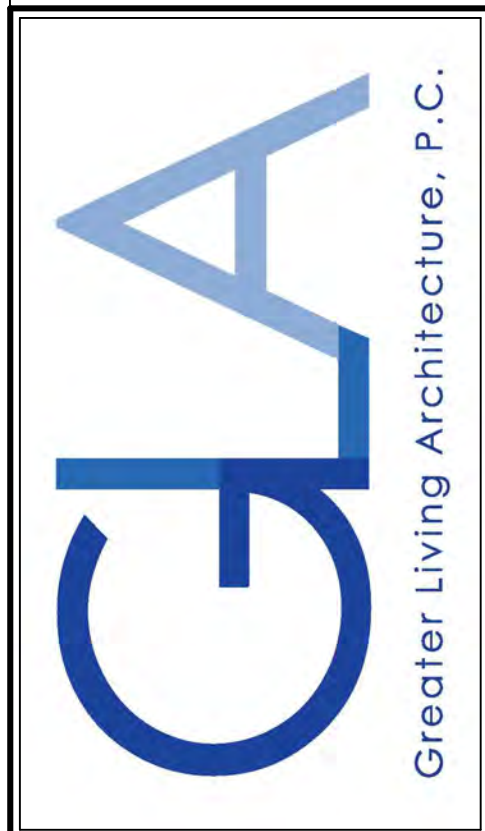
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES	
	KITCHENS	TOILET ROOMS
BATHROOMS-	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

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**REVISIONS:**

DATE	BY	DESCRIPTION

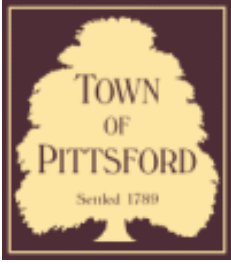
**CLIENT/LOCATION:**  
SPEC HOME  
LOT 4 BRIDLERIDGE FARMS  
PITTSFORD, NY

**BUILDER:**  
COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**

GLA PLAN 3332

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 1 / 6



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S24-000008**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3349 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-18

**Zoning District:** C Commercial / MATZ Monroe Avenue Transitional Zone

**Owner:** Pittsford Plaza SPE, LLC

**Applicant:** Sign & Lighting Services LLC

### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant is requesting design review for signage for Dick's Going Going Gone.

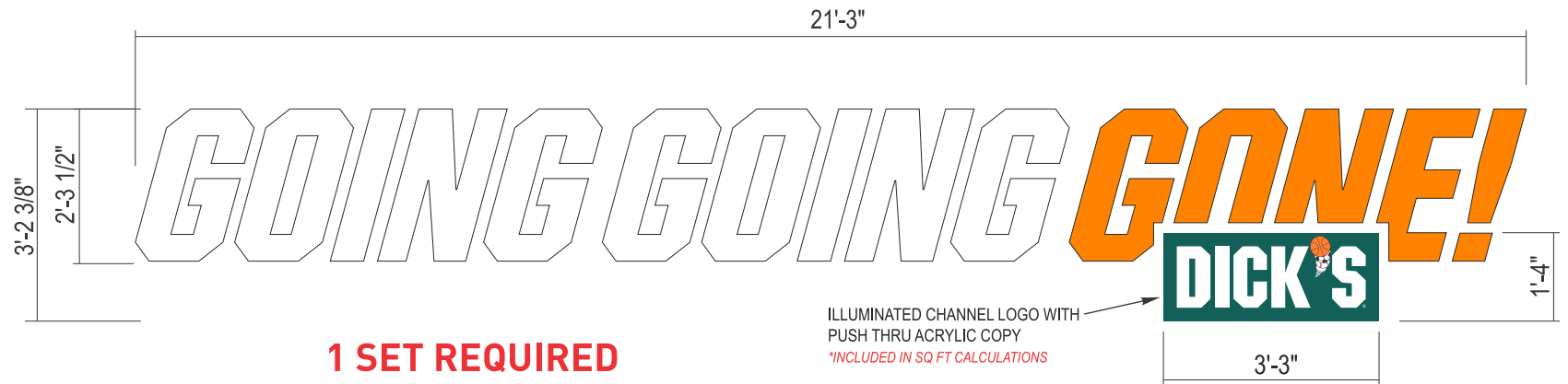
**Meeting Date:** August 22, 2024



EXISTING CONDITIONS



PROPOSED: SQ. FT. 67.86



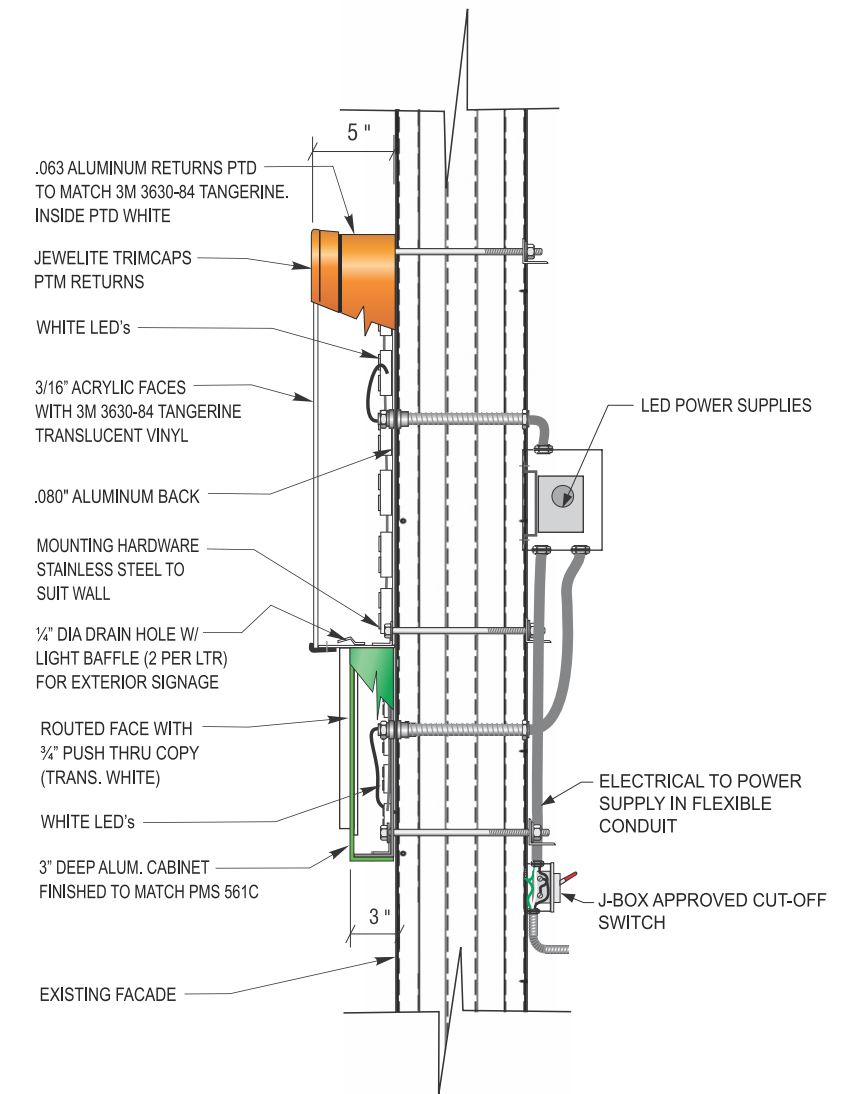
**1 SET REQUIRED**

**1 NEW ILLUMINATED LOGO & CHANNEL LETTERS 67.95 Sq. Ft.**  
SCALE: 3/8" = 1'-0"

**COLOR SPECIFICATIONS**

- PAINTED TO MATCH PMS 561C
- PAINTED TO MATCH PMS 151C
- #7725-066 3M FOREST GREEN (OPAQUE)
- #3630-84 3M TANGERINE (TRANS.)
- #7725-22 3M BLACK (OPAQUE)
- #3630-33 3M RED (TRANS.)
- #3630-51 3M SILVER (TRANS.)
- WHITE SIGN FACE

ILLUMINATED CHANNEL LOGO WITH  
PUSH THRU ACRYLIC COPY  
*\*INCLUDED IN SQ FT CALCULATIONS*



**SECTION @ L.E.D. LTR**  
NOT TO SCALE



12.14.23	CHANGED PILL BOX TO VINYL
01.18.24	ADDED 3RD SIGN ON SIDE ELEVATION PER MARKUP
07.25.24	REMOVED 1 SET CHANNEL LETTERS

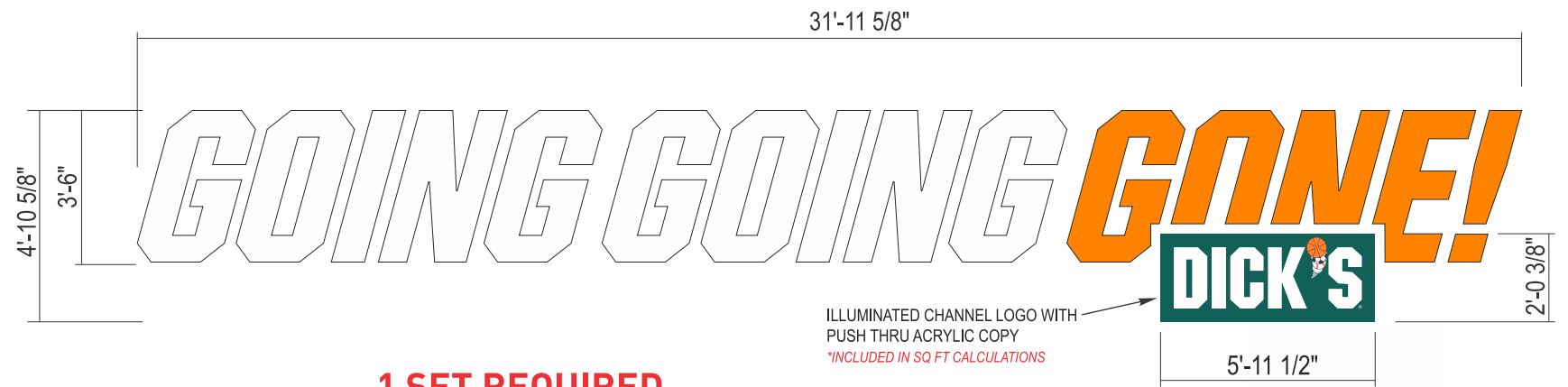




EXISTING CONDITION



PROPOSED: SQ. FT. 165

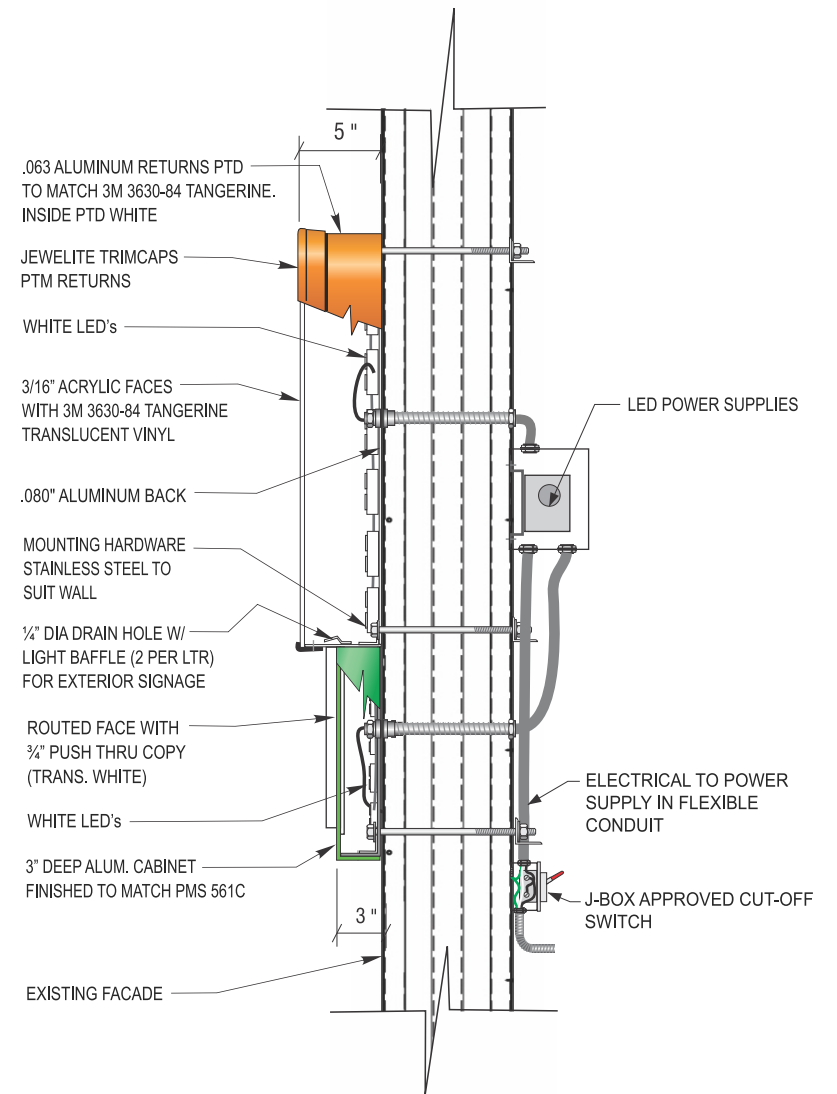


**1 SET REQUIRED**

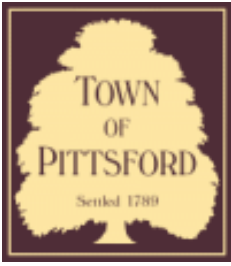
**2 NEW ILLUMINATED LOGO & CHANNEL LETTERS 156.18 Sq. Ft.**  
SCALE: 3/8" = 1'-0"

