Agenda 07-25-2024

Town of Pittsford Design Review & Historic Preservation Board AGENDA July 25, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, July 25, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

28 Copper Woods

Applicant is requesting design review for the addition of a covered front entry.

71 Framingham Lane

Applicant is requesting design review for approximately 224 square feet off the rear of the home.

OVERSIZED ACCESSORY STRUCTURES

33 Merryhill Lane

Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

3 Fitzmot Glen

Applicant is requesting design review for a 1080 square foot detached garage.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.

The next meeting is scheduled for Thursday, August 8, 2024, at 6PM.

Town of Pittsford Design Review & Historic Preservation Board MINUTES July 11, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, June 11, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Kathleen

Cristman; Bonnie Salem; Paul Whitbeck

ABSENT: John Mitchell; Jim Vekasy

ALSO PRESENT: Bill Zink, Building Inspector; Salvatore Tantalo, Fire Marshal; Cathy

Koshykar, Town Board Liaison

ATTENDANCE: There were 10 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00 PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Member Bonnie Salem discussed that she looked into the home at 75 Knollwood that was on the previous meetings agenda. She found that the reason why the board was unaware that the home was designed by Jim Johnson was that it was built in 1985 and therefore not on our historic registry. She also found out that there is a total of 6 Jim Johnson designed homes in Pittsford. Of those, only the home on Landsdowne Lane is on the registry.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

3833 East Avenue

Applicant is requesting design review to add a man door next to the garage as well as some window changes.

Paul Morabito, of Morabito Architects, introduced the application. Mr. Morabito gave a brief overview of the project.

DRHPB Vice Chairman Dave Wigg motioned to approve addition of a man door next to the garage as well as some window changes, as submitted. This motion was seconded by DRHPB Member Bonnie Salem Following a unanimous voice vote, the application was approved, none opposed.

2735 Clover Street

Applicant is requesting design review for roof changes along the rear of the home.

Eric Geoca, of Geoca Homes, introduced the application. He stated that the current low-pitched roof in the back has leaked even after reroofing and therefore this is why they are looking to make changes to the property.

DRHPB Chairman Dirk Schneider motioned to approve roof changes along the rear of the home, as submitted. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

2 Blackwood Circle

Applicant is requesting design review for the construction of a one-story single family home. The home will have approximately 2425 square feet of livable area and is located in the Wilshire Hill Subdivision.

Noah Saulpaugh, of Pride Mark Homes, introduced the application. DRHPB Member Bonnie Salem noted that she liked the simplicity of the home as well as the side load garage.

DRHPB Chairman Dirk Schneider motioned to approve architectural design and the construction of an approximately 2425 square feet one-story single family home, with the condition of the angled siting of the home to match 17 Aden Hill. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

56 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 3689 square feet that is located in the Coventry Ridge Subdivision.

Matt Winseman, of Spall Homes, introduced the application. DRHPB Member Paul Whitbeck noted that the home had 4 different textures. DRHPB Vice Chairman Dave Wigg asked if the corner end boards would be extended to grade. DRHPB Member Bonnie Salem agreed that the corner boards need to be brought all the way down to grade. DRHPB Member Kathleen Cristman asked for future homes in this subdivision to be simplified in terms of the number of materials. DRHPB Chairman Dirk Schneider suggested they make it a condition that the board and batten exposure be replaced with matching horizontal siding.

DRHPB Chairman Dirk Schneider motioned to approve the construction of an approximately 3689 square feet two-story single family home, as submitted with the following conditions: bring corner boards down to grade at the garage and replace board and batten exposure with matching horizontal siding. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

65 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 2926 square feet that is located in the Coventry Ridge Subdivision.

Austin Miller, of Spall Homes, introduced the application. DRHPB Member Kathleen Cristman noted that she likes how the gables marry into each other. DRHPB Chairman Dirk Schnieder asked if the shutters were the same width on all windows and Mr. Miller confirmed they are.

DRHPB Chairman Dirk Schneider motioned to approve the construction of an approximately 2926 square feet two-story single family home, as submitted with the condition of the shutters at

the window above the entry door be ½ of the width to the window it is attached to. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

3 Laguna Lane

Applicant is requesting design review for a 2587 square-foot, two-story home in the Young Subdivision.

Rich Battisti, of Faber Homes, introduced the application. DRHPB Member Bonnie Salem asked what the plan was to buffer the house from Lehigh Station Road. Mr. Battisti stated that they would be putting in the home and driveway and that any landscaping would be on the homeowner. DRHPB Chairman Dirk Schneider asked if the house could be brought forward. Mr. Battisti stated that the homeowner requested a long driveway so that is why the house is further back on the lot. DRHPB Chairman Dirk Schnieder asked to have brackets installed under the fireplace box on the left elevation. DRHPB Member Bonnie Salem questioned the left elevation with only one transom window on that side of the home. With two bedrooms located on that side, the board determined that adding in windows on the second floor was not feasible. DRHPB Chairman Dirk Schnieder pointed out that this house sits in a cul-de-sac so the left elevation will not be seen by many, and that this should be OK.

DRHPB Chairman Dirk Schneider motioned to approve the construction of an approximately 2587 square feet two-story single family home, as submitted with the condition to add brackets to the fireplace box at the left elevation. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: RENOVATIONS & ADDITIONS

751 Linden Avenue

Applicant is requesting design review for a 682 SF addition.

DRHPB Member Paul Whitbeck motioned to approve the construction of an approximately 682 square feet addition, as submitted. This motion was seconded by DRHPB Member Kathleen Christman. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3030 Monroe Avenue

Applicant is requesting design review for a 20 square-foot sign for Newbrough Piano.

DRHPB Member Bonnie Salem motioned to approve the construction of an approximately 20 square feet sign for Newbrough Piano, as submitted. This motion was seconded by DRHPB Chairman Dirk Schneider. Following a unanimous voice vote, the application was approved, none opposed.

06/27/2024 MEETING MINUTES REVIEW

The minutes of June 27, 2024, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Chairman Dirk Schnieder. Following a unanimous voice vote, the minutes were approved, none opposed.

OTHER DISCUSSION

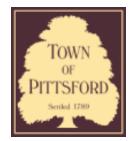
The Board discussed the proposed Pittsford Oaks in detail.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 7:40 PM.

Respectfully submitted,

Salvatore Tantalo
Fire Marshal & Emergency Manager

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B24-000094

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 28 Copper Woods PITTSFORD, NY 14534

Tax ID Number: 178.03-1-27

Zoning District: RN Residential Neighborhood

Owner: O'Shaughnessy, Richard W Applicant: O'Shaughnessy, Richard W

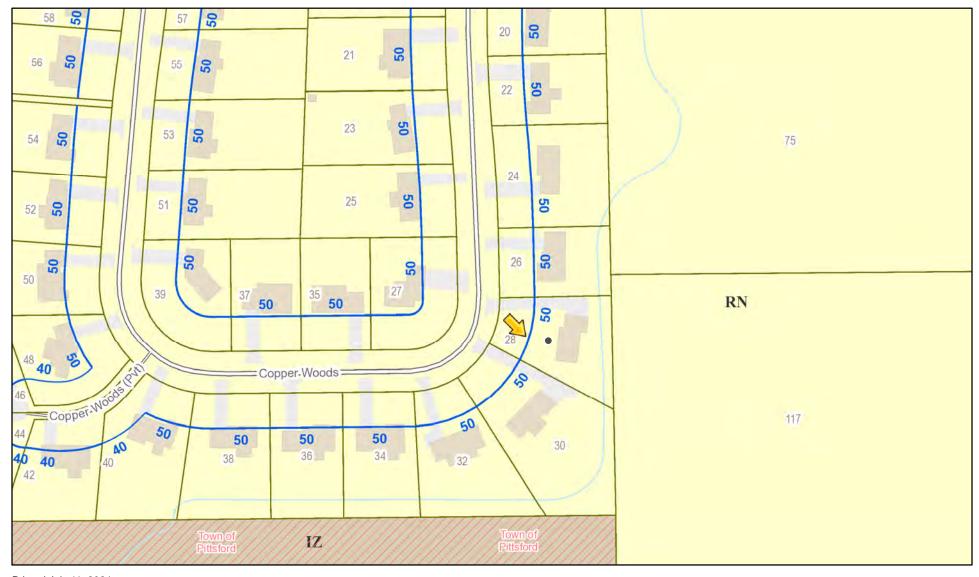
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~	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

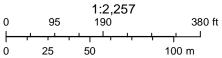
Project Description: Applicant is requesting design review for the addition of a covered front entry.

Meeting Date: July 25, 2024

RN Residential Neighborhood Zoning

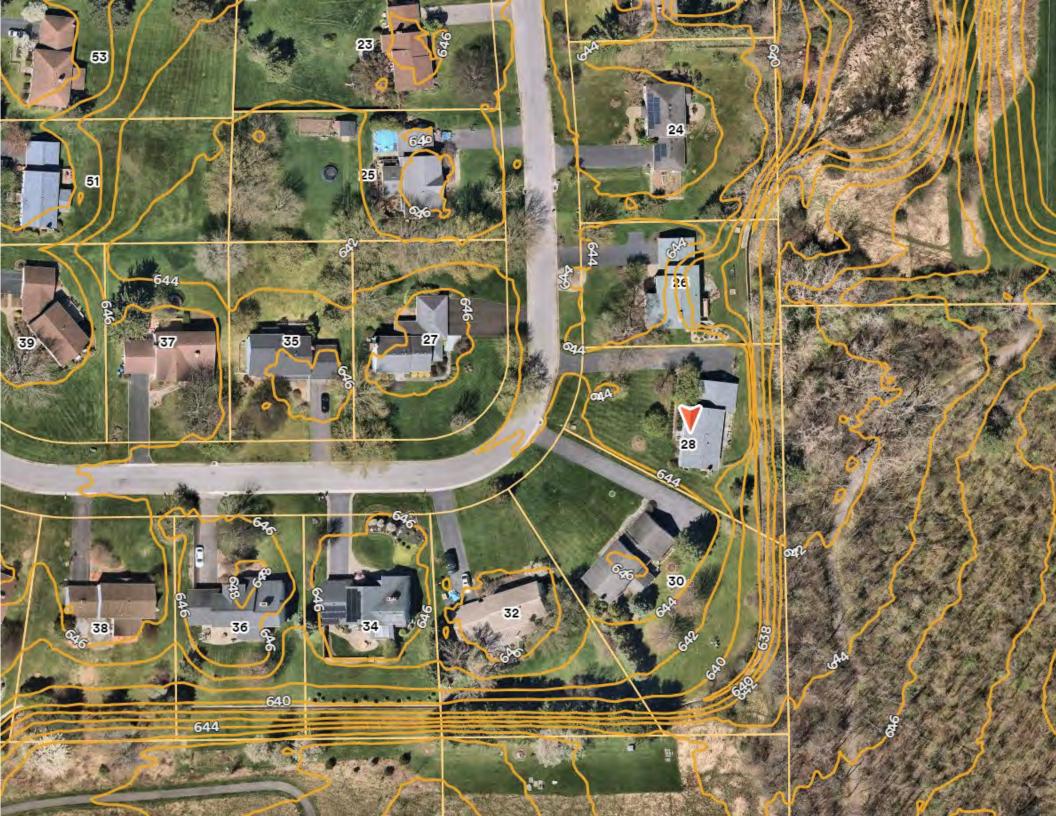


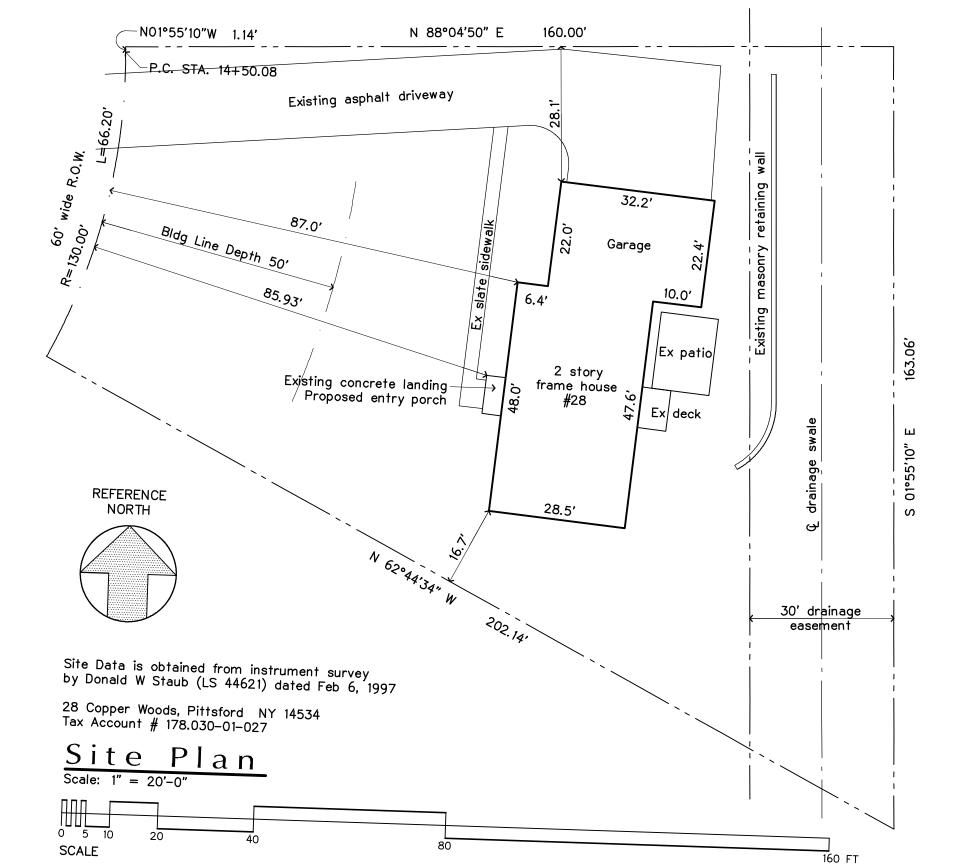
Printed July 11, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Parcel ID: 178.03—1—27
Lot Size: 19,166.40 sqft
Lot Width: 93 ft
Bldg Line Depth: 50 ft
Side Yard: Min 10 / Total 25
Rear Buffer: 20 ft
Max Bldg Footprint: 3,758 sqft
Max Lot Coverage: 7,667 sqft
Max Bldg Height: 30 ft

Existing Proposed 87.0' 85.93' (no change) (no change) 2,080 sqft 2,112 sqft 4,858 (no change) (no change)

O'Shaughnessy Front Entry Porch Addition 28 Copper Woods, Pittsford NY 14534

July 12, 2024

RICHARD

ALFRED

MAUSER

ARCHITECTS



Street Elevation
Scale: 3/16" = 1' - 0"

O'Shaughnessy Front Entry Porch Addition 28 Copper Woods, Pittsford NY 14534 RICHARD
ALFRED
MAUSER

July 12, 2024
ARCHITECTS



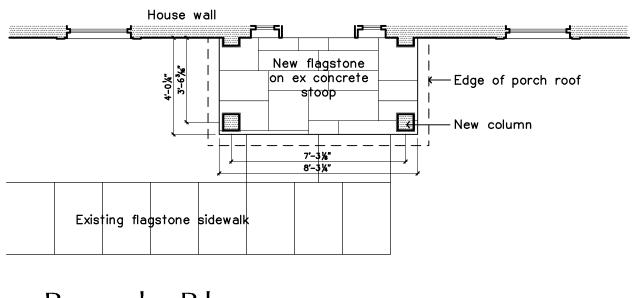
Porch Front Elevation Scale: 1/4" = 1' - 0"

Side Elevation

KEYED NOTES

- (1) Roof is $1\frac{1}{2}/12$ pitch, can be a membrane or a metal roof with concealed gutter, and drain located behind the column. The downspout will be exposd behind the column.
- (2) Cornice trim is PVC crown molding. Dentils are PVC
- (3) Column is HB&G PermaWrap CPVC, 8"x96", plain or fluted (shown)

New pilaster columns will flank the existing trim at the sidelights.

