

**AGENDA
TOWN OF PITTSFORD
PLANNING BOARD
FEBRUARY 12, 2024**

This agenda is subject to change.

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, February 12, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

CONTINUED HEARINGS

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

Victorian Estates Resubdivision (3096/3092 Clover Street)
Preliminary/Final Subdivision

OTHER BUSINESS

Approval of Minutes

The next scheduled meeting is for Monday, February 26, 2024.



Engineers & Surveyors

January 31, 2024

Town of Pittsford
11 South Main Street
Pittsford, NY 14534

Attn: Town Planning Board

Re: 215 Mendon Road
T/A #164.030-01-033

Dear Mr. Chairman and Members of the Board,

On behalf of our client, Eric Geoca, we are submitting the attached application for Preliminary and Final Plan review of a four (4) lot subdivision at the captioned property. We are proposing to subdivide the 3.22 acre property into four (4) lots. The property is in the RN zoning district and each of the lots as proposed has been sized to preserve the context of the surrounding neighborhood.

Lot 1 will encompass the existing home while Lots 2, 3 and 4 will be developed with new single family homes. Lot 2 will access Mendon Center Road (NYS Rt. 253) and Lot 3 and 4 will access Mendon Road (NYS Rt. 64).

We have shown a 80 foot wide reservation for a future highway crossing the property.

The exact route of the sanitary sewer connection is still under consideration. We have provided a plan and profile for the southerly connection. All of the homeowners along the path of the proposed sewer will need to provide easements along their frontage to make this route feasible.

Our plans contain 3 new lots south of the proposed highway reservation which was a preferred option by the Planning Board at their June 12, 2023 meeting.

DRHPB comments received at the June 26th Planning Board meeting have been reviewed and noted.

A new SEQRA short form document is included with this application.

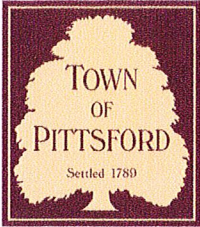
We look forward to presenting this application to the Board. Should you have any questions or require additional information, please contact me.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'Alfred I. LaRue', with a long horizontal stroke extending to the right.

Alfred I. LaRue, L.S.

xc: Eric Geoca



TOWN OF PITTSFORD SUBDIVISION APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: GEOCA SUBDIVISION

LOCATION: 215 MENDON ROAD, PITTSFORD, NY 14534

TAX ACCOUNT NO: 164.03-01-033

OWNER: ERIC GEOCA APPLICANT: ERIC GEOCA

ADDRESS: 19 APOLLONIA LANE ADDRESS: 19 APOLLONIA LANE

CITY, ST ZIP: FAIRPORT, NY 14450 CITY, ST ZIP: FAIRPORT, NY 14450

PHONE: (585) 733-7303 PHONE: (585) 733-7303

FAX: _____ FAX: _____

E-MAIL: _____ E-MAIL: DGeoca@aol.com

AGENT: McMAHON LaRUE ASSOCIATES

ADDRESS: 822 HOLT ROAD

CITY, ST ZIP: WEBSTER, NY 14580

PHONE: (585) 436-1080 FAX: _____

E-MAIL: alarue@mcmahon-larue.com

BRIEF DESCRIPTION OF PROJECT: to subdivide the existing 3± acre parcel into 3, 1± acre lots with site grading and utility improvements for two proposed residences

REQUEST FOR: Concept Subdivision
(Please Preliminary Subdivision
check all Final Subdivision
applicable)

Special Permit
 Preliminary Site Plan
 Final Site Plan

HEARING DATE REQUESTED: 02/12/2024

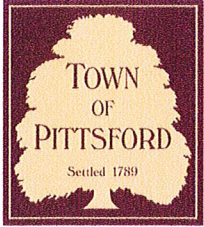
Square Footage of Building: _____

Total Acreage of Disturbance: 1.5 ACRES

ZONING CLASSIFICATION: RN SIZE OF PARCEL: 3.223 ACRES

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? NO YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: _____
(Municipality)



TOWN OF PITTSFORD SUBDIVISION AUTHORIZATION TO MAKE APPLICATION

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, ERIC GEOCA, the owner of the property located

at: 215 MENDON ROAD PITTSFORD 14534
(Street) (Town) (Zip)

Tax Parcel # 164.03-01-033 do hereby authorize

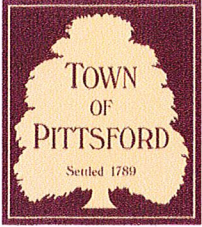
McMAHON LaRUE ASSOCIATES to make application to the

Town of Pittsford Planning Board, 11 South Main Street, Pittsford NY 14534 for the

purpose(s) of SUBDIVIDING 215 MENDON ROAD

Signature of Owner

Date



TOWN OF PITTSFORD

LISTING OF ABUTTERS

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

The undersigned, being an Applicant for approval of...

site plan

special permit

subdivision

...for property at: 215 MENDON ROAD

Tax Parcel # 164.03-01-033 submits the following list of names and addresses of all owners of properties which either directly abut or are located across the street from the property lines of the subject property.

If there are other properties in close proximity which might be effected by this proposal, please include the names and addresses of those properties as well.

Signature of Applicant

01/31/2024

Date

LIST OF PROPERTIES ABUTTING OR ACROSS THE STREET FROM SUBJECT PROPERTY

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

GEOCA SUBDIVISION

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board *Zoning Board of Appeals* *Planning Board* *Design Review Board*

...of the Town of Pittsford, for a...

change of zoning *special permit* *building permit* *permit* *amendment*
 variance *approval of a plat* *exemption from a plat or official map*