**COLOR SPECIFICATIONS**

- PAINTED TO MATCH PMS 561C
- PAINTED TO MATCH PMS 151C
- #7725-066 3M FOREST GREEN (OPAQUE)
- #3630-84 3M TANGERINE (TRANS.)
- #7725-22 3M BLACK (OPAQUE))
- #3630-33 3M RED (TRANS.)
- #3630-51 3M SILVER (TRANS.)
- WHITE SIGN FACE



**SECTION @ L.E.D. LTR**  
NOT TO SCALE



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA24-000002**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 55 Mitchell Road PITTSFORD, NY 14534

**Tax ID Number:** 164.11-2-12.11

**Zoning District:** RN Residential Neighborhood

**Owner:** Sands, Mackenzie

**Applicant:** Sands, Mackenzie

### Application Type:

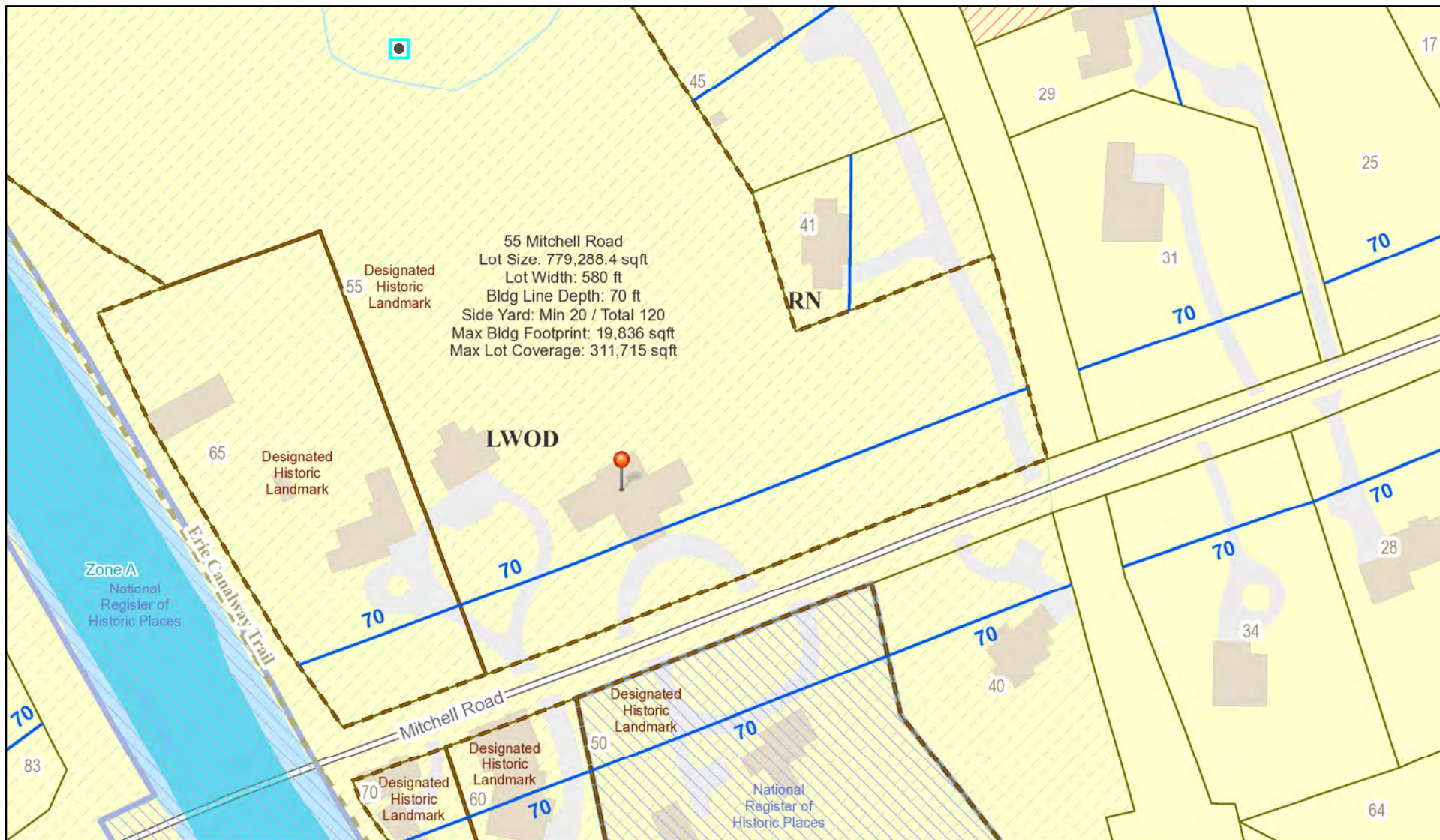
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

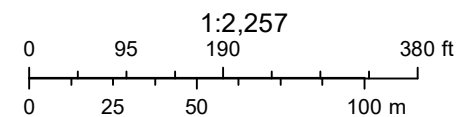
**Meeting Date:** August 22, 2024



# RN Residential Neighborhood Zoning



Printed June 20, 2024



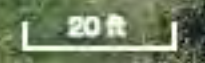
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

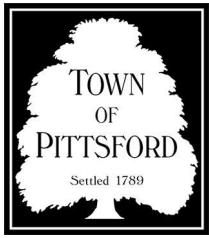


Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE



nearmap



# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

- Property Address: 55 Mitchell Road
- Tax Account Number: 164.11-2-12.11
- Applicant's Name: Steele Landscape Architecture (Sue Steele)  
Address: 770 Ayrault Rd #1108 Phone: (585) 747-9996  
*Street*  
Fairport New York 14450 E-mail: sue@steele.la  
*City State Zip Code*
- Applicant's Interest in Property:  
Owner:  Lessee:  Holding Purchase Offer:   
Other (explain): Owner's Representative, Landscape Architect
- Owner (if other than above): Jennifer Sands  
Address: 55 Mitchell Rd Phone: \_\_\_\_\_  
*Street*  
Pittsford NY 14534 E-mail: \_\_\_\_\_  
*City State Zip Code*  
Has the Owner been contacted by the Applicant? Yes  No
- Application prepared by: Steele Landscape Architecture  
Address: 770 Ayrault Rd #1108 Phone: (585) 747-9996  
*Street*  
Fairport NY 14450 E-mail: sue@steele.la  
*City State Zip Code*
- Project Design Professional (if Available): (same as applicant)  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
*City State Zip Code*

8. Project Contractor (if Available): TBD  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_  
*City State Zip Code* E-mail: \_\_\_\_\_

9. Present use of Property: Residence

10. Zoning District of Property: RN & LWRP

11. Is the property located in a Town Designated Historic District?  
Yes  No  *Locally designated landmark*

12. Is the property listed on the National Registry of Historic Places?  
Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
Yes  No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

No exterior architectural modifications to structures are proposed. Proposed project is site and landscape work only.

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

Project includes: (1) Rehabilitation of the existing driveway, including minor radius changes to improve maneuverability, line-of-sight safety at Mitchell Rd, and addition of a landscaped 2-car parking area with accent paving. (2) Rehabilitation of dilapidated fence along Mitchell Rd and addition of matching historic-style fence along driveway frontage. (3) Proposed landscaping, including removal of privet hedge (currently in right-of-way) and replacement with traditional beech hedge (out of right-of-way), along with additional landscaping and trees. See included design packet, existing and proposed drawing sheets. Optional masonry pier add-on (to proposed fence at driveway entrances) also submitted for review.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application (if available):

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Parcel map      | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs     | <input checked="" type="checkbox"/> Architectural plans      |
| <input checked="" type="checkbox"/> Other materials | <u>Fence design, 3D renderings</u>                           |

**Applicant Certification:**

**\*\*SEE SIGNED SIGNATURE PAGE - SEPARATE FILE\*\***

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

\_\_\_\_\_  
Signature of applicant

\_\_\_\_\_  
Date

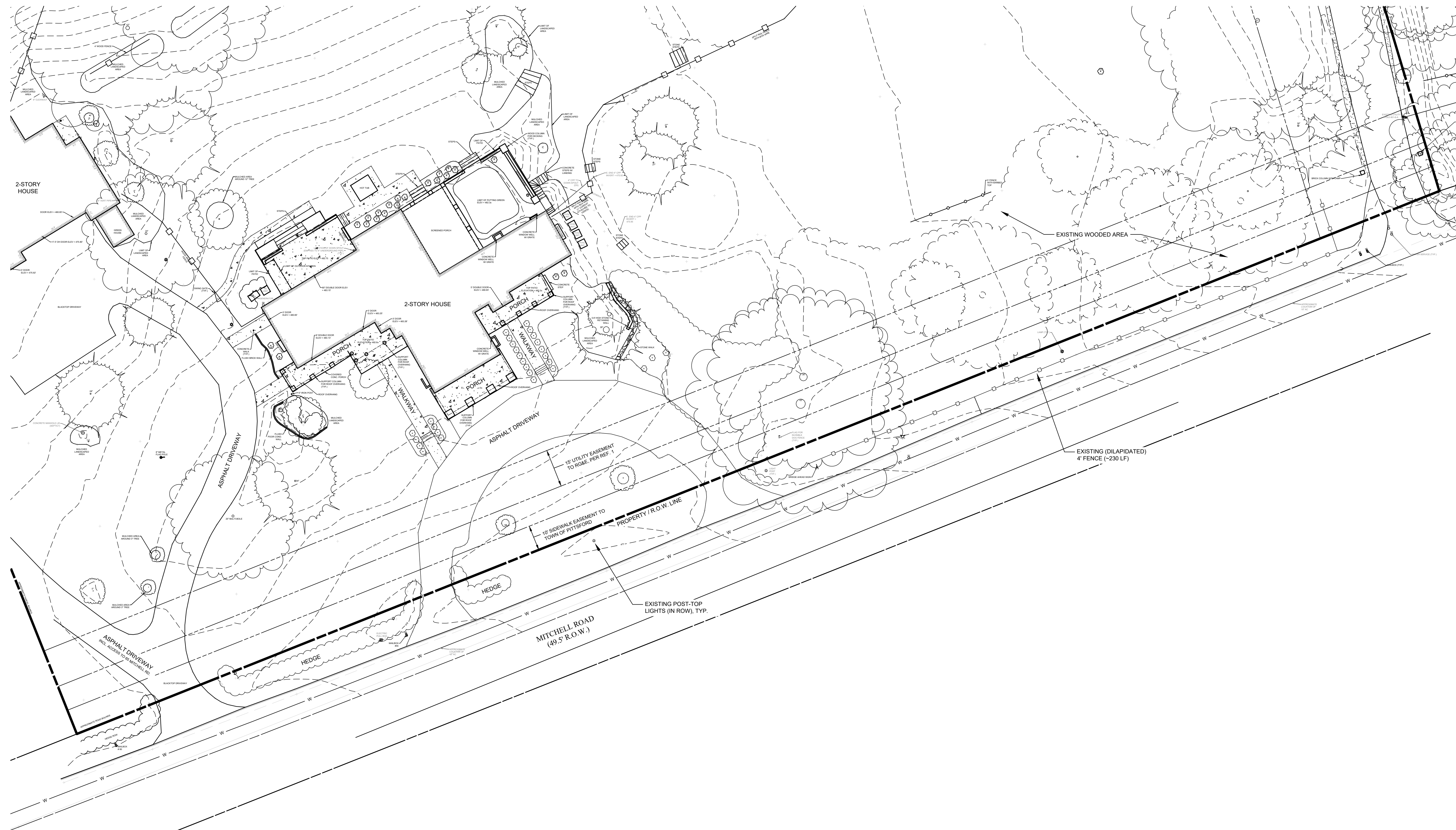
**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

- Yes  No

If Yes, owner's signature: \_\_\_\_\_





**WARNING**  
IT IS VIOLATION OF THE LAW (NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR REPORT TO WHICH THE SEAL OF THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE SEAL OF THE LANDSCAPE ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION ALTERED BY FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

## Front Entry Landscape Rehabilitation

Location  
Private Residence  
55 Mitchell Road  
Pittsford, New York 14534

Issue Date: JUNE 3, 2024

No.	Date	Revision

Drawing Title

Existing Conditions Plan

# EX-01

### SURVEY NOTES

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED.
- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 2/13/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYS DOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT

PITTSFORD CORS STATION  
-LATITUDE: 43-05-35.48461 (N) NAD 83 (CORS)  
-LONGITUDE: 077-31-31.11244 (W)  
-ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORS)

### REFERENCES

- MAP ENTITLED "PLAN OF LAND OWNED BY LYNDON H. WELLS JR" CREATED BY THE MRB GROUP DATED 08/11/1999

### UTILITY INFORMATION

UTILITY INFORMATION PER UFPO DESIGN TICKET # 02094-000-112-00 DATED FEBRUARY 9, 2024

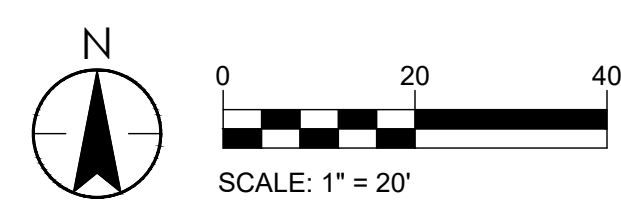
WINDSTREAM SERVICES	800-289-1901 (NO CONFLICT)
ELANTIC TELECOM INC.	800-289-1901 (NO RESPONSE)
MCI	716-845-9256 (NO RESPONSE)
MONROE COUNTY WATER AUTHORITY	585-442-200 X 285 (UTILITIES PLOTTED)
ROCHESTER GAS AND ELECTRIC	585-771-4745 NO CONFLICT
CHARTER COM NORTHEAST W. NY	317-575-7800 X2 (NO RESPONSE)
VILLAGE OF PITTSFORD	585-586-9320 (NO RESPONSE)
PITTSFORD SEWER DISTRICT #1	585-248-6490 (NO RESPONSE)

