

Town of Pittsford Design Review & Historic Preservation Board
AGENDA
July 25, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, July 25, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

28 Copper Woods

Applicant is requesting design review for the addition of a covered front entry.

71 Framingham Lane

Applicant is requesting design review for approximately 224 square feet off the rear of the home.

OVERSIZED ACCESSORY STRUCTURES

33 Merryhill Lane

Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

3 Fitzmot Glen

Applicant is requesting design review for a 1080 square foot detached garage.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.

The next meeting is scheduled for Thursday, August 8, 2024, at 6PM.

**Town of Pittsford Design Review & Historic Preservation Board
MINUTES
July 11, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, June 11, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Kathleen Cristman; Bonnie Salem; Paul Whitbeck

ABSENT: John Mitchell; Jim Vekasy

ALSO PRESENT: Bill Zink, Building Inspector; Salvatore Tantalo, Fire Marshal; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 10 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00 PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Member Bonnie Salem discussed that she looked into the home at 75 Knollwood that was on the previous meetings agenda. She found that the reason why the board was unaware that the home was designed by Jim Johnson was that it was built in 1985 and therefore not on our historic registry. She also found out that there is a total of 6 Jim Johnson designed homes in Pittsford. Of those, only the home on Landsdowne Lane is on the registry.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

3833 East Avenue

Applicant is requesting design review to add a man door next to the garage as well as some window changes.

Paul Morabito, of Morabito Architects, introduced the application. Mr. Morabito gave a brief overview of the project.

DRHPB Vice Chairman Dave Wigg motioned to approve addition of a man door next to the garage as well as some window changes, as submitted. This motion was seconded by DRHPB Member Bonnie Salem Following a unanimous voice vote, the application was approved, none opposed.

2735 Clover Street

Applicant is requesting design review for roof changes along the rear of the home.

Eric Geoca, of Geoca Homes, introduced the application. He stated that the current low-pitched roof in the back has leaked even after reroofing and therefore this is why they are looking to make changes to the property.

DRHPB Chairman Dirk Schneider motioned to approve roof changes along the rear of the home, as submitted. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

2 Blackwood Circle

Applicant is requesting design review for the construction of a one-story single family home. The home will have approximately 2425 square feet of livable area and is located in the Wilshire Hill Subdivision.

Noah Saulpaugh, of Pride Mark Homes, introduced the application. DRHPB Member Bonnie Salem noted that she liked the simplicity of the home as well as the side load garage.

DRHPB Chairman Dirk Schneider motioned to approve architectural design and the construction of an approximately 2425 square feet one-story single family home, with the condition of the angled siting of the home to match 17 Aden Hill. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

56 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 3689 square feet that is located in the Coventry Ridge Subdivision.

Matt Winseman, of Spall Homes, introduced the application. DRHPB Member Paul Whitbeck noted that the home had 4 different textures. DRHPB Vice Chairman Dave Wigg asked if the corner end boards would be extended to grade. DRHPB Member Bonnie Salem agreed that the corner boards need to be brought all the way down to grade. DRHPB Member Kathleen Cristman asked for future homes in this subdivision to be simplified in terms of the number of materials. DRHPB Chairman Dirk Schneider suggested they make it a condition that the board and batten exposure be replaced with matching horizontal siding.

DRHPB Chairman Dirk Schneider motioned to approve the construction of an approximately 3689 square feet two-story single family home, as submitted with the following conditions: bring corner boards down to grade at the garage and replace board and batten exposure with matching horizontal siding. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

65 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 2926 square feet that is located in the Coventry Ridge Subdivision.

Austin Miller, of Spall Homes, introduced the application. DRHPB Member Kathleen Cristman noted that she likes how the gables marry into each other. DRHPB Chairman Dirk Schnieder asked if the shutters were the same width on all windows and Mr. Miller confirmed they are.

DRHPB Chairman Dirk Schneider motioned to approve the construction of an approximately 2926 square feet two-story single family home, as submitted with the condition of the shutters at

the window above the entry door be ½ of the width to the window it is attached to. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

3 Laguna Lane

Applicant is requesting design review for a 2587 square-foot, two-story home in the Young Subdivision.

Rich Battisti, of Faber Homes, introduced the application. DRHPB Member Bonnie Salem asked what the plan was to buffer the house from Lehigh Station Road. Mr. Battisti stated that they would be putting in the home and driveway and that any landscaping would be on the homeowner. DRHPB Chairman Dirk Schneider asked if the house could be brought forward. Mr. Battisti stated that the homeowner requested a long driveway so that is why the house is further back on the lot. DRHPB Chairman Dirk Schneider asked to have brackets installed under the fireplace box on the left elevation. DRHPB Member Bonnie Salem questioned the left elevation with only one transom window on that side of the home. With two bedrooms located on that side, the board determined that adding in windows on the second floor was not feasible. DRHPB Chairman Dirk Schneider pointed out that this house sits in a cul-de-sac so the left elevation will not be seen by many, and that this should be OK.

DRHPB Chairman Dirk Schneider motioned to approve the construction of an approximately 2587 square feet two-story single family home, as submitted with the condition to add brackets to the fireplace box at the left elevation. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: RENOVATIONS & ADDITIONS

751 Linden Avenue

Applicant is requesting design review for a 682 SF addition.

DRHPB Member Paul Whitbeck motioned to approve the construction of an approximately 682 square feet addition, as submitted. This motion was seconded by DRHPB Member Kathleen Christman. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3030 Monroe Avenue

Applicant is requesting design review for a 20 square-foot sign for Newbrough Piano.

DRHPB Member Bonnie Salem motioned to approve the construction of an approximately 20 square feet sign for Newbrough Piano, as submitted. This motion was seconded by DRHPB Chairman Dirk Schneider. Following a unanimous voice vote, the application was approved, none opposed.

06/27/2024 MEETING MINUTES REVIEW

The minutes of June 27, 2024, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Chairman Dirk Schnieder. Following a unanimous voice vote, the minutes were approved, none opposed.

OTHER DISCUSSION

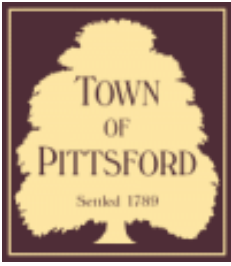
The Board discussed the proposed Pittsford Oaks in detail.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 7:40 PM.

Respectfully submitted,

Salvatore Tantalo
Fire Marshal & Emergency Manager

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000094

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 28 Copper Woods PITTSFORD, NY 14534

Tax ID Number: 178.03-1-27

Zoning District: RN Residential Neighborhood

Owner: O'Shaughnessy, Richard W

Applicant: O'Shaughnessy, Richard W

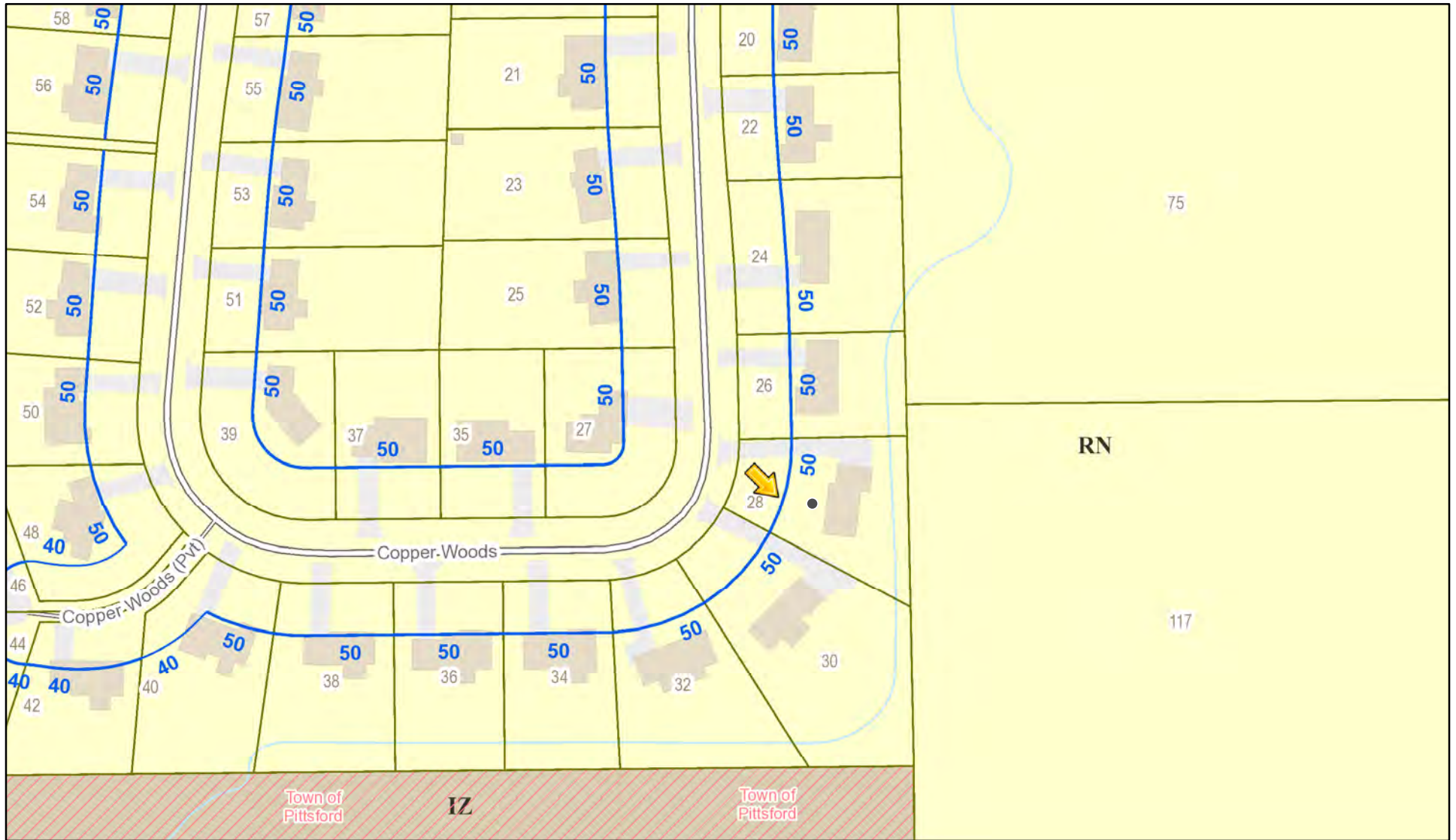
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

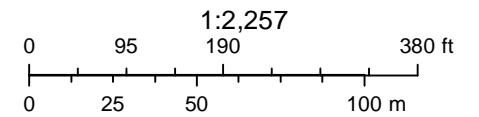
Project Description: Applicant is requesting design review for the addition of a covered front entry.

Meeting Date: July 25, 2024

RN Residential Neighborhood Zoning

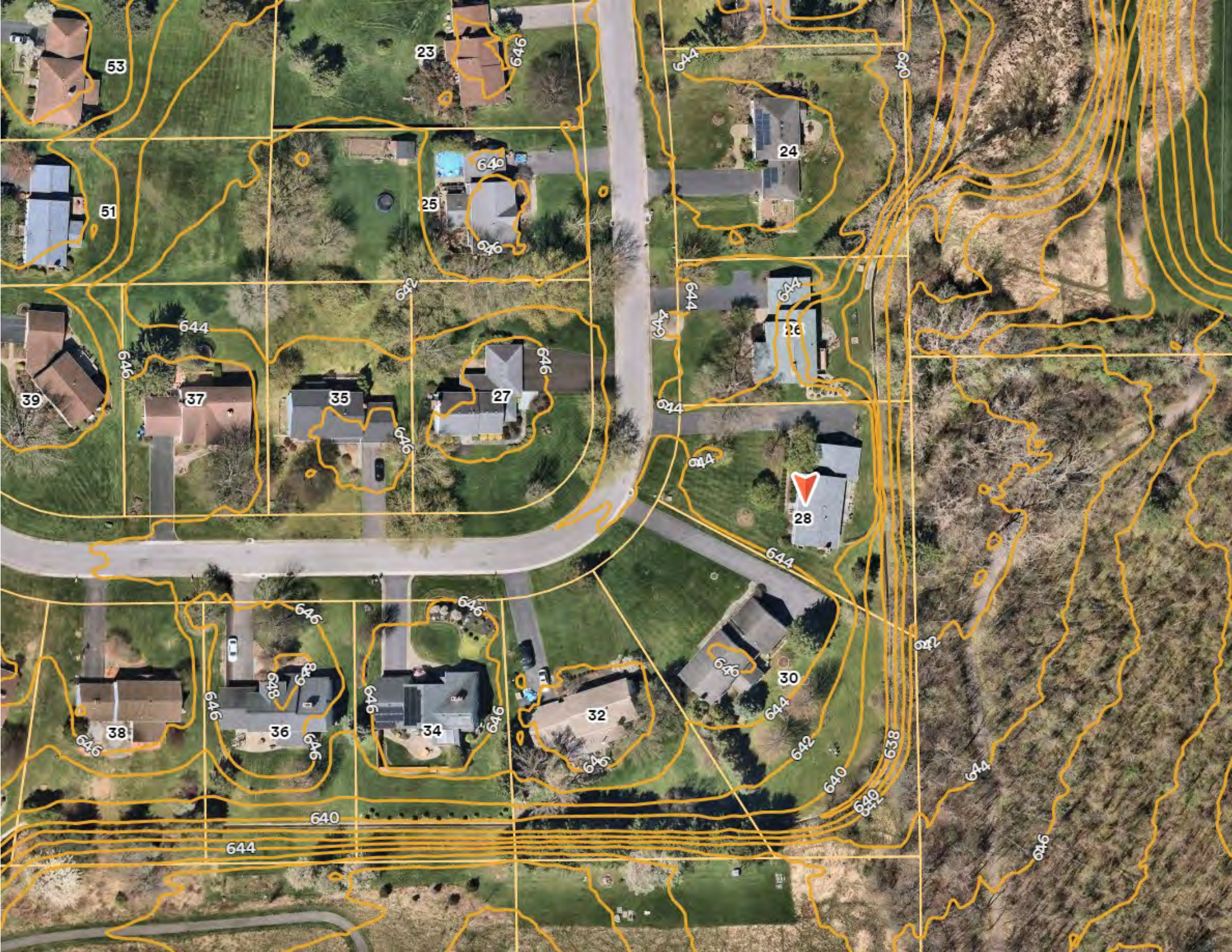


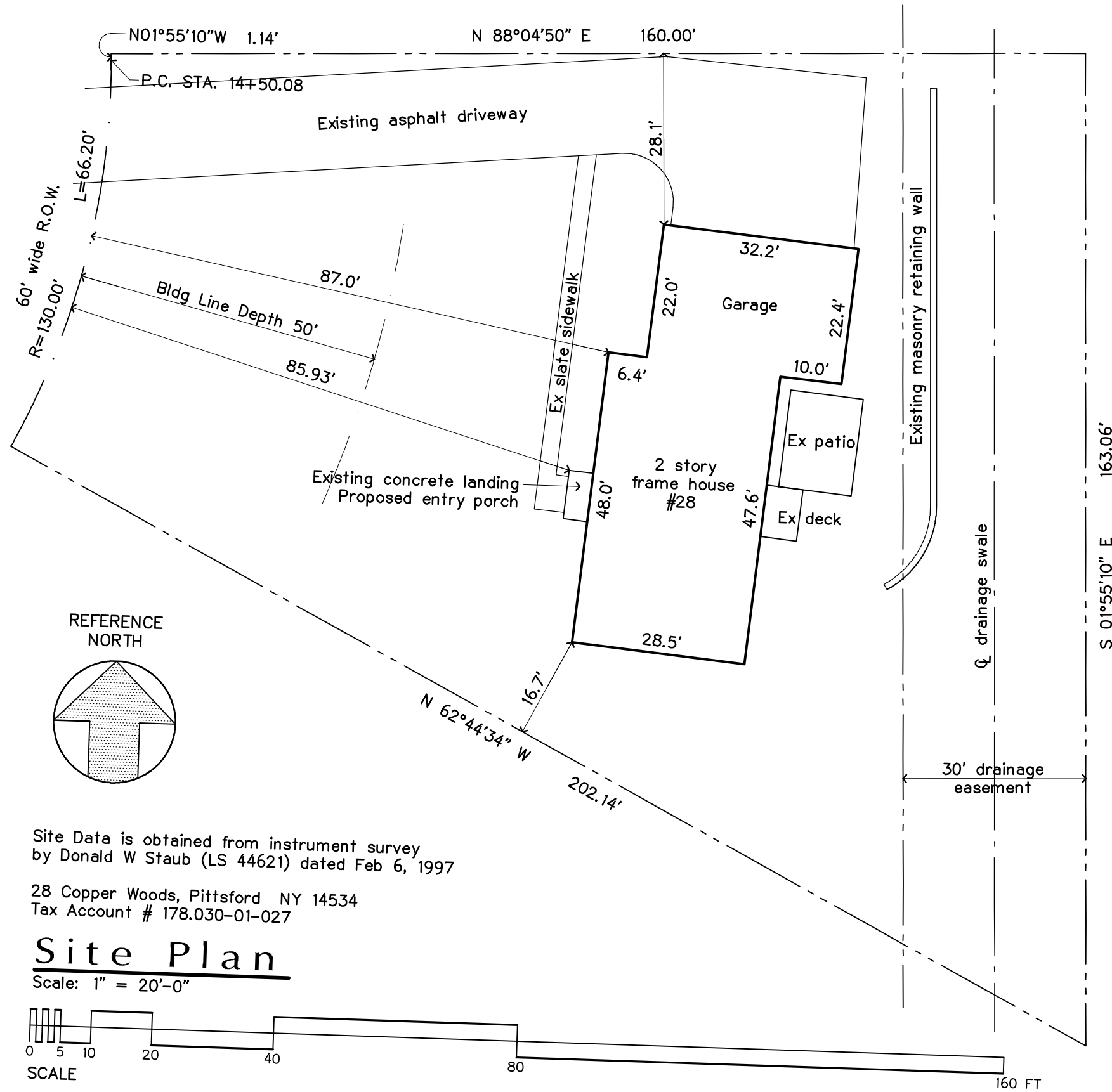
Printed July 11, 2024



Town of Pittsford GIS

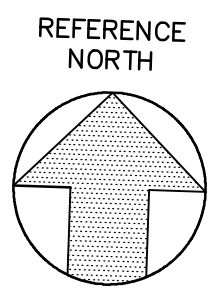
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Parcel ID: 178.03-1-27
 Lot Size: 19,166.40 sqft
 Lot Width: 93 ft
 Bldg Line Depth: 50 ft
 Side Yard: Min 10 / Total 25
 Rear Buffer: 20 ft
 Max Bldg Footprint: 3,758 sqft
 Max Lot Coverage: 7,667 sqft
 Max Bldg Height: 30 ft