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



Signature of Applicant

01/31/2024

Dated

822 HOLT ROAD

Street Address

WEBSTER, NY 14580

City/Town, State, Zip Code

Short Environmental Assessment Form

Part 1 - Project Information

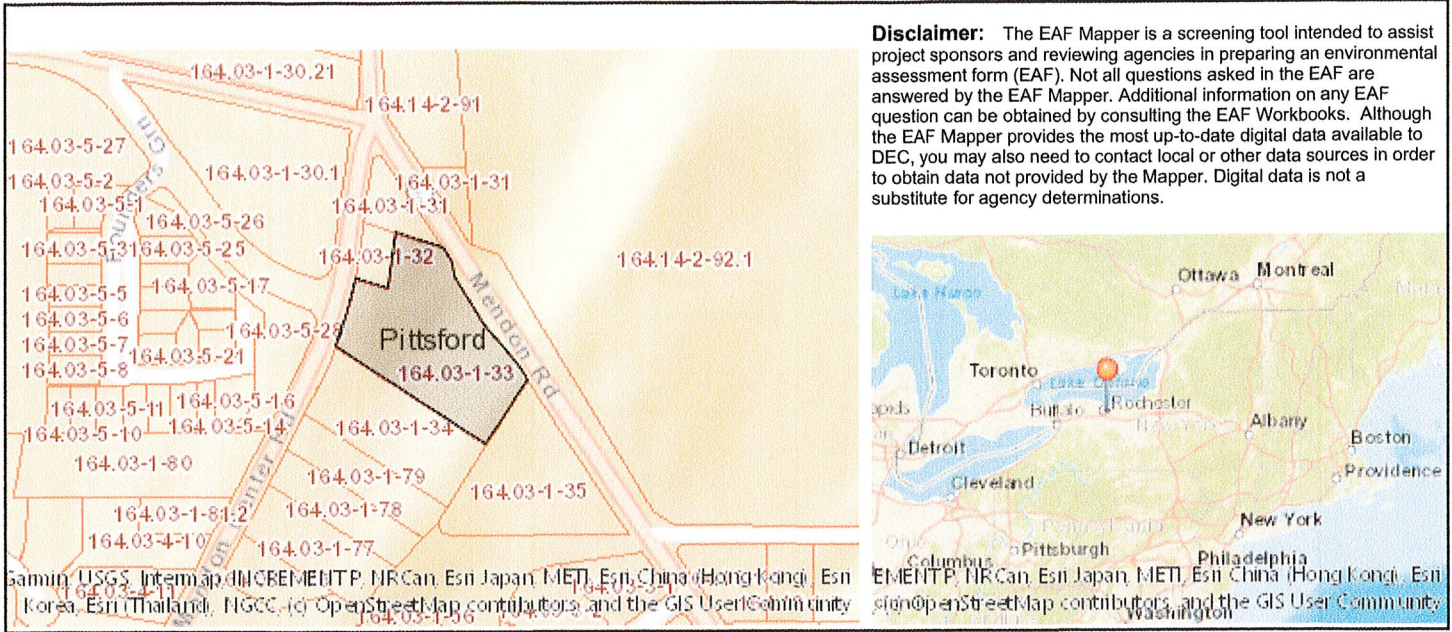
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

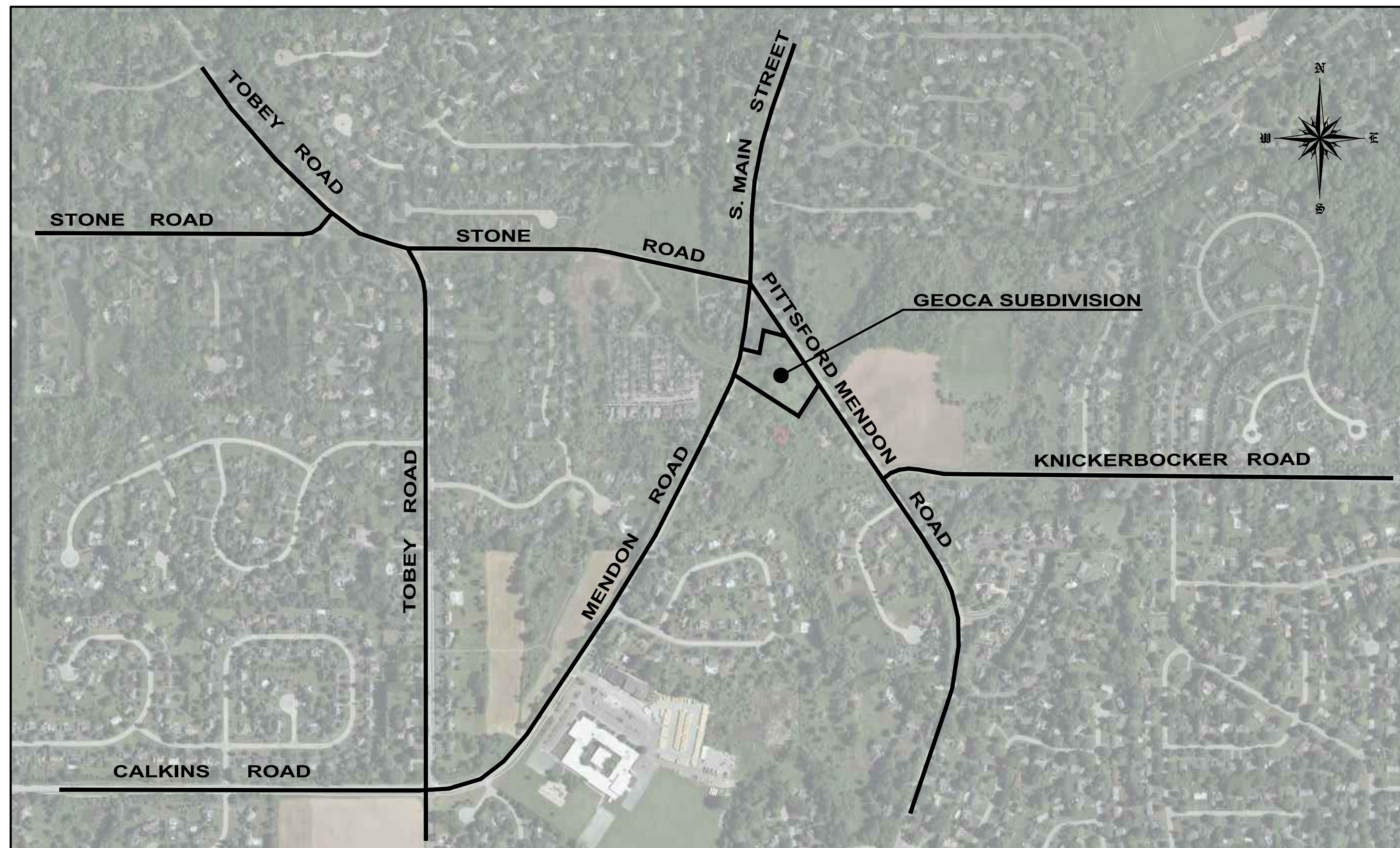
Part 1 – Project and Sponsor Information			
Name of Action or Project: GEOCA SUBDIVISION			
Project Location (describe, and attach a location map): 215 MENDON ROAD, WEST SIDE OF ROAD BETWEEN MENDON CENTER ROAD AND KNICKERBOCKER ROAD			
Brief Description of Proposed Action: SUBDIVIDE A 3.22 ACRE PARCEL INTO 4 LOTS. LOT 1 WILL ENCOMPASS THE EXISTING RESIDENCE AND LOTS 2, 3 AND 4 WILL BE DEVELOPED AS SINGLE FAMILY HOMES			
Name of Applicant or Sponsor: ERIC GEOCA		Telephone: E-Mail: DGEOCA@AOL.COM	
Address: 19 APOLLONIA LANE			
City/PO: FAIRPORT		State: NY	Zip Code: 14450
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 3.22 acres b. Total acreage to be physically disturbed? _____ 1.5 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 3.22 acres			YES <input checked="" type="checkbox"/>
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
	<input type="checkbox"/>		<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES
If Yes, identify: _____	<input checked="" type="checkbox"/>		<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>		<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>		<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>		<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>		<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>		<input checked="" type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES
	<input checked="" type="checkbox"/>		<input type="checkbox"/>
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>		<input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>		<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