### SITE DATA

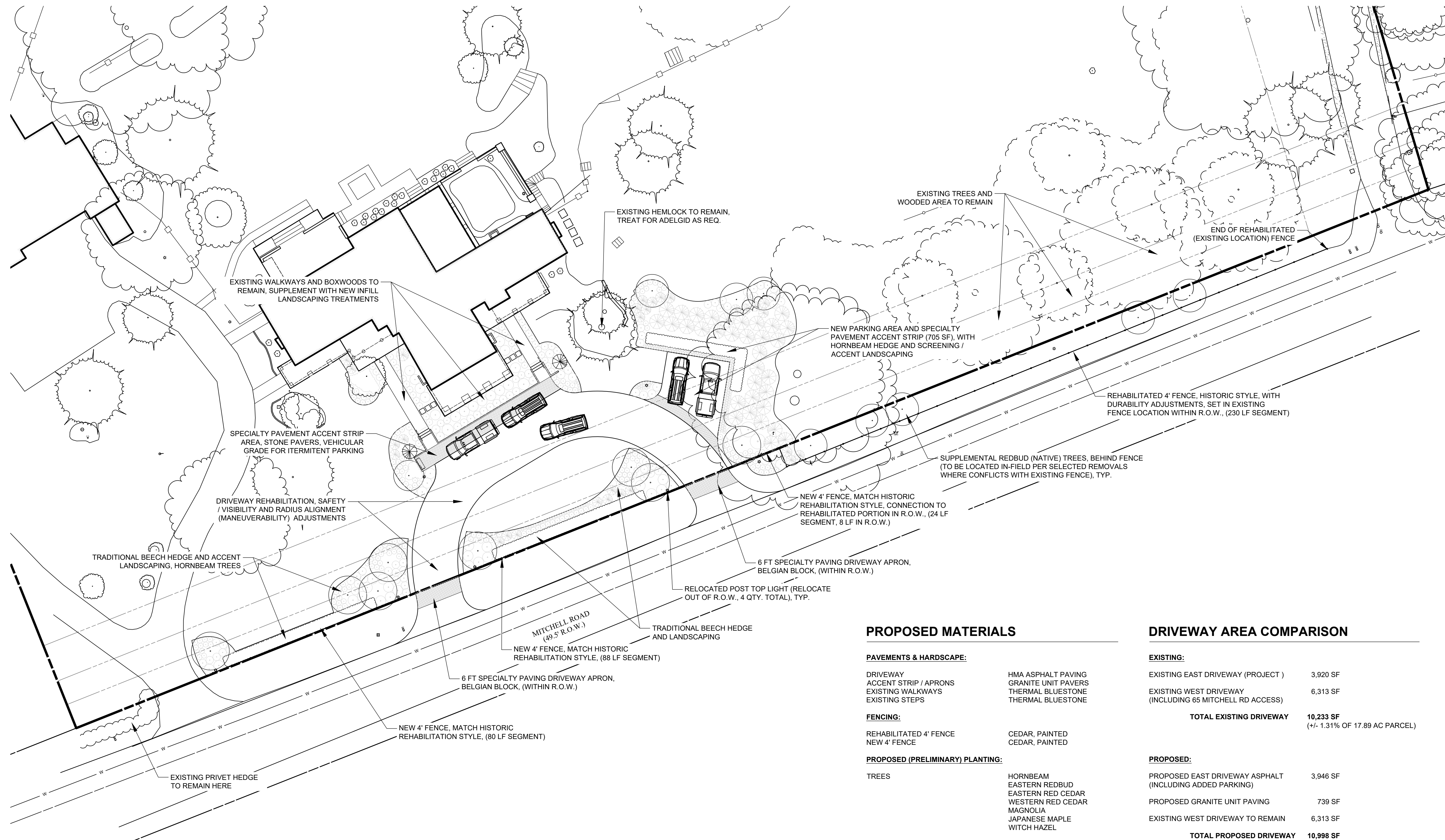
- EXISTING ZONING: RN & LWRP (LOCAL WATERFRONT REVITALIZATION PROGRAM)
  - BULK REQUIREMENTS: REQUIRED
- |                              |        |
|------------------------------|--------|
| MIN. LOT AREA (SF)           | 30,000 |
| MIN. LOT WIDTH (FT)          | 150    |
| MAX. BUILDING HEIGHT (FT)    | 40     |
| MIN. FRONT YARD SETBACK (FT) | 70     |
| MIN. SIDE YARD SETBACK (FT)  | 25     |
| MIN. REAR YARD SETBACK (FT)  | 50     |

55 MITCHELL ROAD  
TAX PARCEL NO.164.11-2-12.11

TOWN OF PITTSFORD  
COUNTY OF MONROE, STATE OF NEW YORK



**DRHPB SUBMITTAL  
NOT FOR CONSTRUCTION**



**WARNING**  
IT IS VIOLATION OF THE LAW (NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR REPORT TO WHICH THE SEAL OF THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION ALTERED BY FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

## Front Entry Landscape Rehabilitation

Location  
Private Residence  
55 Mitchell Road  
Pittsford, New York 14534

Issue Date: JUNE 3, 2024

No.	Date	Revision

Drawing Title

Rehabilitation Site Plan

# L-01

### PROPOSED MATERIALS

#### PAVEMENTS & HARDSCAPE:

DRIVEWAY ACCENT STRIP / APRONS	HMA ASPHALT PAVING
EXISTING WALKWAYS	GRANITE UNIT PAVERS
EXISTING STEPS	THERMAL BLUESTONE
	THERMAL BLUESTONE

#### FENCING:

REHABILITATED 4' FENCE	CEDAR, PAINTED
NEW 4' FENCE	CEDAR, PAINTED

#### PROPOSED (PRELIMINARY) PLANTING:

TREES	HORNBEAM EASTERN REDBUD EASTERN RED CEDAR WESTERN RED CEDAR MAGNOLIA JAPANESE MAPLE WITCH HAZEL
HEDGES (PRIVET REPLACEMENT)	BEECH HEDGE, ~4' HORNBEAM HEDGE, ~4'
SHRUBS, OTHER PLANTINGS	BOXWOOD HYDRANGEA JAPANESE HOLLY DOUBLEFILE VIBURNUM DOGWOOD VARIOUS PERENNIALS / GRASSES

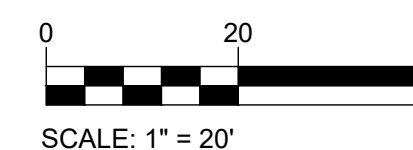
### DRIVEWAY AREA COMPARISON

#### EXISTING:

EXISTING EAST DRIVEWAY (PROJECT)	3,920 SF
EXISTING WEST DRIVEWAY (INCLUDING 65 MITCHELL RD ACCESS)	6,313 SF
<b>TOTAL EXISTING DRIVEWAY</b>	<b>10,233 SF</b> (+/- 1.31% OF 17.89 AC PARCEL)

#### PROPOSED:

PROPOSED EAST DRIVEWAY ASPHALT (INCLUDING ADDED PARKING)	3,946 SF
PROPOSED GRANITE UNIT PAVING	739 SF
EXISTING WEST DRIVEWAY TO REMAIN	6,313 SF
<b>TOTAL PROPOSED DRIVEWAY</b>	<b>10,998 SF</b> (+/- 1.41% OF 17.89 AC PARCEL)



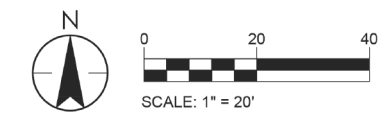
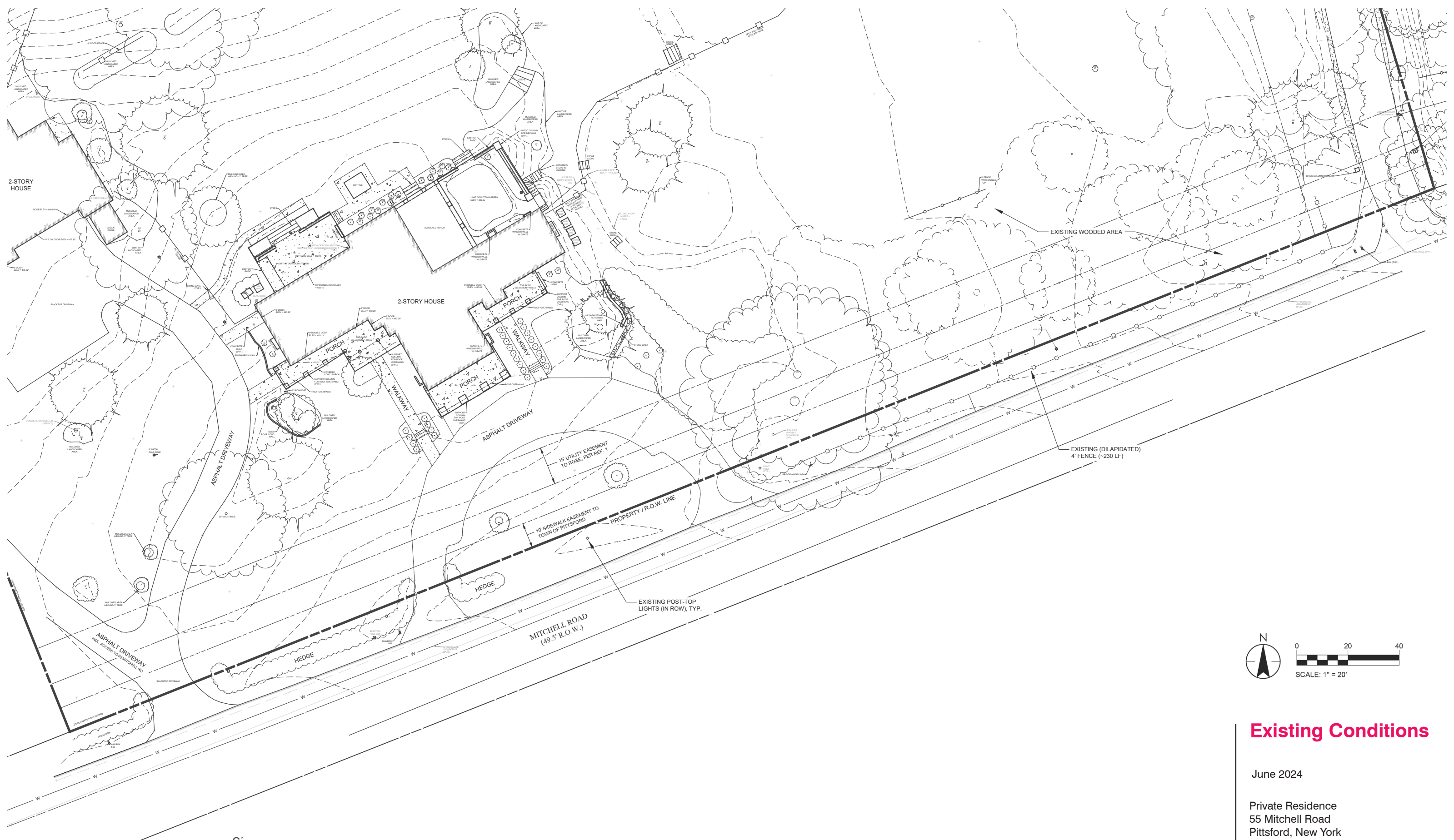
**DRHPB SUBMITTAL  
NOT FOR CONSTRUCTION**