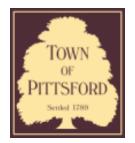


 $\frac{Porch}{Scale: 1/4" = 1' - 0"}$

O'Shaughnessy Front Entry Porch Addition 28 Copper Woods, Pittsford NY 14534

July 12, 2024

RICHARD ALFRED MAUSER **ARCHITECTS**



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B24-000090

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 71 Framingham Lane PITTSFORD, NY 14534

Tax ID Number: 150.20-1-29

Zoning District: RN Residential Neighborhood

Owner: McCarson, Richard Wayne
Applicant: McCarson, Richard Wayne

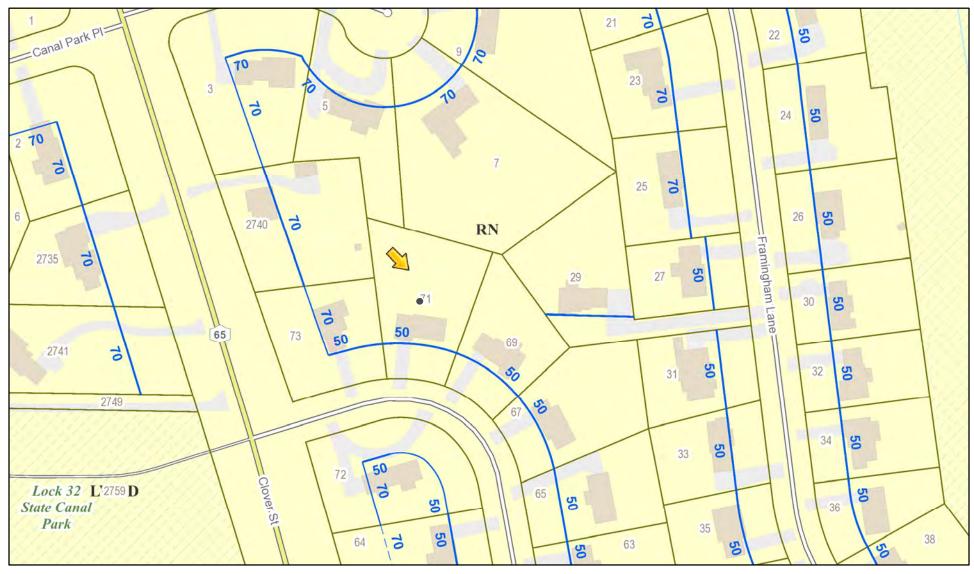
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1.1	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

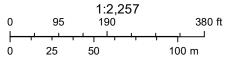
Project Description: Applicant is requesting design review for approximately 224 square feet off the rear of the home.

Meeting Date: July 25, 2024

RN Residential Neighborhood Zoning



Printed July 10, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



ADDITION

71 FRAMINGHAM LANE, PITTSFORD, NY 14534

GENERAL NOTES:

- 1. GENERAL NOTES APPLY TO ALL DRAWINGS
- 2. DO NOT SCALE DRAWINGS. ANY DIMENSIONAL INFORMATION REQUIRED WHICH IS NOT INDICATED ON DRAWING DIMENSION STRINGS SHALL BE OBTAINED FROM THE ARCHITECT.
- 3. DIMENSIONS SHOWN ARE FINISH SURFACE OF EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS (I.E EXISTING MATERIALS, FRAMING MEMBER SIZES AND LOCATIONS, METHODS OF CONSTRUCTION). IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- 5. CONTRACTOR SHALL MAINTAIN THE IMMEDIATE CONSTRUCTION SITE IN A SECURE, CLEAN AND SAFE MANNER.
- 6. PROTECTION: CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.

APPLICABLE CODES:

- 1. 2022 International Building Code with local amendments.
- 2. 2022 International Existing Building Code.
- 3. 2022 International Energy Conservation Code.
- 4. 2022 ANSI A-117.1 Accessible & Useable Building & facilities.
- 5. 2022 International Plumbing Code with local amendments.
- 6. 2022 International Mechanical Code with local amendments.
- 7. 2022 International Fuel Gas Code with local amendments.
- 8. 2022 National Electric Code.
- 9. 2022 International Fire Code with local amendments.

SCOPE OF WORK:

- 1. ARCHITECTURE
- 2. STRUCTURE
- 3. ELECTRICAL
- 4. PLUMBING
- 5. MECHANICAL

INDEX TO DRAWINGS

SHEET NUMBEF	SHEET NAME	SHEET NUMBER	R SHEET NAME
	ARCHITECTURE		ELECTRICAL
AR-01	COVER SHEET	EL-01	NOTES
AR-02	PROPOSED FLOOR PLAN	EL-02	LIGHTING FLOOR PLAN
AR-03	ENLARGED PROPOSED FLOOR PLAN	EL-03	POWER FLOOR PLAN
AR-04	BACK ELEVATION	EL-04	PANEL SHEDULE & SINGLE LINE DIAGRAM
AR-05	RIGHT & LEFT ELEVATIONS	EL-05	DETAILS
	STRUCTURE		PLUMBING
ST-01	NOTES	PL-01	NOTES
ST-02	FDN.PLAN	PL-01	DRAINAGE FLOOR PLAN
ST-03	ROOF PLAN	PL-03	WATER SUPPLY FLOOR PLAN
ST-04	ROOF FRAMING PLAN	PL-04	RISER DIAGRAM
ST-05	SEC AA	PL-05	DETAILS
ST-06	DETAILS #1		MECHANICAL
ST-07	DETAILS #2	ME-01	AIR CONDITIONING FLOOR PLAN

OWNER SIGNATURE

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
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		ONSULTANT APPROVAL	

(C)

ADDRESS:

DISAPPROVED

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS

DESIGN DRAWING

ARCHITECTURE

HOME DESIGN

DRAWING TITLE:

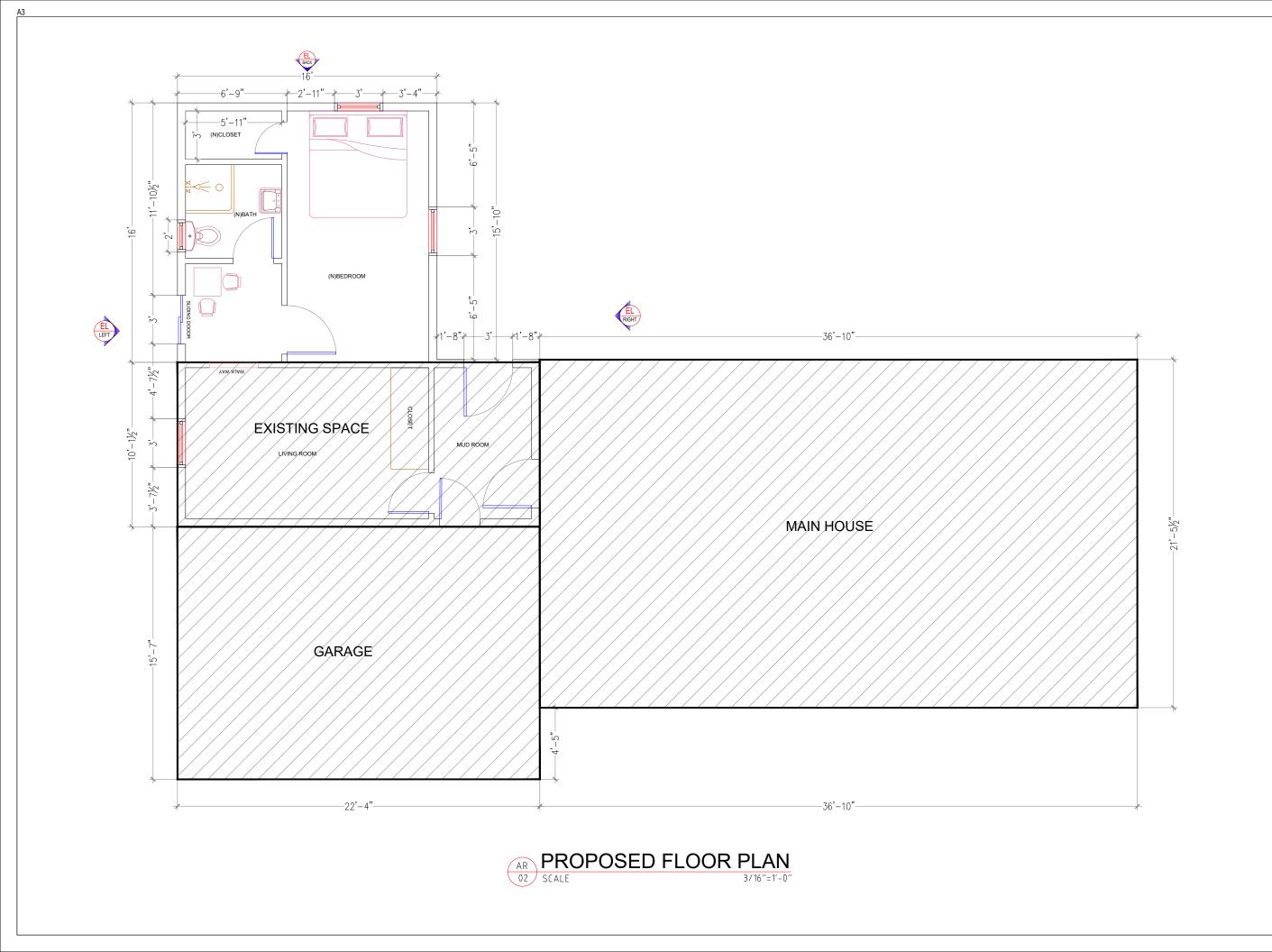
COVER SHEET

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 CHECKED BY:
 DATE:

 F.S
 S.A
 06 JUL 2024

 JOB NO
 SHT NO
 SCALE:

 803
 AR-01
 NTS @A3



GENERAL NOTES

- A. CONTRACTOR IS TO ASCERTAIN THAT ALL
 CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL
 APPLICABLE BUILDING CODES AND LOCAL
 RESTRICTIONS AND THAT THE CONSTRUCTION
 DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE
 LAWS, STATUTES, ORDINANCES, CODES, RULES, AND
 REGULATIONS. IF THE CONTRACTOR OBSERVES THAT
 PORTIONS OF THE CONSTRUCTION DOCUMENTS ARE
 AT VARIANCE THEREWITH, THE CONTRACTOR SHALL
 PROMPILY NOTIFY THE DESIGNER IN WRITING, AND
 THE NECESSARY CHANGES SHALL BE INITIATED AND
 ACCOMPLISHED BY APPROPRIATE MODIFICATION.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. IF ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER AT ONCE FOR CLARIFICATION.
- C. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED.
- D. ALL PRODUCTS AND MATERIALS SHALL BE APPLIED AND/OR INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR MASONRY OPENINGS WITH MANUFACTURER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL PLAN DIMENSIONS ARE FROM FACE OF BLOCK OR FACE STUD AND ARE NOMINAL UNLESS OTHERWISE INDICATED.

OWNER SIGNATURE

		REVISION STATUS	
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CLIENT/ CONSULTANT AFT	-KOVAL STATO
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APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)
OWNER:	

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:

DESIGN DRAWING

DISCIPLINE

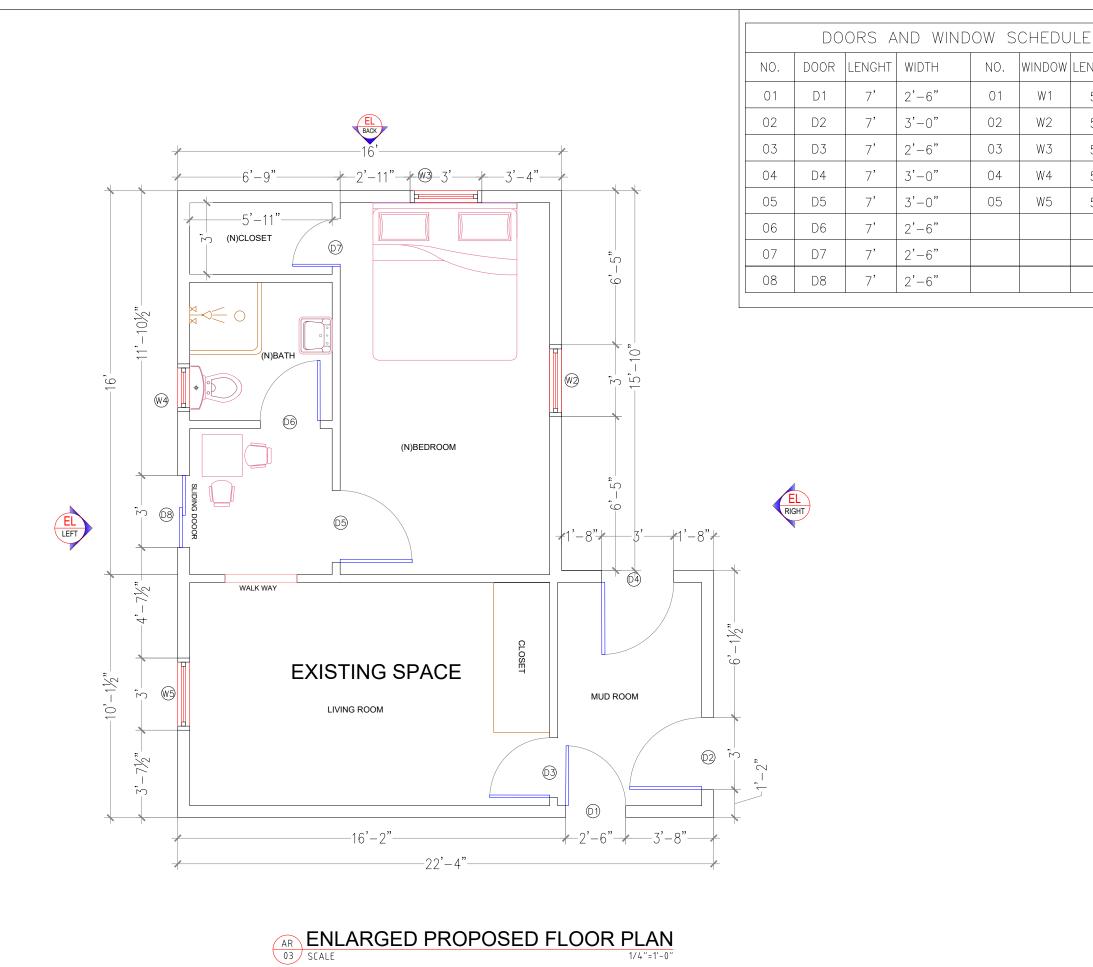
ARCHITECTURE PROJECT TITLE:

HOME DESIGN

DRAWING TITLE:

PROPOSED FLOOR PLAN

DRAWN BY:	CHECKED BY:	DATE:
F.S	S.A	06 JUL.2024
JOB NO	SHT NO	SCALE:
803	AR-02	3/16"=1'-0" @A3



GENERAL NOTES A. CONTRACTOR IS TO ASCERTAIN THAT ALL
CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL
APPLICABLE BUILDING CODES AND LOCAL
RESTRICTIONS AND THAT THE CONSTRUCTION
DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE
LAWS, STATUTES, ORDINANCES, CODES, RULES, AND
REQULATIONS. IF THE CONTRACTOR OBSERVES THAT
PORTIONS OF THE CONSTRUCTION DOCUMENTS ARE
AT VARIANCE THEREWITH, THE CONTRACTOR SHALL
PROMPTLY NOTIFY THE DESIGNER IN WRITING, AND
THE NECESSARY CHANGES SHALL BE INITIATED AND
ACCOMPLISHED BY APPROPRIATE MODIFICATION.