PRELIMINARY/FINAL DRAWINGS FOR **GEOCA SUBDIVISION** TOWN OF PITTSFORD MONROE COUNTY, NEW YORK JANUARY 2024



DRAWING INDEX:

SH#	DESCRIPTION
1.	COVER SHEET
2.	SUBDIVISION PLAT
3.	EXISTING CONDITIONS AND DEMOLITION PLAN
4.	SITE GRADING AND EROSION CONTROL PLAN
5.	UTILITY PLAN
6.	SANITARY SEWER EXTENSION PLAN
7.	SANITARY SEWER PROFILE
8.	NOTES AND DETAILS
9.	NOTES AND DETAILS

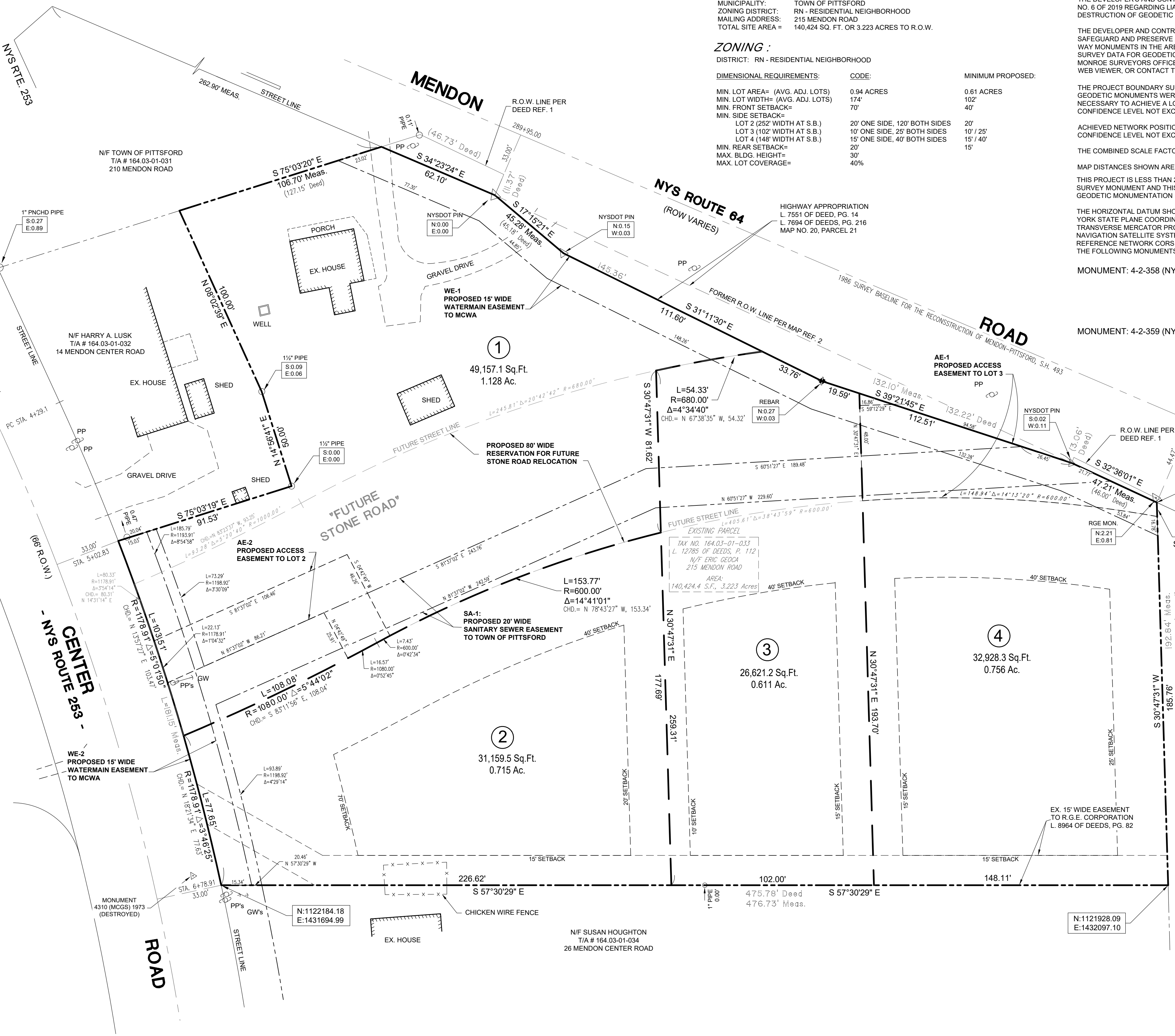
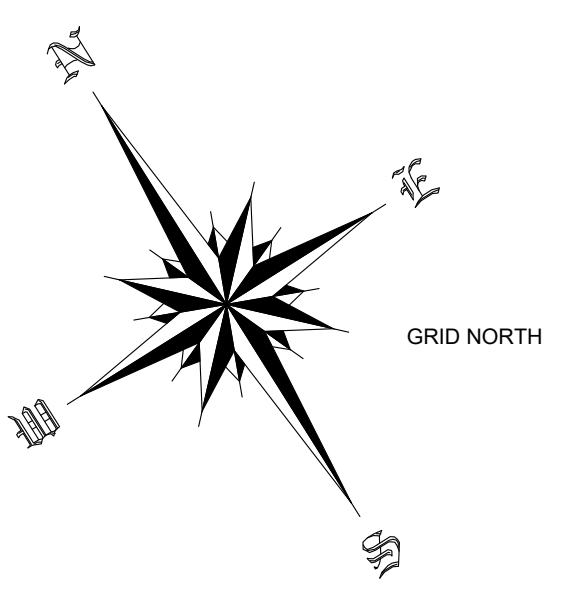
McMahon LaRue Associates
 ENGINEERS AND SURVEYORS

822 HOLT ROAD
 WEBSTER, NY 14580
 (585)-436-1080
 WWW.MCMAHON-LARUE.COM

CLIENT:
 GEOCA HOMES, LLC
 19 APPOLONIA LANE
 FAIRPORT, NEW YORK 14450

PROJECT:
 GEOCA SUBDIVISION
 215 MENDON ROAD

COVER	CADD FILE: 1185-04
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FEMA NOTE:
THE SURVEYED PARCEL OF LAND DOES NOT FALL WITHIN A REGULATED SPECIAL FLOOD HAZARD AREA PER FEMA MAP NUMBER 36055C0359G; EFFECTIVE AUGUST 28, 2008.