55 Mitchell Road  
Front Entry  
Landscape Rehabilitation

---

June 2024  
DRHPB Review Submittal

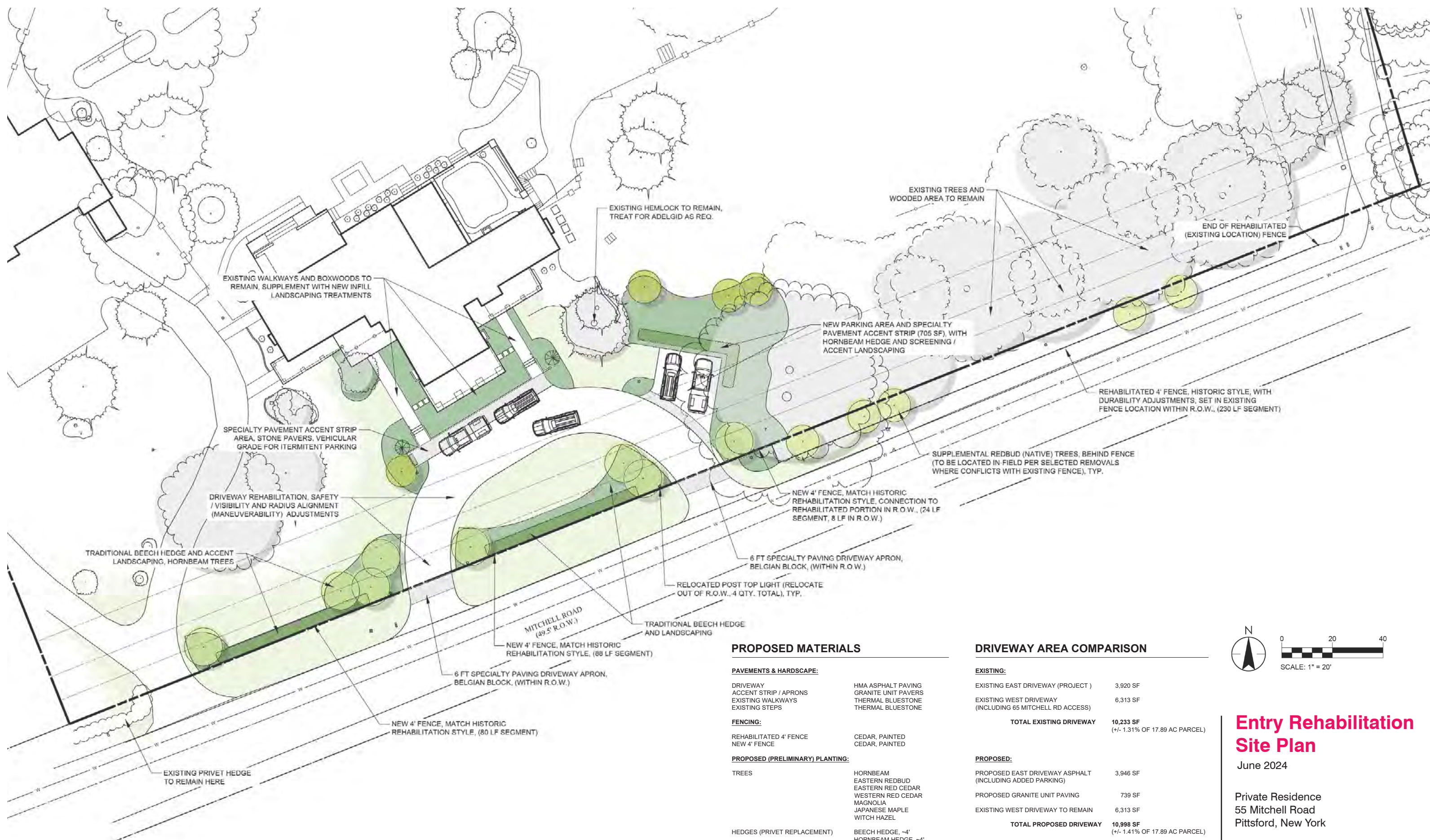
*Steele*  
LANDSCAPE ARCHITECTURE



## Existing Conditions

June 2024  
Private Residence  
55 Mitchell Road  
Pittsford, New York





EXISTING WALKWAYS AND BOXWOODS TO REMAIN, SUPPLEMENT WITH NEW INFILL LANDSCAPING TREATMENTS

EXISTING HEMLOCK TO REMAIN, TREAT FOR ADELGID AS REQ.

EXISTING TREES AND WOODED AREA TO REMAIN

END OF REHABILITATED (EXISTING LOCATION) FENCE

NEW PARKING AREA AND SPECIALTY PAVEMENT ACCENT STRIP (705 SF), WITH HORNBEAM HEDGE AND SCREENING / ACCENT LANDSCAPING

REHABILITATED 4' FENCE, HISTORIC STYLE, WITH DURABILITY ADJUSTMENTS, SET IN EXISTING FENCE LOCATION WITHIN R.O.W., (230 LF SEGMENT)

SPECIALTY PAVEMENT ACCENT STRIP AREA, STONE PAVERS, VEHICULAR GRADE FOR INTERMITTENT PARKING

SUPPLEMENTAL REDBUD (NATIVE) TREES, BEHIND FENCE (TO BE LOCATED IN FIELD PER SELECTED REMOVALS WHERE CONFLICTS WITH EXISTING FENCE), TYP.

DRIVEWAY REHABILITATION, SAFETY / VISIBILITY AND RADIUS ALIGNMENT (MANEUVERABILITY) ADJUSTMENTS

NEW 4' FENCE, MATCH HISTORIC REHABILITATION STYLE. CONNECTION TO REHABILITATED PORTION IN R.O.W., (24 LF SEGMENT, 8 LF IN R.O.W.)

TRADITIONAL BEECH HEDGE AND ACCENT LANDSCAPING, HORNBEAM TREES

6 FT SPECIALTY PAVING DRIVEWAY APRON, BELGIAN BLOCK, (WITHIN R.O.W.)

RELOCATED POST TOP LIGHT (RELOCATE OUT OF R.O.W., 4 QTY. TOTAL), TYP.

MITCHELL ROAD (49.5' R.O.W.)

TRADITIONAL BEECH HEDGE AND LANDSCAPING

NEW 4' FENCE, MATCH HISTORIC REHABILITATION STYLE, (88 LF SEGMENT)

6 FT SPECIALTY PAVING DRIVEWAY APRON, BELGIAN BLOCK, (WITHIN R.O.W.)

NEW 4' FENCE, MATCH HISTORIC REHABILITATION STYLE, (80 LF SEGMENT)

EXISTING PRIVET HEDGE TO REMAIN HERE

**PROPOSED MATERIALS**

**PAVEMENTS & HARDSCAPE:**

DRIVEWAY ACCENT STRIP / APRONS HMA ASPHALT PAVING  
 EXISTING WALKWAYS GRANITE UNIT PAVERS  
 EXISTING STEPS THERMAL BLUESTONE  
 THERMAL BLUESTONE

**FENCING:**

REHABILITATED 4' FENCE CEDAR, PAINTED  
 NEW 4' FENCE CEDAR, PAINTED

**PROPOSED (PRELIMINARY) PLANTING:**

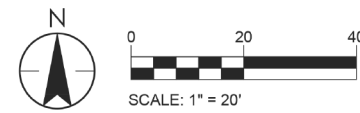
TREES HORNBEAM  
 EASTERN REDBUD  
 EASTERN RED CEDAR  
 WESTERN RED CEDAR  
 MAGNOLIA  
 JAPANESE MAPLE  
 WITCH HAZEL

HEDGES (PRIVET REPLACEMENT) BEECH HEDGE, ~4'  
 HORNBEAM HEDGE, ~4'

SHRUBS, OTHER PLANTINGS BOXWOOD  
 HYDRANGEA  
 JAPANESE HOLLY  
 DOUBLEFILE VIBURNUM  
 DOGWOOD  
 VARIOUS PERENNIALS / GRASSES

**DRIVEWAY AREA COMPARISON**

EXISTING:	
EXISTING EAST DRIVEWAY (PROJECT)	3,920 SF
EXISTING WEST DRIVEWAY (INCLUDING 65 MITCHELL RD ACCESS)	6,313 SF
<b>TOTAL EXISTING DRIVEWAY</b>	<b>10,233 SF</b> (+/- 1.31% OF 17.89 AC PARCEL)
PROPOSED:	
PROPOSED EAST DRIVEWAY ASPHALT (INCLUDING ADDED PARKING)	3,946 SF
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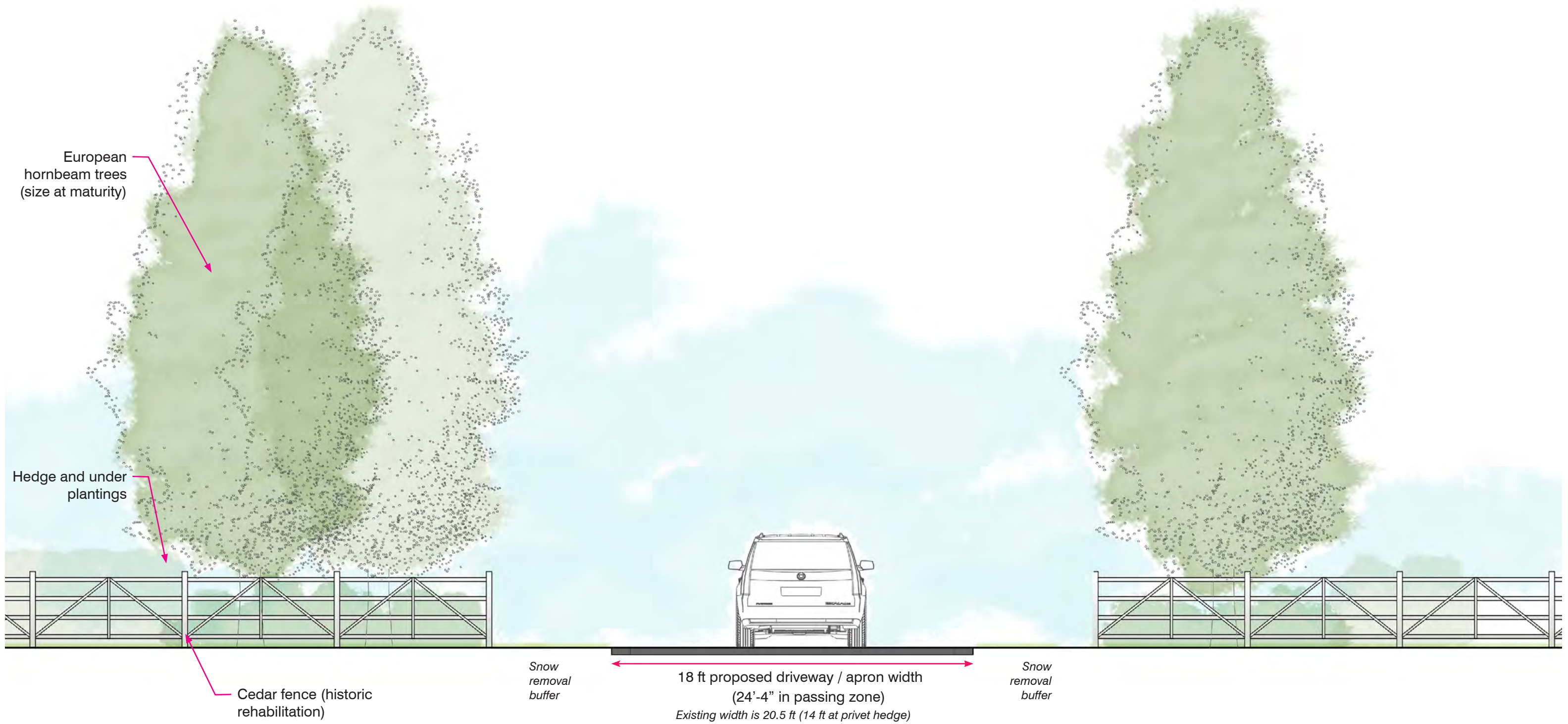


**Entry Rehabilitation Site Plan**

June 2024

Private Residence  
 55 Mitchell Road  
 Pittsford, New York





28 ft proposed fence-to-fence post clearance  
Existing hedge clearance 16 to 20 ft

**Entry Rehabilitation  
Drive Entry Section**

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York



**OPTIONAL** Stone pier  
(fence end post) w/ historic  
style lights; Ashlar pattern  
granite with stone cap  
(granite or bluestone TBD)

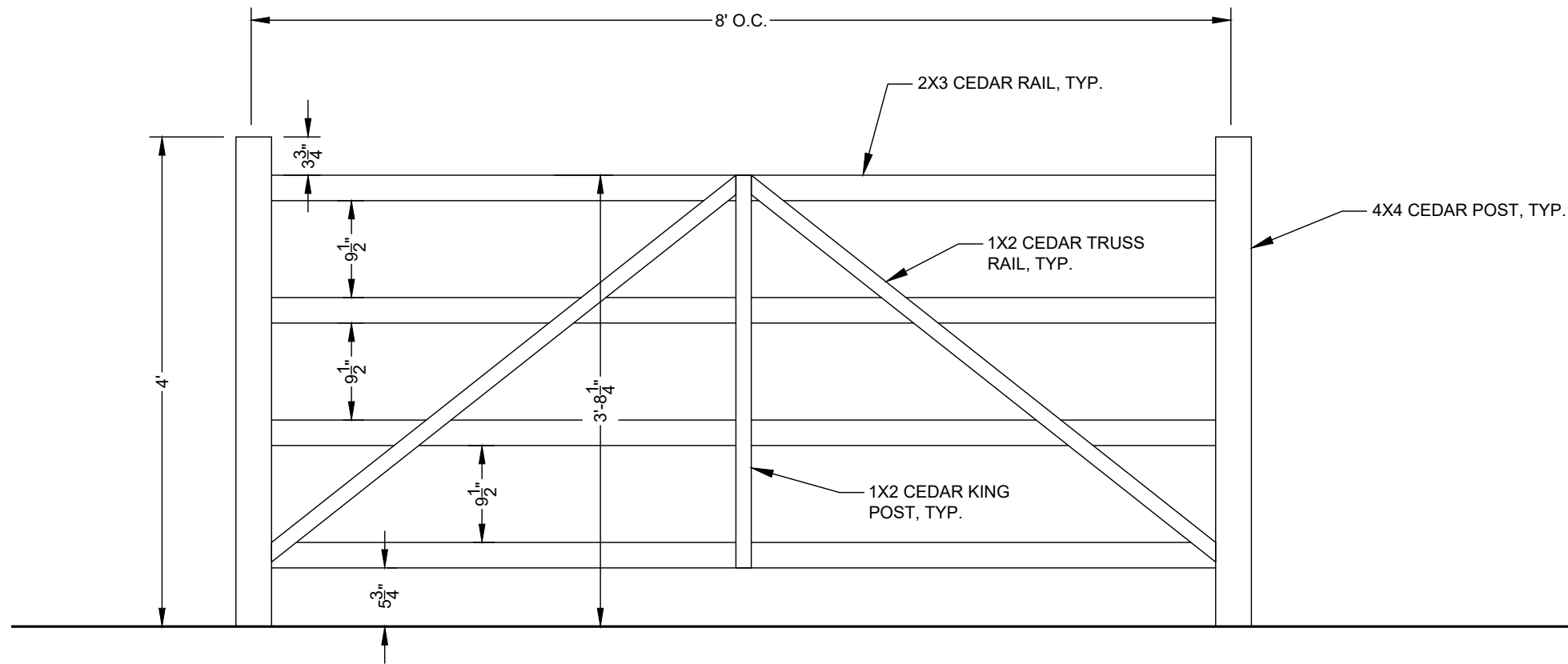
**Optional Alternative  
Masonry Pier Add-On**