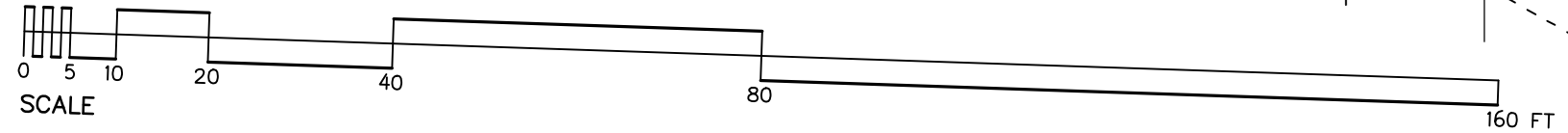
Existing	Proposed
87.0'	85.93'
(no change)	(no change)
2,080 sqft	2,112 sqft
4,858 (no change)	(no change)



Site Data is obtained from instrument survey
 by Donald W Staub (LS 44621) dated Feb 6, 1997
 28 Copper Woods, Pittsford NY 14534
 Tax Account # 178.030-01-027

Site Plan

Scale: 1" = 20'-0"



O'Shaughnessy Front Entry Porch Addition

28 Copper Woods, Pittsford NY 14534

1
 July 12, 2024

**RICHARD
 ALFRED
 MAUSER
 ARCHITECTS**



Street Elevation

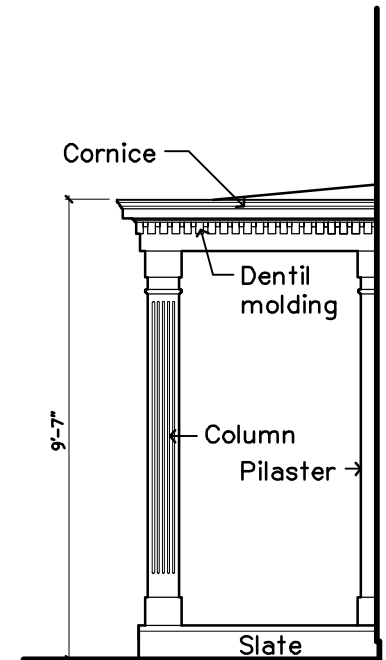
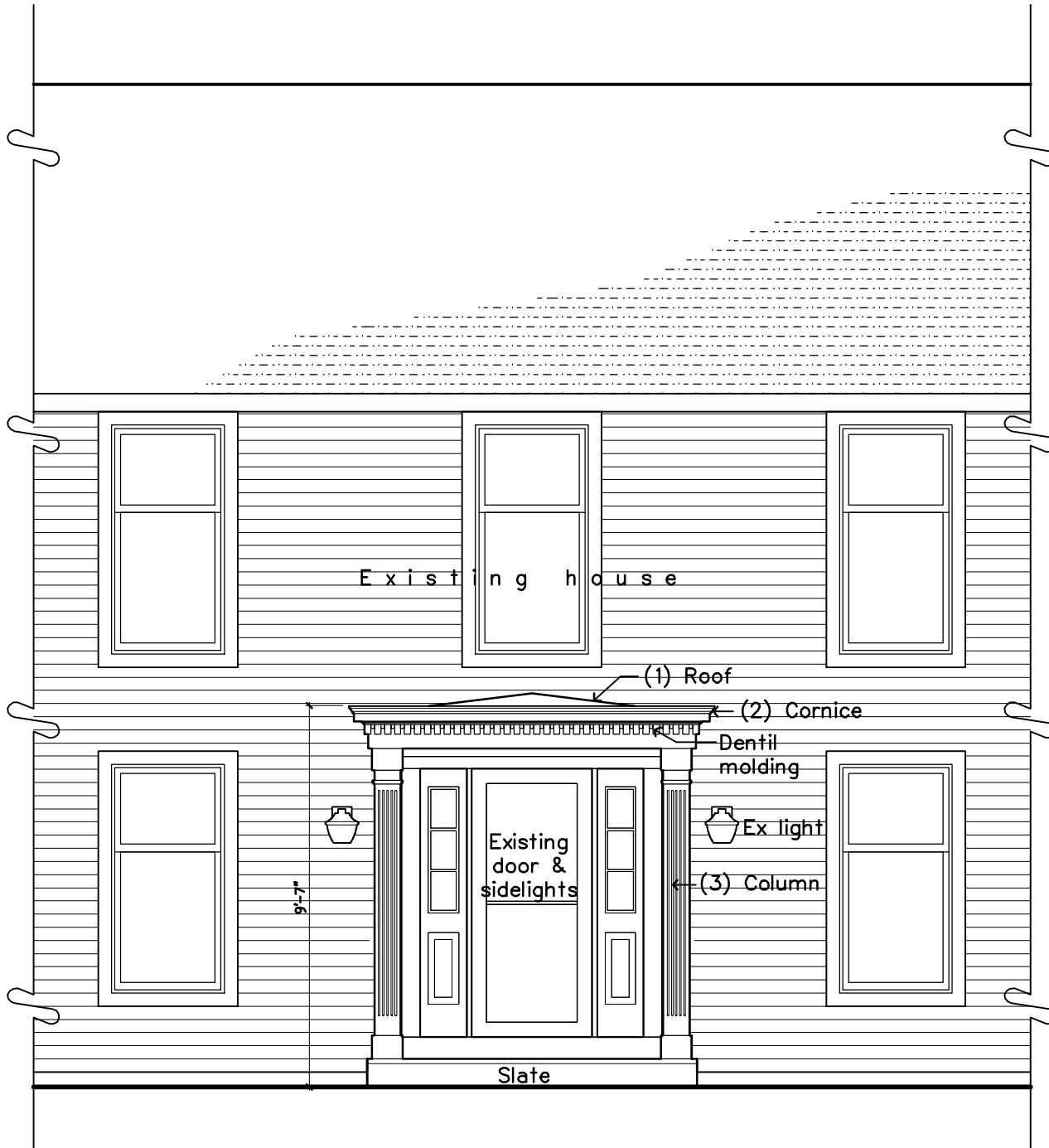
Scale: 3/16" = 1' - 0"

O'Shaughnessy Front Entry Porch Addition
28 Copper Woods, Pittsford NY 14534

2

July 12, 2024

RICHARD
ALFRED
MAUSER
ARCHITECTS



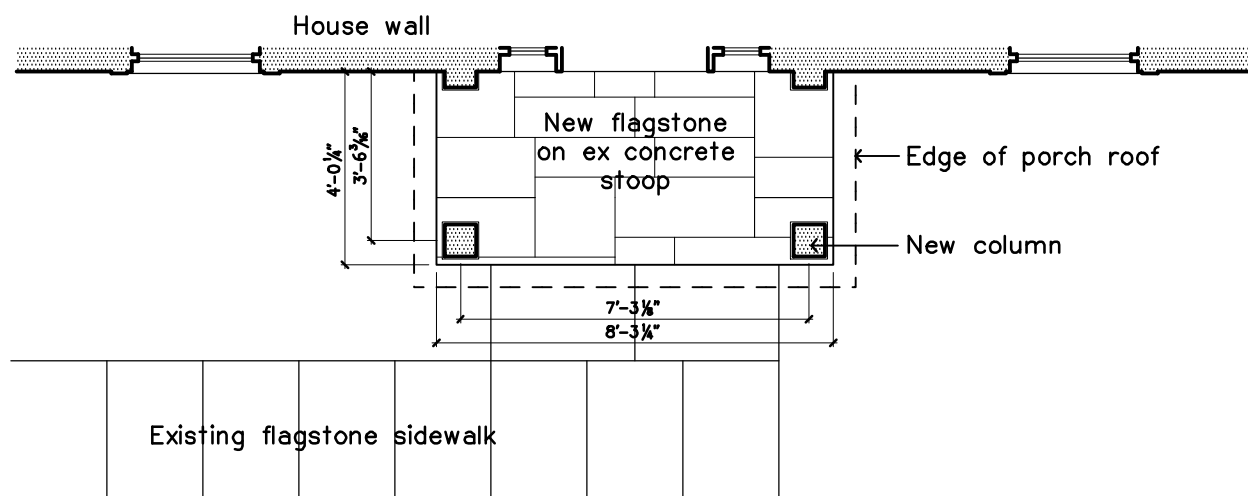
Porch Front Elevation

Scale: 1/4" = 1' - 0"

KEYED NOTES

- (1) Roof is 1/2/12 pitch, can be a membrane or a metal roof with concealed gutter, and drain located behind the column. The downspout will be exposed behind the column.
 - (2) Cornice trim is PVC crown molding. Dentils are PVC
 - (3) Column is HB&G PermaWrap CPVC, 8"x96", plain or fluted (shown)
- New pilaster columns will flank the existing trim at the sidelights.

Side Elevation



Porch Plan

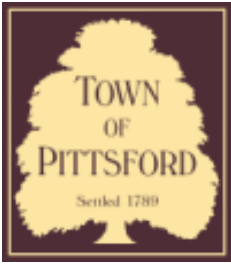
Scale: 1/4" = 1' - 0"

O'Shaughnessy Front Entry Porch Addition
28 Copper Woods, Pittsford NY 14534

3

July 12, 2024

RICHARD
ALFRED
MAUSER
ARCHITECTS



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000090

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 71 Framingham Lane PITTSFORD, NY 14534

Tax ID Number: 150.20-1-29

Zoning District: RN Residential Neighborhood

Owner: McCarson, Richard Wayne

Applicant: McCarson, Richard Wayne

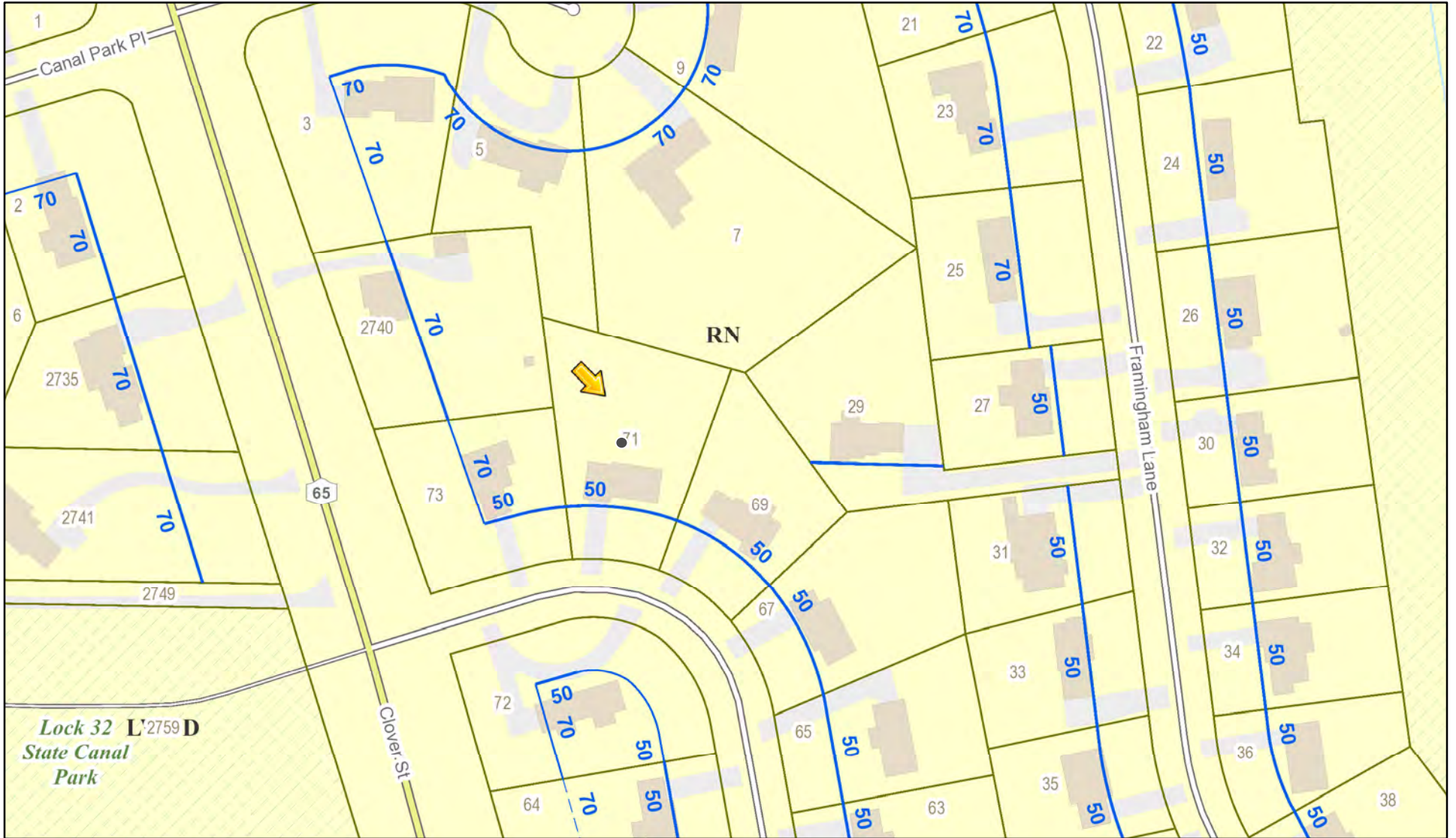
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
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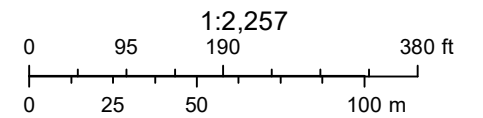
Project Description: Applicant is requesting design review for approximately 224 square feet off the rear of the home.

Meeting Date: July 25, 2024

RN Residential Neighborhood Zoning



Printed July 10, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



ADDITION

71 FRAMINGHAM LANE, PITTSFORD, NY 14534

GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS
- DO NOT SCALE DRAWINGS. ANY DIMENSIONAL INFORMATION REQUIRED WHICH IS NOT INDICATED ON DRAWING DIMENSION STRINGS SHALL BE OBTAINED FROM THE ARCHITECT.
- DIMENSIONS SHOWN ARE FINISH SURFACE OF EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE .
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS (I.E EXISTING MATERIALS, FRAMING MEMBER SIZES AND LOCATIONS, METHODS OF CONSTRUCTION). IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL MAINTAIN THE IMMEDIATE CONSTRUCTION SITE IN A SECURE, CLEAN AND SAFE MANNER.
- PROTECTION : CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.

APPLICABLE CODES:

- 2022 International Building Code with local amendments.
- 2022 International Existing Building Code.
- 2022 International Energy Conservation Code.
- 2022 ANSI A-117.1 Accessible & Useable Building & facilities.
- 2022 International Plumbing Code with local amendments.
- 2022 International Mechanical Code with local amendments.
- 2022 International Fuel Gas Code with local amendments.
- 2022 National Electric Code.
- 2022 International Fire Code with local amendments.