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2'-6"

3'-0"

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2'-6"

2'-6"

2'-6"

WINDOW LENGHT

W2

W3

W4

W5

5

5'

5'

WIDTH

3'-0"

3'-0"

3'-0"

2'-0"

3'-0"

DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. IF ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER AT ONCE FOR CLARIFICATION.

. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED.

- ALL PRODUCTS AND MATERIALS SHALL BE APPLIED AND/OR INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR MASONRY OPENINGS WITH MANUFACTURER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

OWNER SIGNATURE

REVISION STATUS Rev DATE DESCRIPTION

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ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DRAWING STATUS:

DESIGN DRAWING

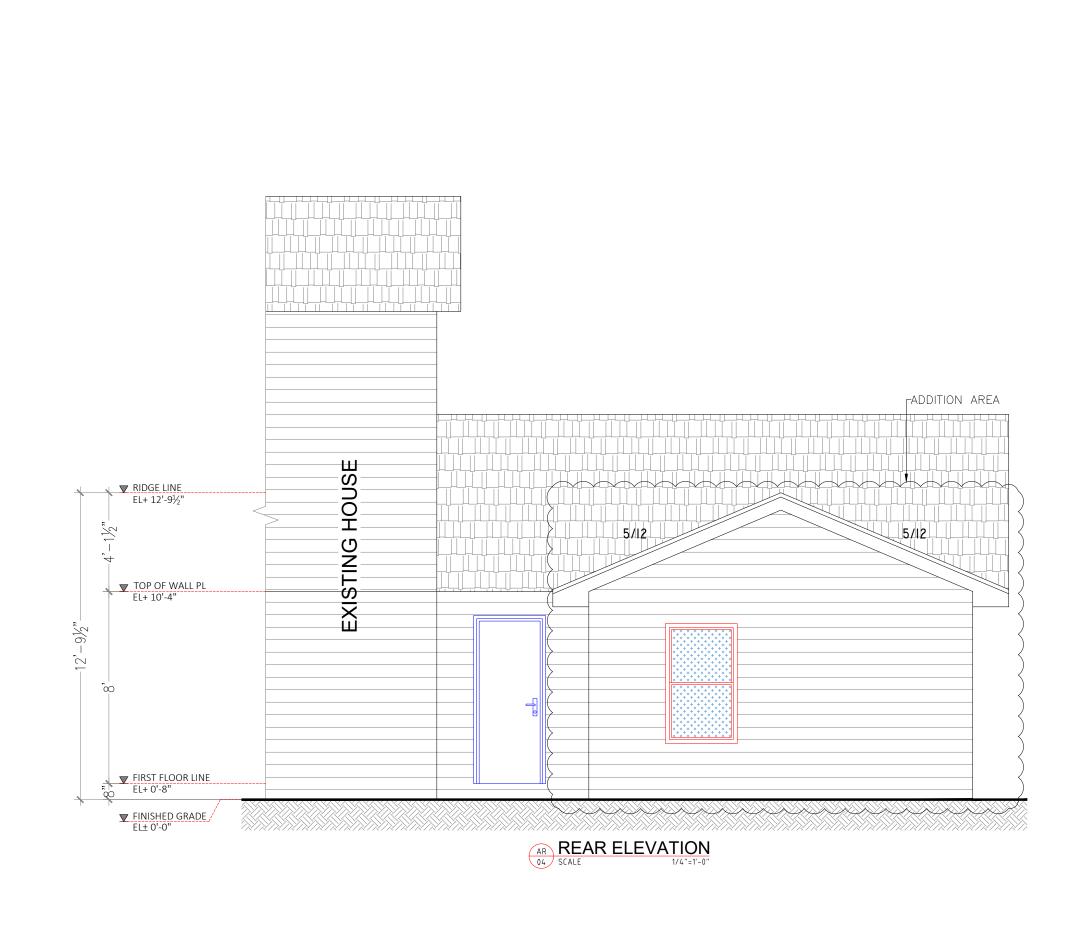
DISCIPLINE ARCHITECTURE PROJECT TITLE:

HOME DESIGN

DRAWING TITLE:

ENLARGED PROPOSED FLOOR PLAN

DRAWN BY:	CHECKED BY:	DATE:
F.S	S.A	06 JUL.2024
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803	AR-03	1/4"=1'-0"@A3



OWNER SIGNATURE

REVISION STATUS			
Rev	DATE	DESCRIPTION	DRAWN BY
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CLIENT/CONSULTANT APPR	OVAL STATUS
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APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)
OWNED.	•

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:

DESIGN DRAWING

DISCIPLINE:

ARCHITECTURE

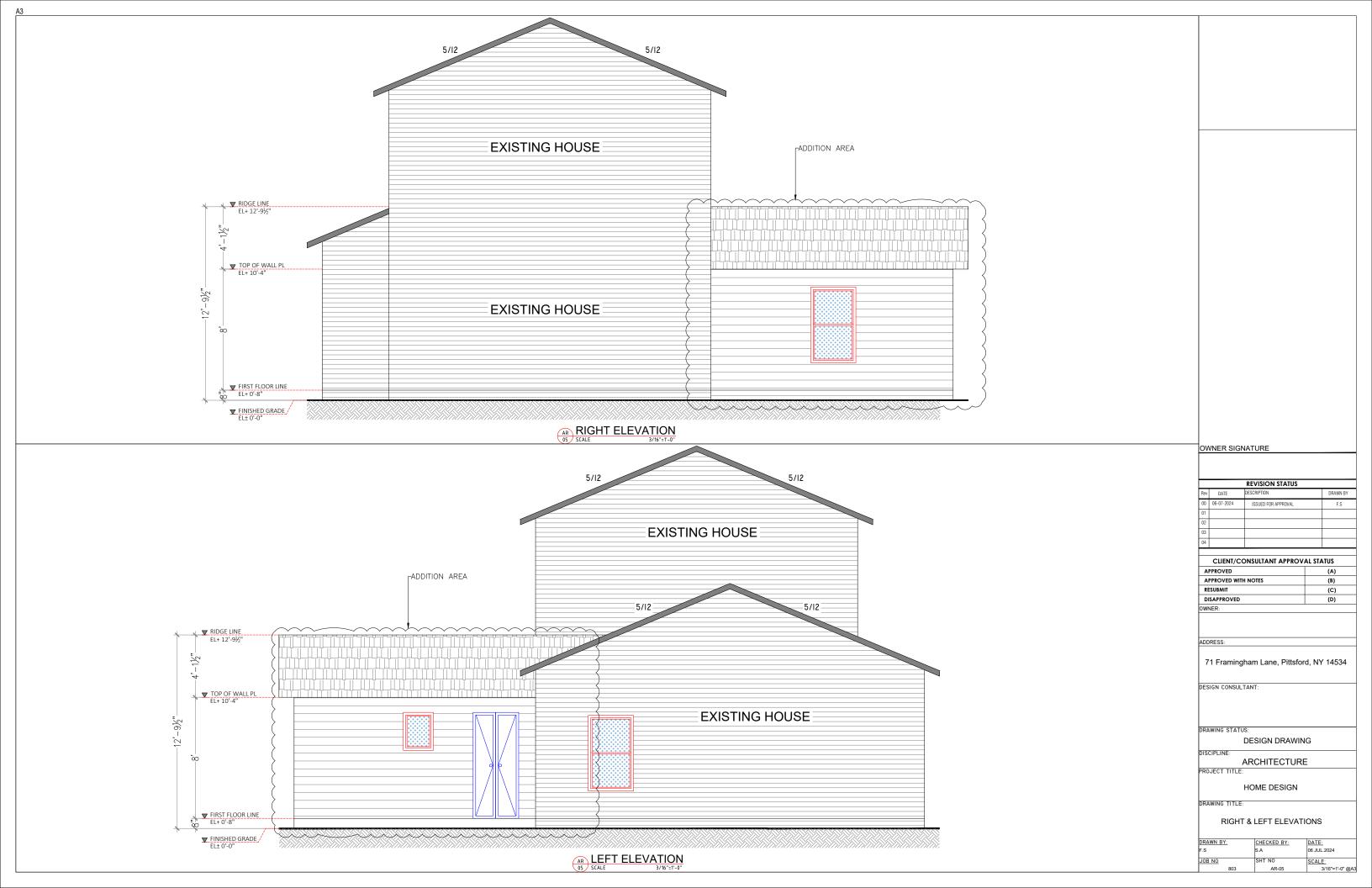
PROJECT TITLE:

HOME DESIGN

DRAWING TITLE:

BACK ELEVATION

DRAWN BY:	CHECKED BY:	DATE:
F.S	S.A	06 JUL.2024
JOB NO	SHT NO	SCALE:
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a. GENERAL NOTES

- THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE STRUCTURAL ENGINEERS IN THIS OR SIMILAR LOCALITIES. THEY ASSUME THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN
- 2 THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES. PROCEDURES, LAGGING, SHORING, BRACING, FORM-WORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. CONSTRUCTION MATERIALS SHALL BE UNIFORMLY SPREAD OUT SUCH THAT DESIGN LIVE LOAD PER SQUARE FOOT AS NOTED HEREIN IS NOT EXCEEDED.
- 3. DESIGN OF ITEMS NOT PART OF THE PRIMARY STRUCTURAL SYSTEM (SUCH AS STAIRS, RAILINGS, NON-STRUCTURAL WALLS) AND PREFABRICATED STRUCTURAL ITEMS (SUCH AS FLOOR, ROOF TRUSSES) SHALL BE PROVIDED BY OTHERS UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS. REFER TO SUBMITTALS SECTION FOR ITEMS THAT MUST BE SUBMITTED FOR REVIEW AND FOR SUBMITTAL
- 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS WITH ARCH'L. DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCH'L., MECH., PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- 5. TYPICAL DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON PLANS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT. DETAILS MAY SHOW ONLY ONE SIDE OF CONNECTION OR MAY OMIT INFORMATION FOR
- 6. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
- 7 STANDARDS AND CODE REFERENCES NOTED IN THESE CONSTRUCTION. DOCUMENTS REFER TO THE EDITIONS ADOPTED BY THE BUILDING CODE SPECIFIED IN THE BASIS FOR DESIGN. REFERENCES NOT SPECIFICALLY ADOPTED BY SAID BUILDING CODE REFER TO THE LATEST EDITION.
- 8. ALL INSPECTIONS REQUIRED BY THE BUILDING CODES, JURISDICTION, OR THESE PLANS SHALL BE PROVIDED BY AN INDEPENDENT INSPECTION COMPANY OR THE BUILDING DEPARTMENT. SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN

b. DESIGN CRITERIA

ROOF DEAD LOAD.. GROUND SNOW LOAD......70 PSF

ULT, WIND SPEED(3-SECOND GUST)......110mph RISK CATEGORY... **EXPOSURE** ENCLOSURE ..±0.18 (ENCLOSED)

c. FOUNDATION

- FDN DESIGN HAS BEEN CARRIED OUT BASED UPON PRESUMPTIVE SOIL BERING CAPACITY AND REVISED FDN DESIGN IF IN CASE DONE AFTER DETAIL SOIL EXPLORATION ON SITE, SHALL TAKE PRECEDENCE. SITE PREPARATION, GRADING, TESTS, INSPECTIONS, 4. FIELD OBSERVATIONS OR APPROVAL FROM THE GEOTECHNICAL ENGINEER RECOMMENDED BY THE GEOTECHNICAL REPORT AND ANY ADDENDA SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF FOUNDATIONS
- 2 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONTROL OF GROUNDWATER AND SURFACE RUNOFF THROUGHOUT THE CONSTRUCTION PROCESS.
 INUNDATION AND LONG-TERM EXPOSURE OF BEARING SURFACES WHICH RESULT IN DETERIORATION OF BEARING SHALL BE PREVENTED.
- 3. ALL VEGETATION, TOP SOILS, ROOTS AND ORGANIC ZONES SHALL BE STRIPPED AND REMOVED FROM THE CONSTRUCTION AREA FOR A DISTANCE OF AT LEAST 5 FEET BEYOND THE EXTERIOR OF BUILDING FOUNDATION LIMITS. THE DEPTH OF STRIPPING SHALL BE THAT REQUIRED TO REMOVE SIGNIFICANT ROOT ZONES. SMALL TREE STUMPS AND OTHER 6. UNACCEPTABLE MATERIALS, BUT IN NO CASE LESS THAN 6 INCHES.
- EXCAVATIONS FOR LARGE STUMPS, ABANDONED UTILITIES, UNDERGROUND TANKS ETC. SHALL BE BACKFILLED IN LAYERS WITH COMPACTION AND TESTING OF EACH LAYER AS DESCRIBED FOR PLACEMENT AND COMPACTION OF FILL MATERIAL. USE LOOSE BACKFILL LAYER THICKNESS APPROPRIATE FOR THE SIZE OF COMPACTOR BEING USED.
- 5. TRENCHES AND EXCAVATIONS UNDER OR ADJACENT TO FOUNDATIONS SHALL BE PROPERLY BACKFILLED AND COMPACTED.
- WATER PROOFING AS MAY BE REQUIRED AT SOIL FACE OF WALLS BELOW GRADE SHALL BE BY OTHERS.

d. CONCRETE & REINFORCING

- 1. CONCRETE SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI)
- 2 CONCRETE SHALL COMPLY WITH ACL 318 AND/OR ACL 332, 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE AS FOLLOWS:

- FOOTING 3.500 ps - SLAB-ON-GRADE 3.000 psi

- 3. CEMENT: ASTM C-150, LOW ALKALI, TYPE I OR II PORTLAND CEMENT. (MASONRY CEMENT AND PLASTIC CEMENT SHALL NOT BE USED
- 4 REINFORCING MATERIALS:
- REINFORCING BARS ASTM A615, GRADE 60, DEFORMED. - WELDED REINFORCING BARS - ASTM A706, GRADE 60.
- WELDED WIRE REINFORCEMENT ASTM A185, WELDED STEEL WIRE REINFORCEMENT; PROVIDE SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE.
- 5. CONCRETE PROTECTION FOR REINFORCING BARS: CONCRETE POURED AGAINST EARTH
 CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH AND WEATHER: #5 BARS AND SMALLER_ #6 BARS AND LARGER - CONCRETE POURED IN FORMS NOT EXPOSED TO EARTH AND WEATHER - TOP OF SLABS
- FOOTINGS, PIERS, WALLS:
 DOWELS IN FOOTINGS TO MATCH VERTICAL PIER OR WALL REINFORCING. - PROVIDE CORNER BARS AT WALL AND FOOTING CORNERS TO MATCH HORIZONTAL REINFORCING, MINIMUM LENGTH OF EACH LEG - 36 BAR DIAMETERS.
- LAP SPLICE REINFORCING BARS AS SCHEDULED. MINIMUM LAP = 36 DIAMETERS. LAP WELDED WIRE FABRIC SHEETS 8" MINIMUM.
- REFER TO THE DRAWINGS FOR REINFORCING LAP REQUIREMENTS, WHERE LAP SPLICES ARE NOT SHOWN, LAP PER ACI 318.
- CONCRETE SHALL NOT BE PLACED ON FROZEN GRADE. IF FOOTING IS SUBJECT TO FREEZING TEMPERATURES AFTER FOUNDATION CONSTRUCTION THEN FOOTING SHALL BE ADEQUATELY PROTECTED FROM FREEZING
- ANCHOR BOLTS SHALL BE 1/2" DIAMETER AND SHALL EXTEND MINIMUM 8-INCHES INTO CONCRETE. PLACE BOLTS AT 4'-0" ON-CENTER IN NEW FOUNDATION WALLS, U.N.O. (SEE DETAIL FOR SPACING AT EXISTING MASONRY WALL), PLACE BOLTS MINIMUM 4-INCHES, MAXIMUM 12-INCHES FROM SILL PLATE ENDS/SPLICES. BOLTS MUST BE LOCATED IN MIDDLE THIRD OF SILL PLATE. EACH SILL PIECE SHALL HAVE A MINIMUM OF 2 BOLTS. A NUT AND WASHER SHALL BE TIGHTENED AT EACH ANCHOR BOLT.
- 10. SUPPORT CHAIRS FOR REINFORCING ON EARTH SHALL BE PLASTIC.
- 11. NO CONSTRUCTION JOINTS ALLOWED IN FOUNDATION WALLS.
- PROVIDE ADEQUATE BRACING FOR FOUNDATION WALL PRIOR TO BACKFILLING. BACKFILL MATERIAL SHALL BE PROPERLY MOISTURE-TREATED AND COMPACTED, BACKFILL AND COMPACTION SPECIFICATIONS BY OTHERS.
- 13. PROVIDE VENTILATION WITHIN CRAWLSPACES AS REQUIRED BY THE APPLICABLE BUILDING CODE.

e. BLOCK MASONRY (NOT APPLICABLE HERE):

- BLOCK SHALL BE NORMAL WEIGHT UNITS CONFORMING TO ASTM C-90 GRADE N-1. USE UNITS OPEN ONE END, AND BOND BEAM UNITS AT HORIZONTAL REINFORCING. WHEN BLOCKS ARE EXPOSED, OBTAIN APPROVAL OF SUBMITTAL FROM ARCHITECT. MORTAR SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF AS REQUIRED TO MEET THE COMPRESSIVE STRENGTH OF MASONRY fm SPECIFIED AS FOLLOWS:
 - a. 1900PSI FOR SPECIFIED f'm 1500PSI
 b. 2800PSI FOR SPECIFIED f'm 1900PSI

 - . 3750PSI FOR SPECIFIED fm 2500PSI . 4800PSI FOR SPECIFIED fm 3000PSI
- MIN. SPECIFIED fm SHALL BE 1900PSI U.N.O CEMENT: ASTM C-150, LOW ALKALI, TYPE I OR II PORTLAND CEMENT. (MASONRY
- CEMENT AND PLASTIC CEMENT SHALL NOT BE USED) MORTAR
- CONFORMING TO ASTM C-270, TYPE [S].
 - b. MIX PROPORTIONS SHALL CONFORM TO ASTM C-270.
 - AGGREGATES SHALL CONFORM TO ASTM C-144.

- a. CONFORMING TO ASTM C-476.
- b. ATTAINS THE COMPRESSIVE STRENGTH f_{g}^{\prime} 3,000 PSI $\,$ AT 28 DAYS, WITH MAX 3/4" AGGREGATE & 8"-11" SLUMP.
- c. MIX PROPORTIONS SHALL CONFORM TO ASTM C-476. d. AGGREGATES SHALL CONFORM TO ASTM C-404.
- . USE COARSE GROUT IN GROUT SPACES 2 INCHES OR MORE IN WIDTH AND IN CELLS TO BE GROUTED SOLID. VERTICAL EXPANSION JOINTS SHALL BE PROVIDED AT 40'-0" o/c
- D1056 CLASS 2A1. 10. SPECIAL INSPECTION OF WORK IS REQUIRED FOR ALL MASONRY STRUCTURES PER TMS 402/ACI 530/ASCE 5 LEVEL B QUALITY ASSURANCE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 OWNER WILL ENGAGE A QUALIFIED INDEPENDENT TESTING AGENCY TO PERFORM PRE-CONSTRUCTION TESTING INDICATED BELOW. RETESTING OF MATERIALS THAT FAIL TO COMPLY WITH SPECIFIED REQUIREMENTS SHALL BE

MAXIMUM EXPANSION JOINT MATERIALS SHALL BE PER ASTM C90. D994. OR

- DONE AT CONTRACTOR'S EXPENSE.

 f. CONCRETE MASONRY UNIT TEST: FOR EACH TYPE OF UNIT REQUIRED,
 - ACCORDING TO ASTM C 140 FOR COMPRESSIVE STRENGTH.

 g. FOR EACH MIX REQUIRED, ACCORDING TO ASTM C 109/C 109M FOR COMPRESSIVE STRENGTH[, ASTM C 1506 FOR WATER RETENTION, AND ASTM C 91 FOR AIR CONTENT].
 - . MORTAR TEST (PROPERTY SPECIFICATION): FOR EACH MIX REQUIRED ACCORDING TO ASTM C 780 FOR COMPRESSIVE STRENGTH.
 - GROUT TEST (COMPRESSIVE STRENGTH): FOR EACH MIX REQUIRED ACCORDING TO ASTM C 1019.

f. APPLICABLE CODES

- ASCE/SEI 7-16 Minimum Design Loads and
- Associated Criteria for Buildings and Other Structures 2020 RESIDENTIAL CODE OF NEW YORK
- IBC 2018
- ACI 318-14
- 5. AWC WFCM 2018
- g. WOOD FRAMING:

1. ALL WOOD FOR STRUCTURAL FRAMING SHALL BE DFL/HEM-FIR/SYP VISUALLY GRADED PER NDS, UNLESS NOTED OTHERWISE ON PLANS. ALL DIMENSIONAL

LUMBER SHALL BE S4S AT MAXIMUM MOISTURE CONTENT OF 19%. FINGER-JOINTED MATERIAL IS NOT PERMITTED:

- A. STUDS: (EXCEPT AS NOTED ON DRAWINGS)
- 2"-4" THICK, 2"-4" WIDE (UP TO 10'-0") STUD GRADE
- 2"-4" THICK, 6" WIDE (UP TO 10'-0")_____- 2"-4" THICK, 6" WIDE & WIDER No 2 OR BETTER
- (OVER 10'-0") No.2 OR BETTER B. JOISTS: (EXCEPT AS NOTED ON DRAWINGS)
- 2"-4" THICK, 6" WIDE & No.2 OR BETTER C. BEAMS, HEADERS, STRINGER, POSTS (EXCEPT AS NOTED ON DRAWINGS) No.2 OR BETTER
- 2. LVL BEAMS AND HEADERS SPECIFIED ON PLANS SHALL BE RIGIDLAM LVL BEAMS MANUFACTURED BY ROSEBURG AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

E = 2.000,000 psiFV = 290 psi

- 3. EXTERIOR FRAMING WALLS SHALL BE 2x6 STUDS U.N.O. AT 16-INCHES ON-CENTER WITH DOUBLE TOP PLATE. DO NOT CUT DOUBLE TOP PLATES AT
- 4. METAL CONNECTORS SPECIFIED AS "SIMPSON" ARE MANUFACTURED BY SIMPSON STRONG-TIE, INC. INSTALLATION OF FRAMING HARDWARE AND FASTENERS SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. USP ALTERNATIVE HARDWARE MAY BE SUBSTITUTED UPON APPROVAL BY A STRUCTURAL ENGINEER.
- 5. FASTENERS:
- NAILS, WIRE BRADS AND STAPLES: ASTM F547 WOOD SCREWS: ANSI B18.6.1
- LAG BOLTS: ANSI B18 2 1
- BOLTS: ASTM A307, GRADE A OR ASTM A36
- 6. WOOD SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE-TREATED OR NATURALLY DURABLE WOOD. FASTENERS, INCLUDING NUTS AND WASHERS, AND HARDWARE AT PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. REFER TO IRC SECTION R317 FOR
- 7. FLOOR JOISTS SPECIFIED AS "TJI" SHALL BE ENGINEERED I-JOISTS MANUFACTURED BY WAYERHAEUSER.
- 8. PROVIDE SOLID BLOCKING BETWEEN JOISTS ABOVE BEARING LOCATIONS.
- FLOOR SHEATHING SHALL BE 3/4" APA RATED STURD-I-FLOOR 24" O.C. EXPOSURE 1, T&G. GLUE AND NAIL FLOOR SHEATHING TO JOISTS WITH 8D COMMON NAILS (2-1/2" X 0.131") AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
- EXTERIOR WALL SHEATHING SHALL BE 7/16" APA RATED SHEATHING 32/16. EXPOSURE 1. SECURE SHEATHING TO FRAMING WALL STUDS WITH 8D RINGSHANK NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PROVIDE BLOCKING AT HORIZONTAL SEAMS.
- ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING 32/16. EXPOSURE 1 SECURED TO ROOF RAFTERS WITH 10D RINGSHANK NAILS (2-1/2" X 0.131") AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
- 10 RIM BOARD SHALL BE 1-1/4" 1 3F TIMBERSTAND LSL MANUFACTURED BY
- 11.KING STUDS AT WINDOWS AND OPENINGS SHALL BE AS INDICATED BELOW UNLESS NOTED OTHERWISE ON PLANS: SPACING (DISTANCE BETWEEN FULL
- (1) KING STUD. (1) TRIMMER - LESS THAN 3-6" GREATER THAN 3-6" TO 6'-6' - GREATER THAN 6'-6" TO 10'-0" (3) KING STUDS (2) TRIMMER GREATER THAN 10'-0"
- ADDED KING STUDS (NOT END-NAILED TO TOP AND BOTTOM PLATES) SHALL BE SECURED WITH SIMPSON A34 (2X4) OR A35 (2X6) ANGLES
- 14. SECURE WOOD NAILING PLATE ON TOP OF STEEL BEAMS WITH CONSTRUCTION ADHESIVE (PL-400) AND 1/4" X 2-1/2" RSS SCREW MANUFACTURED BY GRK FASTENERS AT 32-INCHES ON-CENTER, STAGGERED. PROVIDE NAILING PLATE SAME WIDTH AS BEAM FLANGE.
- 15.DO NOT NOTCH OR DRILL STRUCTURAL MEMBERS, EXCEPT AS ALLOWED PER CODE. ANY PROPOSED NOTCHING OR DRILLING OF STRUCTURAL MEMBERS, BEYOND THE LIMITATIONS SET FORTH BY CODE, NEEDS TO HAVE PRIOR APPROVAL BY THE ENGINEER OF RECORD.

h. DOORS & WINDOWS HEADERS

SINCE NONE OF THE OPENINGS IS GREATER THAN 6'. HENCE ALL THE OPENING HEADERS SHALL BE (2)-2x6 OR PREFERABLY SOLID 4x6 DF#2 U.N.O ON PLANS.

i. WALL, FLOOR, AND ROOF FRAMING:

- ALL ROOF RAFTERS, JOISTS, TRUSSES, AND BEAMS SHALL BE ANCHORED TO SUPPORTS WITH METAL FRAMING ANCHORS.
- 2. ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FROM
- FLOOR TO ROOF LAYOUT JOISTS TO AVOID PLUMBING AND OTHER FLOOR PENETRATIONS.
 BLOCK BETWEEN JOISTS UNDER BEARING WALLS AND OVER INTERIOR SHEAR
- ALL BEAMS SHALL BE BRACED AGAINST ROTATION AT POINTS OF BEARING.
- DRY-PACK GROUT ALL BEAM POCKETS IN CONCRETE FULL AFTER BEAMS ARE
- 5. AT BUILT-UP STUD COLUMNS, NAIL ALL LAMINATIONS WITH 16D @ 12" FULL HEIGHT, STAGGERED, UNO
- 6. ALL COLUMNS MUST HAVE A CONTINUOUS LOAD PATH TO FOUNDATION, SEE PLANS FOR POST SIZES.
- HEADER SIZES SHOWN ARE THE MINIMUM REQUIRED. HEADERS MAY BE STANDARDIZED AT LARGEST SIZE AT CONTRACTOR'S OPTION.
- INSTALL ONE TRIMMER AND ONE KING STUD PER 4'-0 OF WIDTH AT EACH SIDE OF OPENINGS IN STUD WALLS UNLESS NOTED OTHERWISE.
- AT DROPPED WOOD BEAMS BEARING ON BUILT-UP STUDS, BEAR BEAMS ON STUD END GRAIN. FORM A POCKET BY EXTENDING KING STUDS TO THE WALL TOP PLATE ON EACH SIDE OF THE REAM
- 10. NAIL KING STUDS TO BEAM WITH AT LEAST (6) 16D NAILS EACH SIDE UNLESS NOTED OTHERWISE

j. PLYWOOD AND OSB SHEATHING:

- ALL PLYWOOD AND ORIENTED STRAND BOARD (OSB) SHEATHING SHALL BE ENGINEERED GRADES WITH APA GRADE STAMP INDICATING APPROPRIATE MAXIMUM SPACING OF SUPPORTS.
- 2. NOTE: PRESSURE-TREATED MATERIAL CAN CAUSE EXCESSIVE CORROSION IN THE FASTENERS, PROVIDE DIPPED GALVANIZED (FLECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES (FRAMING HOT-ANGLES, ETC) FOR ALL CONNECTORS IN CONTACT WITH PRESSURE-TREATED FRAMING

k. ROOF TRUSSES(NOT APPLICABLE HERE)

- PRE-ENGINEERED, PREFABRICATED TRUSSES SHALL BE DESIGNED FOR THE FABRICATOR BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONSTRUCTION, AND SHALL COMPLY WITH CODE AND THE TRUSS PLATE INSTITUTE REQUIREMENTS. MANUFACTURING AND INSTALLATION OF TRUSSES SHALL COMPLY WITH NSI/TPI 1 "NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION", TPI HIB "COMMENTARY AND RECOMMENDATIONS FOR HANDLING INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES", AND TPI DSB "RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL
- PLATE CONNECTED WOOD TRUSSES"
 UNLESS NOTED OTHERWISE ON PLAN, TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
- SNOW LOAD PER DESIGN NOTES
- TOP CHORD LIVE LOAD TOP CHORD DEAD LOAD:
- d. BOTTOM CHORD DEAD LOAD: 8 PSF
 3. MAXIMUM ALLOWABLE DEFLECTIONS SHALL BE MAXIMUM OF TRUSS UNDER
- FULL LIVE LOAD: SPAN L/360 OR 3/4", WHICHEVER IS LESSER SOLID BLOCKING BETWEEN TRUSSES SHALL BE PROVIDED AT BEARINGS.
- UNLESS OTHERWISE INDICATED, TRUSSES SHALL BE DESIGNED FOR PERPENDICULAR TO GRAIN BEARING ON HEM FIR PLATES (405 PSI). END GRAIN BEARING IS NOT ALLOWED UNLESS ACCEPTED IN WRITTEN, DESIGN TRUSS BEARINGS FOR BEARING BLOCKS OR TRUSS BEARING ENHANCERS AS REQUIRED TO COMPENSATE FOR OVERSTRESSES. SPECIES SIZE. SPECIES AND NAILING FOR BEARING BLOCKS. ALL TRUSS-TO-TRUSS CONNECTIONS SHALL BE SPECIFIED BY TRUSS SUPPLIER, UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

I. GLB SPECS

ALL GLBs SPECIFIED IN THE DRAWINGS SHALL HAVE FOLLOWING SPECIFICATIONS.