June 2024

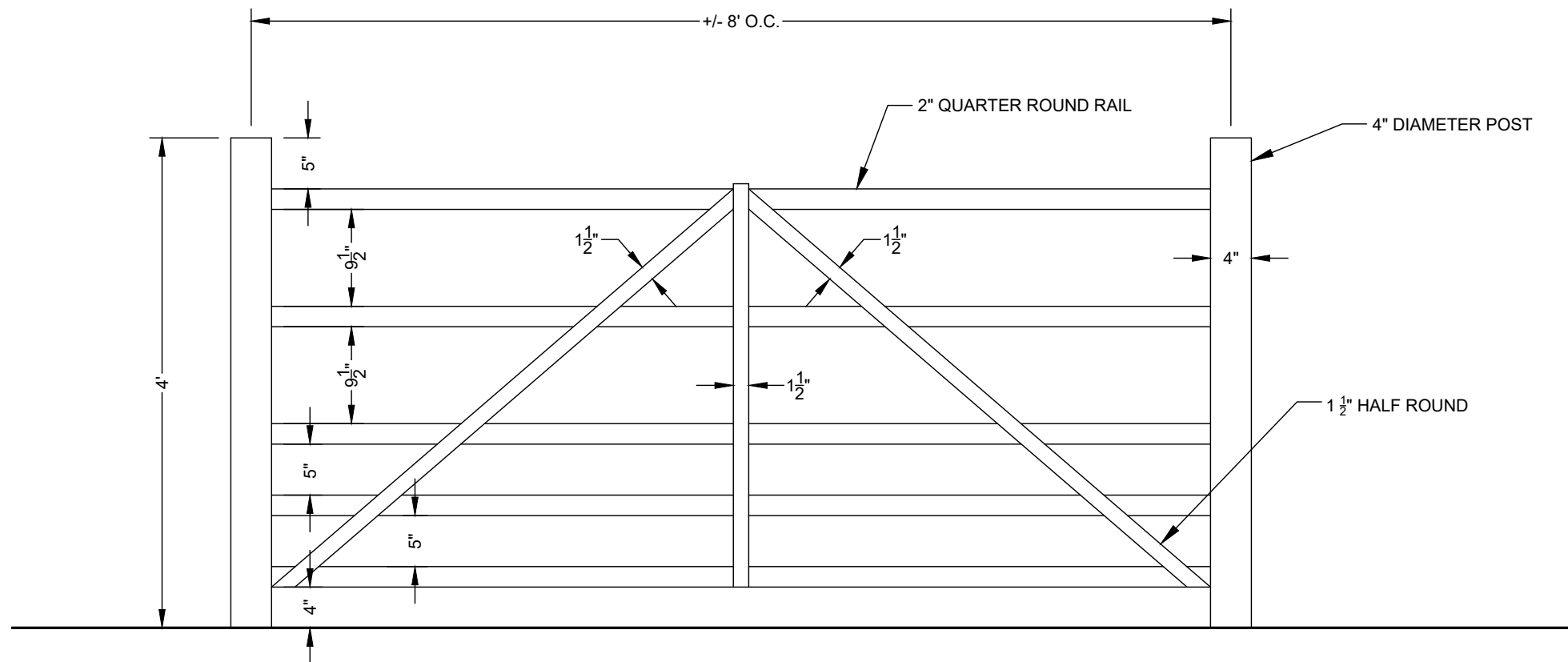
Private Residence  
55 Mitchell Road  
Pittsford, New York



Proposed Fence Rehabilitation



Existing Fence

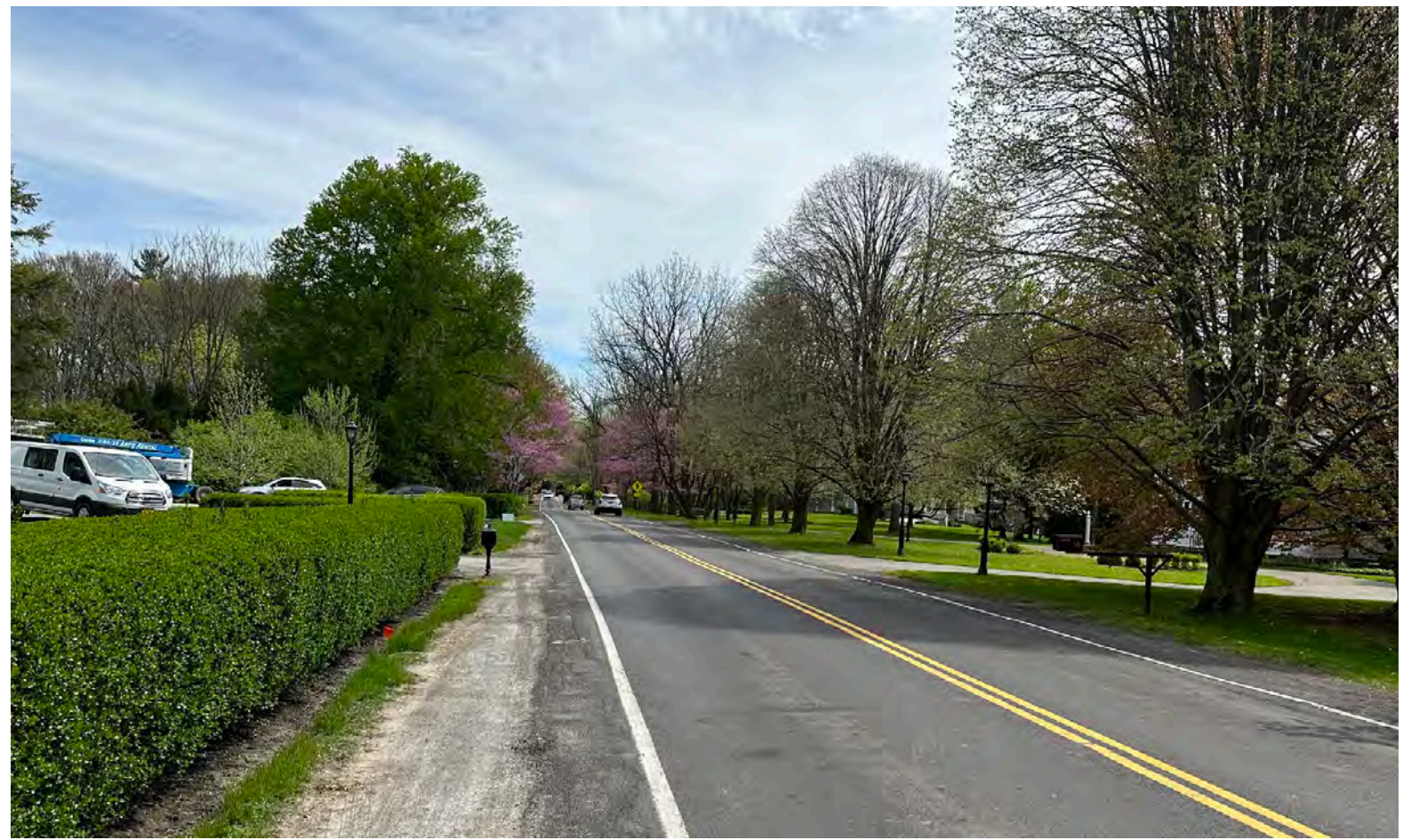


## Fence Rehabilitation Comparison

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York





**Existing Conditions  
Photos**

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE



**Existing Conditions  
Photos**

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York



## Existing Conditions Photos

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE



## Entry Rehabilitation Renderings

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

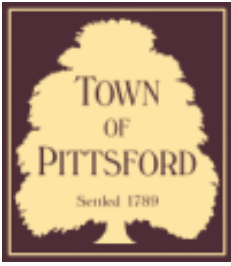
*Steele*  
LANDSCAPE ARCHITECTURE





*Steele*  
LANDSCAPE ARCHITECTURE





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA24-000004**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 321 Mendon Center Road PITTSFORD, NY 14534

**Tax ID Number:** 177.04-1-5.2

**Zoning District:** AG Agricultural

**Owner:** Pieper, William R

**Applicant:** Pieper, William R

### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

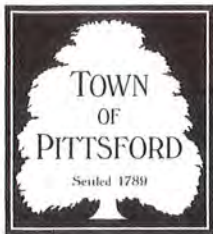
**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**Meeting Date:** August 22, 2024



Print Form

Reset Form



# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

**RECEIVED**

JUL 24 2024

1. Property Address: 321 Mendon Center Rd

2. Tax Account Number: \_\_\_\_\_ TOWN OF PITTSFORD

3. Applicant's Name: William and Sharon Pieper

Address: 321 Mendon Center Rd Phone: 585-230-5370

Pittsford NY 14534  
City State Zip Code

E-mail: Wmpieper@aol.com

4. Applicant's Interest in Property:

Owner:  Lessee:  Holding Purchase Offer:

Other (explain): \_\_\_\_\_

5. Owner (if other than above): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street

\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

Has the Owner been contacted by the Applicant? Yes  No

6. Application prepared by: William and Sharon Pieper

Address: 321 Mendon Center Rd Phone: 585-230-5370

Pittsford NY 14534  
City State Zip Code

E-mail: wmpieper@aol.com

7. Project Design Professional (if Available): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street

\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

8. Project Contractor (if Available): \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
 \_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

9. Present use of Property: Residential

10. Zoning District of Property: Residential

11. Is the property located in a Town Designated Historic District?  
 Yes  No

12. Is the property listed on the National Registry of Historic Places?  
 Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
 Yes  No

If Yes, please explain:

NYS Tax credit \$5000  
Federal Investment tax credit \$8568

14. Proposed Exterior Improvements:  
 A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

NO adverse effect to the architectural integrity of the house. Solar panels on south side of rear addition of home. Panels are not a permanent addition to the home. (meaning they can be removed)

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

NO

16. Additional materials submitted with this application (if available):

- Parcel map
- Photographs
- Other materials
- Architectural elevations
- Architectural plans

Solar panels

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

William Pieper / Sharon Pieper  
Signature of applicant

7/22/24  
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes  No

If Yes, owner's signature: \_\_\_\_\_

103 %  
Consumpti  
on Offset

\$57,768  
Lifetime  
Electricity Bill  
Savings

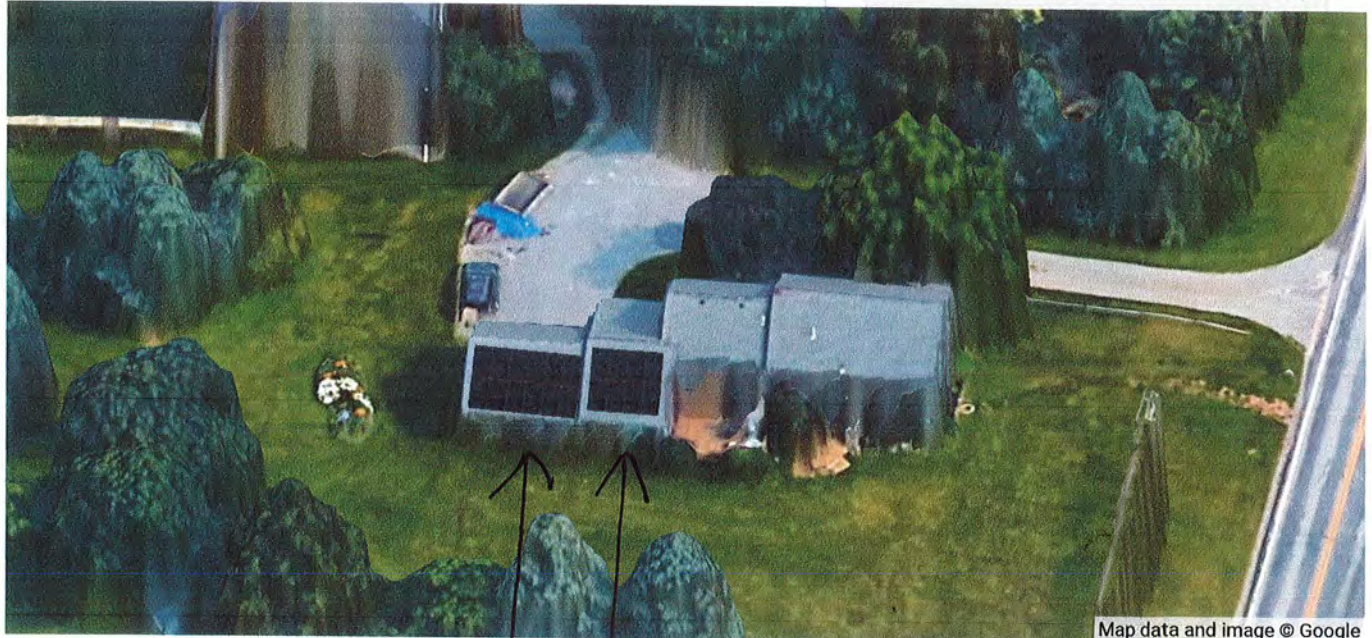
\$13,312  
Net Cost of this  
solar system

\$44,456  
Estimated net  
savings over  
system lifetime

SYSTEM OPTIONS

20 Panels

20 Panel System with Battery



Map data and image © Google

*These 2 roofs only  
Your Solution*



Dan Lewis  
Owner - Lead Estimator  
[3157591880](tel:3157591880) [Email](#)

**Solar Panels**

Silfab Solar Inc.  
8.400 kW Total Solar Power  
20 x 420 Watt Panels (SIL-420 BG)  
10,118 kWh per year