SCOPE OF WORK:

- ARCHITECTURE
- STRUCTURE
- ELECTRICAL
- PLUMBING
- MECHANICAL

INDEX TO DRAWINGS

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
ARCHITECTURE		ELECTRICAL	
AR-01	COVER SHEET	EL-01	NOTES
AR-02	PROPOSED FLOOR PLAN	EL-02	LIGHTING FLOOR PLAN
AR-03	ENLARGED PROPOSED FLOOR PLAN	EL-03	POWER FLOOR PLAN
AR-04	BACK ELEVATION	EL-04	PANEL SHEDULE & SINGLE LINE DIAGRAM
AR-05	RIGHT & LEFT ELEVATIONS	EL-05	DETAILS
STRUCTURE		PLUMBING	
ST-01	NOTES	PL-01	NOTES
ST-02	FDN.PLAN	PL-01	DRAINAGE FLOOR PLAN
ST-03	ROOF PLAN	PL-03	WATER SUPPLY FLOOR PLAN
ST-04	ROOF FRAMING PLAN	PL-04	RISER DIAGRAM
ST-05	SEC AA	PL-05	DETAILS
ST-06	DETAILS #1	MECHANICAL	
ST-07	DETAILS #2	ME-01	AIR CONDITIONING FLOOR PLAN

OWNER SIGNATURE

REVISION STATUS

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS

APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:

DESIGN DRAWING

DISCIPLINE:

ARCHITECTURE

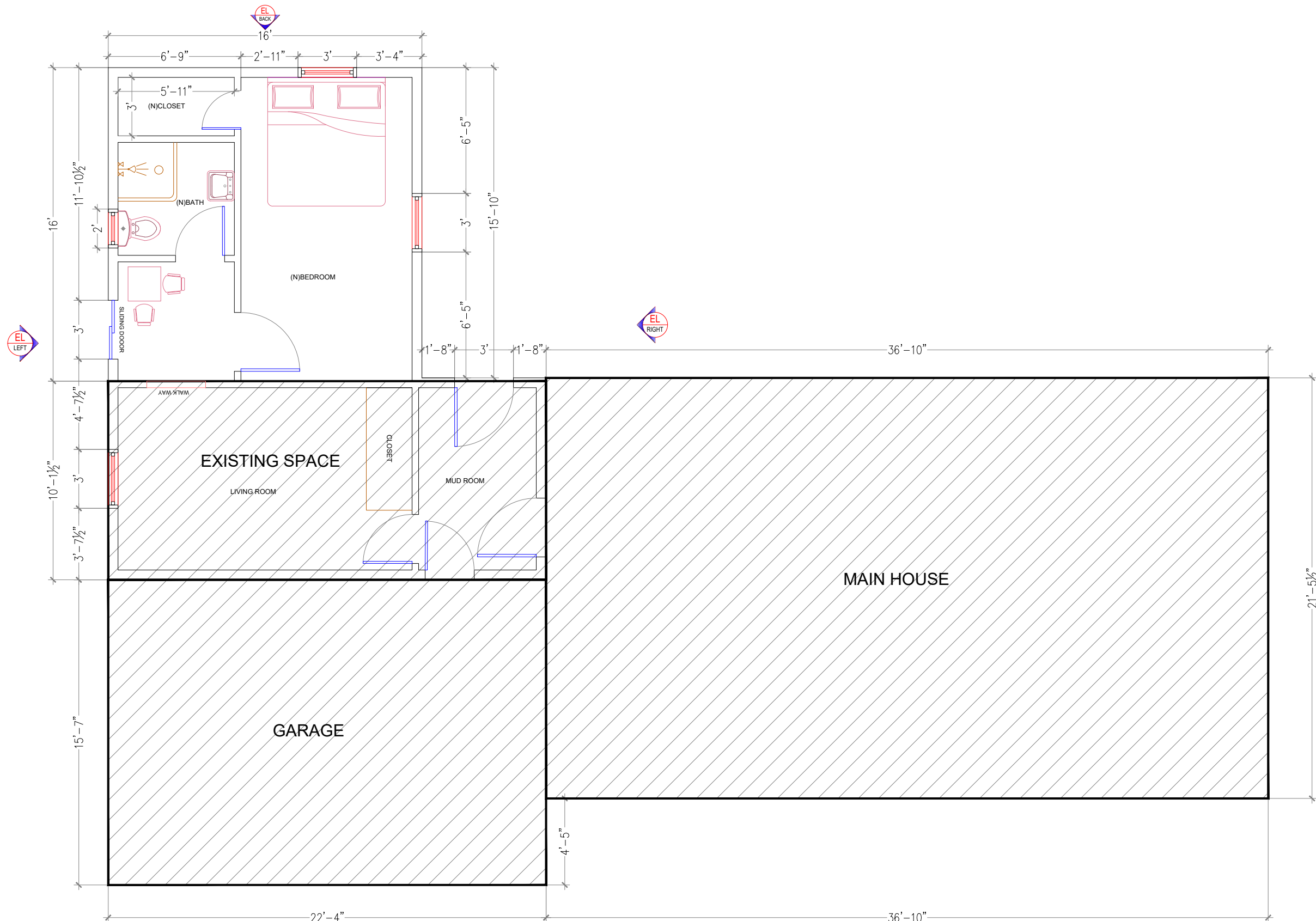
PROJECT TITLE:

HOME DESIGN

DRAWING TITLE:

COVER SHEET

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO: 803	SHT NO: AR-01	SCALE: NTS @A3



GENERAL NOTES

- A. CONTRACTOR IS TO ASCERTAIN THAT ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS AND THAT THE CONSTRUCTION DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES, AND REGULATIONS. IF THE CONTRACTOR OBSERVES THAT PORTIONS OF THE CONSTRUCTION DOCUMENTS ARE AT VARIANCE THEREWITH, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING, AND THE NECESSARY CHANGES SHALL BE INITIATED AND ACCOMPLISHED BY APPROPRIATE MODIFICATION.
- B. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. IF ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER AT ONCE FOR CLARIFICATION.
- C. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED.
- D. ALL PRODUCTS AND MATERIALS SHALL BE APPLIED AND/OR INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- E. CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR MASONRY OPENINGS WITH MANUFACTURER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- F. ALL PLAN DIMENSIONS ARE FROM FACE OF BLOCK OR FACE STUD AND ARE NOMINAL UNLESS OTHERWISE INDICATED.

OWNER SIGNATURE

REVISION STATUS

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS

APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS: DESIGN DRAWING

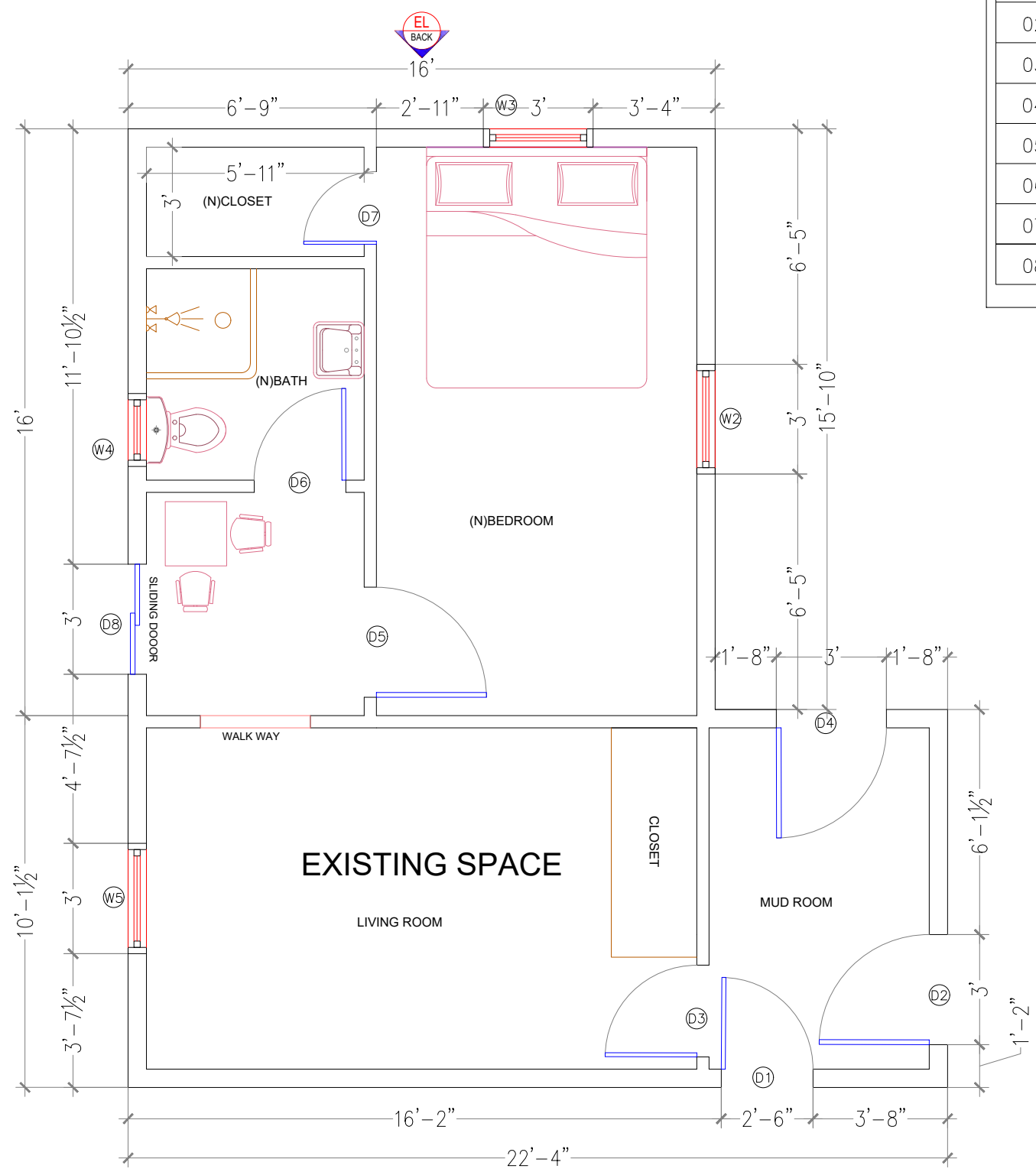
DISCIPLINE: ARCHITECTURE

PROJECT TITLE: HOME DESIGN

DRAWING TITLE: PROPOSED FLOOR PLAN

DRAWN BY:	CHECKED BY:	DATE:
F.S	S.A	06 JUL 2024
JOB NO	SHT NO	SCALE:
803	AR-02	3/16"=1'-0" @A3

AR 02 PROPOSED FLOOR PLAN
 SCALE 3/16"=1'-0"



DOORS AND WINDOW SCHEDULE							
NO.	DOOR	LENGHT	WIDTH	NO.	WINDOW	LENGHT	WIDTH
01	D1	7'	2'-6"	01	W1	5'	3'-0"
02	D2	7'	3'-0"	02	W2	5'	3'-0"
03	D3	7'	2'-6"	03	W3	5'	3'-0"
04	D4	7'	3'-0"	04	W4	5'	2'-0"
05	D5	7'	3'-0"	05	W5	5'	3'-0"
06	D6	7'	2'-6"				
07	D7	7'	2'-6"				
08	D8	7'	2'-6"				

- GENERAL NOTES**
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OWNER SIGNATURE

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Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS	
APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:
71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:
DESIGN DRAWING

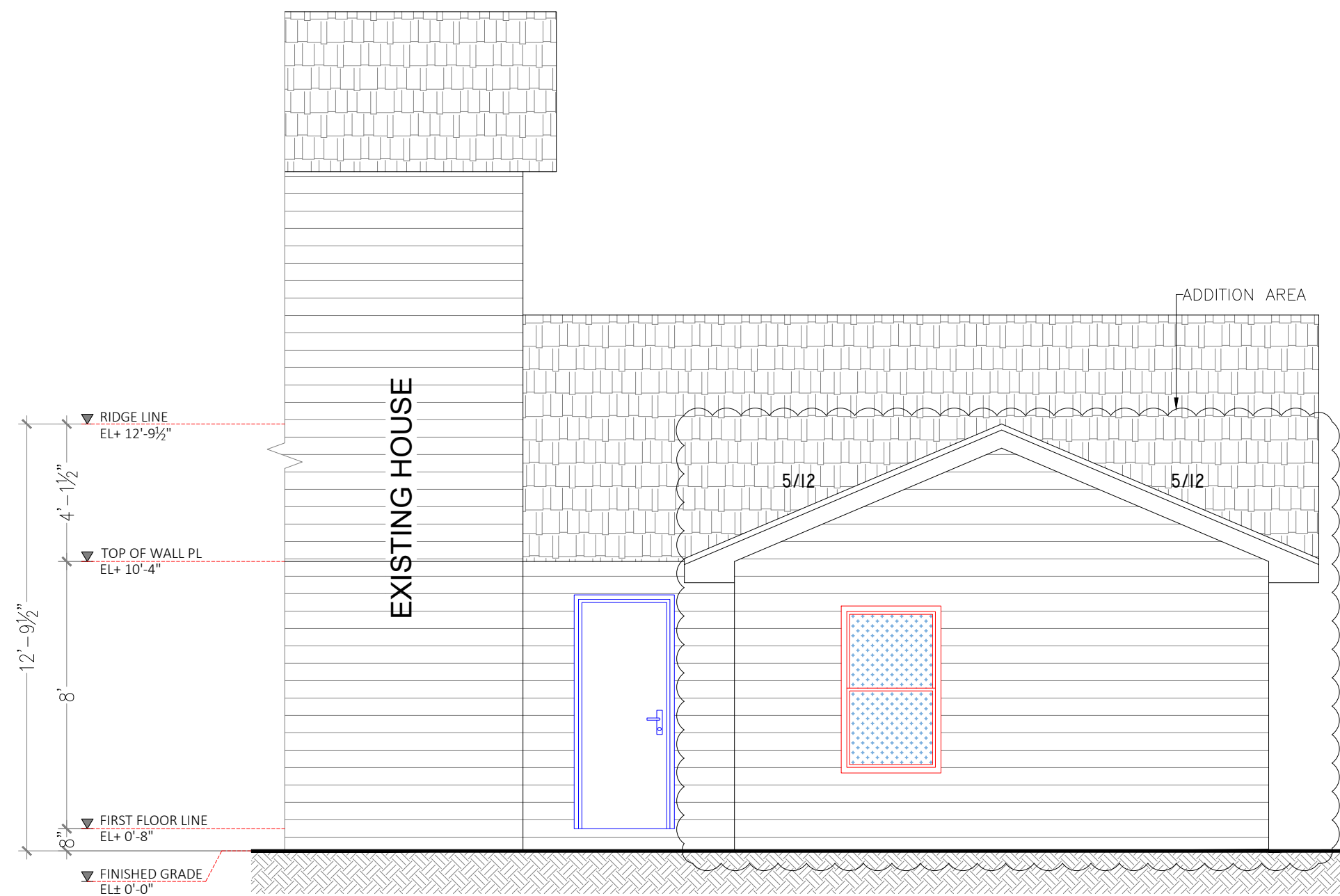
DISCIPLINE:
ARCHITECTURE

PROJECT TITLE:
HOME DESIGN

DRAWING TITLE:
ENLARGED PROPOSED FLOOR PLAN

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO 803	SHT NO AR-03	SCALE: 1/4"=1'-0"@A3

ENLARGED PROPOSED FLOOR PLAN
SCALE 1/4"=1'-0"



REAR ELEVATION
 AR 04 SCALE 1/4" = 1'-0"

OWNER SIGNATURE

REVISION STATUS			
Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
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CLIENT/CONSULTANT APPROVAL STATUS	
APPROVED	(A)
APPROVED WITH NOTES	(B)
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OWNER:

ADDRESS:
 71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

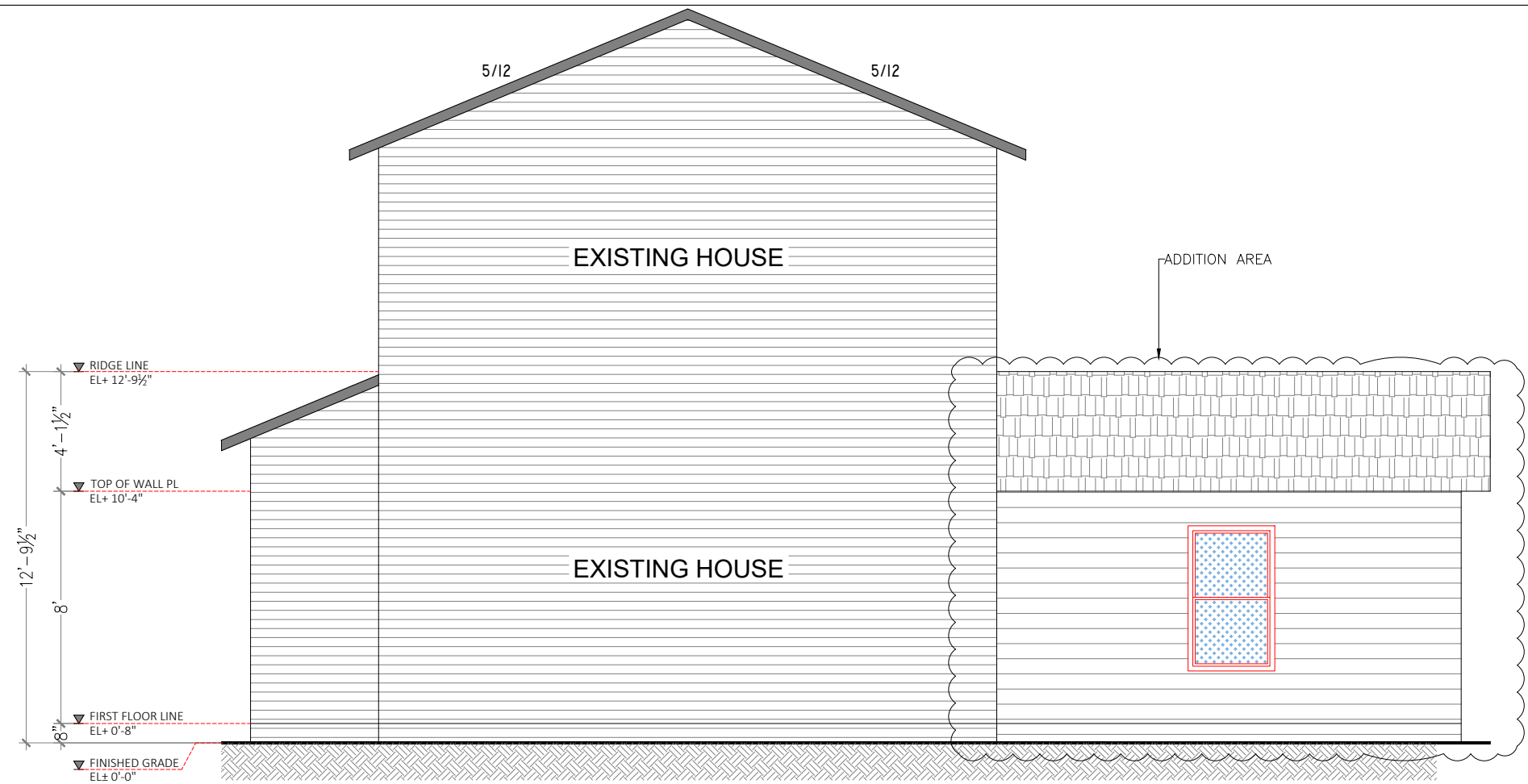
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 DESIGN DRAWING