- F_b = 2400 psi $F_{v} = 300$ nsi
- E_x = 1800,000 psi
- ALL HEADERS SHALL BE DF#2 GRADE.

NAILING SCHEDLILE

CONNECTION	NAILING
RAFTER/ JOIST/ TRUSS TO PLATE	(3) 16d TOENAILS
BLOCKING TO JOIST	(2) 16d TOENAILS
BOTTOM PLATE, SHEATHING TO	16d AT 8" oc
TOP PLATE TO STUD	(2) 16d END NAILS
STUD TO BOTTOM PLATE	(2) 16d END NAILS OR (3) 16d TOENAILS
POST TO BOTTOM PLATE	(3) 16d TOENAILS & (1) A35 EACH SIDE
DOUBLE TOP PLATES	16d AT 16" oc FACENAILS
CEILING JOIST TO PLATE/RAFTER	(3) 16d TOENAILS OR FACENAILS
LAP OR PARTITIONS, etc	
KING STUD TO TRIMMER STUD/HEADER	16d FACENAILS AT 24" oc OR (4) 16d END NAILS
DRAG TRUSS TO TOP PLATE	(3) 16d TOENAILS AND (1) H2.5A
DOUBLE STUDS	16d AT 24" oc FACENAILS
BUILT-UP CORNER STUDS	16d AT 24" oc

NAILING SPECIFIED IN TABLE ABOVE IS MINIMUM REQUIRED. NAILING SHALL COMPLY WITH IBC, CH 23 SECTION 2304.9.1

OWNER SIGNATURE

REVISION STATUS DATE DESCRIPTION ISSUED FOR APPROVAL

CLIENT/CONSULTANT APPR	OVAL STATUS
APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

ADDRESS:

OWNER

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT

DRAWING STATUS

DESIGN DRAWING

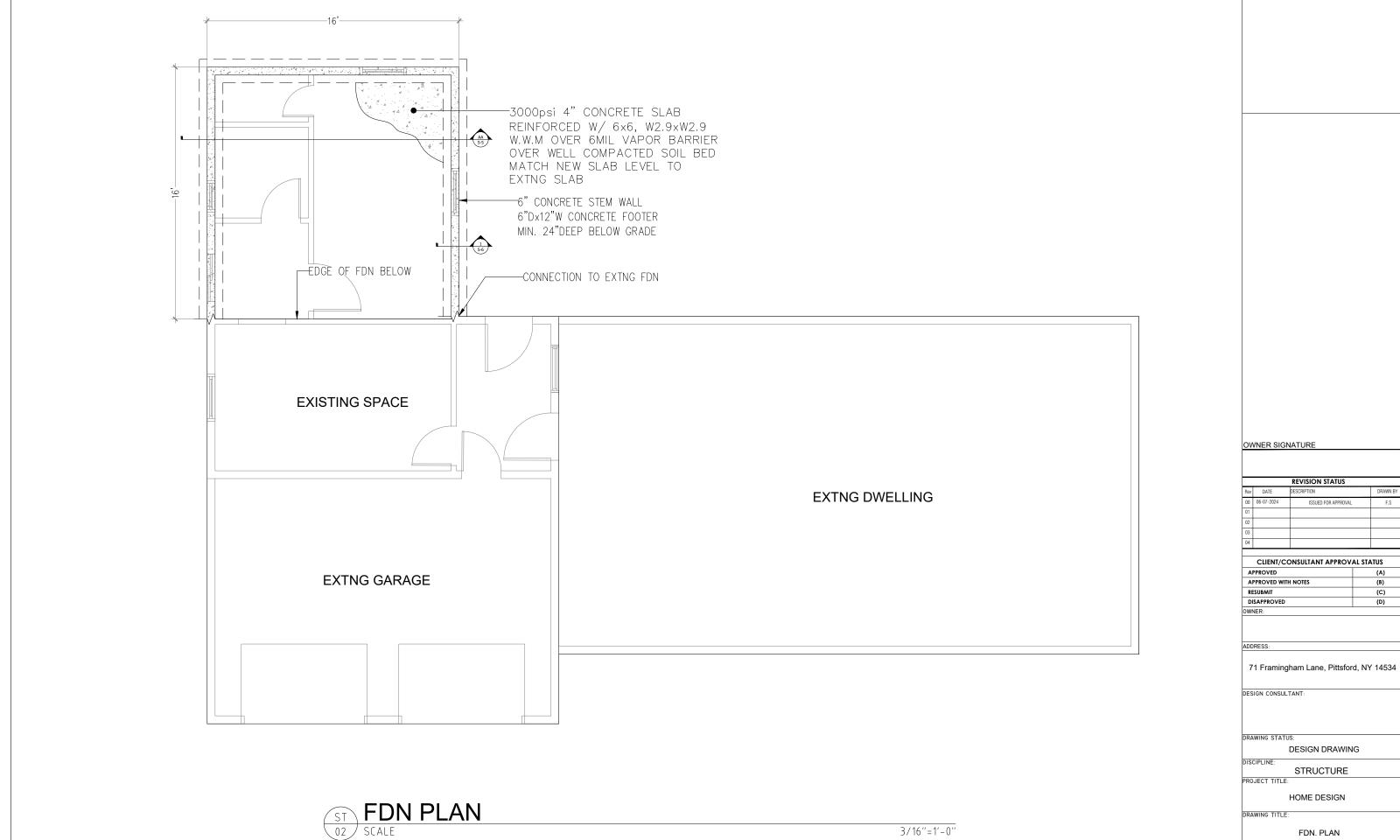
STRUCTURE

ROJECT TITLE

HOME DESIGN DRAWING TITLE:

NOTES

DRAWN BY CHECKED BY 06 JUL.2024 JOB NO SCALE 3/16"=1'-0" @A3 ST-01



JN. PLAN

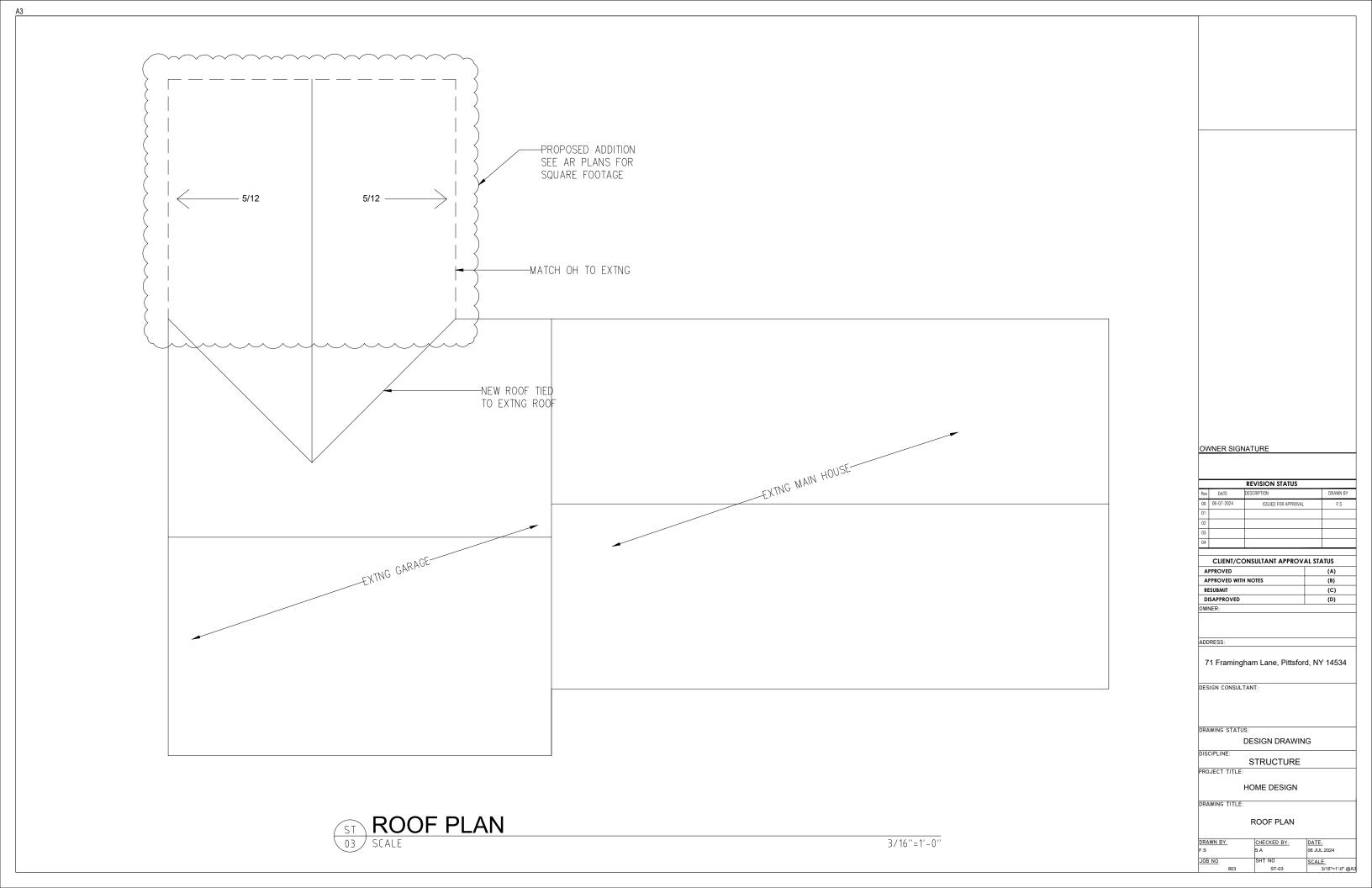
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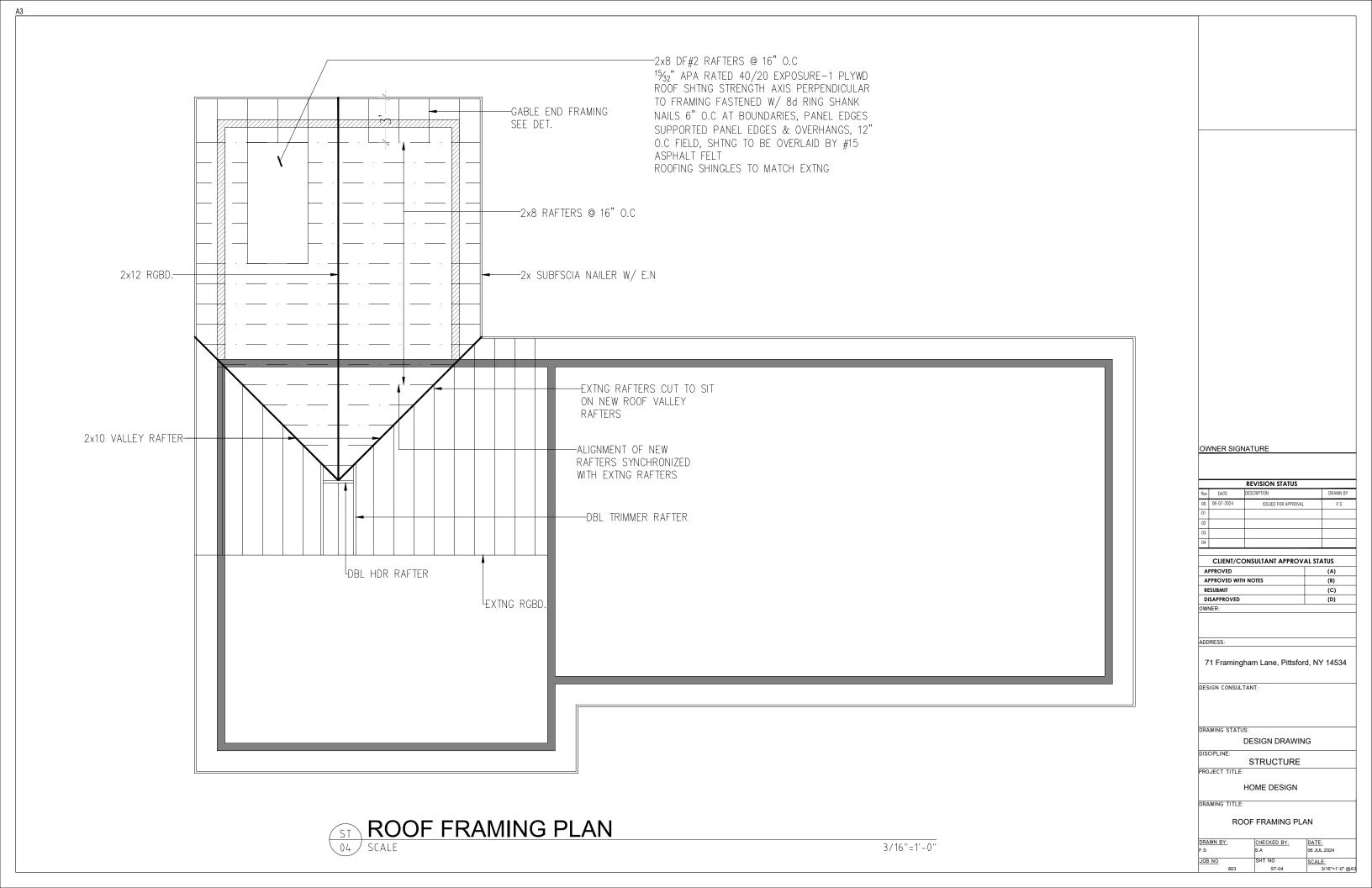
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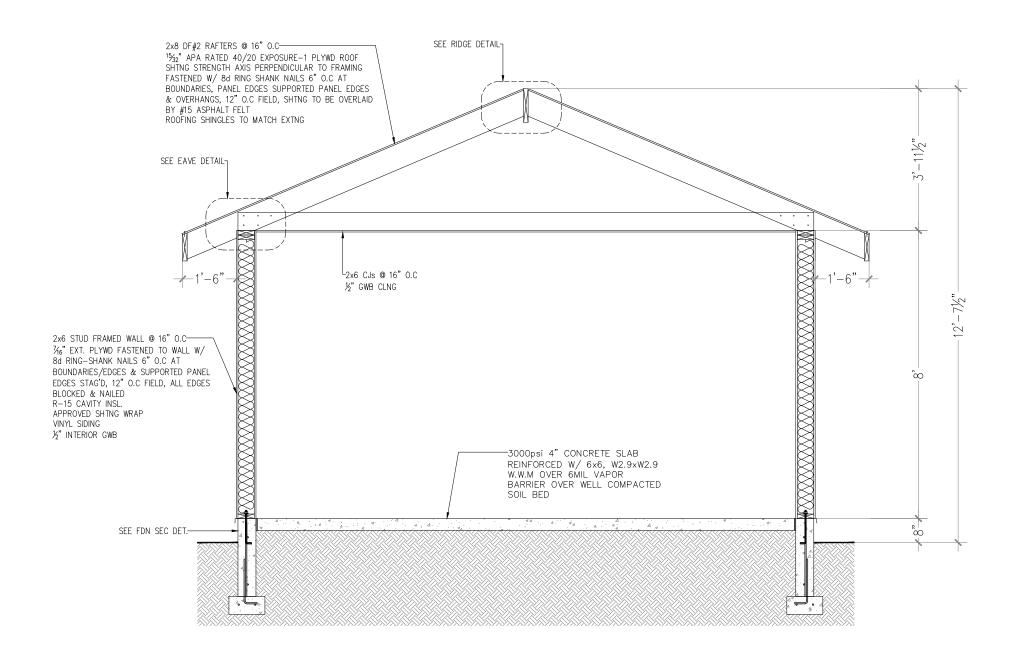
 F.S
 S.A
 06 JUL 2024

 JOB NO
 SHT NO
 SCALE:

 803
 ST-02
 3/16*=1'-0" @A3







SEC AA 05 SCALE 3/8"=1'-0" OWNER SIGNATURE

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT API	PROVAL STATUS
APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)
OWNED:	•

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:

DESIGN DRAWING

STRUCTURE PROJECT TITLE:

OLCT TITLE.