**Inverter**

Sol-Ark  
9 kW Total Inverter Rating  
1 x 12K-P [240V]

Warranties: 12 Year Panel Product Warranty, 30 Year Panel Performance Warranty, 10 Year Inverter Product Warranty

System Performance

# 321 Mendon Center Rd, Pittsford, NY 14534-9714, Monroe County



<b>4</b>	<b>2,470</b>	<b>25,265</b>	<b>N/A</b>
<b>Beds</b>	<b>Bldg Sq Ft</b>	<b>Lot Sq Ft</b>	<b>Sale Price</b>
<b>2</b>	<b>1870</b>	<b>SFR</b>	<b>N/A</b>
<b>Baths</b>	<b>Yr Built</b>	<b>Type</b>	<b>Sale Date</b>

## Owner Information

Owner Name:	<b>Pieper William R</b>	Tax Billing Address:	<b>321 Mendon Center Rd</b>
Owner Name 2:	<b>Pieper Sharon</b>	Tax Billing City & State:	<b>Pittsford, NY</b>
Do Not Mail:		Tax Billing Zip:	<b>14534</b>
Owner Occupied:	<b>Yes</b>	Tax Billing Zip+4:	<b>9714</b>

## Location Information

School District:	<b>264601</b>	Zoning:	
School District Name:	<b>Pittsford</b>	Assessment District :	
Subdivision:		Location Influence :	
Township :	<b>Pittsford</b>	Flood Zone Code:	<b>X</b>
Census Tract:	<b>123.06</b>	Flood Zone Date:	<b>08/28/2008</b>
Carrier Route:	<b>R004</b>	Flood Zone Panel:	<b>36055C0366G</b>

## Tax Information

Tax ID:	<b>264689-177-040-0001-005-200</b>	% Improved:	<b>87%</b>
Alt. Tax ID:	<b>264689A1770400001005200</b>	SWIS Code :	<b>264689</b>
Lot #:	<b>5</b>	Tax Appraisal Area:	<b>4689</b>
Block #:	<b>1</b>		
Legal Description:	<b>L47 T12 R5 UNRECORDED MAP 6200-113</b>		

## Assessment & Tax

Assessment Year	2017	2016	2015
Assessed Value - Total	\$205,600	\$205,600	\$205,600
Assessed Value - Land	\$26,700	\$26,700	\$26,700
Assessed Value - Improved	\$178,900	\$178,900	\$178,900
YOY Assessed Change (\$)	\$0	\$0	
YOY Assessed Change (%)	0%	0%	
Market Value - Total	\$205,600	\$205,600	\$205,600
Market Value - Land	\$26,700	\$26,700	\$26,700
Market Value - Improved	\$178,900	\$178,900	\$178,900
Exempt Building Value			
Exempt Land Value			
Exempt Total Value			

## Characteristics

Land Use - State :	<b>Single Family Resid</b>	Half Baths:	<b>1</b>
Land Use - CoreLogic :	<b>SFR</b>	Total Rooms:	
Lot Acres:	<b>0.58</b>	Basement Type:	<b>Full</b>
Lot Sq Ft :	<b>25,265</b>	Basement Sq Ft:	
Lot Frontage:	<b>148</b>	Finished Basement Sq Ft :	
Lot Depth:	<b>170</b>	Fireplaces:	
# of Buildings:	<b>1</b>	Heat Type:	<b>Hot Air</b>
Building Type:		Heat Fuel Type:	<b>Oil</b>

Courtesy of William Pieper, New York State Alliance MLS Rochester

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

## Property Detail

Generated on 03/28/2018

Page 1 of 4

SKETCH ADDENDUM

File No. PIEPER

Borrower PIEPER

Property Address 321 MENDON CENTER ROAD

City PITTSFORD

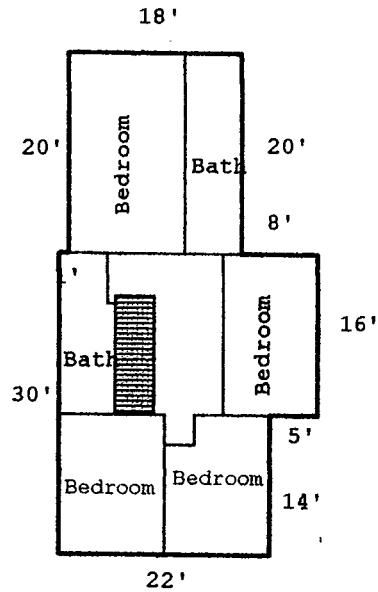
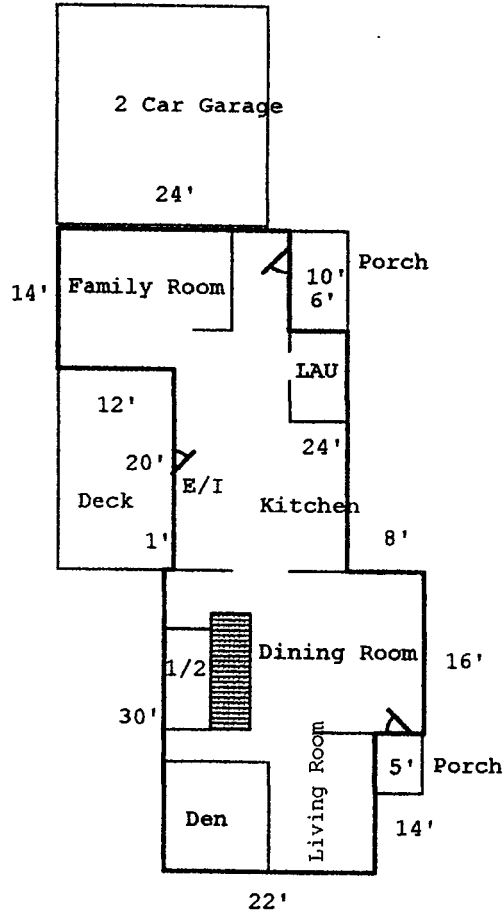
County MONROE

State NY

Zip Code 14534

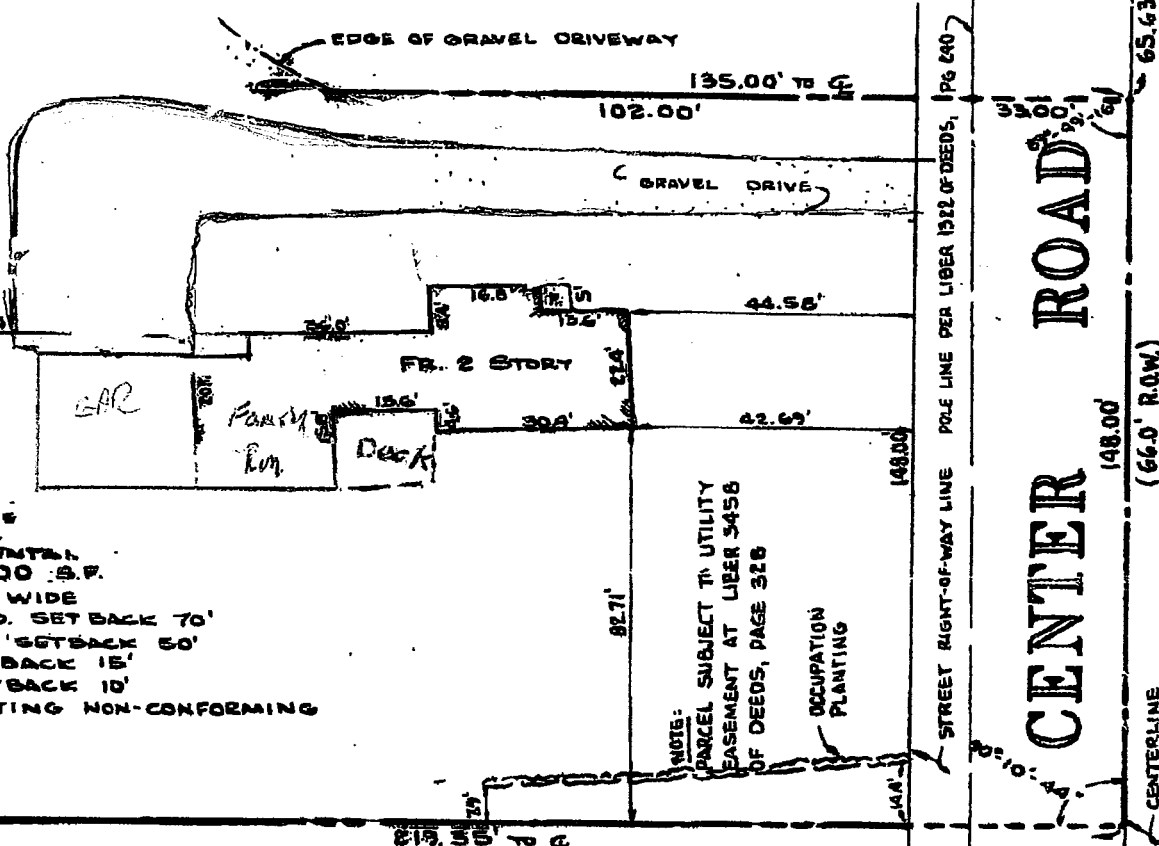
Lender/Client COMMONWEALTH UNITED

Address 190 LINDEN OAKS, ROCHESTER, NY 14625



# INSTRUMENT SURVEY

Lands now or formerly of HOPKINS ESTATE  
 Street 327 MENDON CENTER ROAD 5th PITTSFORD, N.Y.  
 Pt. Twn Lot No. 47 Subdivision TOWNSHIP 12, RANGE 5  
 Reference Date \_\_\_\_\_ of Maps, Page \_\_\_\_\_ of Deeds, Page \_\_\_\_\_  
 Abstract By MONROE ABSTRACT & TITLE CORP., NO. 70442, LAST DATED MAY 11, 1981



**ZONING:**  
 A- RESIDENTIAL  
 MIN. 16000 S.F.  
 MIN. 100' WIDE  
 STATE RD. SETBACK 70'  
 TOWN RD SETBACK 50'  
 SIDE SETBACK 15'  
 REAR SETBACK 10'  
 PRE-EXISTING NON-CONFORMING

NOTE:  
 PARCEL SUBJECT TO UTILITY  
 EASEMENT AT LIBER 3458  
 OF DEEDS, PAGE 326  
 OCCUPATION  
 PLANTING

### CERTIFICATION

WE, PASSERO-SCARDETTA ASSOCIATES CERTIFY TO SIBLEY CORPORATION AND MONROE ABSTRACT AND TITLE CORPORATION THAT THIS MAP WAS PREPARED JULY 29, 1982, USING THE REFERENCE MATERIAL LISTED HEREON AND FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JULY 1, 1982 WHICH WAS PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

ALFRED I. LARUE, P.L.S.  
 N.Y.S. NO. 46558

**PASSERO-SCARDETTA ASSOCIATES**  
 ARCHITECTS - ENGINEERS - SURVEYORS  
 145 LAKE AVENUE, ROCHESTER, N.Y. 14608/76-458-2180

SCALE 1" = 30'  
 Dated JULY 29, 1982

Information is for CHAMBERLAIN, D'AMANDA, BAUMAN, CHATMAN & OPPENHEIMER  
 ATTN: JEFFREY K. NEWMAN, ESQ.

Dwg No. 8118 F-2

MENDON CENTER ROAD

65.63' TO ANGLE POINT  
 148.00' (66.0' R.O.W.)  
 CENTERLINE

# Property Map



\*Lot Dimensions are Estimated



Courtesy of William Pieper, New York State Alliance MLS Rochester

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

## Property Detail

Generated on 03/28/2018

Page 4 of 4



Pittsford, New York  
Google Street View  
May 2024 See more dates



Image capture: May 2024 © 2024 Google















## ARTICLE

## Solar Panels on Historic Properties: On a Rear Porch Roof

### Gothic Revival House, Vermont

This is another example of a minimally intrusive installation of a solar hot water system. The solar collectors are located on a new roof sheltering an access ramp added to the rear of the residence. In some instances, new additions may provide opportunities to incorporate solar panels on a historic property in a sensitive way.



This view of the historic house from the front (above) shows that it retains its historic character, because the solar collectors were installed on the sloped roof over a new access ramp at the rear of the property and are not visible from the street (right).



[Next article: Avoiding the impact of solar panels on a cultural landscape \(https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm\)](https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm)



solar panels

historic buildings

technical preservation services

Last updated: April 18, 2022

## Was this page helpful?



## ARTICLE

# Solar Panels on Historic Properties: On a Low-Slope Gable

## Vermont Residence

The gable end of this historic apartment building faces the street. Low profile solar collectors for a water heating system were flush mounted on the sloped roof on the south side of the gable. Though visible, these few panels have relatively little impact on the historic character of the property. However, if the roof had been a more prominent feature of the property, this installation may not have been appropriate.



Low-profile solar collectors located on the south side of the gable roof are minimally visible.

From this angle, the panels are more noticeable, yet the historic character of the building is not significantly diminished.



[Next article: Solar panels on a cross gable \(https://www.nps.gov/articles/000/solar-panels-on-historic-properties-cross-gable.htm\)](https://www.nps.gov/articles/000/solar-panels-on-historic-properties-cross-gable.htm)



solar panels

historic buildings

technical preservation services

Last updated: April 18, 2022



# Pittsford Oaks responses to DRB comments

July 25, 2024

**TOWN OF PITTSFORD**  
**DEVELOPMENT REVIEW COMMITTEE – Planning Comments**  
For Planning Board Meeting 7/8/24

SUBJECT: Pittsford Oaks Apartments  
Preliminary Site Plan & Preliminary/Final Subdivision (Tobey PUD)  
Tax Parcel #s 163.02-1-24.111, 163.02-1-23.1, 163.02-1-36

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

**A written response to these comments must be provided for Planning Board and DRC Committee Review prior to a decision on this application.** A digital copy of this document will be provided so that it may be incorporated into the response.