DISCIPLINE:
 ARCHITECTURE

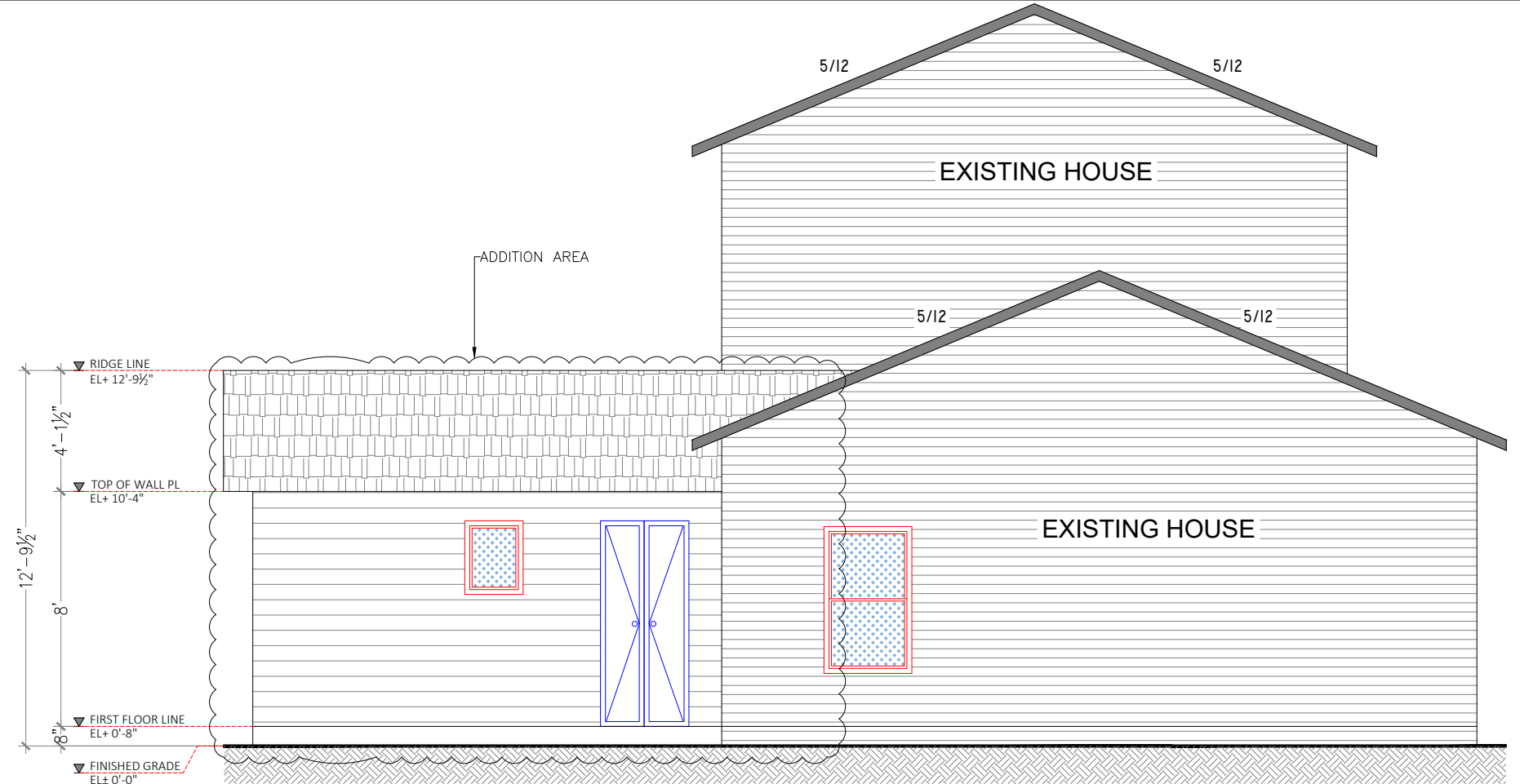
PROJECT TITLE:
 HOME DESIGN

DRAWING TITLE:
 BACK ELEVATION

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO 803	SHT NO AR-04	SCALE: 1/4"=1'-0"@A3



RIGHT ELEVATION
AR 05 SCALE 3/16"=1'-0"



LEFT ELEVATION
AR 05 SCALE 3/16"=1'-0"

OWNER SIGNATURE

REVISION STATUS			
Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS	
APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:
71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

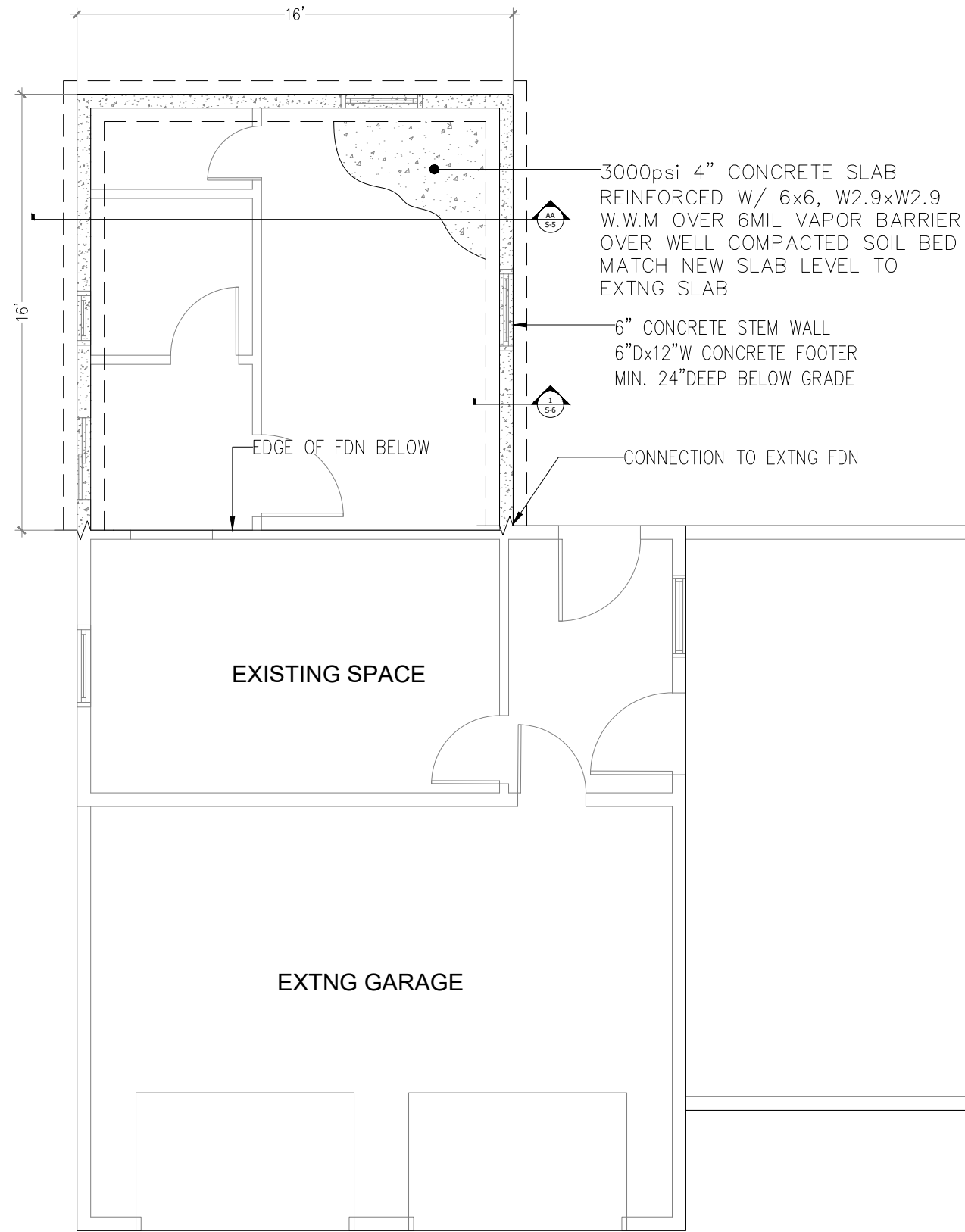
DRAWING STATUS:
DESIGN DRAWING

DISCIPLINE:
ARCHITECTURE

PROJECT TITLE:
HOME DESIGN

DRAWING TITLE:
RIGHT & LEFT ELEVATIONS

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO 803	SHT NO AR-05	SCALE: 3/16"=1'-0" @A3



ST
02

FDN PLAN

SCALE

3/16"=1'-0"

OWNER SIGNATURE

REVISION STATUS

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS

APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:

DESIGN DRAWING

DISCIPLINE:

STRUCTURE

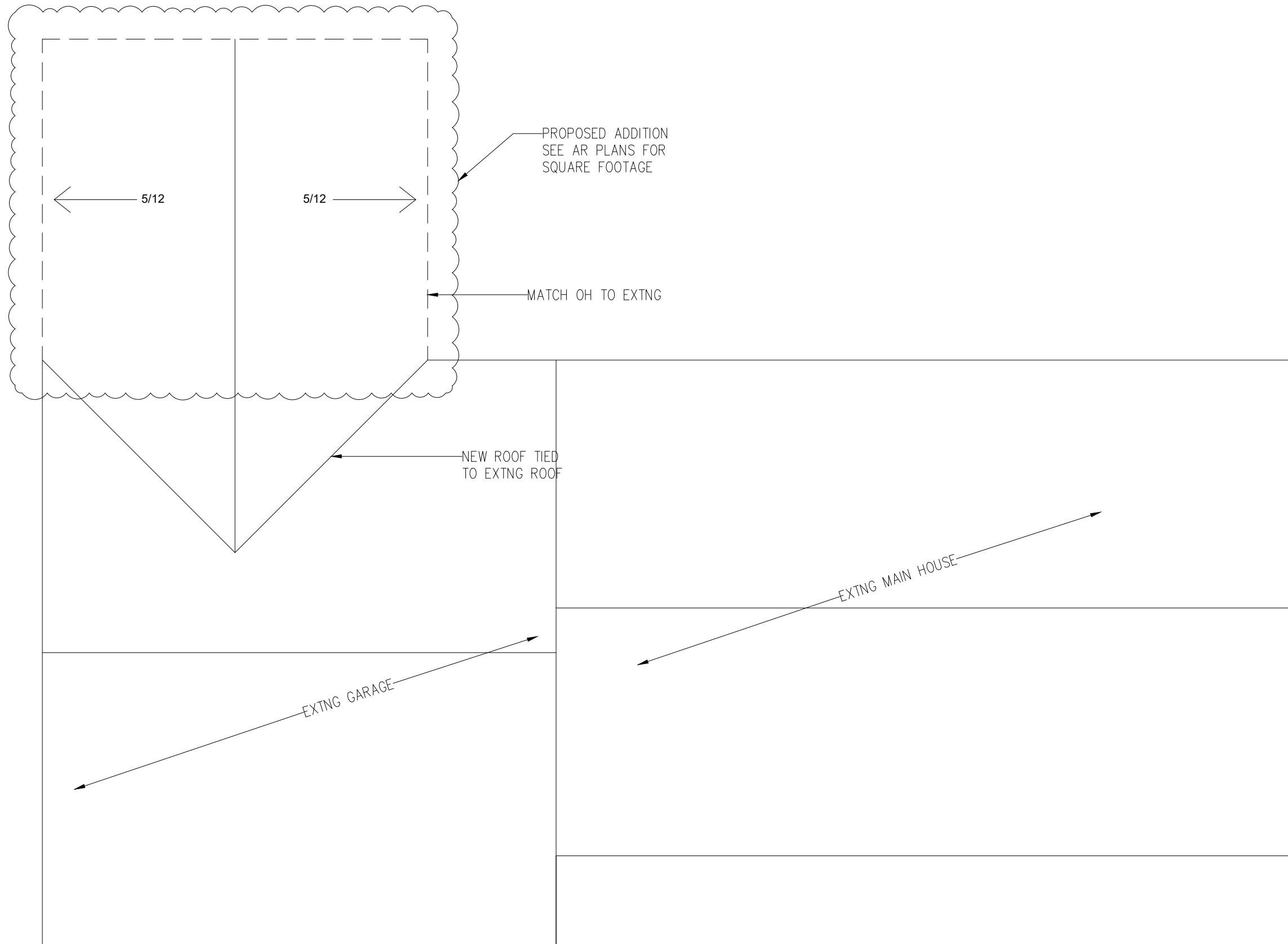
PROJECT TITLE:

HOME DESIGN

DRAWING TITLE:

FDN. PLAN

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO 803	SHT NO ST-02	SCALE: 3/16"=1'-0" @A3



ST 03 **ROOF PLAN**
SCALE

3/16"=1'-0"

OWNER SIGNATURE

REVISION STATUS

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS

APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:

DESIGN DRAWING

DISCIPLINE:

STRUCTURE

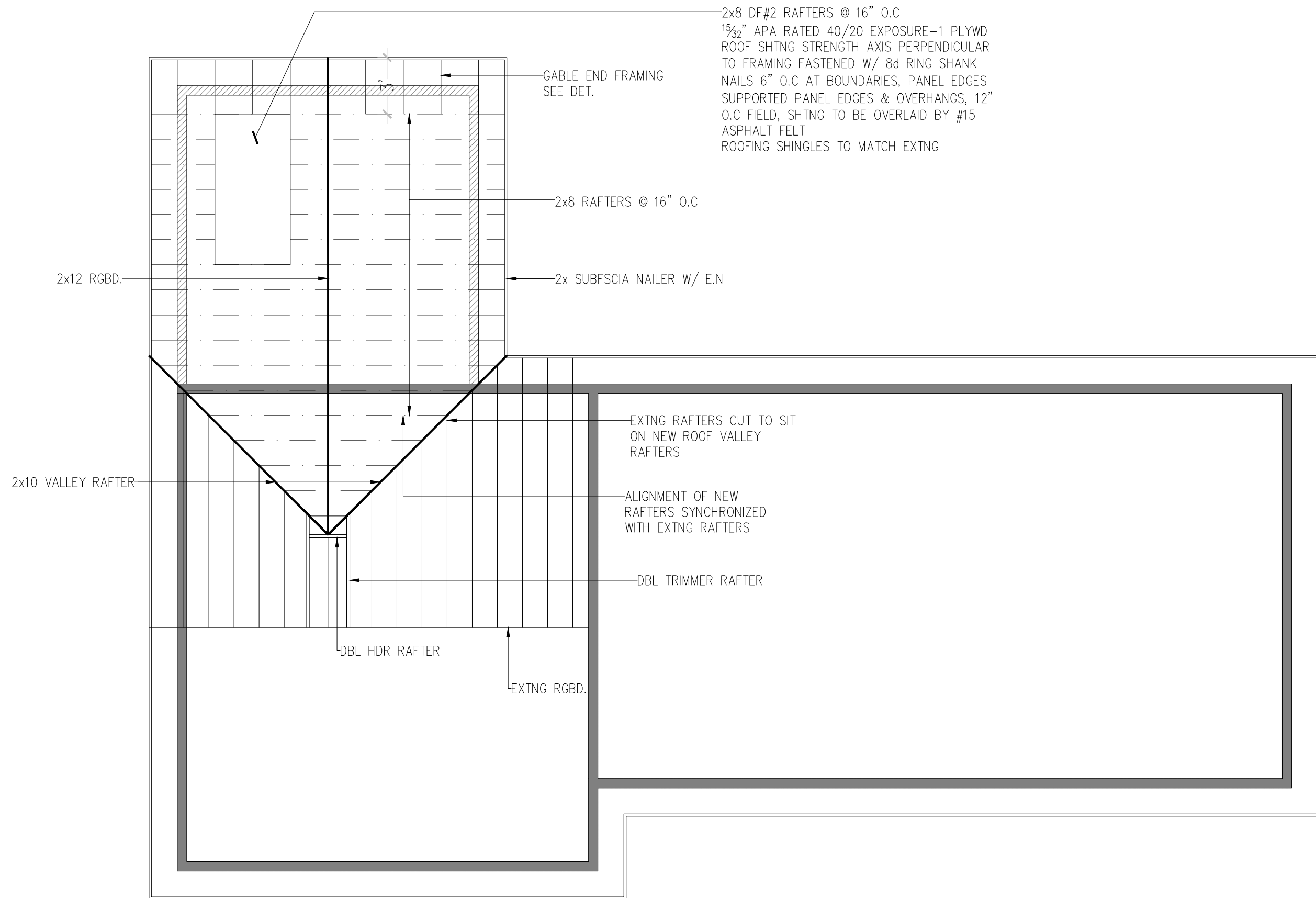
PROJECT TITLE:

HOME DESIGN

DRAWING TITLE:

ROOF PLAN

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO: 803	SHT NO: ST-03	SCALE: 3/16"=1'-0" @A3



2x8 DF#2 RAFTERS @ 16" O.C
 1 5/32" APA RATED 40/20 EXPOSURE-1 PLYWD
 ROOF SHING STRENGTH AXIS PERPENDICULAR
 TO FRAMING FASTENED W/ 8d RING SHANK
 NAILS 6" O.C AT BOUNDARIES, PANEL EDGES
 SUPPORTED PANEL EDGES & OVERHANGS, 12"
 O.C FIELD, SHING TO BE OVERLAID BY #15
 ASPHALT FELT
 ROOFING SHINGLES TO MATCH EXTNG

OWNER SIGNATURE

REVISION STATUS

Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS

APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:

ADDRESS:
 71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:

DRAWING STATUS:
 DESIGN DRAWING

DISCIPLINE:
 STRUCTURE

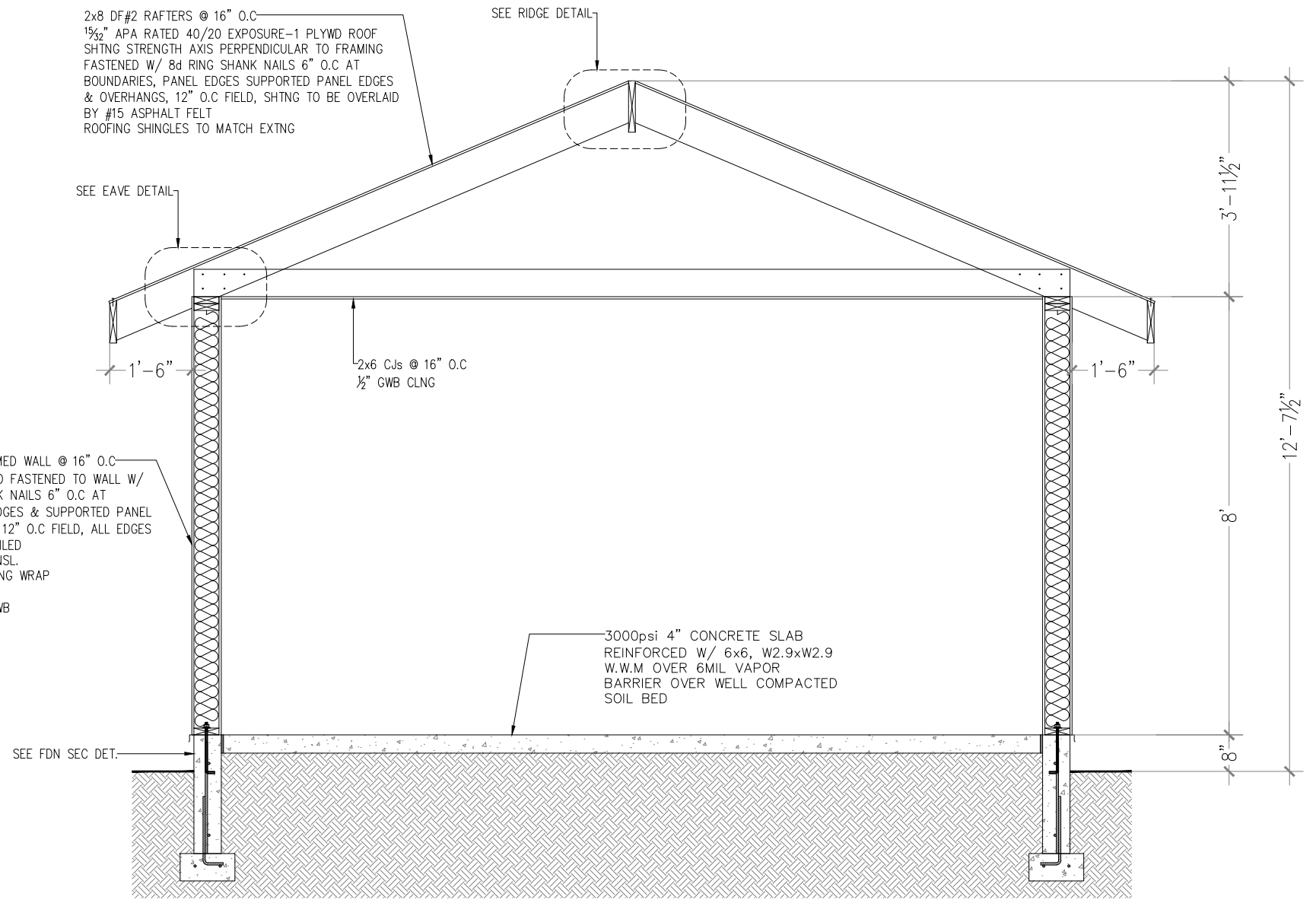
PROJECT TITLE:
 HOME DESIGN

DRAWING TITLE:
 ROOF FRAMING PLAN

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO 803	SHD NO ST-04	SCALE: 3/16"=1'-0" @A3

ST 04 **ROOF FRAMING PLAN**
 SCALE

3/16"=1'-0"



ST 05 **SEC AA**
 SCALE

3/8" = 1'-0"

OWNER SIGNATURE

REVISION STATUS			
Rev	DATE	DESCRIPTION	DRAWN BY
00	06-07-2024	ISSUED FOR APPROVAL	F.S
01			
02			
03			
04			

CLIENT/CONSULTANT APPROVAL STATUS	
APPROVED	(A)
APPROVED WITH NOTES	(B)
RESUBMIT	(C)
DISAPPROVED	(D)

OWNER:
 ADDRESS:

71 Framingham Lane, Pittsford, NY 14534

DESIGN CONSULTANT:
 DRAWING STATUS:
 DESIGN DRAWING

DISCIPLINE:
 STRUCTURE

PROJECT TITLE:
 HOME DESIGN

DRAWING TITLE:
 SEC AA

DRAWN BY: F.S	CHECKED BY: S.A	DATE: 06 JUL 2024
JOB NO: 803	SHT NO: ST-05	SCALE: 3/16"=1'-0" @A3

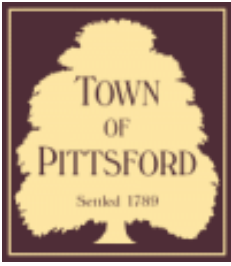












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA24-000029

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Merryhill Lane PITTSFORD, NY 14534

Tax ID Number: 163.16-2-21

Zoning District: RN Residential Neighborhood

Owner: Shotwell, Nicholas

Applicant: Bond Construction

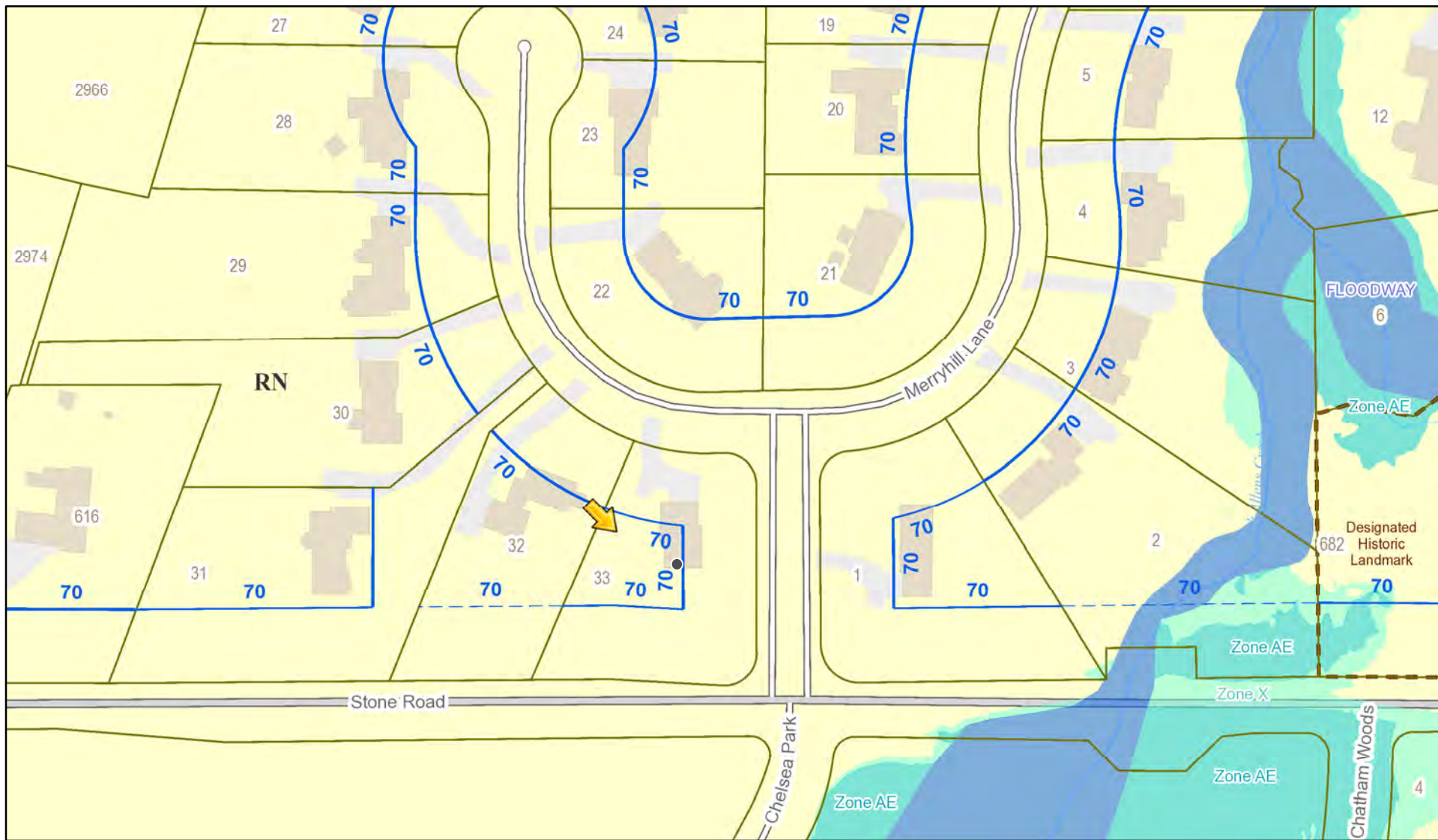
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

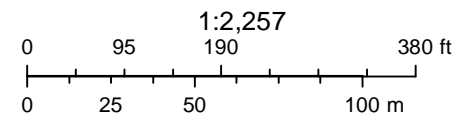
Project Description: Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

Meeting Date: July 25, 2024

RN Residential Neighborhood Zoning



Printed July 10, 2024



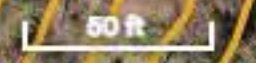
Town of Pittsford GIS

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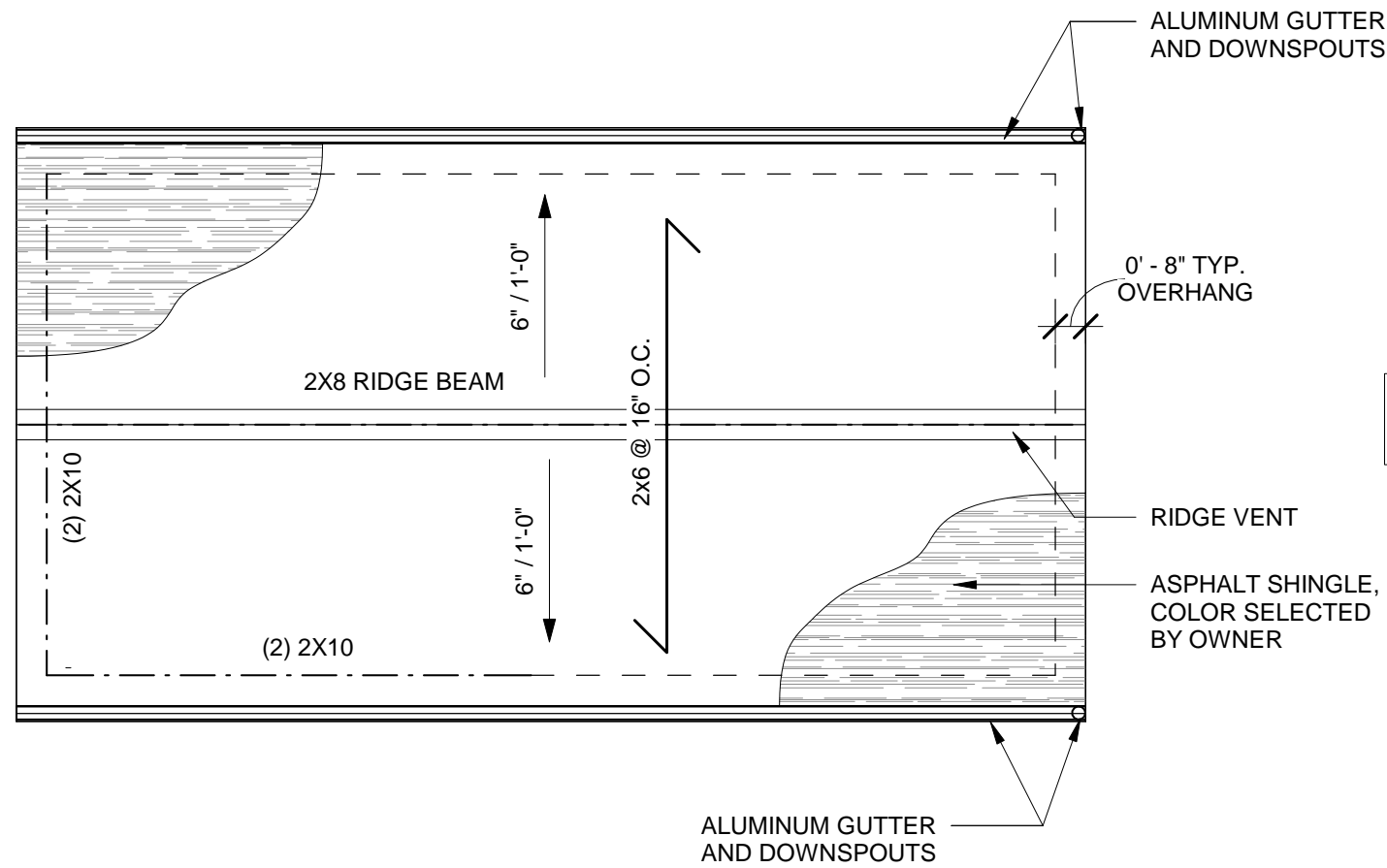