WETLAND NOTE:
THE SURVEYED PARCEL OF LAND IS NOT SHOWN TO CONTAIN A REGULATED STATE WETLAND HABITAT PER INVENTORY MAPS PROVIDED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

SURVEY CONTROL NOTES:
-BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, NAD1983 (2011)-NY WEST ZONE.
*DISTANCES ARE SHOWN AT GROUND (US SURVEY FOOT)
*NORTH ARROW REFERENCED TO GRID NORTH

0 30 60 90
GRAPHIC SCALE: 1" = 30'

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
REALTY SUBDIVISION APPROVAL **NOT** REQUIRED FOR THE FILING OF THIS MAP IN THE MONROE COUNTY CLERK'S OFFICE.

BY: _____ DATE: _____
NOTE: OTHER DEPARTMENT OF PUBLIC HEALTH APPROVALS MAY BE NEEDED

THIS PLAN IS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 239-F, ARTICLE 12-B OF THE GENERAL MUNICIPAL LAW AND/OR THE MONROE COUNTY MONUMENTATION LAW. A SEPARATE APPROVAL IS REQUIRED FOR SITE CONSTRUCTION.

FOR THE GENERAL MUNICIPAL LAW:
MONROE COUNTY HIGHWAY SUPERINTENDENT _____ DATE _____
FOR THE MONROE COUNTY MONUMENTATION LAW:
MONROE COUNTY SURVEYORS OFFICE _____ DATE _____

TAXES PAID STAMP
I THE UNDERSIGNED TREASURER OF MONROE COUNTY, PURSUANT TO SECT. 334 OF THE REAL PROPERTY LAW, CERTIFY THAT ALL MONROE COUNTY TAXES AND SCHOOL TAXES AGAINST THE LAND DESCRIBED HEREIN HAVE BEEN PAID THROUGH

DATED: _____
ROBERT FRANKLIN
MONROE COUNTY TREASURER

BY: _____

SITE DATA:
TAX NUMBER: 164.03-01-033
MUNICIPALITY: TOWN OF PITTSFORD
ZONING DISTRICT: RN - RESIDENTIAL NEIGHBORHOOD
MAILING ADDRESS: 215 MENDON ROAD
TOTAL SITE AREA = 140,424 SQ. FT. OR 3.223 ACRES TO R.O.W.

ZONING:
DISTRICT: RN - RESIDENTIAL NEIGHBORHOOD

DIMENSIONAL REQUIREMENTS:	CODE:	MINIMUM PROPOSED:
MIN. LOT AREA= (AVG. ADJ. LOTS)	0.94 ACRES	0.61 ACRES
MIN. LOT WIDTH= (AVG. ADJ. LOTS)	174'	102'
MIN. FRONT SETBACK=	70'	40'
MIN. SIDE SETBACK=		
LOT 2 (252' WIDTH AT S.B.)	20' ONE SIDE, 120' BOTH SIDES	20'
LOT 3 (102' WIDTH AT S.B.)	10' ONE SIDE, 25' BOTH SIDES	10' / 25'
LOT 4 (148' WIDTH AT S.B.)	15' ONE SIDE, 40' BOTH SIDES	15' / 40'
MIN. REAR SETBACK=	20'	30'
MAX. BLDG. HEIGHT=	30'	15'
MAX. LOT COVERAGE=	40%	

MONUMENTATION DATA:
THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 2019 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.

THE DEVELOPER AND CONTRACTOR MUST LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT OF WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA FOR GEODETIC CONTROL MONUMENTS, GO TO THE COUNTY OF MONROE SURVEYORS OFFICE WEBSITE AND ACCESS THE GIS BASED INTERNET WEB VIEWER, OR CONTACT THE MONROE COUNTY SURVEYORS OFFICE.

THE PROJECT BOUNDARY SURVEY AND TIES TO MONROE COUNTY GEODETIC MONUMENTS WERE MADE USING PROCEDURES NECESSARY TO ACHIEVE A LOCAL POSITIONAL ACCURACY AT 95% CONFIDENCE LEVEL NOT EXCEEDING 0.025 FEET.

ACHIEVED NETWORK POSITIONAL ACCURACY AT TWO SIGMA, 95% CONFIDENCE LEVEL NOT EXCEEDING 0.05 FEET.

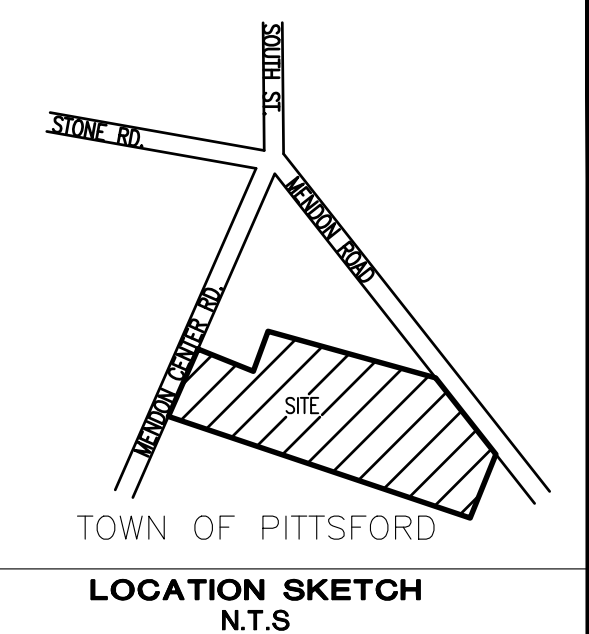
THE COMBINED SCALE FACTOR IS 0.99999256

MAP DISTANCES SHOWN ARE GROUND LEVEL DIMENSIONS.

THIS PROJECT IS LESS THAN 2,500 FEET FROM THE NEAREST GEODETIC SURVEY MONUMENT AND THIS PROJECT IS TIED INTO THE MONROE COUNTY GEODETIC MONUMENTATION NETWORK.

THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WEST ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 83 (2011) UTILIZING GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) OBSERVATIONS FROM THE NYSDOT REFERENCE NETWORK CORS STATION (NYFP 0032) WITH CONTROL TIES TO THE FOLLOWING MONUMENTS:

MONUMENT:	PUBLISHED:	MEASURED:
4-2-358 (NYSDOT)	N= 1,121,855.284 E= 783,986.606 Z= - (NAD27/NGVD29)	N= 1,121,894.557 E= 1,432,345.458 Z= - (NAD83/NAVD88)-[2011]
4-2-359 (NYSDOT)	N= 1,122,743.307 E= 783,458.847 Z= - (NAD27/NGVD29)	N= 1,122,782.672 E= 1,431,817.672 Z= 585.226 (NAD83/NAVD88)-[2011]



DATE	REVISIONS	BY

DRAWING ALTERATION
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING:
"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDING 'ALTERED BY' FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."