**\*\*\*Questions about specific DRC comments should be directed to the Planning, Zoning, and Development Department (Doug DeRue or April Zurowski).**

NOTE: The address for Pittsford Federal Credit Union (PFCU) is 20 Tobey Village Road.

**PLANNING AND ZONING ISSUES:**

**GENERAL**

4. The Preliminary Site Plan application made to the Planning Board may not be consistent with the Tobey Planned Unit Development (PUD) general regulations adopted by the Town Board. Please address how the plans meet these requirements of the Tobey PUD. The Planning Board and Design Review & Historic Preservation Board should review the responses and determine if adjustments to the building and site are necessary. The general regulations for the Tobey PUD are provided, below. (DPW)

***General Design Requirements:***

*In designing site development plans and architectural details for structures within the Tobey PUD, the following guidelines will apply. These guidelines will be followed by all reviewing agencies of the Town of Pittsford.*

***Design Requirements***

1. *Facades of new buildings should be broken down into smaller masses of varied sizes and orientations to create smaller, human-scale, pedestrian-friendly environments in keeping with the residential character of the community.*
2. *Unless specific provisions to the contrary are provided herein, no structure shall exceed 30 feet in height. Chimneys attached to such structures may extend 10 feet above the highest point of the building structure. One flagpole, used exclusively for the display of flags, not exceeding 30 feet in height, is permitted.*
3. *A variety of roof types, heights and gable orientations will be provided in order to retain the town's diverse, yet traditional character. Very steep, flat or very low-pitched roofs should be avoided.*

4. *Building design should creatively reflect traditional elements of the Town. Diversity that is in tune with the massing, proportion and street relationships of traditional buildings will be required. Village-like clusters of buildings should be encouraged over individual structures isolated by parking areas or lawns. Dormers and other architectural elements should be kept in proportion with overall building design. Architectural detailing will be used to create variety and interest of new buildings.*
5. *The use of traditional materials such as painted or stained wood clapboards, end trim and natural brick and stone, should be encouraged. Materials, textures and colors that are compatible with existing adjacent residential development will be required.*
6. *A variety of traditional windows will be required. Excessive regularity or irregularity, large picture windows and glass curtain walls shall be avoided.*
7. *Signage should be used to provide direction to drivers and pedestrians in commercial and office complexes and should be at scale appropriate to such uses. Consistent, well-designed signage systems for each development parcel will be required as an element of site plan approval. Specific signage requirements are detailed in the specific provisions for each development parcel. In no case will illumination of signage be permitted, unless specifically authorized by the Town Board.*

#### ***Landscape Architecture/Site Planning***

1. *New buildings are subject to Design Review and Historic Preservation Board approval.*
2. *New non-residential buildings should be located with parking areas behind the buildings in order to create non-residential centers that reflect traditional development patterns, such as those found in the Village of Pittsford. Resulting developments should preserve a gateway appearance through this intersection.*
3. *Attractive pedestrian-oriented open spaces should be created by clustering buildings together to preserve open space along other sections of the street or behind the buildings.*
4. *Street trees will be required to shade and enclose the street and to define the edge of the public areas and private space.*
5. *Pedestrian-oriented environments, particularly within residential areas, commercial and office complexes and as entry features between parking facilities and buildings in stand-alone developments, will be required.*
6. *The design of new buildings will reflect the historic architecture of the town in terms of scale, massing, roof shape, gable orientation, window size, shape, and spacing, and exterior materials. Special attention to compatibility of color, materials, form and textures with adjacent structures and the context of the project site with its surroundings will be required.*
7. *Large buildings will be required to be compatible with the townscape by designing breaks in the building mass and roof lines, and by including appropriate architectural detail. New buildings should be scaled down into groupings of smaller structures to avoid large bulky masses.*

#### ***Parking and Traffic***

1. *Where practicable, parking should be located behind commercial and office structures to visually screen them from the road. As an alternative, depressed parking lots that minimize parking lot visibility may be acceptable. Terrain will govern the acceptable parking approach.*

2. *Landscaping of parking areas designed to provide shade and buffer adjoining uses will be required. Large areas of asphalt should be divided into smaller units through the use of landscaping or other innovative techniques.*
3. *Adjacent non-residential areas will be required, where practicable, to share parking areas and provide inter-connections.*
4. *Outdoor lighting should be screened by shields or hoods to prevent glare onto adjacent premises. Intensity levels of individual fixtures should be reduced by utilizing a large number of smaller light poles. In smaller pedestrian areas, lights will be utilized to improve the quality of lighting. All outdoor lighting should be limited to 3,000 K or less.*

**Response:** *The Preliminary site plan application was designed around the previously approved development and the Planned Unit Development general regulations. Facades were broken down into smaller masses of varied sizes and orientations using different materials and designs. Varying roof heights and gable orientations were engineered, and very steep roofs were eliminated along with flat or very low-pitched roofs visible from the previous development. Natural stone was used to accent the varying facades and textures of the development face similar to others found within the community. Breaks in the building mass and roof lines were incorporated to help reduce the size and scale of the structure. The structure was designed into an "H" design to resemble less of a single large building mass, and more so of clustered building layout utilizing large open "courtyard" type areas in both the front and rear of the development. The rear courtyard in particular is designed to create pedestrian-oriented areas within the residential areas to allow social gatherings and nature views. Glass curtain walls were avoided while designing a cohesive variety of varying traditional windows and sizes. No illuminated signage other than that authorized by the Town Board will be utilized. Directional signage within the development will be provided to assist drivers and pedestrians within the area. The majority of the parking has been designed underground in the garage to create more of an open appearance around the development protecting the woods and greenspace, rather than surrounding it by adjacent parking lots and open fields of pavement. The parking garage also acts to visually shield the parked cars from the road. The few parking fields within this development were divided into smaller units through the use of landscaping and the use of trees to create more shading. Street trees have also been designed into the landscape plans to enhance shading, provide a defined edge of the public areas and preserve open space along sections of the street. Outdoor lighting will be screened by shields or hoods to prevent glare onto adjacent premises. Outdoor lighting will be limited to 3,000K.*

- 7 The project area is immediately adjacent to 2867 Clover Street, a locally designated historic landmark and eligible landmark for listing on the New York State Register of Historic Places. (DPW, DRHPB)

**Response: Acknowledged.**

8. The apartment building directly behind the historic home has the potential to negatively impact it and the public view from the intersection of Clover Street and West Jefferson Road. It should be limited in overall height and varied in across the length (2, 3 and 4 stories) to break up the linear viewshed. The DRHPB and Planning Board should be united in efforts to eliminate any negative impact. (DRHPB)

**Response: Acknowledged. The design was scaled back and is now in full conformance with the P.U.D. height guidelines approved for this parcel by the Town Board.**

9. All opportunities to reduce negative impacts and to buffer the historic home from the new development should be implemented. Significant landscaping/buffering, reduced lighting, and limiting parking along the east side of the building could reduce impacts. (DRHPB)

**Response: Acknowledged. Lighting will be shielded or screened and limited to more than 3,000K. Additional landscape was designed into the rear of the historic home including a new retaining wall to protect and delineate the boundaries with vegetation and hardscaped wall.**

10. The potential impact to neighbors on Tobey Road, including altered views and increased traffic, should be minimized and opportunities to reduce impacts and buffer should be implemented. (DRHPB)

**Response: Agreed and acknowledged. The landscape plan is designed to help mitigate impacts on Tobey Road by creating a buffer of trees and vegetation creating a natural buffer. The developer has ensured the project will have access to two signalized traffic intersections to mitigate and reduce traffic safety concerns.**

11. Please provide winter renderings of the apartment building from the locations where summer renderings were provided. (DRHPB)

**Response: Additional renderings to be provided under separate cover.**

#### **CLEARING/GRADING/DEMOLITION**

- 13 The new building will require the demolition of the existing Barn Bazaar structures on site, for which a demolition permit from the Building Department is required. The published legal notice includes the demolition of these structures. A demolition permit will not be issued prior to Preliminary Site Plan approval. (DPW, BD, DRHPB)

**Response: Acknowledged.**

- 27 Please eliminate the encroachment into Parcel 12 for additional parking, if possible. If not, limited use and buffering with landscaping should be provided. There should be no further encroachment into Parcel 12 and no removal of mature trees, shrubs, or other landscaping and buffering material. (DRHPB)

**Response: The development will not encroach any further into Parcel 12 beyond what is approved in the Town of Pittsford P.U.D. Parking will be limited to overflow guest parking only when required. General parking will be available under the building in the private covered parking garage and along the parking lot south of the building. No mature trees will be removed outside of the parking area and retention pond. The existing mature trees surrounding the East side of the retention pond will remain, and additional trees will be planted to the South of the retention pond.**

- 36 Does the under-building parking area require ventilation fans? If so, where will they be located and will they impact the historic home? (DRHPB, DPW)

**Response: Ventilation provided in underground parking area. No exhaust fans are proposed on the east face of the building.**

#### **LIGHTING/LANDSCAPING/SIGNAGE**

- 77 The Town Board PUD approval includes the following:

*Street trees will be required to shade and enclose the street and to define the edge of the public areas and private space.*

*Landscaping:*

- a. *The land between the Market Rate Apartment House and Pittsford Federal Credit Union, West Jefferson Road, and Clover Street will be maintained as open space, except for required emergency access.*
- b. *Landscaping is required to be consistent with the Tobey PUD general provisions.*
- c. *As part of the site plan review process, the final landscaping plan will be subject to review and approval by **the Planning Board, with a focus on buffering public views, adjacent residential uses, and the historic home on Clover Street.** The Planning Board will apply the landscaping cost requirements set forth in Town Code §185-194(C). (DPW)*

**Response: Acknowledged.**

- 78 The plans do not adequately provide buffering between Cloverwood Senior Living and the proposed 54-space parking lot. Although existing trees exist on the Cloverwood property, buffering must be maintained throughout the life of the apartment building by the property owners. Please adjust plans to show buffering in this area. (DPW, DRHPB)

**Response: In addition to the provided landscaping, to the south of the proposed parking lot is an existing mature wooded to provide buffering. Additional landscaping provided.**

- 79 The New York State Parks, Recreation, and Historic Preservation Office (NYSPRHPO) provided a letter dated February 7, 2024 stating that “the project as described will have no adverse impact on the historic resources provided the following condition is met: A portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and the Historic resource.” Should you be unable to meet this condition, consultation with NYSPRHPO will be required. As proposed, the plans do not appear to preserve any mature tree canopy between the project and the historic resource. Existing trees greater than 12 inches in diameter in this region must be identified to evaluate the extent of the mature tree canopy. Trees that will be protected should be identified on the plans including those on 2867 Clover Street. It is presumed that if the mature tree canopy currently buffering the historic home is not saved the New York State Parks, Recreation and Historic Preservation Office will advise that plan changes are necessary or additional buffer planting will be required to buffer the historic home. (DPW, DRHPB)

**Response: Landscape buffering provided.**

- 80 It is recommended that plantings are included between the proposed retaining wall and the historic home at 2867 Clover Street. Does the retaining wall have a decorative finish? The wall shall be shielded as much as possible from the existing resident. The Town recommends a discussion with the property owner regarding appropriate screening from the apartment building. (DPW, EB, DRHPB)

**Response: Additional landscaping provided as requested.**

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment.

- DPW – Department of Public Works
- EB – Environmental Board
- PSD – Sewer Department
- HWY – Highway Department
- PARK – Parks Department
- PRAB – Parks and Rec Advisory Board
- TE – Town Engineer
- TRE – Town Review Engineer (MRB Group)
- FD – Fire Department (PFD – Pittsford, BFD – Brighton)
- FM – Fire Marshal
- BD – Building Department
- MCDPD – Monroe County Department of Planning & Development



## Parks, Recreation, and Historic Preservation

**ANDREW M. CUOMO**  
Governor

**ERIK KULLESEID**  
Acting Commissioner

April 1, 2019

Mr. Charles Vandrei  
Agency Historic Preservation Officer, Division of Lands and Forests  
New York State Department of Environmental Conservation  
625 Broadway  
Albany, NY 12233-4255

Re: DEC  
Friendly Commons at Cloverwood Redevelopment & Construction Project  
2851 Clover Street, Pittsford, NY  
19PR01925

Dear Mr. Vandrei:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6NYCRR Part 617).

We note that the four buildings located at 2851 Clover Street, also known as the Barn Bazar, are not eligible for listing in the State and National Registers of Historic Places. We further note that the nearby property at 2867 Clover Street is eligible for listing in the SR/NR as a good example of Greek Revival vernacular architecture.

We have reviewed the submission received on 3/20/2019. Based upon our review, it is the OPRHP's opinion that the proposed project will have No Adverse Impact upon historic resources.

If there are substantive changes to the project, consultation with our office should resume. If you have any questions, I can be reached at (518) 268-2217.

Sincerely,

Christina Vagvolgyi  
Historic Preservation Technical Specialist  
e-mail: christina.vagvolgyi@parks.ny.gov

via e-mail only

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**Division for Historic Preservation**

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com



**New York State  
Parks, Recreation and  
Historic Preservation**

**KATHY HOCHUL**  
Governor

**ERIK KULLESEID**  
Commissioner

February 7, 2024

Andrew Burns  
Passero Associates  
242 West Main Street  
Suite 100  
Rochester, NY 14614

Re: DEC  
Pittsford Oaks Redevelopment  
2851 Clover St, Pittsford, Monroe County  
24PR00320

Dear Andrew Burns:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project.