HOME DESIGN

DRAWING TITLE:

SEC AA

DRAWN BY:	CHECKED BY:	DATE:
F.S	S.A	06 JUL.2024
JOB NO	SHT NO	SCALE:
803	ST-05	3/16"=1'-0" @A3

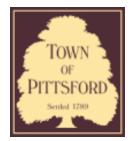












Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # RA24-000029

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Merryhill Lane PITTSFORD, NY 14534

Tax ID Number: 163.16-2-21

Zoning District: RN Residential Neighborhood

Owner: Shotwell, Nicholas Applicant: Bond Construction

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	Residential Design Review		Build to Line Adjustment
✓	§185-205 (B)	\cup	§185-17 (B) (2)
	Commercial Design Review		Building Height Above 30 Feet
	§185-205 (B)		§185-17 (M)
	Signage		Corner Lot Orientation
	§185-205 (C)		§185-17 (K) (3)
	Certificate of Appropriateness		Flag Lot Building Line Location
	§185-197		§185-17 (L) (1) (c)
	Landmark Designation		Undeveloped Flag Lot Requirements
	§185-195 (2)		§185-17 (L) (2)
	Informal Review		

Project Description: Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

Meeting Date: July 25, 2024

RN Residential Neighborhood Zoning



Town of Pittsford GIS

95

25

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

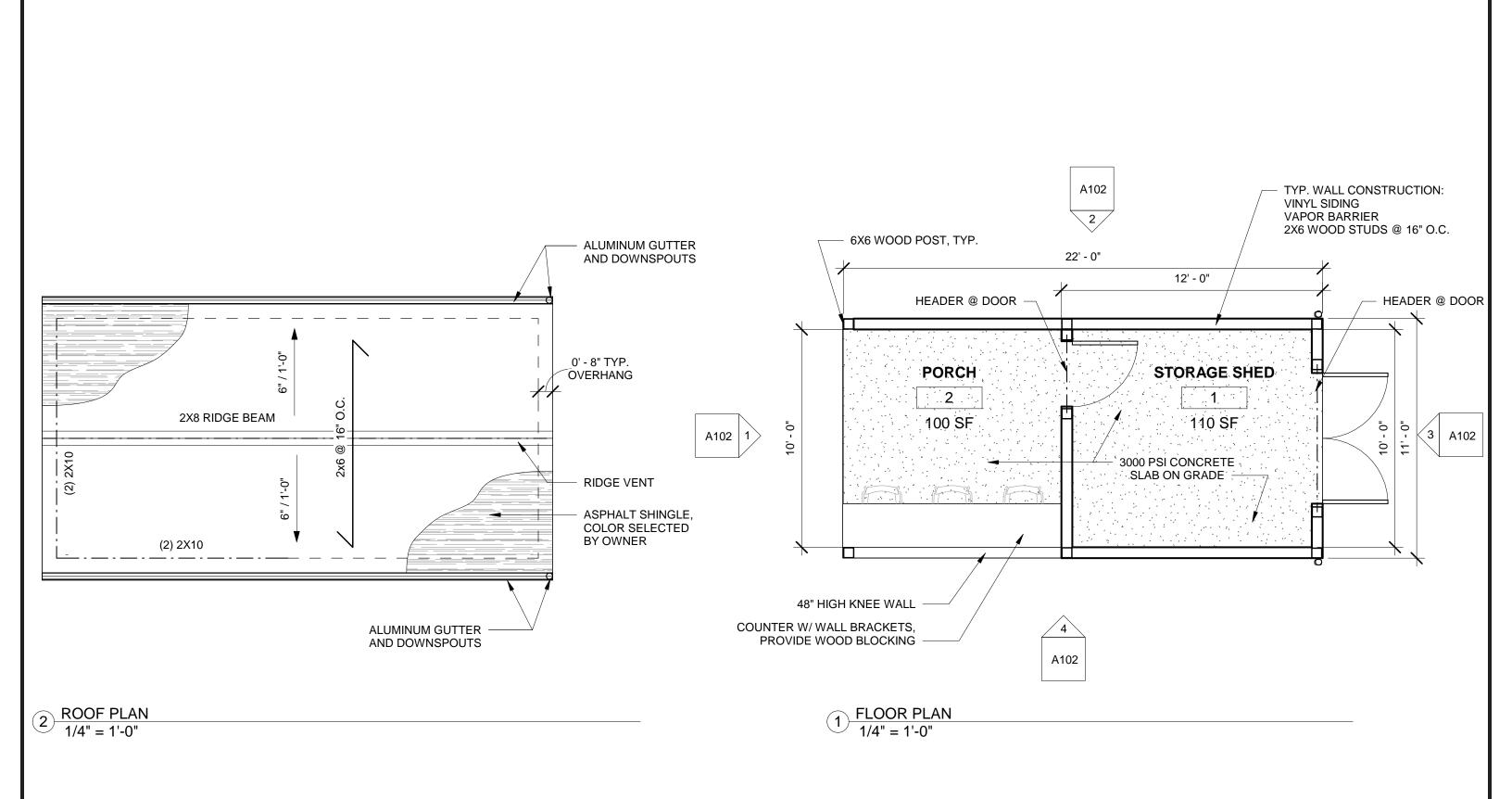
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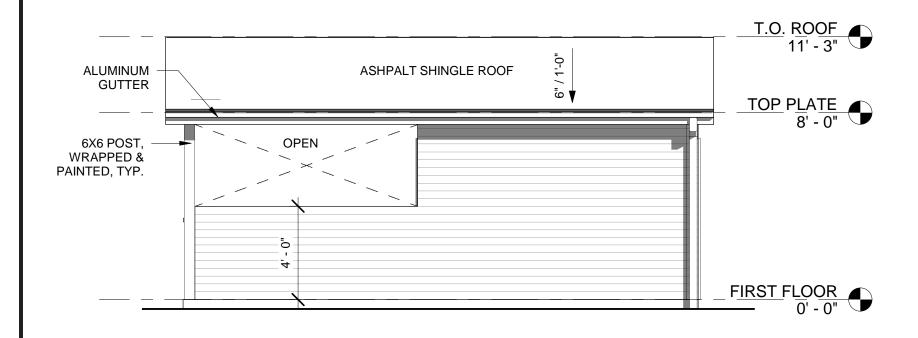
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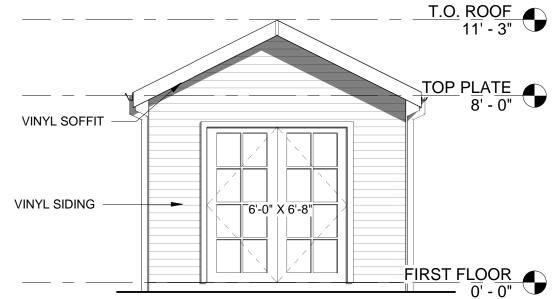
100 m





SHOTWELL RESIDENCE - SHED FLOOR PLAN & ROOF PLAN 6/19/2024

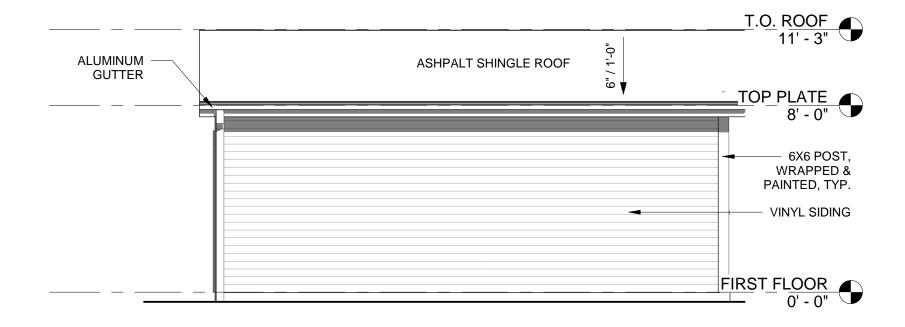


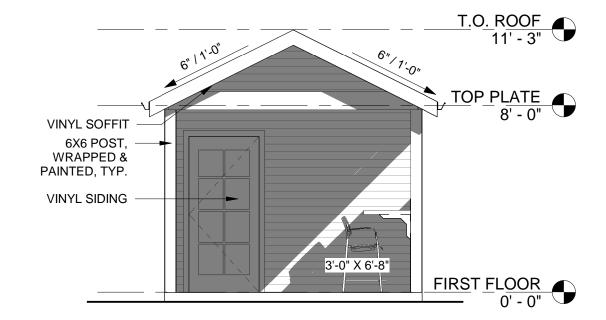


WEST ELEVATION

1/4" = 1'-0"

3 SOUTHEAST ELEVATION
1/4" = 1'-0"





2 EAST ELEVATION 1/4" = 1'-0" 1 NORTHWEST ELEVATION
1/4" = 1'-0"

SHOTWELL RESIDENCE - SHED

ELEVATIONS

6/19/2024



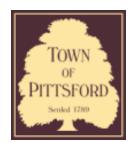
CONCEPTUAL RENDERING FROM POOL



CONCEPTUAL RENDERING FROM EDGE OF PROPERTY

SHOTWELL RESIDENCE - SHED RENDERINGS

6/19/2024



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # RA24-000123

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Fitzmot Glen PITTSFORD, NY 14534

Tax ID Number: 164.03-1-2.2

Zoning District: RN Residential Neighborhood

Owner: Wilmot, Dennis

Applicant: Stahl Property Associates

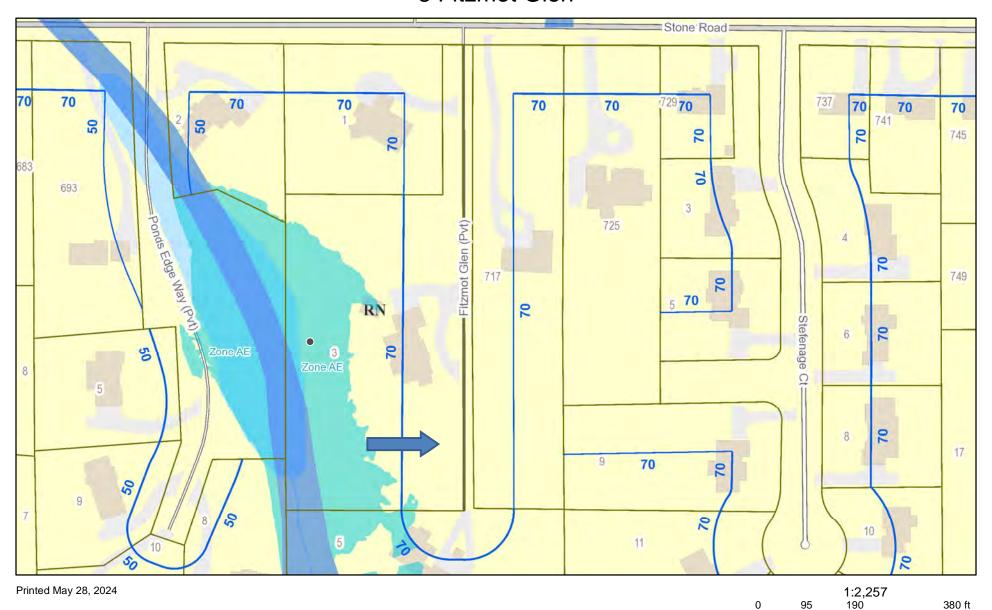
Дp	plica	tion	Type	:
			- ,	-

Residential Design Review	Build to Line Adjustment
§185-205 (B) Commercial Design Review §185-205 (B)	§185-17 (B) (2) Building Height Above 30 Feet §185-17 (M)
Signage	Corner Lot Orientation
§185-205 (C)	§185-17 (K) (3)
Certificate of Appropriateness	Flag Lot Building Line Location
§185-197	§185-17 (L) (1) (c)
Landmark Designation	Undeveloped Flag Lot Requirements
§185-195 (2)	§185-17 (L) (2)
Informal Review	-

Project Description: Applicant is requesting design review for the addition of 1080 square foot detached garage.