822 HOLT ROAD
WEBSTER, NY 14580
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CLIENT:
GEOCA HOMES, LLC
19 APOLLONIA LANE
FAIRPORT, NEW YORK
14450

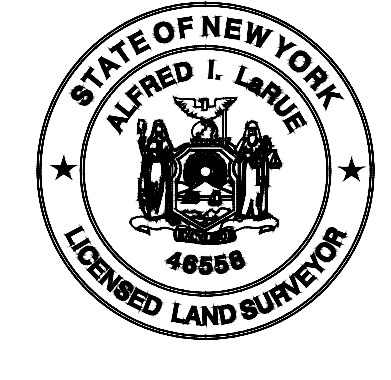
PROJECT:
GEOCA SUBDIVISION
215 MENDON ROAD

DRAWING:
PRELIMINARY / FINAL
SUBDIVISION PLAT

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY: AIL, GWM
DRAWN BY: JAT
CHECKED BY: AIL, BJW
S.B.L. #: 164.03-01-033
PROJ. NO.: 1185-04
DATE: JANUARY 2024
SCALE: 1" = 30'

2 SHEET OF 9 CADD FILE: 1185-04



SIGNATURES:

PLANNING BOARD CHAIRPERSON _____

TOWN ENGINEER _____

TOWN SUPERVISOR _____

COMMISSIONER OF PUBLIC WORKS _____

CERTIFICATION
I hereby certify to the parties listed here under that this map was made using the reference material listed hereon and the notes of an instrument survey performed in accordance with the current standards of the New York State Association of Professional Land Surveyors completed on JUNE 12, 2014.

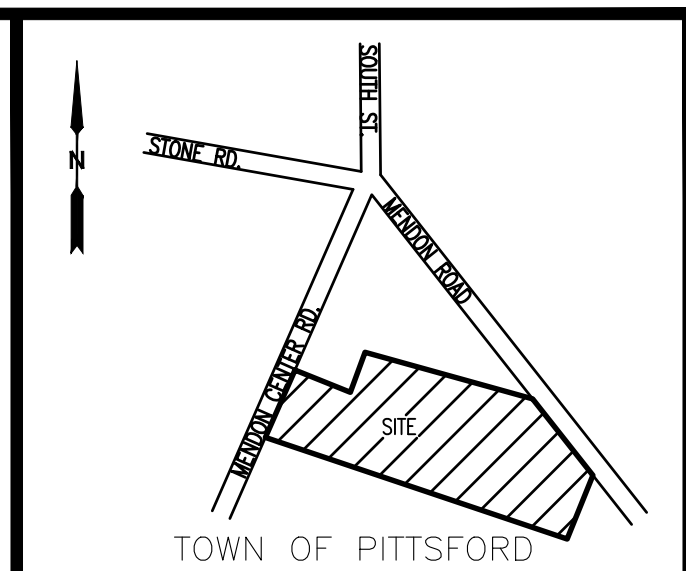
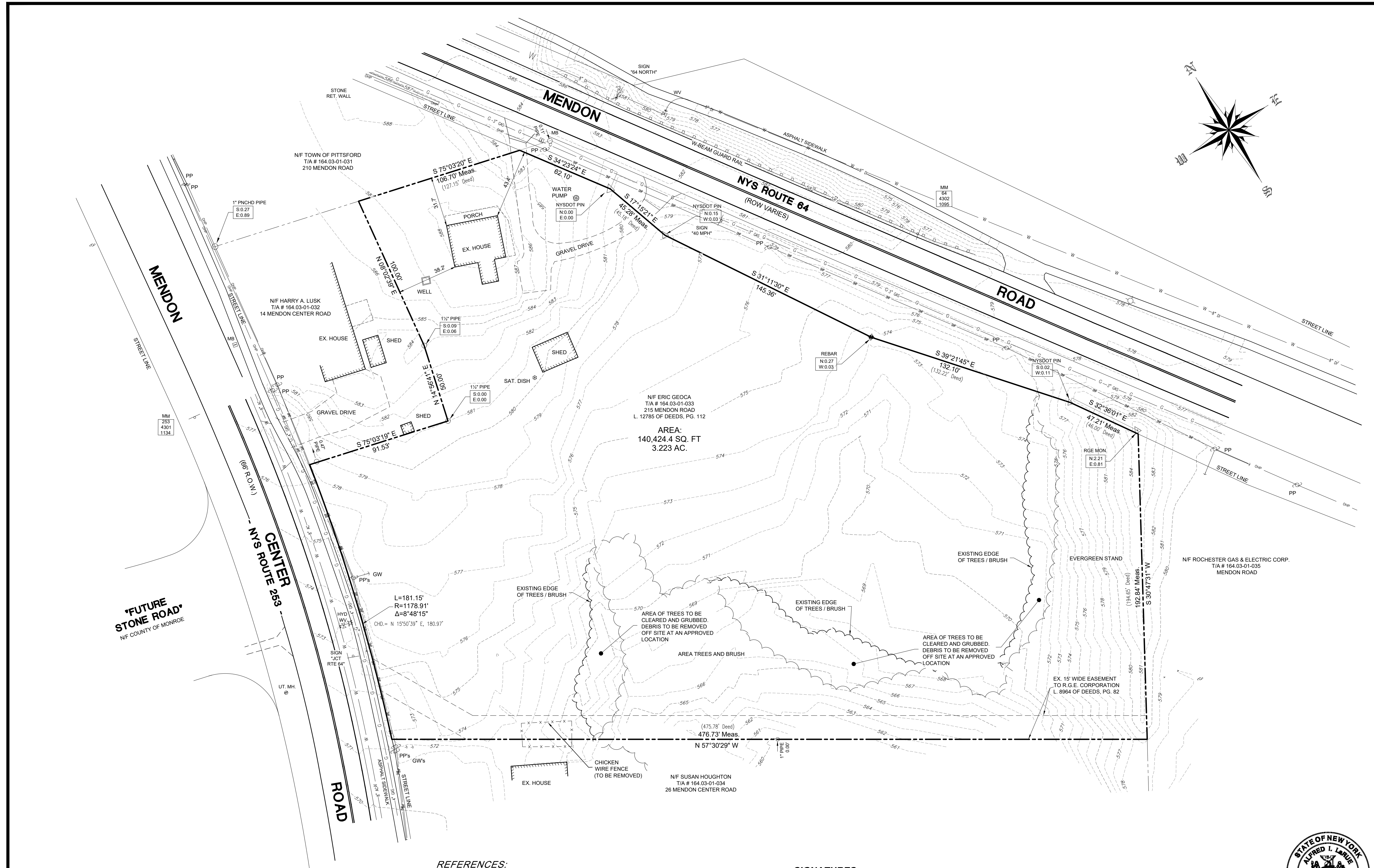
-ERIC GEOCA

ABSTRACT OF TITLE:
AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THIS SURVEY.