Thu Apr 25 2024

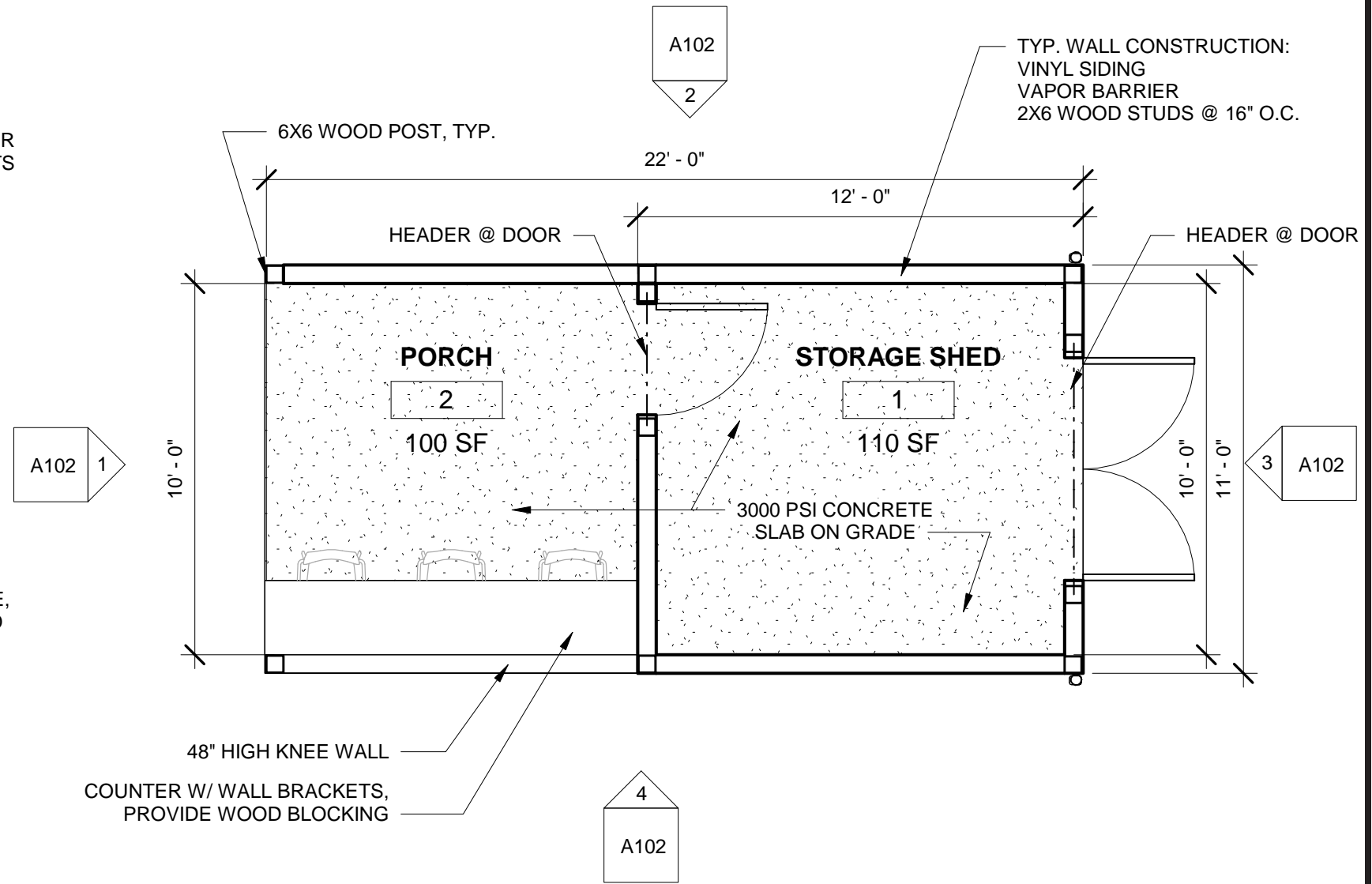
Imagery © 2024 Nearmap, HERE



Nearmap



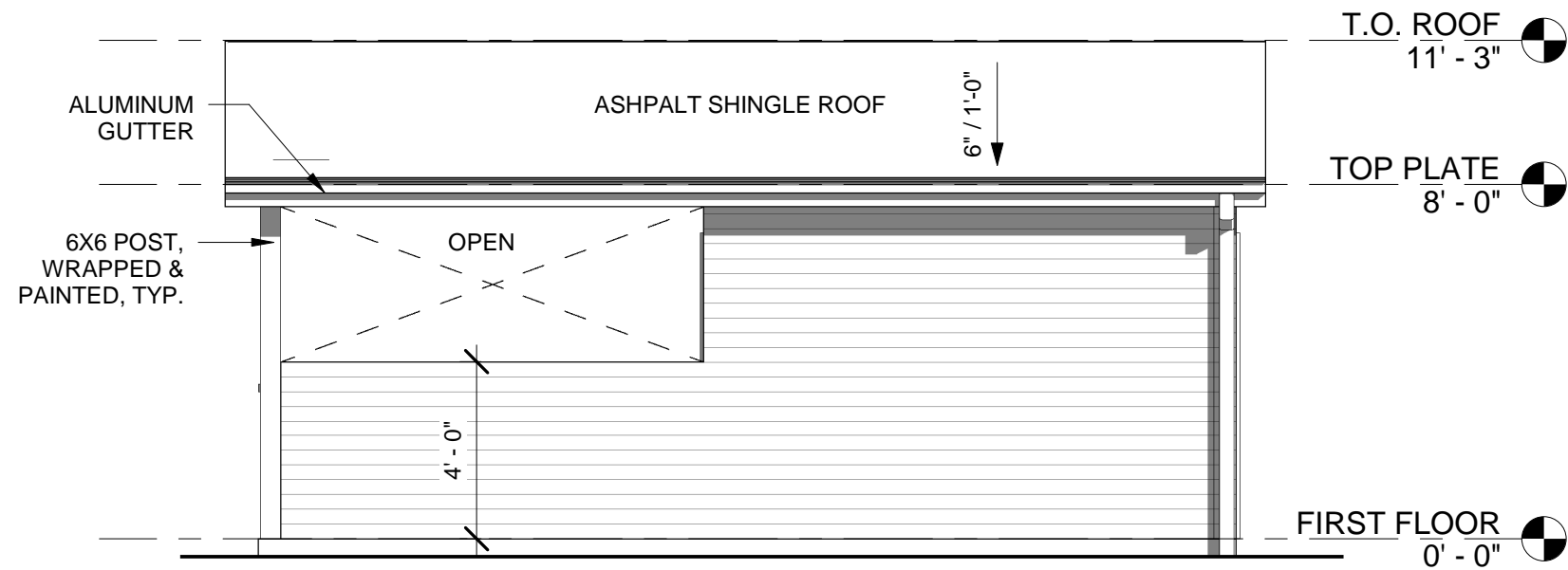
2 ROOF PLAN
1/4" = 1'-0"



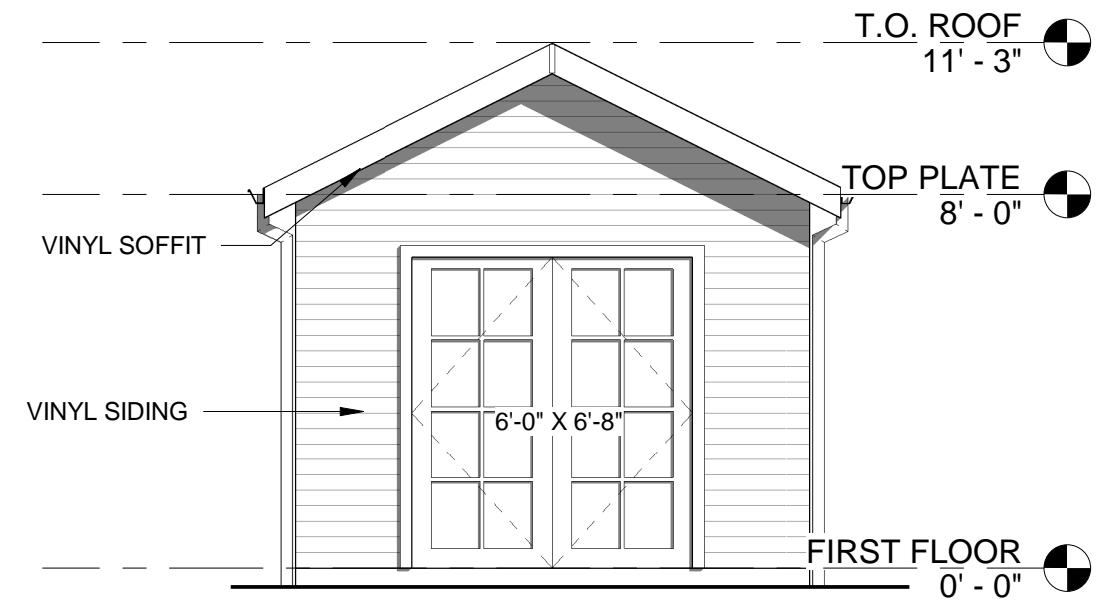
1 FLOOR PLAN
1/4" = 1'-0"

SHOTWELL RESIDENCE - SHED

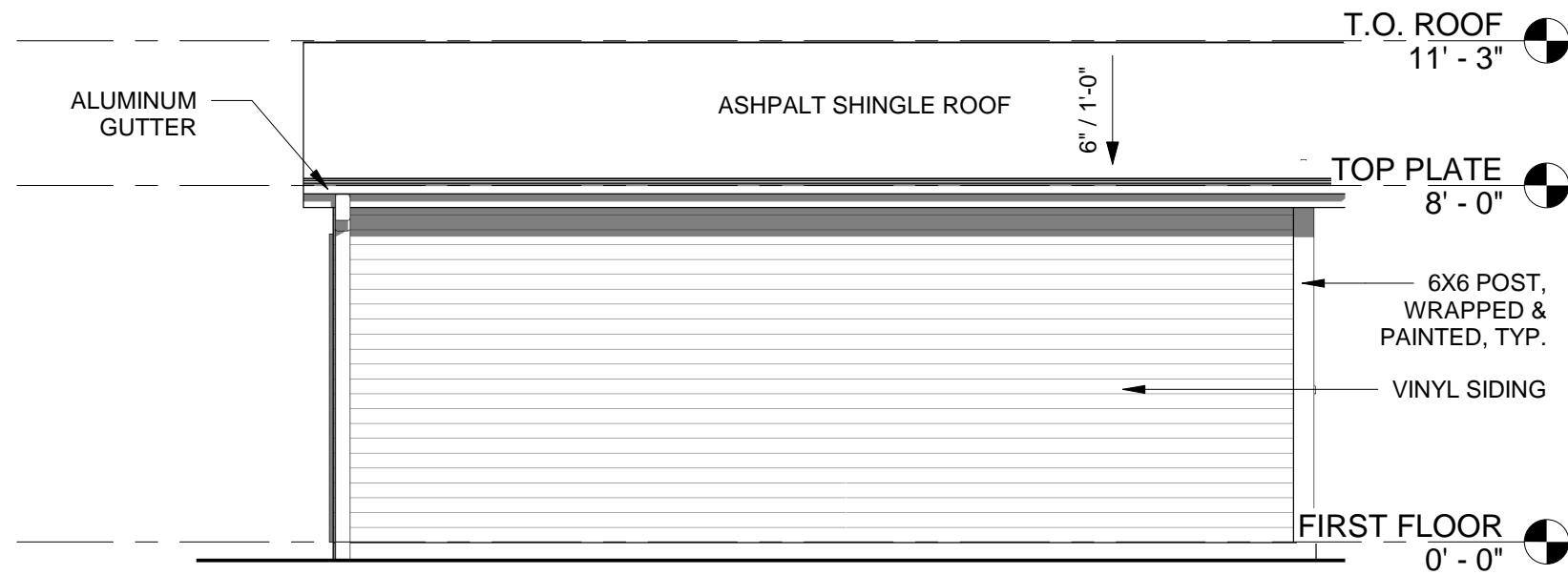
FLOOR PLAN & ROOF PLAN



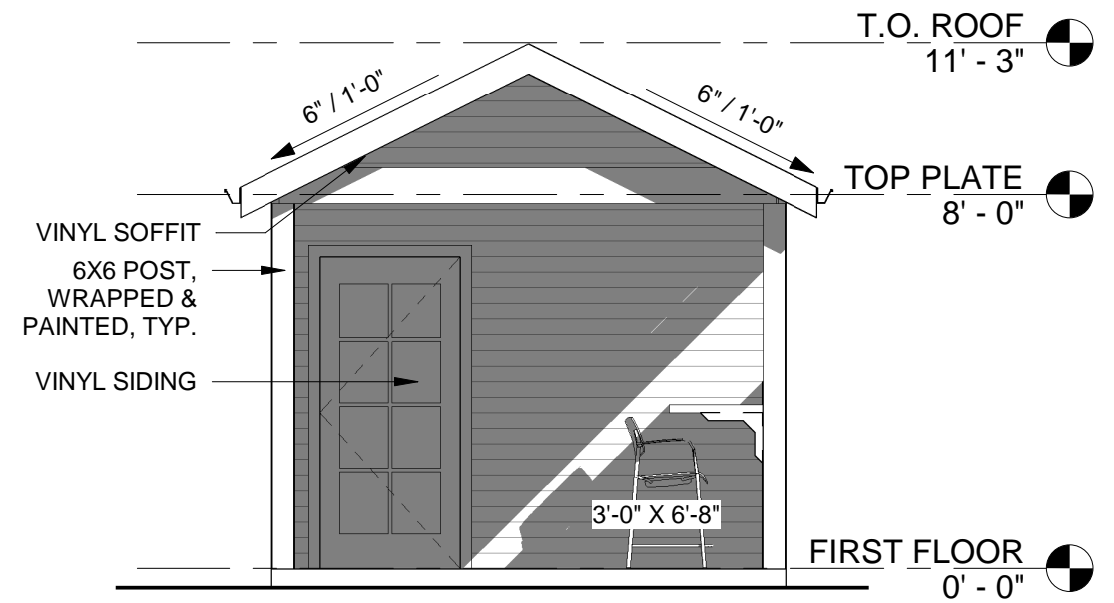
④ WEST ELEVATION
1/4" = 1'-0"



③ SOUTHEAST ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"



① NORTHWEST ELEVATION
1/4" = 1'-0"

SHOTWELL RESIDENCE - SHED ELEVATIONS



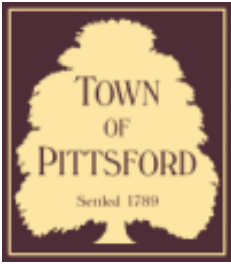
CONCEPTUAL RENDERING FROM POOL



CONCEPTUAL RENDERING FROM EDGE OF PROPERTY

SHOTWELL RESIDENCE - SHED
RENDERINGS

6/19/2024



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA24-000123

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Fitzmot Glen PITTSFORD, NY 14534

Tax ID Number: 164.03-1-2.2

Zoning District: RN Residential Neighborhood

Owner: Wilmot, Dennis

Applicant: Stahl Property Associates

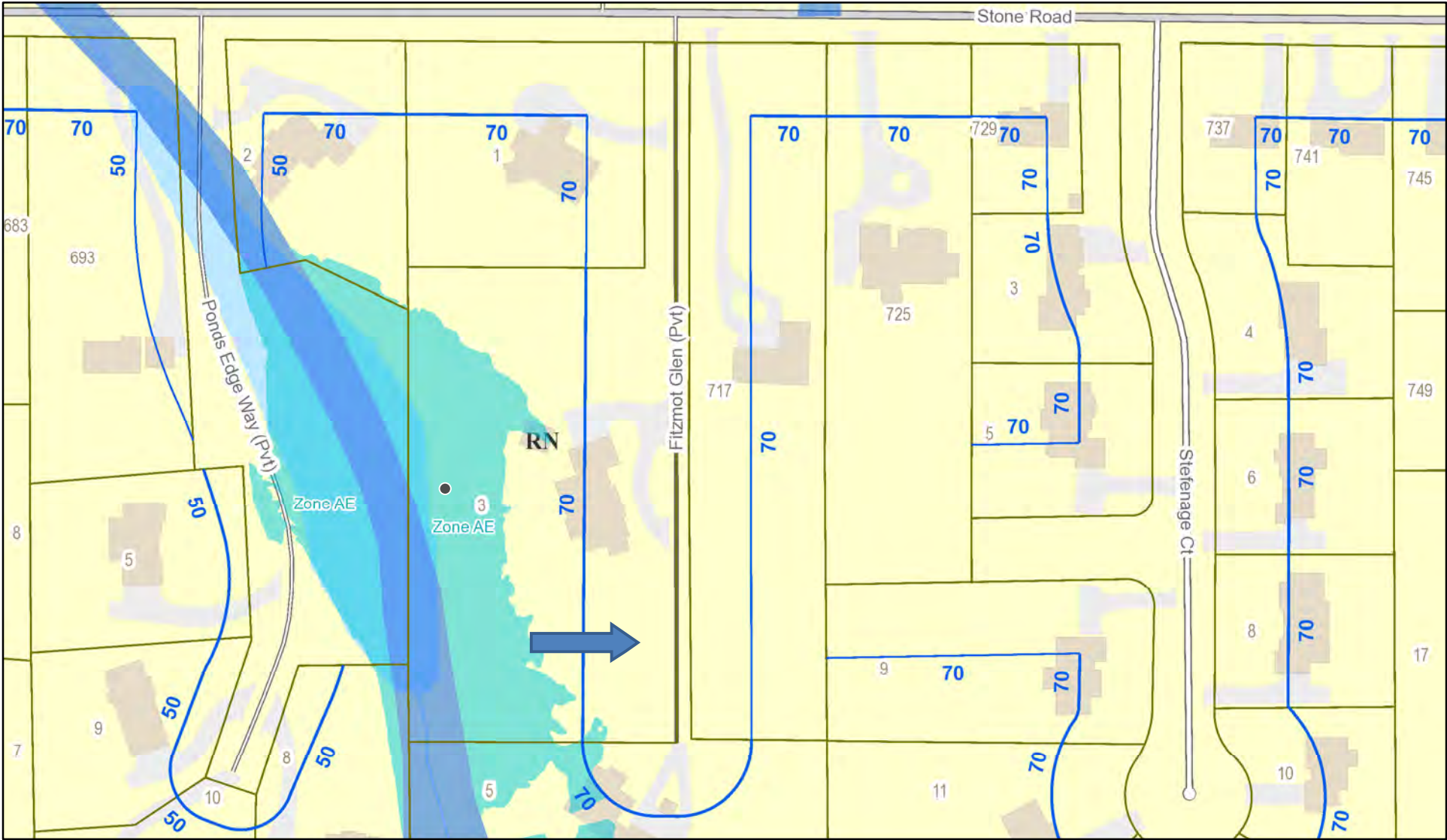
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

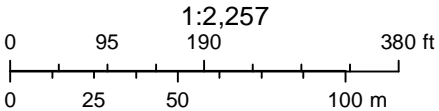
Project Description: Applicant is requesting design review for the addition of 1080 square foot detached garage.