Meeting Date: July 25, 2024

3 Fitzmot Glen



Town of Pittsford GIS

25

100 m

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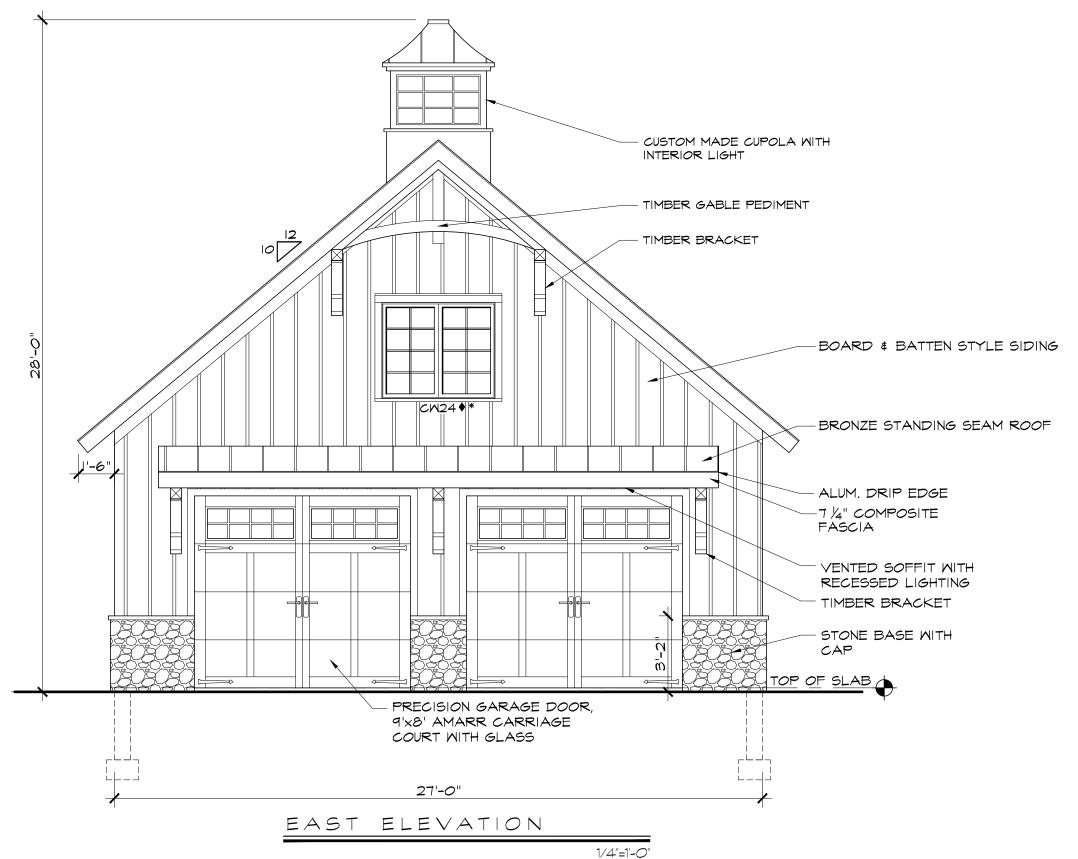




6 North Main Street, Suite 104, Fairport, New York 14450 Phone: 585-377-9001 :: www.newdesignworks.com

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WILMOT BARN

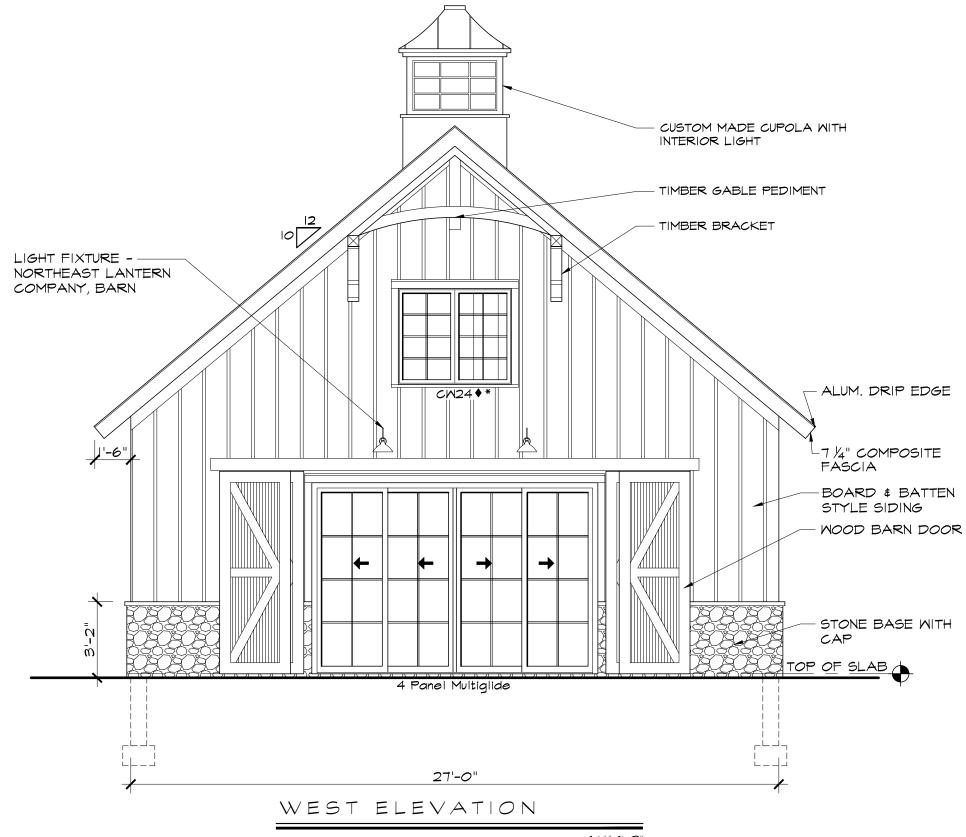
3 FITZMOT GLEN, PITTSFORD



6 North Main Street, Suite 104, Fairport, New York 14450 Phone: 585-377-9001 :: www.newdesignworks.com

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1/4"=1'-0"

WILMOT BARN

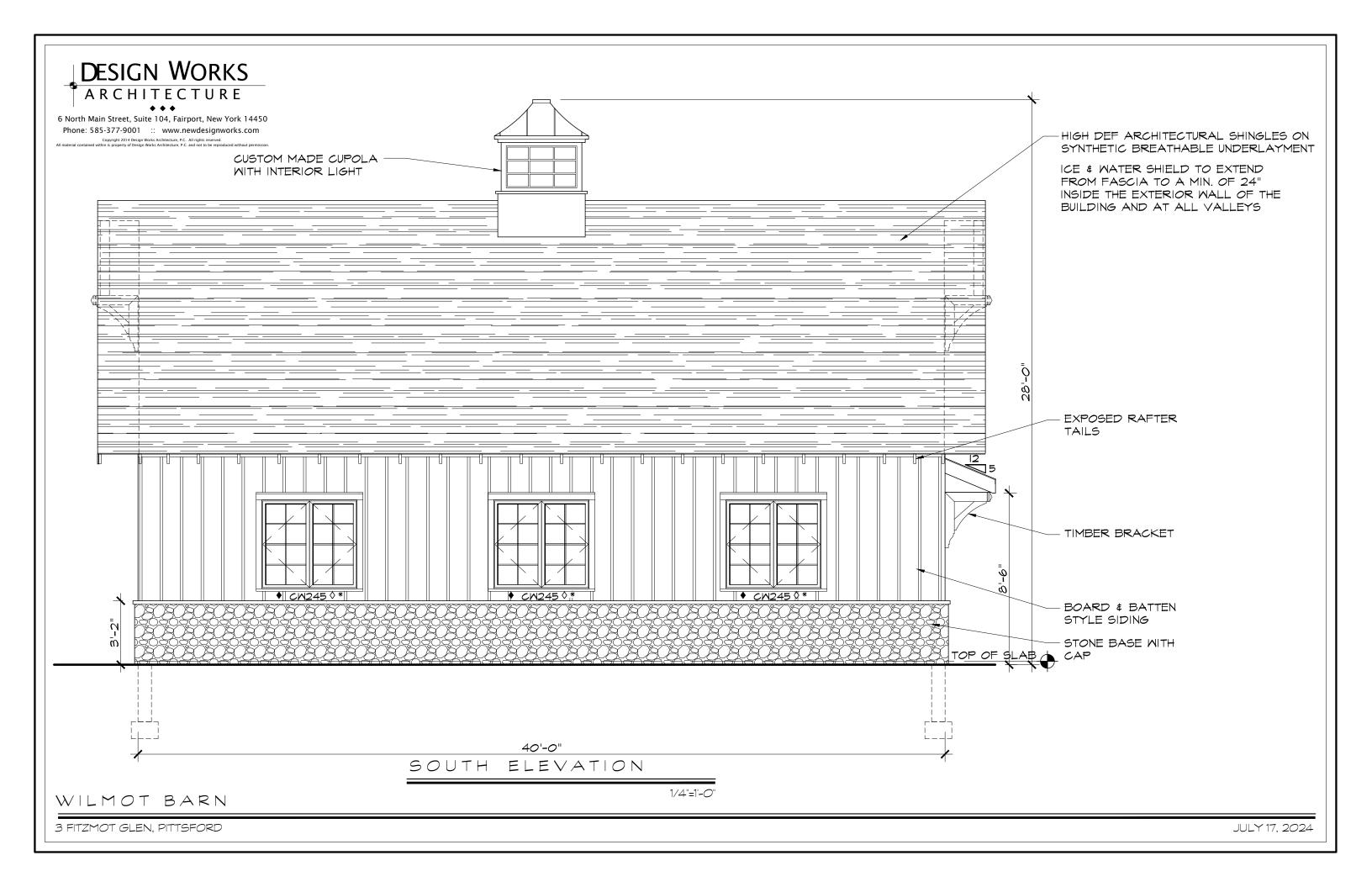
3 FITZMOT GLEN, PITTSFORD

JULY 17, 2024



WILMOT BARN

3 FITZMOT GLEN, PITTSFORD





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # S24-00001

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Moeller Sign

Application Type:

Residential Design Review

§185-205 (B)

Commercial Design Review

§185-205 (B)

Signage

§185-205 (C)

Certificate of Appropriateness

§185-197

Landmark Designation

§185-195 (2) Informal Review Build to Line Adjustment

§185-17 (B) (2)

Building Height Above 30 Feet

§185-17 (M)

Corner Lot Orientation

§185-17 (K) (3)

Flag Lot Building Line Location

§185-17 (L) (1) (c)

Undeveloped Flag Lot Requirements

§185-17 (L) (2)

Project Description: Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.

Meeting Date: July 25, 2024



RNT Project

SIGN SUBMITTAL PACKAGE

Pittsford Plaza Rochester, NY



	TABLE OF CONTENTS			VARIANCE
GENERAL NOTES	PAGE	SIGN TYPE COLOR		REQUIRED?
& PERMIT TIMES	2	Site Map		
GC Scope:	3	Future tenant signage		
1. Paint building per		SOUTH ELEVATION		
color plan provided.	3	S1 - ICLL-1-18-R - Channel letters, o	green, illuminated horizontal, 1	5.09 SF
		Note: Access panel under eave is ne	eeded	
Patch and paint holes from all sign removals.	4	S2 - DSW-1-36-R - Green illuminate	ed daisy on raceway, 9 SF	
Terriovais.		EAST ELEVATION		
3. Ensure power is	5	S3 - ICLL-2-18-R - Channel letters, v	white illum horiz raceway 15.0	Q SF
provided for new illuminated signs.		33 Tell 2 To K Chamier letters, K	write, main nonz raceway, 15.0	3 31
	6	Code Check		
4. Provide and install Green bollard covers				
on all existing			TOTAL CITIZ	ENS SF: 39.18
bollards.				
ELECTRICAL ACCESS				
It is recommend for				
Electrician to put all exterior signage on a				
single circuit with a				
timer or photo-cell to allow for signs to				
illuminate at night only.				
CONTACTS PROJECT MANAGER:		APPROVAL STAMP:		This document is the sole property of AGI, and all design, manufacturing, reproduction, use and sale rights regarding the

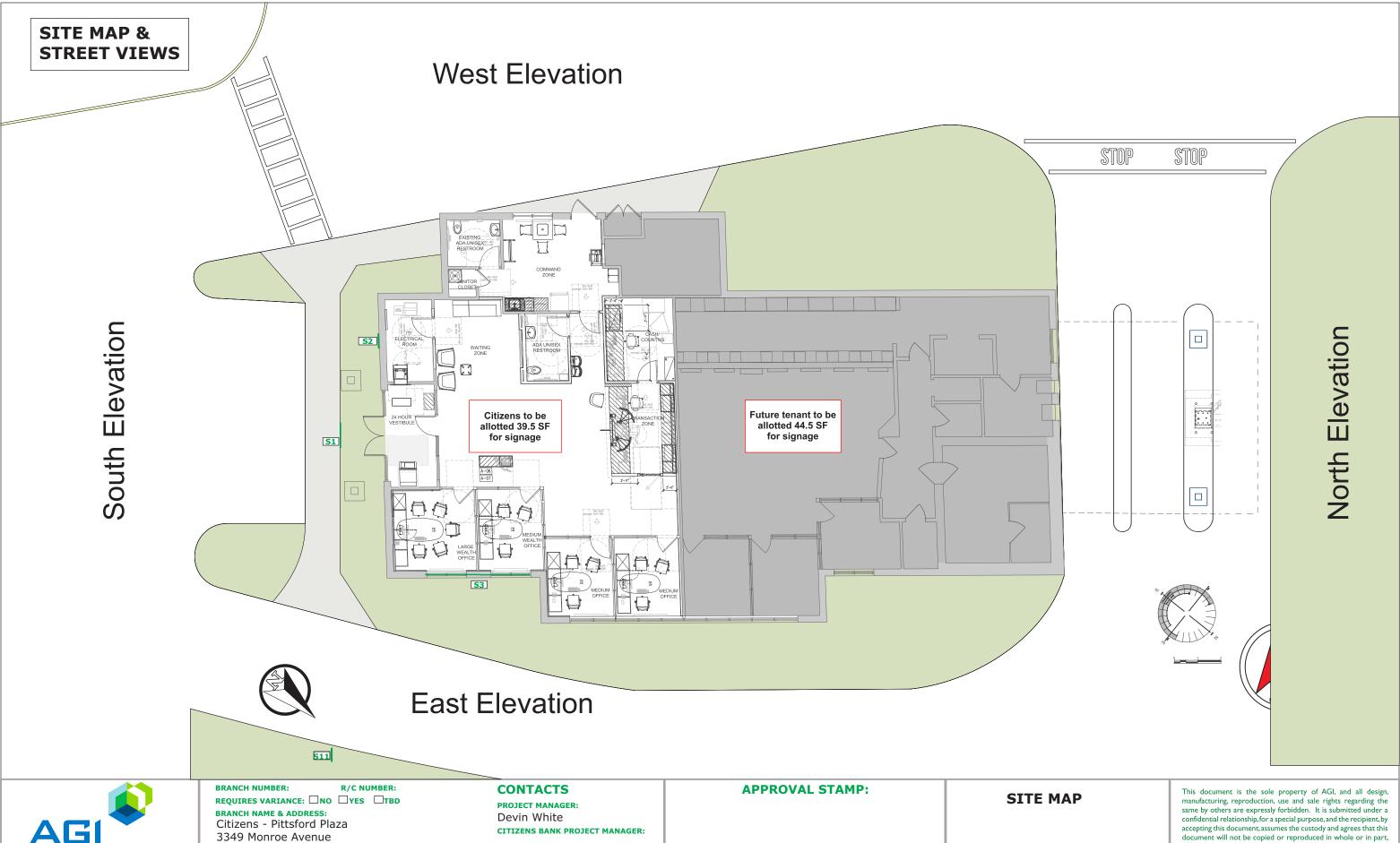


BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: □NO □YES □TBD
BRANCH NAME & ADDRESS:
Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY
DESIGNER: JR DATE: 3/19/2024

REV. DATE: 5/6/2024

PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari



2655 International Pkwy., Virginia Beach, VA 23452 PHONE: (757) 427-1900 - FAX: (757) 430-1297 www.AGI.net

Rochester, NY **DESIGNER: JR DATE:** 3/19/2024

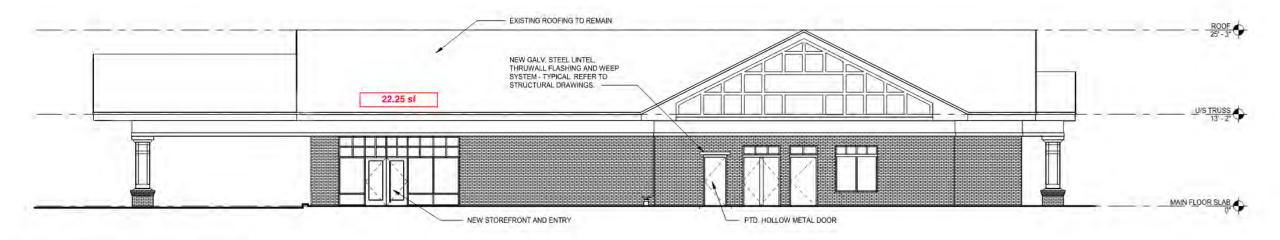
REV. DATE: 5/6/2024

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari

nor its contents revealed in any manner or to any person except for the purpose for which it was tendered, nor any special features peculiar to this design be incorporated in other projects.