SUBDIVISION NOTE:
1. APPROVAL OF THIS SUBDIVISION DOES NOT CONSTITUTE BUILDING LOT APPROVAL. A SITE PLAN WILL NEED TO BE APPROVED BY THE TOWN OF PITTSFORD.

REFERENCES:
1. LIBER 12785 OF DEEDS, PAGE 112 [LANDS CONVEYED TO ERIC GEOCA (SUBJECT PARCEL)]
2. MAP OF A SURVEY, PREPARED BY COLTON LAND SURVEYING DATED 7/13/05, PROJECT NO. 05-082. (SUBJECT PARCEL)
3. LIBER 1172 OF APPROPRIATIONS, PAGE 78 BEING MAP NO. 20, PARCEL 21 OF MENDON-PITTSFORD STATE HIGHWAY NO. 493
4. PLANS FOR RECONSTRUCTION A PORTION OF THE PITTSFORD-NORTH HENRIETTA, COUNTY HIGHWAY NO. 497

Alfred I. LaRue, N.Y.S.P.L.S. # 046558



DATE	REVISIONS	BY

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McMahon LaRue Associates
 ENGINEERS AND SURVEYORS

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CLIENT:
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 19 APOLLONIA LANE
 FAIRPORT, NEW YORK
 14450

PROJECT:
GEOCA SUBDIVISION
 215 MENDON ROAD

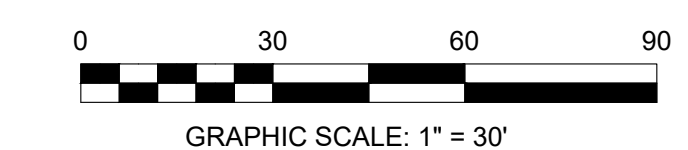
DRAWING:
PRELIMINARY / FINAL EXISTING CONDITIONS and DEMOLITION PLAN

PART OF TOWN LOT 18
 TOWNSHIP 12, RANGE 6
 PHELPS AND GORHAM PURCHASE
 TOWN OF PITTSFORD, MONROE COUNTY
 STATE OF NEW YORK

DESIGNED BY: AIL, GWM
 DRAWN BY: JAT
 CHECKED BY: AIL, BJW
 S.B.L. #: 164.03-01-033
 PROJ. NO.: 1185-04
 DATE: JANUARY 2024
 SCALE: 1" = 30'

3 SHEET OF 9 CADD FILE: 1185-04

SURVEY CONTROL NOTES:
 -BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM: NAD 1983 (2011)-NY WEST ZONE.
 -ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988, GEOID MODEL 2018.
 -DISTANCES ARE SHOWN AT GROUND
 -NORTH ARROW REFERENCED TO GRID NORTH



- REFERENCES:**
- LIBER 12785 OF DEEDS, PAGE 112 (LANDS CONVEYED TO ERIC GEOCA (SUBJECT PARCEL))
 - MAP OF A SURVEY, PREPARED BY COLTON LAND SURVEYING DATED 7/13/05, PROJECT NO. 05-082. (SUBJECT PARCEL)
 - LIBER 1172 OF APPROPRIATIONS, PAGE 78 BEING MAP NO. 20, PARCEL 21 OF MENDON-PITTSFORD STATE HIGHWAY NO. 493

ABSTRACT OF TITLE:
 AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THIS SURVEY.

SIGNATURES:

PLANNING BOARD CHAIRPERSON _____

TOWN ENGINEER _____

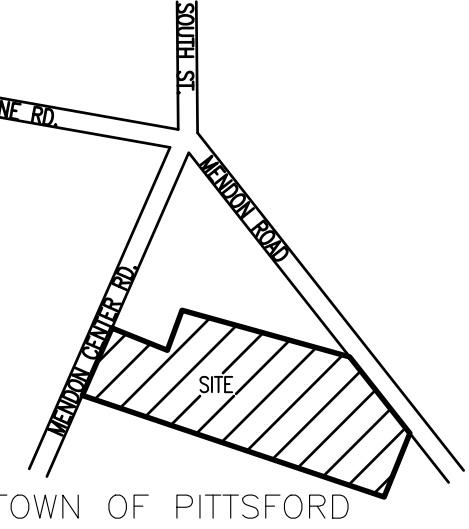
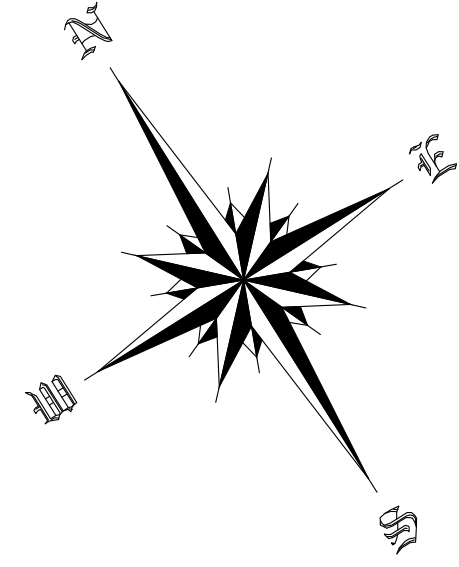
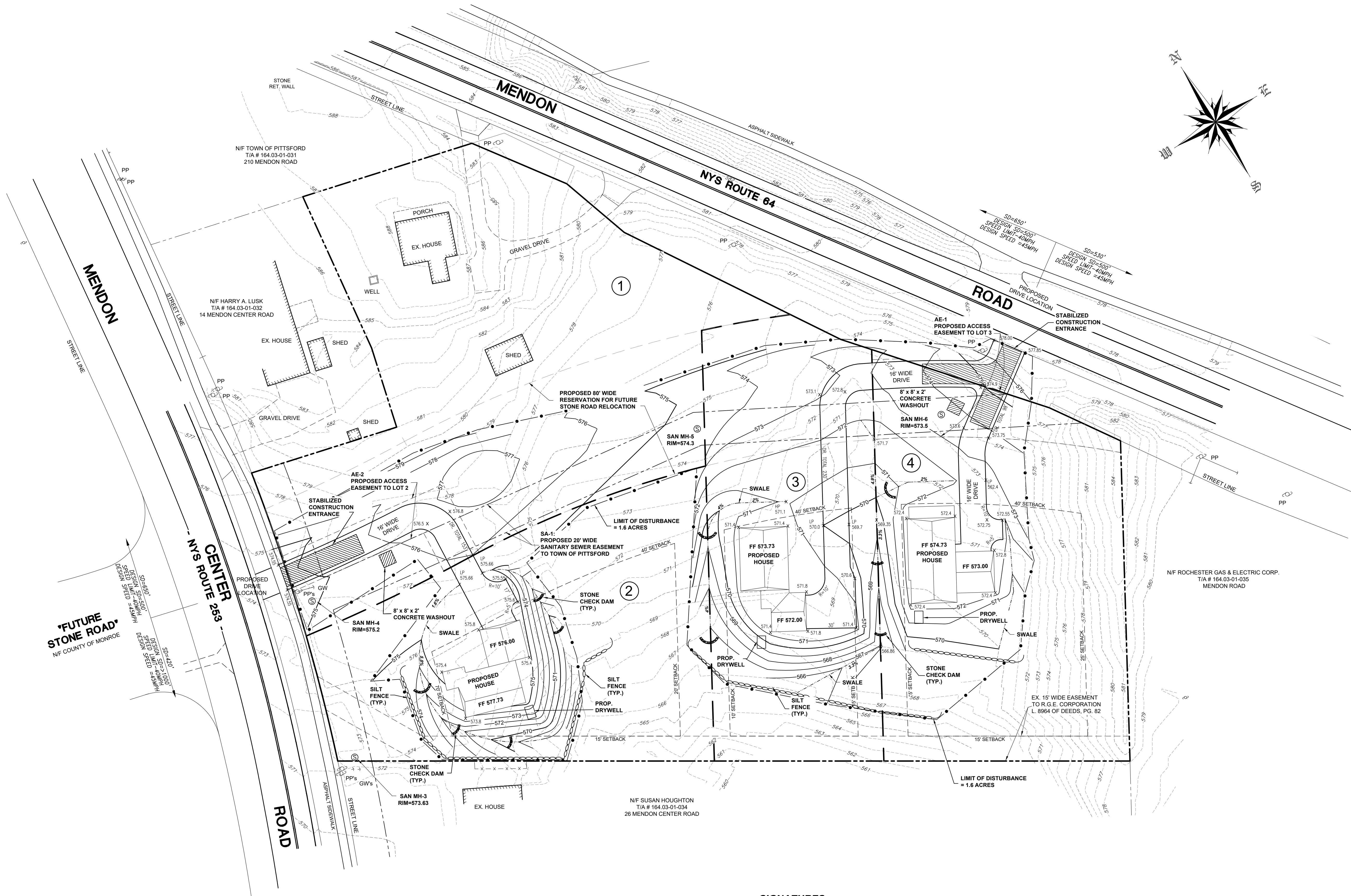
TOWN SUPERVISOR _____