Meeting Date: July 25, 2024

3 Fitzmot Glen



Printed May 28, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



693

Ponds Edge Way

Fitznot Glen

Stefanage Ct

5

9

8

3

711

5

717

717

725

5

9

4

6

8

10

Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

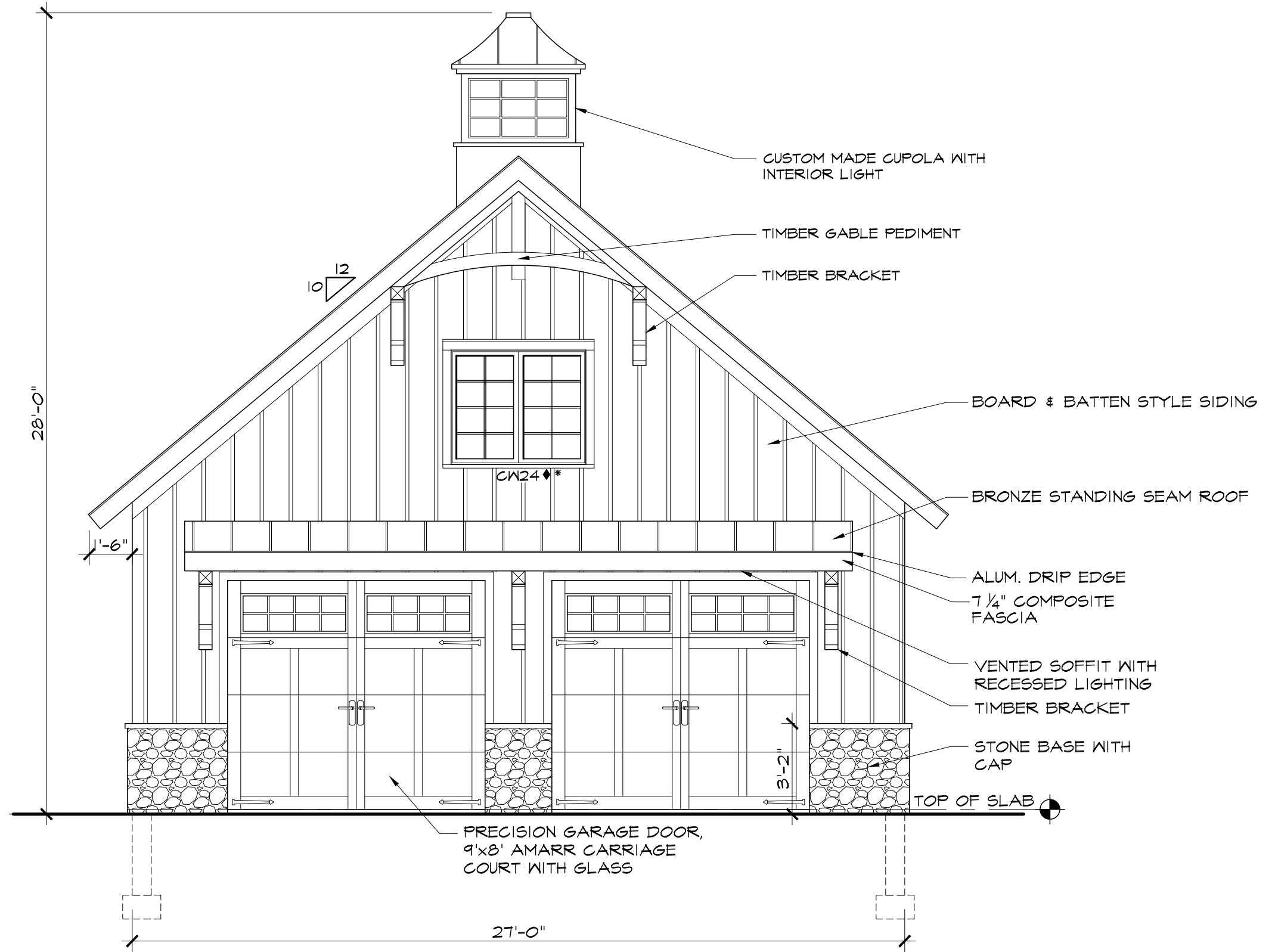
50 ft

nearmap

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104, Fairport, New York 14450
Phone: 585-377-9001 :: www.newdesignworks.com

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EAST ELEVATION

1/4"=1'-0"

WILMOT BARN

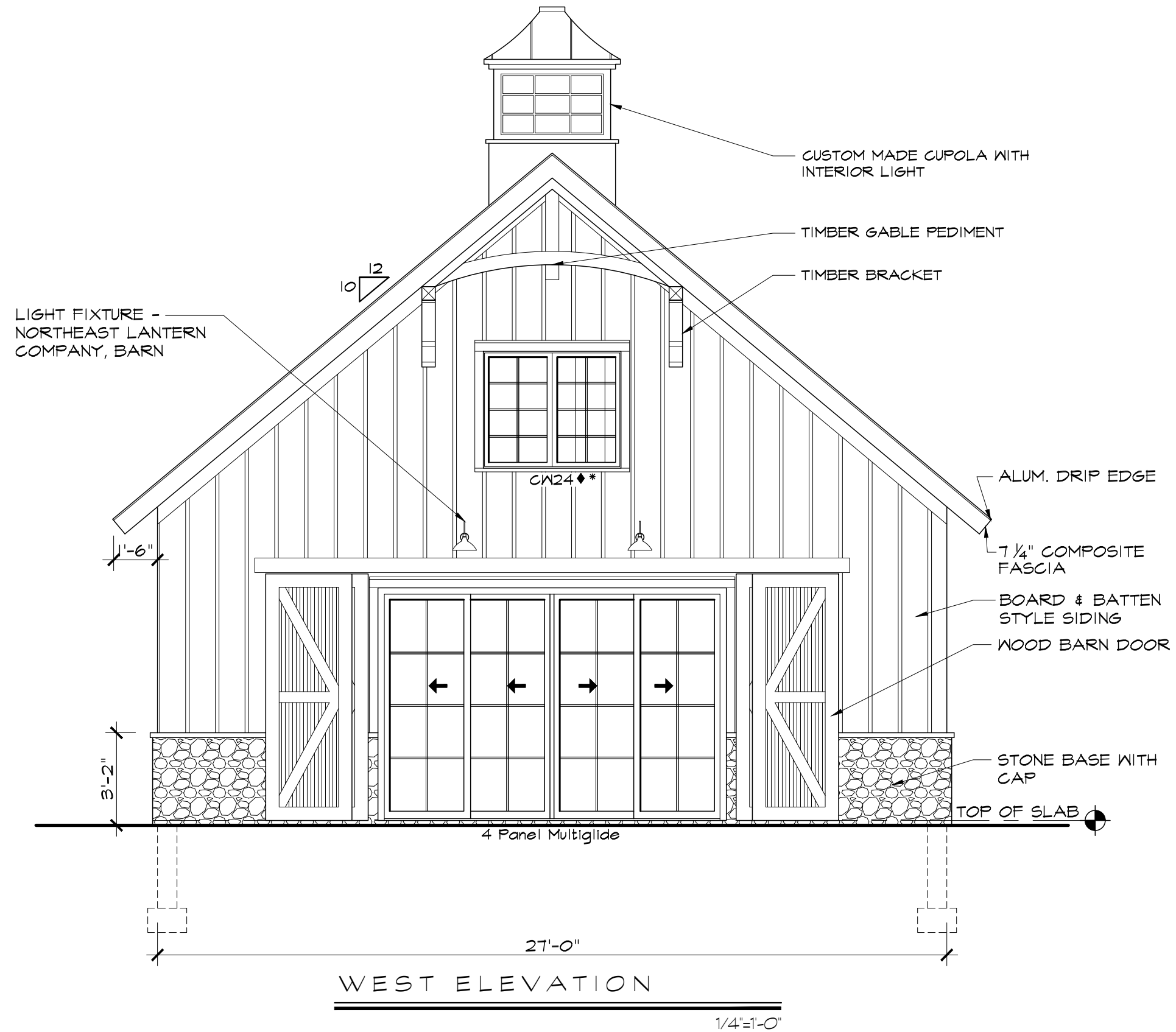
3 FITZMOT GLEN, PITTSFORD

JULY 17, 2024

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104, Fairport, New York 14450
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WILMOT BARN

3 FITZMOT GLEN, PITTSFORD

JULY 17, 2024

DESIGN WORKS ARCHITECTURE

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WILMOT BARN

3 FITZMOT GLEN, PITTSFORD

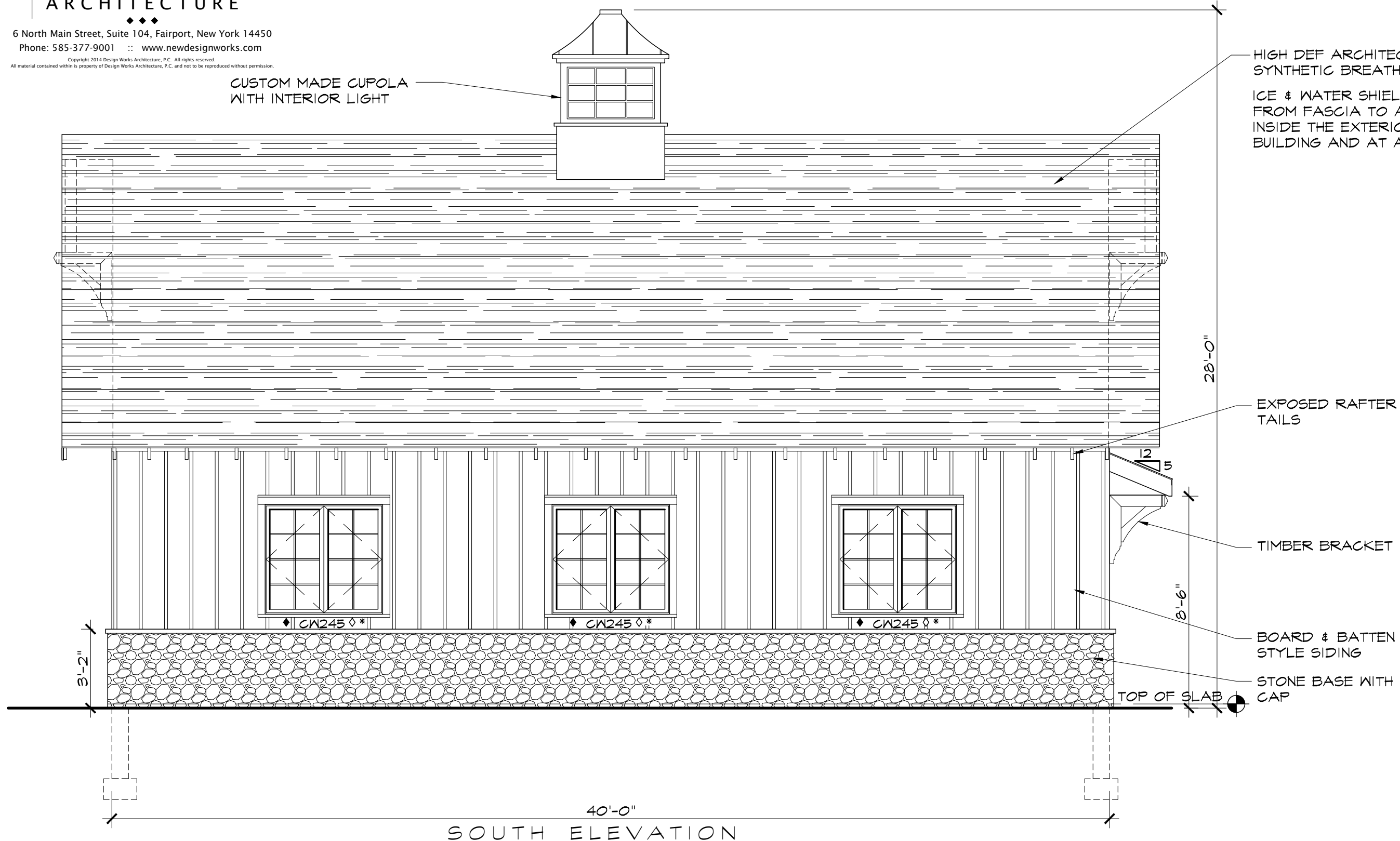
JULY 17, 2024

DESIGN WORKS ARCHITECTURE

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CUSTOM MADE CUPOLA
WITH INTERIOR LIGHT



HIGH DEF ARCHITECTURAL SHINGLES ON
SYNTHETIC BREATHABLE UNDERLAYMENT
ICE & WATER SHIELD TO EXTEND
FROM FASCIA TO A MIN. OF 24"
INSIDE THE EXTERIOR WALL OF THE
BUILDING AND AT ALL VALLEYS

EXPOSED RAFTER
TAILS

TIMBER BRACKET

BOARD & BATTEN
STYLE SIDING

STONE BASE WITH
CAP

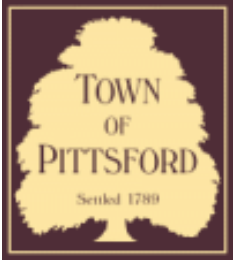
40'-0"
SOUTH ELEVATION

1/4"=1'-0"

WILMOT BARN

3 FITZMOT GLEN, PITTSFORD

JULY 17, 2024



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S24-000001

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Moeller Sign

Application Type:

Residential Design Review

§185-205 (B)

Commercial Design Review

§185-205 (B)

Signage

§185-205 (C)

Certificate of Appropriateness

§185-197

Landmark Designation

§185-195 (2)

Informal Review

Build to Line Adjustment

§185-17 (B) (2)

Building Height Above 30 Feet

§185-17 (M)

Corner Lot Orientation

§185-17 (K) (3)

Flag Lot Building Line Location

§185-17 (L) (1) (c)

Undeveloped Flag Lot Requirements

§185-17 (L) (2)

Project Description: Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.

Meeting Date: July 25, 2024



Citizens

RNT Project

SIGN SUBMITTAL PACKAGE

Pittsford Plaza Rochester, NY



		TABLE OF CONTENTS		VARIANCE		
GENERAL NOTES & PERMIT TIMES		PAGE	SIGN TYPE	COLOR	REQUIRED?	
<p>GC Scope:</p> <ol style="list-style-type: none"> 1. Paint building per color plan provided. 2. Patch and paint holes from all sign removals. 3. Ensure power is provided for new illuminated signs. 4. Provide and install Green bollard covers on all existing bollards. 		2	Site Map			
		3	Future tenant signage			
		SOUTH ELEVATION				
		3	S1 - ICLL-1-18-R - Channel letters, green, illuminated horizontal, 15.09 SF			
		<i>Note: Access panel under eave is needed</i>				
		4	S2 - DSW-1-36-R - Green illuminated daisy on raceway, 9 SF			
<p>ELECTRICAL ACCESS</p> <p>It is recommend for Electrician to put all exterior signage on a single circuit with a timer or photo-cell to allow for signs to illuminate at night only.</p>		EAST ELEVATION				
		5	S3 - ICLL-2-18-R - Channel letters, white, illum horiz raceway, 15.09 SF			
		6	Code Check			
		TOTAL CITIZENS SF: 39.18				

SITE MAP & STREET VIEWS

West Elevation

South Elevation

North Elevation



East Elevation



2655 International Pkwy., Virginia Beach, VA 23452
 PHONE: (757) 427-1900 - FAX: (757) 430-1297
 www.AGI.net

BRANCH NUMBER: **R/C NUMBER:**
REQUIRES VARIANCE: NO YES TBD
BRANCH NAME & ADDRESS:
 Citizens - Pittsford Plaza
 3349 Monroe Avenue
 Rochester, NY
DESIGNER: JR **DATE:** 3/19/2024
REV. DATE: 5/6/2024

CONTACTS
PROJECT MANAGER:
 Devin White
CITIZENS BANK PROJECT MANAGER:

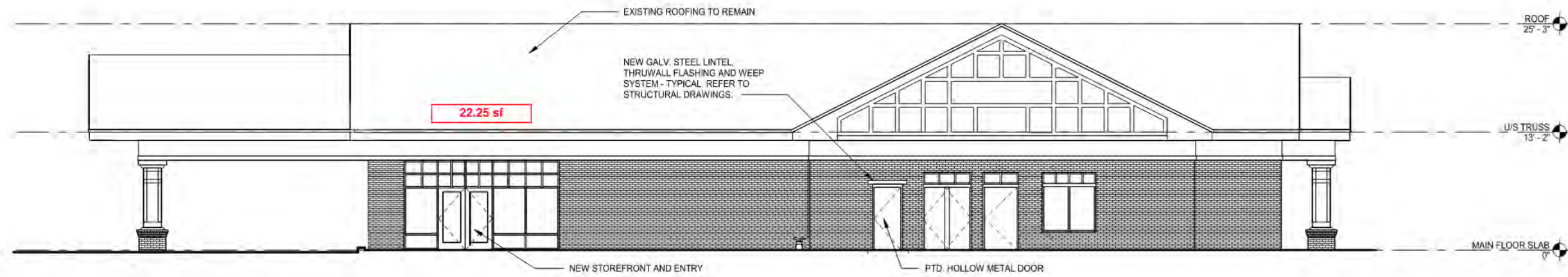
CITIZENS BANK DESIGN MANAGER:
 Wissam Joahari

APPROVAL STAMP:

SITE MAP

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Signage Placement of Future Second Tenant



2 EXTERIOR ELEVATION - West
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - East
SCALE: 1/8" = 1'-0"

Signage to be placed on pitched roof. Similar to Orange theory in the plaza.