We note that the proposed undertaking is immediately adjacent to 2867 Clover Street, which is eligible for listing in the State and National Registers of Historic Places under criterion C, as a good example of Greek Revival vernacular architecture. We have reviewed the submission received on January 11, 2024, including the site plan dated November 2023. Based on that review, it is the OPRHP's opinion that the project, as described, will have No Adverse Impact on historic resources provided the following condition is met:

- A portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and the historic resource.

Should you be unable to meet this condition, consultation with this office will resume. If you have any questions, you can call or e-mail me at the contact information below.

Sincerely,

Robyn Sedgwick  
Historic Site Restoration Coordinator  
e-mail: [robyn.sedgwick@parks.ny.gov](mailto:robyn.sedgwick@parks.ny.gov)

cc: B. Bawden – Passero

**From:** [Andrew Burns](#)  
**To:** [Sedgwick, Robyn M \(PARKS\)](#)  
**Cc:** [David Cox](#); [Danny Daniele \(djd@danielefamily.com\)](#); [Anthony Daniele](#)  
**Subject:** Pittsford Oaks No Adverse Impact  
**Attachments:** [SHPO No Impact.pdf](#)  
[OPRHP No Adverse Impact Letter.pdf](#)  
[Pittsford Oaks Landscaping.pdf](#)

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Good afternoon Robyn, hope all is well.

We are following-up on your attached response letter dated February 7, 2024. Specially, regarding retaining the existing tree canopy between the project and the historic resource.

Based on site and grading limitations, removal of existing trees between our project parcel and the historic property will be required. Please note that no trees will be removed from the historic property and that sufficient landscaping will be planted to replace what buffering is potentially being removed. Attached is a proposed Landscaping Plan for your review.

In addition, a previously approved senior living facility project with similar scope was reviewed by OPRHP back in 2019. The review noted that the project would have No Adverse Impact on impact on the historic resource. OPRHP Response letter dated 4/1/2019 attached for your use.

Please follow-up if any additional information is required at this time. Thanks!

Sincerely,  
Andrew Burns, PE  
Project Manager  
Cell: 585-451-5843  
Office: 585-760-8565

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# 2023



# 2024

2023



**2 SOUTH ELEVATION**  
0' 4' 8' 16' 32'  
1/16" = 1'-0"



**1 SOUTH ELEVATION**  
0' 4' 8' 16' 32'  
1/16" = 1'-0"

2024

2023



**3** NORTH ELEVATION



**1** NORTH ELEVATION



2024

2023

West elevation for comparison was not provided



2024

Rendering would be more helpful if it included parking areas, dumpsters, generator, and compactor

# Cloverwood



1 East Elevation



2 West Elevation



**3** North Elevation



**3** South Elevation



EXISTING



EXISTING

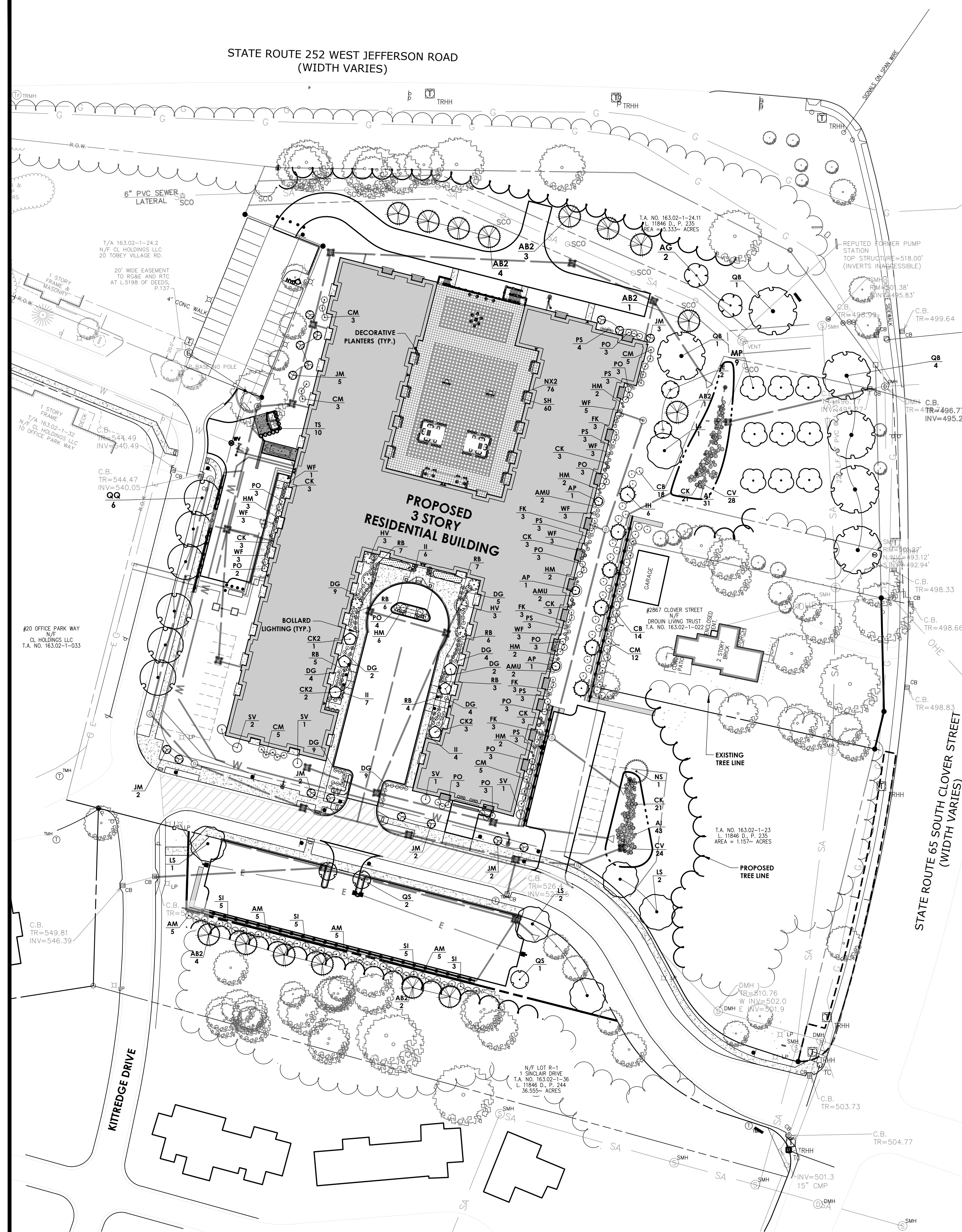
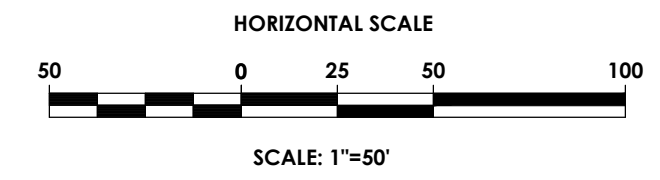


RENDERING



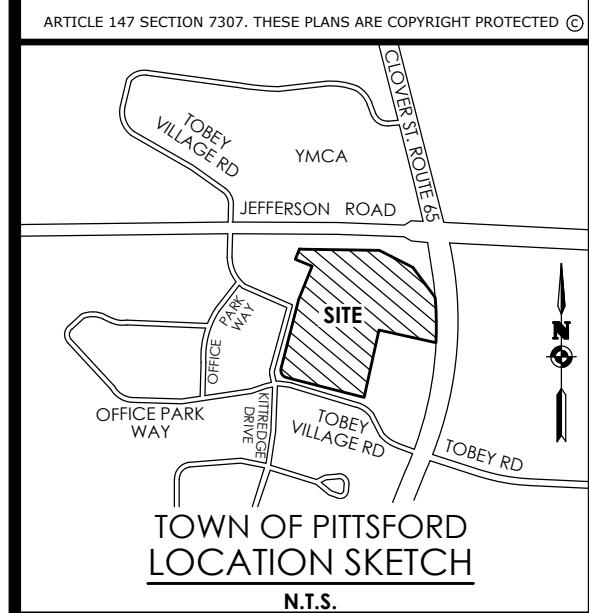
RENDERING

STATE ROUTE 252 WEST JEFFERSON ROAD  
(WIDTH VARIES)



**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE/HEIGHT	ROOT	MATURE HEIGHT	REMARKS
<b>TREES</b>								
AP		3	ACER PALMATUM DISSECTUM 'MONFRICK'	VELVET VIKING™ JAPANESE MAPLE	2' H.	#5 CONT.	2-3'	FALL PLANTING HAZARD
AG		2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	5-6' H.	B&B	15-25'	MULTI-STEMMED
CK2		6	CORNUS KOUSA	KOREAN DOGWOOD	2.5-3" CAL.	B&B	15-25'	FALL PLANTING HAZARD
IH		6	ILEX OPACA 'AIKEN RED'	AIKEN RED AMERICAN HOLLY	7-8' H.	B&B	35'	FALL PLANTING HAZARD
LS		6	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2.5-3" CAL.	B&B	60'	FALL PLANTING HAZARD
JM		16	MAGNOLIA X 'JANE'	JANE MAGNOLIA	4-5' H.	B&B	6-8'	
MP		9	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	1.5-1.75" CAL.	B&B	15-20'	FALL PLANTING HAZARD
NS		1	NYSSA SYLVATICA	TUPELO	2.5-3" CAL.	B&B	35'	FALL PLANTING HAZARD
QB		6	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5-3" CAL.	B&B	50-60'	FALL PLANTING HAZARD
QS		3	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	2.5-3" CAL.	B&B	50-60'	FALL PLANTING HAZARD
QQ		6	QUERCUS X 'ORSW18'	STREETWISE® RED OAK	2.5-3" CAL.	B&B	30-60'	FALL PLANTING HAZARD
<b>EVERGREEN TREES</b>								
AB2		15	ABIES BALSAMEA	BALSAM FIR	7-8' H'	B&B	50-75'	
JE		2	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	7-8' H'	B&B	30-35'	FALL PLANTING HAZARD
TS		10	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' H.	B&B	12-14'	FOR SCREENING
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE HEIGHT	
<b>SHRUBS</b>								
AM		20	ARONIA MELANOCARPA	BLACK CHOKEBERRY	12-15"	#2 CONT.	3-6'	
AMU		6	ARONIA MELANOCARPA 'UCONNAM165'	LOW SCAPE MOUND® BLACK CHOKEBERRY	10-12"	#1 CONT.	18-36"	
CB		32	CEPHALANTHUS OCCIDENTALIS 'BAILOPTICS'	FIBER OPTICS® BUTTONBUSH	24"-30"	#3 CONT.	5-6'	
CM		33	CHAMAECYPARIS OBTUSA 'MONYUR'	JADE WAVES™ HINKI FALSE CYPRESS	2' HT.	#3 CONT.	6-8'	
FK		15	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	15-18"	#3 CONT.	3-6'	
HV		6	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL	30"-36"	B&B	10-20'	
HM		19	HYDRANGEA MACROPHYLLA 'PIA'	PIA DWARF HYDRANGEA	12-15"	#3 CONT.	18-24"	
II		17	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	30"-36"	#2 CONT.	3-4'	
PO		36	PHYSOCARPUS OPULIFOLIUS 'ZLEYELZ'	RASPBERRY LEMONADE™ NINEBARK	2-3"	#3 CONT.	3-6'	
SI		18	STEPHANANDRA INCISA	CUTLEAF STEPHANANDRA	18-21"	#3 CONT.	3-6'	
SV		5	SYRINGA VULGARIS 'AGINCOURT BEAUTY'	AGINCOURT BEAUTY COMMON LILAC	3-4"	#5 CONT.	10-12'	
WF		24	WEIGELA FLORIDA 'VARIEGATA NANA'	VARIEGATED DWARF WEIGELA	15-18"	#2 CONT.	3'	
<b>ORNAMENTAL GRASSES</b>								
CK		60	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	15-18" H	#2 CONT.	4-6'	
CV		52	CAREX VULPINOIDEA	FOX SEDGE	12-15" H	#3 CONT.	2-4'	
DG		48	DESCHAMPSIA CESPITOSA 'GOLDTAU'	GOLD DEW TUFTED HAIR GRASS	12-15" H	#1 CONT.	2'	
PS		22	PENNISETUM SETACEUM 'RUBRUM'	PURPLE FOUNTAIN GRASS	6-12"	#1 CONT.	18-36"	
SH		76	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPS EED	12-15" H	#1 CONT.	2-3'	
<b>PERENNIALS</b>								
AI		74	AMSONIA ILLUSTRIS	OZARK BLUESTAR	12-15" H	#1 CONT.	2-3'	
NX2		60	NEPETA X 'CAT'S PAJAMAS'	CAT'S PAJAMAS CATMINT	8-12" H	#1 CONT.	12-14"	
RB		39	RUDBECKIA FULGIDA 'EVOLUTION COLORIFIC'	EVOLUTION COLORIFIC CONEFLOWER	15-18" H	#1 CONT.	3-4'	



Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: David Cox, P.E.  
Project Manager: Andrew Burns, P.E.  
Designed by: Shari Kleis

Revisions			
No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

**LANDSCAPE PLAN**  
**PITTSFORD OAKS**

Town/City: PITTSFORD  
County: MONROE State: NEW YORK  
Project No.: **20233554.0001**  
Drawing No.: **C 108**  
Scale: **1" = 50'**  
Date: **JULY 18, 2024**

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER  
APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

Y:\PROJECTS-NEW\2023\20233554\01\_CAD-BIM-MODELS\CIVIL\20233554\_01\_LANDSCAPE.DWG 7/18/2024 4:28 PM Shari Kleis