COMMISSIONER OF PUBLIC WORKS _____

CERTIFICATION
 I hereby certify to the parties listed here under that this map was made using the reference material listed hereon and the notes of an instrument survey performed in accordance with the current standards of the New York State Association of Professional Land Surveyors completed on JUNE 12, 2014.
 -ERIC GEOCA



Alfred I LaRue, N.Y.S.P.L.S. # 046558



SURVEY CONTROL NOTES:

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- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988, GEOID MODEL 2018.
- DISTANCES ARE SHOWN AT GROUND
- NORTH ARROW REFERENCED TO GRID NORTH



SIGNATURES:

PLANNING BOARD CHAIRPERSON

TOWN ENGINEER

TOWN SUPERVISOR

COMMISSIONER OF PUBLIC WORKS

DATE REVISIONS BY:

DATE	REVISIONS	BY



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING:

"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDS 'ALTERED BY' FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

McMahon LaRue Associates
ENGINEERS AND SURVEYORS

822 HOLT ROAD
WEBSTER, NY 14580
(585)-436-1080
WWW.MCMAHON-LARUE.COM

CLIENT:
GEOCA HOMES, LLC
19 APOLLONIA LANE
FAIRPORT, NEW YORK
14450

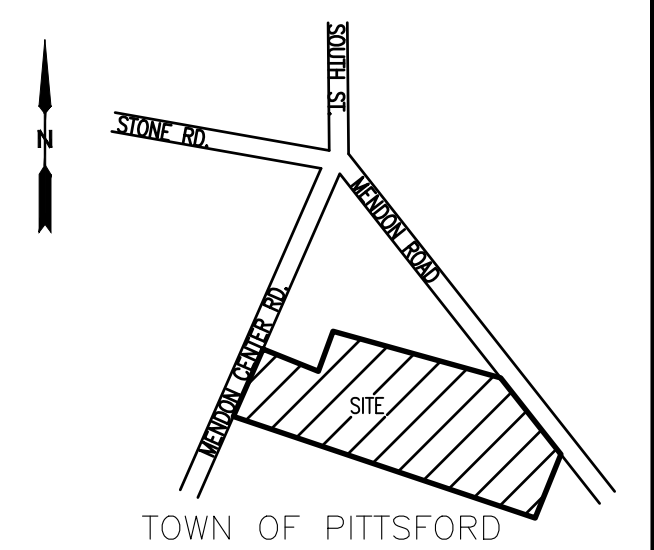
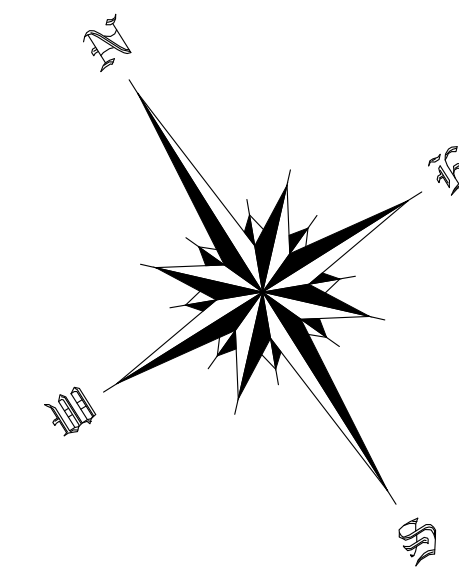
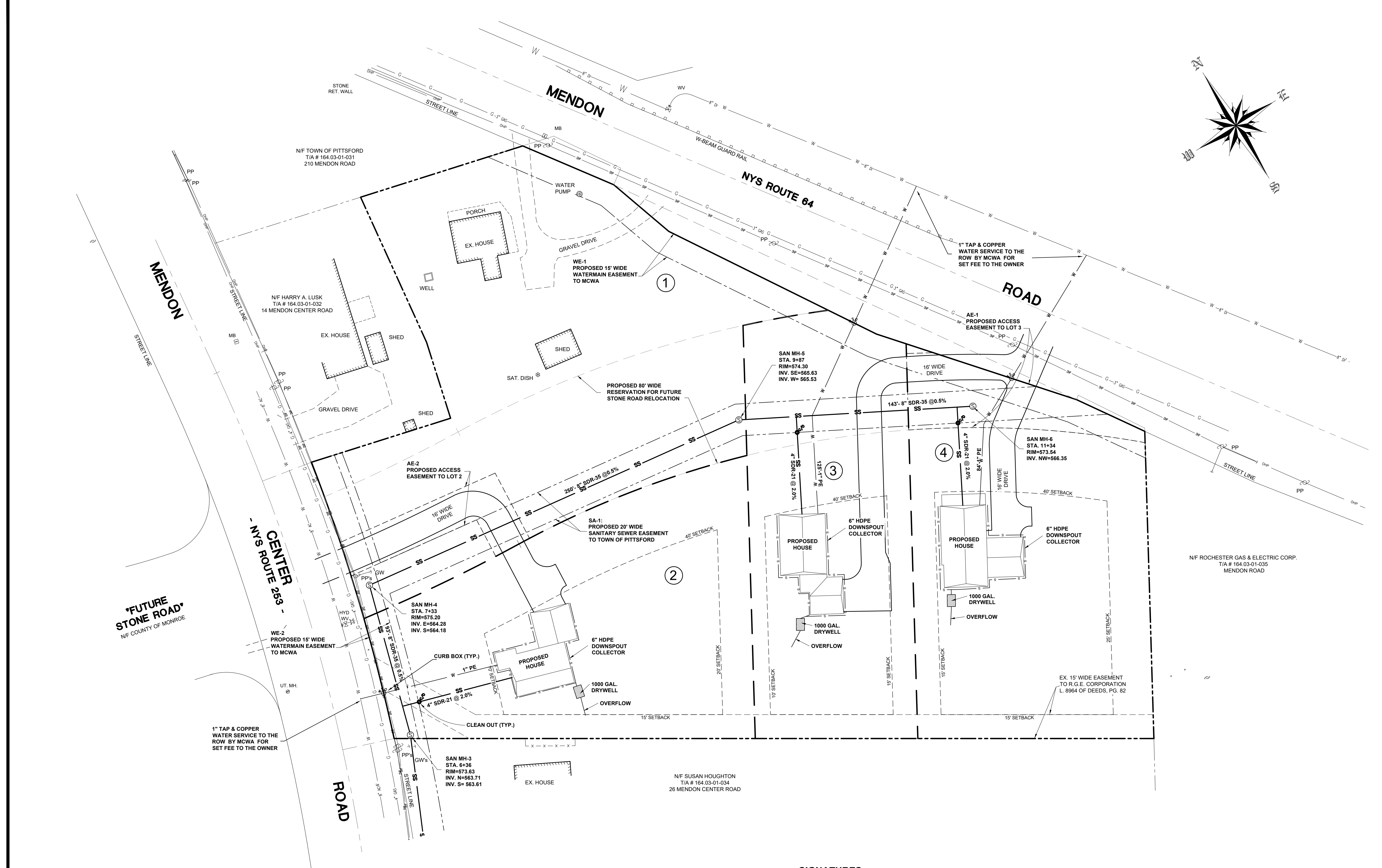
PROJECT:
GEOCA SUBDIVISION
215 MENDON ROAD