Page 2 of 7

Signage Placement of Future Second Tenant



EXTERIOR ELEVATION - West SCALE: 1/8" = 1'-0"



Signage to be placed on pitched roof. Similar to Orange theory in the plaza.





REQUIRES VARIANCE: ☐NO ☐YES ☐TBD **BRANCH NAME & ADDRESS:** Citizens - Pittsford Plaza 3349 Monroe Avenue Rochester, NY DESIGNER: JER DATE: 3/19/2021 REV. DATE: 3/2024 PATH: O:\Citizens Bank\Site Folders\Pittsford Plaza, NY Wissam Joauhari

CONTACTS PROJECT MANAGER: Paige Dewey CITIZENS BANK PROJECT MANAGER: Dylan Lincoln **CITIZENS BANK DESIGN MANAGER:**

APPROVAL STAMP:



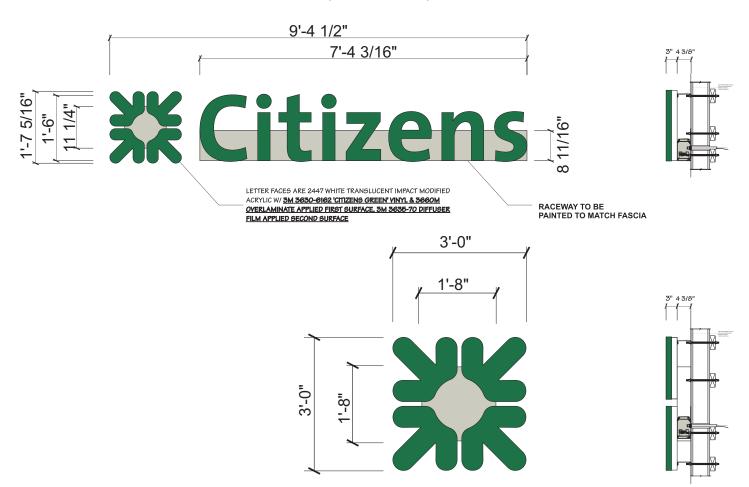
SOUTH ELEVATION

S1 - ICLL-1-18-R - Channel letters, green, illuminated horizontal on raceway

1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF

Note: Access panel under eave is needed

S2 - DSW-1-36-R - Green illuminated daisy on raceway , 9SF







PROPOSED



APPROVAL STAMP:

2655 International Pkwy., Virginia Beach, VA 23452 PHONE: (757) 427-1900 - FAX: (757) 430-1297 www.AG1.net BRANCH NUMBER: R/C NUMBER:
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DESIGNER: JR DATE: 3/19/2024
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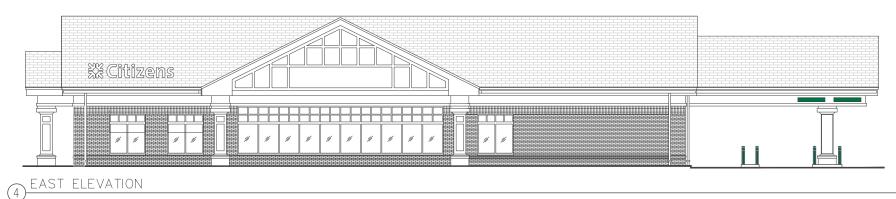
CITIZENS BANK DESIGN MANAGER: Wissam Joauhari

EXISTING



PROPOSED

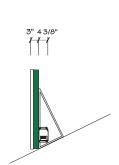




EAST ELEVATION

S3 - ICLL-2-18-R - Channel letters, white, illuminated horizontal on raceway 1'-7 5/16" OAH \times 9'-4 1/2" OAW, 15.09 SF Mount to roof with mansard brackets - Fabrication to be determined





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Rochester, NY

DESIGNER: JR DATE: 3/19/2024

REV. DATE: 5/6/2024

CONTACTS

PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari **APPROVAL STAMP:**

WEST ELEVATION

NO SIGNAGE PROPOSED

EXISTING



PROPOSED





BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: NO YES TBD
BRANCH NAME & ADDRESS:
Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY
DESIGNER: JR DATE: 3/19/2024

REV. DATE: 5/6/2024

CONTACTS

PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari **APPROVAL STAMP:**

NORTH ELEVATION

NO SIGNAGE PROPOSED







BRANCH NUMBER: REQUIRES VARIANCE: ☐NO ☐YES ☐TBD **BRANCH NAME & ADDRESS:** Citizens - Pittsford Plaza 3349 Monroe Avenue Rochester, NY

DESIGNER: JR DATE: 3/19/2024 **REV. DATE:** 5/6/2024

CONTACTS

PROJECT MANAGER: Devin White CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari

APPROVAL STAMP:

]	PRE-PERMIT S	SIGN IN	NFO		Property ID): C	ZN100-Pittsford-001
A.)	Project Name: C	Citizens-Pittsford P	Plaza		DATE COMPLETED	⊃ 3/9/	21
B.)	Street Address: 3	349-Monroe Aver	nue				
C.)	Town / City / State / Zip:	Rochester, NY 146	18-5513				
D.)	Contact for Permit/Zoning: N	Mark Levitz mlei	nzi@townofp	ittsford.org			
E.)	Contact Telephone: 5	685-248-6265.					
F.)	Jurisdiction: City/Town:	Town of Pittsford		Address: 11 S. M	ain Street		
	or, County of:			City, ST Zip: Pittsfor	d, NY 14534		
	-						
C)	Zaning Classification for prop	oortuu C C					
,	Zoning Classification for prop Is there a Master Sign Plan?		ommercial Mark: There	is a Master Sign Plan. Th	e Sign plan is too large to be er	nailed.	-
l.)	Is a permit required?	Yes.	,				
J.)	What documents are required	d to file for the pe	ermit?				
	An application for a sign pe	ermit must be a	ccompanie	d by a scale drawing s	howing dimensions, propo	sed d	esign, the legend, colors,
	materials, structural details	s, and a location	or plot pla	n specifying other red	uired information.		
K.)	How long is the permit proces	ss?					
	are there special reviews invo	olved? Per		ll signage would need to	be approved by Pittsford Pla	za befo	re it can go be approved by the
	overlay districts?		Mark: There	is none.			
	city and county review require	ed? Per	Mark: Just th	e Town, not the County.			
	design review board / ARB / [DRB ?					
	Signs on this property wou []Meetings: Occur on the se []The deadline for Design R []Meetings are held in the lo review starts around 7:00 P	econd and four Review is the firs ower level meet	th Thursday st and Third	of every month. I Wednesday of every	=	egins	at 6:45 PM and application
	community association review	w required? Per	Mark: No.				_
L.)	What are the fees for a sign p	permit? Base	ed on the val	ue of the job.			
M.)	Is engineering needed for wall signs?		/ be required	based on scope of work			
N.)	Does engineering require a P	PE stamp? Yes.	,	-			
0.)	Is landlord approval required?	? Yes.					
P.)	Legal Description Required for	or permit?	Yes.				_
	Plat/Site Plan required for per		Yes.				
				^	TTACHED SIGNS	82 V	VINDOW GRAPHICS
					ITTACIED SIONS	O 1	INDOW ORAFINES
1.)	Formula for calculating wall s footage (Max. Sq. Footage - F Secondary signs):				be sent via email. Per Mark: Th tly using a total of 84 sq. ft.	is Build	ding in the Sign plan is allowed a
2.)	Sq. Ft allowance for bldg. side		•	ŭ	ed on the Façade of the buildir ther elevations are allowed.	ng facir	ng the Plaza and the Façade of
3.)	How is the sign area calculate			st Rectangle.			
4.)	Total # Wall Signs allowed pe	-			cing Pittsford Plaza, and One E	Building	g Sign facing Monroe Avenue.
5.)	What is the max letter/charac	cter height allowe	ed? Cann	ot exceed roofline			

	the illumination produced by two thirty-six-inch KW (Kool White L (3) No premises in any commercial district and no exterior signs letype of illumination unless a permit to that effect has been issued (a) Such signs and lighting shall be in accordance with Illuminatin illumination levels and shall not encroach on adjacent property. (b) Such signs and lighting shall be erected, operated and mainta (4) All illuminated signs, with the exception of "ENTER" and "EXIT devices which will allow illumination to commence each day not swhich will terminate illumination each day not later than 11:00 p.m public. Any business actively operating and open to the public after	le in the Town Clerk's office. In illumination shall conform to Town standards and shall not exceed amps). In illumination shall conform to Town standards and shall not exceed amps). In coated in any commercial district shall have floodlighting or any other by the Code Enforcement Officer based on the following factors: In generating Society of North America (IES) recommended a ined in such manner as to not constitute a nuisance or safety hazard in such manner as to not constitute a nuisance or safety hazard in signs as described herein, shall be placed on automatic timing sooner than 1/2 hour before the business is open to the public and in local time, unless the business is actively operating and open to the
	closing.	
7.)	closing. Does window vinyl need to be permitted, if so how much is allowed?	Per Mark: Name of Business and Business hours are allowed, not counted toward the overall sq. ft., but must be a reasonable size. No Window advertising signs are permitted.
7.)	•	toward the overall sq. ft., but must be a reasonable size. No Window
,	Does window vinyl need to be permitted, if so how much is allowed?	toward the overall sq. ft., but must be a reasonable size. No Window advertising signs are permitted.
8.)	Does window vinyl need to be permitted, if so how much is allowed? Is the entire graphic calculated or just the company logo and name? Formula for calculating freestanding sign sq. footage (Max Sq Footage)	toward the overall sq. ft., but must be a reasonable size. No Window advertising signs are permitted. Entire Graphic. FREESTANDING SIGN
8.)	Does window vinyl need to be permitted, if so how much is allowed? Is the entire graphic calculated or just the company logo and name? Formula for calculating freestanding sign sq. footage (Max Sq Footage Per Mark: Individual Freestanding signs are not permitted on this site. It we	toward the overall sq. ft., but must be a reasonable size. No Window advertising signs are permitted. Entire Graphic. FREESTANDING SIGN - Primary & Secondary signs):
8.)	Does window vinyl need to be permitted, if so how much is allowed? Is the entire graphic calculated or just the company logo and name? Formula for calculating freestanding sign sq. footage (Max Sq Footage Per Mark: Individual Freestanding signs are not permitted on this site. It woon the current Multi-Tenant Freestanding sign. # F/S Signs allowed:	toward the overall sq. ft., but must be a reasonable size. No Window advertising signs are permitted. Entire Graphic. FREESTANDING SIGN - Primary & Secondary signs): build be the responsibility of the Landlord to allocate tenant panel allowances

5.)	Number Allowed:	Directional signs. Directional signs such as	Maximum Square Footage:	Such signs shall not exceed 36 inches in width by 18
J.)	Number Allowed.	"ENTER" and "EXIT" shall be permitted to facilitate traffic flow entering and exiting properties. Number allowed determined at Site plan review.	iviaximum oquare i ootage.	inches in height
6.)	Illumination Allowed?	Directional signs may be lit internally, and the intensity of such illumination shall conform to Town standards and shall not exceed the illumination produced by two thirty-six-inch KW (Kool White Lamps).	Maximum Height:	Shall not exceed 40 inches' total height above grade nor obstruct the sight distance of drivers of motor vehicles.
7.)	Permit Required?:	Yes. Per Mark: All signs need to approved by the Pittsford Plaza and then the Design Review Board before the Town will approve.	Customer Logo Allowed:	Per Mark: No customer logos are permitted. []Such signs shall be limited to "ENTER" and "EXIT" signs bearing no advertising and to signs related to public safety as deemed necessary by the Commissioner of Public Works or state Department of Transportation.



BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: □NO □YES □TBD
BRANCH NAME & ADDRESS:
Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY
DESIGNER: JR DATE: 3/19/2024

REV. DATE: 5/6/2024

CONTACTS

PROJECT MANAGER:

Devin White

CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari **APPROVAL STAMP:**

6.) Does the ordinance restrict color, design or illumination?

		TEMPORARY BANNERS
1.)	What temporary sign types are allowed?	Per Mark: They are not allowed for this Site: they are only allowed for Grand opening Signs for new
1.)	what temporary sight types are allowed:	Businesses.
2.)	What is the max sign size area?	
3.)	How is the sign area calculated?	
	ĕ	
4.)	Are logos factored into sign area?	
5.)	How many signs per elevation?	
6.)	How long can signs be up?	
7.)	Does the ordinance restrict color, design or illu	mination?
		VARIANCE INFORMATION
1.)	Variance cost?	Per Mark: Variances are not permitted for this property. The Sign plan would have to be amended.
2.)	Variance time frame?	
3.)	Variance document deadline?	
4.)	Variance meeting dates?	
5.)	Variance documents required?	
6.)	How many sets?	
7.)	Likelihood of variance approval?	
ĺ	.,	
		DOCUMENTS REQUIRED FOR PERMITS
Sc	aled Plot plan	levations
Ins	tallation drawings 🔽 🔽 Legal des	cription
	Sign drawings	
		Tropony manager or approve
Link	of Sign Code:	
htt	ps://www.ecode360.com/6437086	
The	recipient of this code check understands and agre	es to the following: This code check is not exclusive and should not be used in place of the sign
		s, prohibitions and exemptions of the ordinance in conjunction with this code check. This code check is
0		mation contained herein is a guideline and should not in any way be taken as a permit approval. Signs
	·	ed. Zoning approval is often subject to interpretation that said official makes of the ordinance for their vithout the knowledge of specific project details and Expedite The Diehl does not assume any liability, we
		rent code. This provider is not responsible for changes in local sign code after the completion date, nor
		fees of local authorities. It is understood that a permit will be obtained prior to manufacture, if required
		sumption that you will get the landlord / property owner approval. This information herein is limited to
		e if they do not inform us that a sign plan is in place. We strongly encourage you to check your lease for
sigr	criteria and to apply for permits before manufacti	uring a sign.
0-		



BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: NO YES TBD
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Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY

DESIGNER: JR DATE: 3/19/2024 REV. DATE: 5/6/2024

CONTACTS PROJECT MANAGER: Davin White

Devin White CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER: Wissam Joauhari **APPROVAL STAMP:**