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www.AGI.net

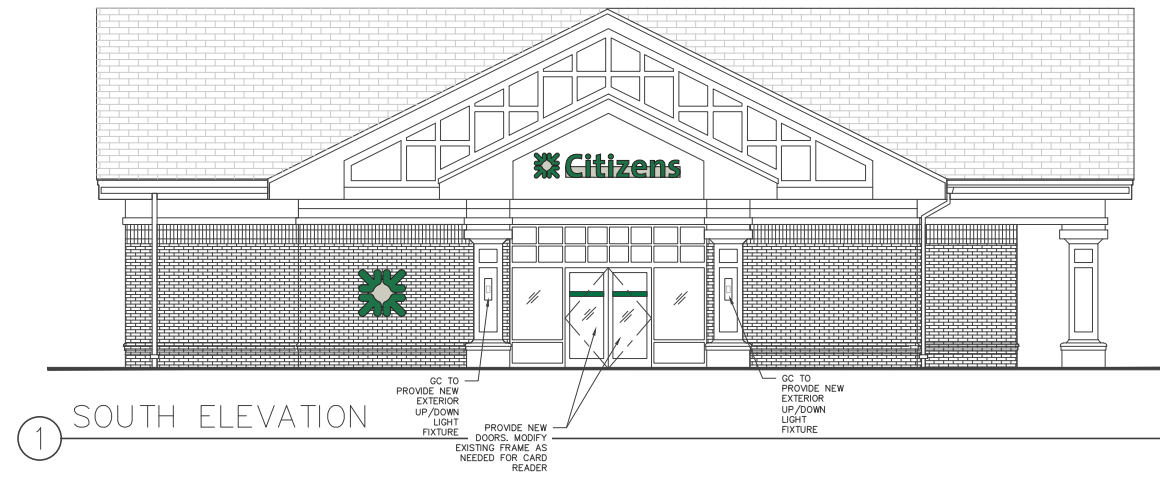
BRANCH NUMBER: **R/C NUMBER:**
REQUIRES VARIANCE: NO YES TBD
BRANCH NAME & ADDRESS:
Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY
DESIGNER: JER **DATE:** 3/19/2021 **REV. DATE:** 3/2024
PATH: O:\Citizens Bank\Site Folders\Pittsford Plaza, NY

CONTACTS
PROJECT MANAGER:
Paige Dewey
CITIZENS BANK PROJECT MANAGER:
Dylan Lincoln
CITIZENS BANK DESIGN MANAGER:
Wissam Joahari

APPROVAL STAMP:

SHEET # Page 3 of 7

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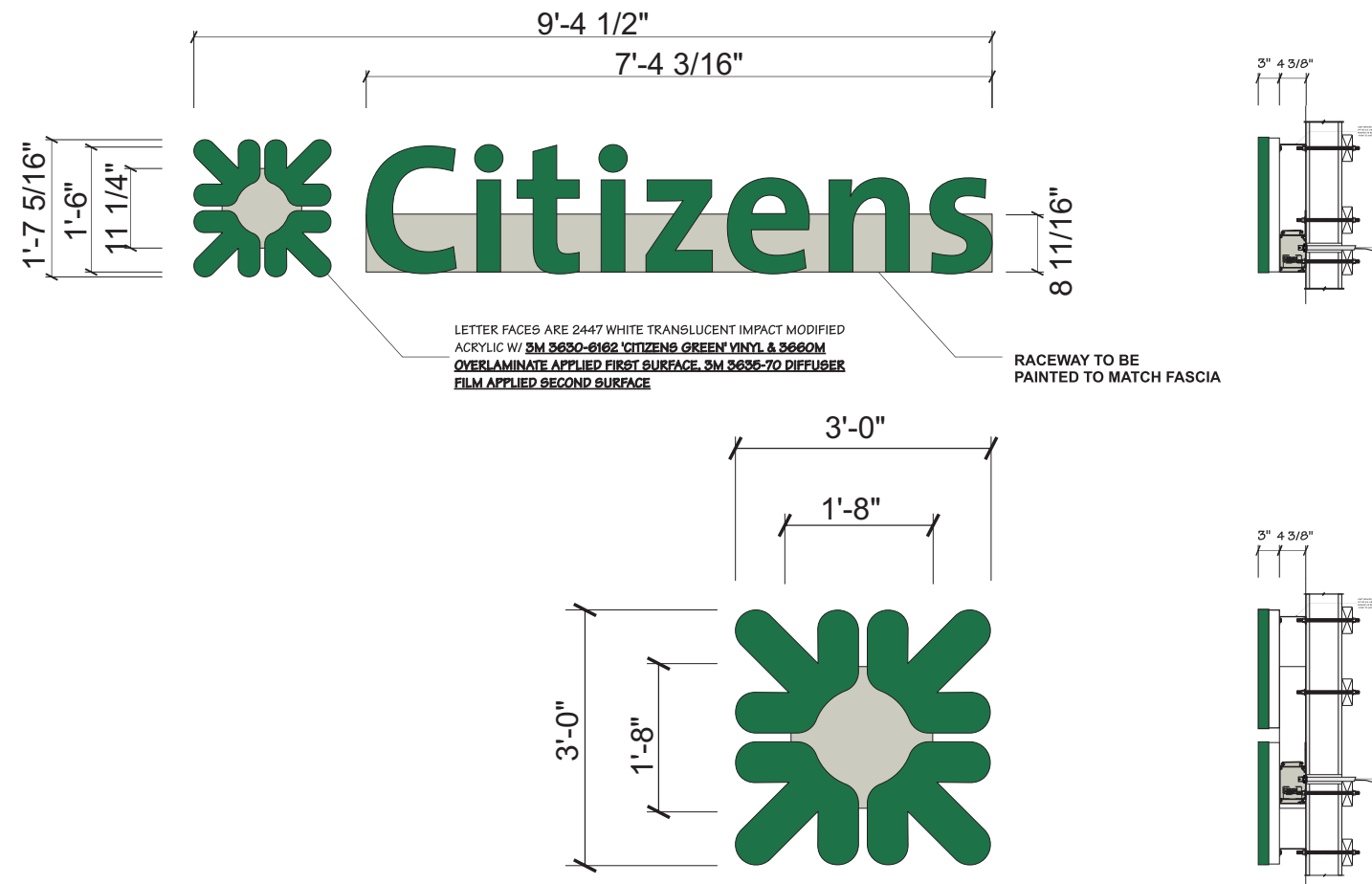


SOUTH ELEVATION

S1 - ICLL-1-18-R - Channel letters, green, illuminated horizontal on raceway
 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF

Note: Access panel under eave is needed

S2 - DSW-1-36-R - Green illuminated daisy on raceway, 9SF



EXISTING



PROPOSED



2655 International Pkwy., Virginia Beach, VA 23452
 PHONE: (757) 427-1900 - FAX: (757) 430-1297
 www.AGI.net

BRANCH NUMBER: **R/C NUMBER:**
REQUIRES VARIANCE: NO YES TBD
BRANCH NAME & ADDRESS:
 Citizens - Pittsford Plaza
 3349 Monroe Avenue
 Rochester, NY
DESIGNER: JR **DATE:** 3/19/2024
REV. DATE: 5/6/2024

CONTACTS
PROJECT MANAGER:
 Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:
 Wissam Joahari

APPROVAL STAMP:

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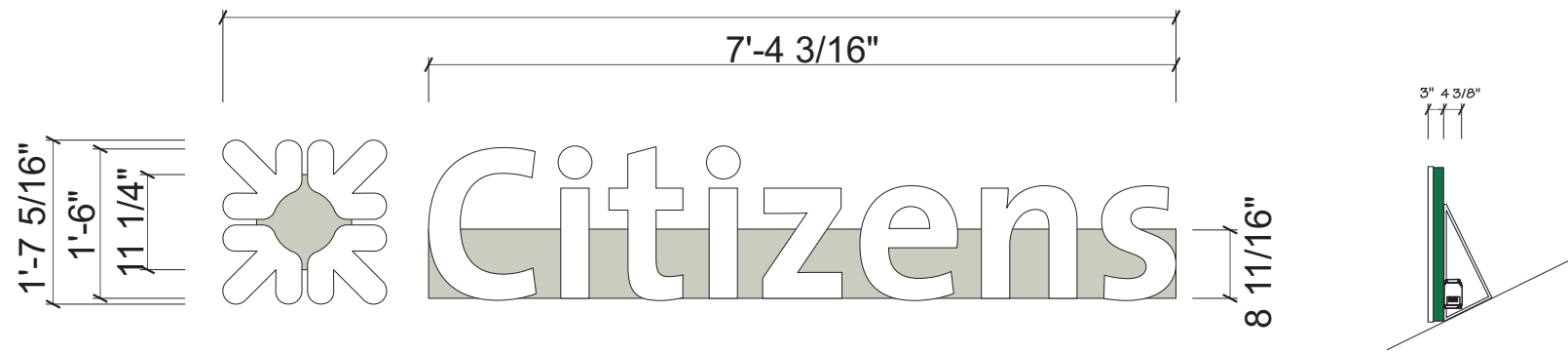
EXISTING



4 EAST ELEVATION

EAST ELEVATION

S3 - ICLL-2-18-R - Channel letters, white, illuminated horizontal on raceway
1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Mount to roof with mansard brackets - Fabrication to be determined



PROPOSED



WEST ELEVATION
NO SIGNAGE PROPOSED

EXISTING



PROPOSED



2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: **R/C NUMBER:**
REQUIRES VARIANCE: NO YES TBD
BRANCH NAME & ADDRESS:
Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY
DESIGNER: JR **DATE:** 3/19/2024
REV. DATE: 5/6/2024

CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:
Wissam Joahari

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NORTH ELEVATION
NO SIGNAGE PROPOSED

EXISTING



2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: **R/C NUMBER:**
REQUIRES VARIANCE: NO YES TBD
BRANCH NAME & ADDRESS:
Citizens - Pittsford Plaza
3349 Monroe Avenue
Rochester, NY
DESIGNER: JR **DATE:** 3/19/2024
REV. DATE: 5/6/2024

CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:
Wissam Joahari

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PRE-PERMIT SIGN INFO

Property ID: **CZN100-Pittsford-001**

A.) Project Name: Citizens-Pittsford Plaza DATE COMPLETED 3/9/21

B.) Street Address: 3349-Monroe Avenue

C.) Town / City / State / Zip: Rochester, NY 14618-5513

D.) Contact for Permit/Zoning: Mark Levitz mlenzi@townofpittsford.org

E.) Contact Telephone: 585-248-6265.

F.) Jurisdiction: City/Town: Town of Pittsford Address: 11 S. Main Street
 or, County of: _____ City, ST Zip: Pittsford, NY 14534

G.) Zoning Classification for property: C- Commercial

H.) Is there a Master Sign Plan? Per Mark: There is a Master Sign Plan. The Sign plan is too large to be emailed.

I.) Is a permit required? Yes.

J.) What documents are required to file for the permit? _____

An application for a sign permit must be accompanied by a scale drawing showing dimensions, proposed design, the legend, colors, materials, structural details, and a location or plot plan specifying other required information.

K.) How long is the permit process? _____
 are there special reviews involved? Per Mark: Yes. All signage would need to be approved by Pittsford Plaza before it can go be approved by the Town.

overlay districts? Per Mark: There is none.

city and county review required? Per Mark: Just the Town, not the County.

design review board / ARB / DRB ? _____

Signs on this property would be reviewed by the Design Review board.
 Meetings: Occur on the second and fourth Thursday of every month.
 The deadline for Design Review is the first and Third Wednesday of every month by 5:00 PM.
 Meetings are held in the lower level meeting room at Town Hall, 11 South Main Street. The meeting begins at 6:45 PM and application review starts around 7:00 PM.

community association review required? Per Mark: No.

L.) What are the fees for a sign permit? Based on the value of the job.

M.) Is engineering needed for wall signs? May be required based on scope of work.

N.) Does engineering require a PE stamp? Yes.

O.) Is landlord approval required? Yes.

P.) Legal Description Required for permit? Yes.

Q.) Plat/Site Plan required for permit? Yes.

ATTACHED SIGNS & WINDOW GRAPHICS

1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary & Secondary signs): Please note: The Sign plan is too large to be sent via email. Per Mark: This Building in the Sign plan is allowed a total of 91.8 Sq. Ft. The Building is currently using a total of 84 sq. ft.

2.) Sq. Ft allowance for bldg. sides / rear: Per Mark: Signs on this Building are allowed on the Façade of the building facing the Plaza and the Façade of the building facing Monroe Avenue. No other elevations are allowed.

3.) How is the sign area calculated? Per Mark: Smallest Rectangle.

4.) Total # Wall Signs allowed per building elevation: Per Mark: One Building Sign facing Pittsford Plaza, and One Building Sign facing Monroe Avenue.

5.) What is the max letter/character height allowed? Cannot exceed roofline

6.) Does the ordinance restrict color, design or illumination?
 (1) In addition to the specifications hereinafter set forth, illumination of signs and buildings shall, where applicable, conform to the Monroe Avenue Design Guidelines, dated April 2, 2002, as amended and supplemented.[1]
 [1] Editor's Note: The Monroe Avenue Design Guidelines are on file in the Town Clerk's office.
 (2) Directional signs may be lit internally, and the intensity of such illumination shall conform to Town standards and shall not exceed the illumination produced by two thirty-six-inch KW (Kool White Lamps).
 (3) No premises in any commercial district and no exterior signs located in any commercial district shall have floodlighting or any other type of illumination unless a permit to that effect has been issued by the Code Enforcement Officer based on the following factors:
 (a) Such signs and lighting shall be in accordance with Illuminating Engineering Society of North America (IES) recommended illumination levels and shall not encroach on adjacent property.
 (b) Such signs and lighting shall be erected, operated and maintained in such manner as to not constitute a nuisance or safety hazard.
 (4) All illuminated signs, with the exception of "ENTER" and "EXIT" signs as described herein, shall be placed on automatic timing devices which will allow illumination to commence each day not sooner than 1/2 hour before the business is open to the public and which will terminate illumination each day not later than 11:00 p.m. local time, unless the business is actively operating and open to the public. Any business actively operating and open to the public after 11:00 p.m. local time shall terminate illumination 1/2 hour after closing.

7.) Does window vinyl need to be permitted, if so how much is allowed? Per Mark: Name of Business and Business hours are allowed, not counted toward the overall sq. ft., but must be a reasonable size. No Window advertising signs are permitted.

8.) Is the entire graphic calculated or just the company logo and name? Entire Graphic.

FREESTANDING SIGNS

1.) Formula for calculating freestanding sign sq. footage (Max Sq Footage- Primary & Secondary signs):
Per Mark: Individual Freestanding signs are not permitted on this site. It would be the responsibility of the Landlord to allocate tenant panel allowances on the current Multi-Tenant Freestanding sign.

2.) # F/S Signs allowed: _____ Internal illumination allowed: _____

3.) Height Maximum: _____ Clearance from grade to sign: _____

4.) Set-back of sign from right-of-way or property line: _____

DIRECTIONAL SIGNS

5.) Number Allowed: Directional signs. Directional signs such as "ENTER" and "EXIT" shall be permitted to facilitate traffic flow entering and exiting properties. Number allowed determined at Site plan review. Maximum Square Footage: Such signs shall not exceed 36 inches in width by 18 inches in height

6.) Illumination Allowed? Directional signs may be lit internally, and the intensity of such illumination shall conform to Town standards and shall not exceed the illumination produced by two thirty-six-inch KW (Kool White Lamps). Maximum Height: Shall not exceed 40 inches' total height above grade nor obstruct the sight distance of drivers of motor vehicles.

7.) Permit Required?: Yes. Per Mark: All signs need to approved by the Pittsford Plaza and then the Design Review Board before the Town will approve. Customer Logo Allowed: Per Mark: No customer logos are permitted. []Such signs shall be limited to "ENTER" and "EXIT" signs bearing no advertising and to signs related to public safety as deemed necessary by the Commissioner of Public Works or state Department of Transportation.

Note: []Such signs shall not be placed within the road right-of-way without the written consent of the governmental unit having jurisdiction of the location.
 []Such signs may include street numbers.



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TEMPORARY BANNERS

1.) What temporary sign types are allowed? **Per Mark: They are not allowed for this Site: they are only allowed for Grand opening Signs for new Businesses.**

2.) What is the max sign size area? _____

3.) How is the sign area calculated? _____

4.) Are logos factored into sign area? _____

5.) How many signs per elevation? _____

6.) How long can signs be up? _____

7.) Does the ordinance restrict color, design or illumination? _____

VARIANCE INFORMATION

1.) Variance cost? **Per Mark: Variances are not permitted for this property. The Sign plan would have to be amended.**

2.) Variance time frame? _____

3.) Variance document deadline? _____

4.) Variance meeting dates? _____

5.) Variance documents required? _____

6.) How many sets? _____

7.) Likelihood of variance approval? _____

DOCUMENTS REQUIRED FOR PERMITS

Scaled Plot plan	<input checked="" type="checkbox"/>	Building elevations	<input checked="" type="checkbox"/>	Elevation Drawings	<input checked="" type="checkbox"/>	Electrical Permit	<input checked="" type="checkbox"/>
Installation drawings	<input checked="" type="checkbox"/>	Legal description	<input checked="" type="checkbox"/>	Sealed engineering drawings	<input checked="" type="checkbox"/>	Notice of Commencement	<input type="checkbox"/>
Sign drawings	<input checked="" type="checkbox"/>	Photo of existing	<input checked="" type="checkbox"/>	Property Manager's Approval	<input checked="" type="checkbox"/>		

Link of Sign Code:
<https://www.ecode360.com/6437086>

The recipient of this code check understands and agrees to the following: This code check is not exclusive and should not be used in place of the sign ordinance/code for said city. Please use the definitions, prohibitions and exemptions of the ordinance in conjunction with this code check. This code check is good for the day on which it is completed only. Information contained herein is a guideline and should not in any way be taken as a permit approval. Signs should not be produced until the permit has been issued. Zoning approval is often subject to interpretation that said official makes of the ordinance for their city/county/township. This code check is completed without the knowledge of specific project details and Expedite The Diehl does not assume any liability, we simply provide the code information based on the current code. This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. It is understood that a permit will be obtained prior to manufacture, if required by authorities. This code check is provided with the assumption that you will get the landlord / property owner approval. This information herein is limited to what the city has told us and we cannot be responsible if they do not inform us that a sign plan is in place. We strongly encourage you to check your lease for sign criteria and to apply for permits before manufacturing a sign.



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