DRAWING:
PRELIMINARY / FINAL GRADING-EROSION PLAN

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY: AIL, GWM
DRAWN BY: JAT
CHECKED BY: AIL, BJW
S.B.L. # 164.03-01-033
PROJ. NO. 1185-04
DATE: JANUARY 2024
SCALE: 1" = 30'

CADD FILE:
4 SHEET OF **9** 1185-04



LOCATION SKETCH
N.T.S

DATE	REVISIONS	BY:



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WEBSTER, NY 14580
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WWW.MCMAHON-LARUE.COM

CLIENT:
GEOCA HOMES, LLC
19 APOLLONIA LANE
FAIRPORT, NEW YORK
14450

PROJECT:
GEOCA SUBDIVISION
215 MENDON ROAD

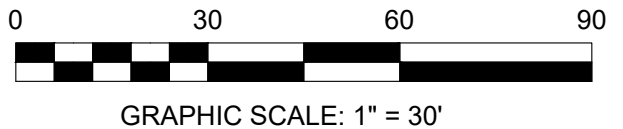
DRAWING:
**PRELIMINARY / FINAL
UTILITY PLAN**

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY: AIL, GWM
DRAWN BY: JAT
CHECKED BY: AIL, BJW
S.B.L. #: 164.03-01-033
PROJ. NO.: 1185-04
DATE: JANUARY 2024
SCALE: 1" = 30'

CADD FILE:
1185-04

SURVEY CONTROL NOTES:
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-DISTANCES ARE SHOWN AT GROUND
-NORTH ARROW REFERENCED TO GRID NORTH



SIGNATURES:

PLANNING BOARD CHAIRPERSON _____

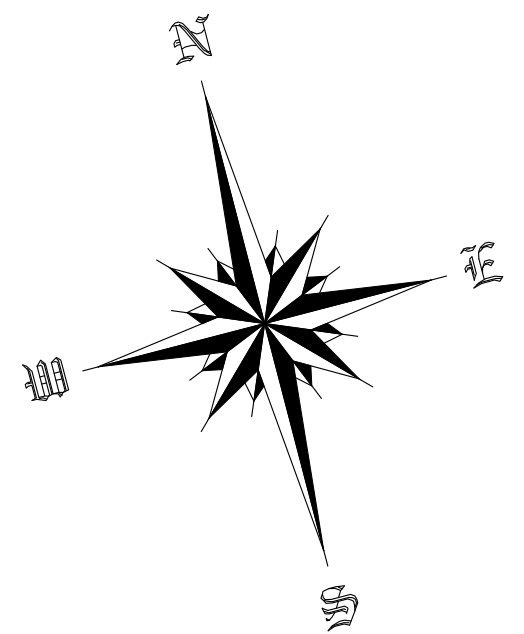
TOWN ENGINEER _____

TOWN SUPERVISOR _____

COMMISSIONER OF PUBLIC WORKS _____

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL
DIRECTOR OF PUBLIC HEALTH

BY _____ PUBLIC HEALTH ENGINEER DATE _____

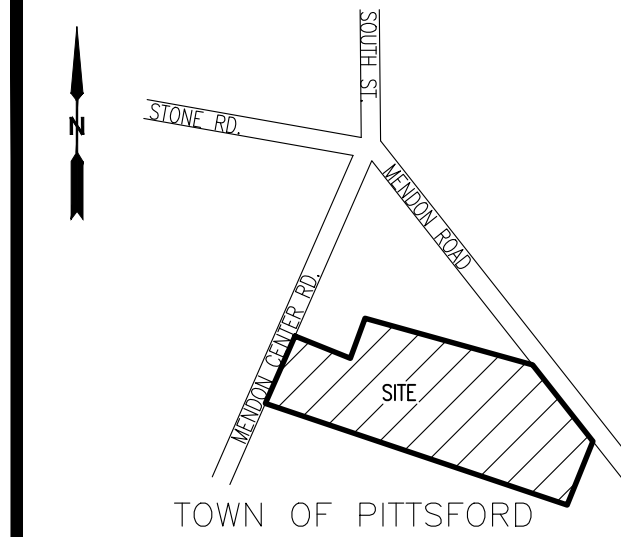


SURVEY CONTROL NOTES:
 -BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE
 PLANE COORDINATE SYSTEM; NAD1983 (2011)-NY WEST ZONE.

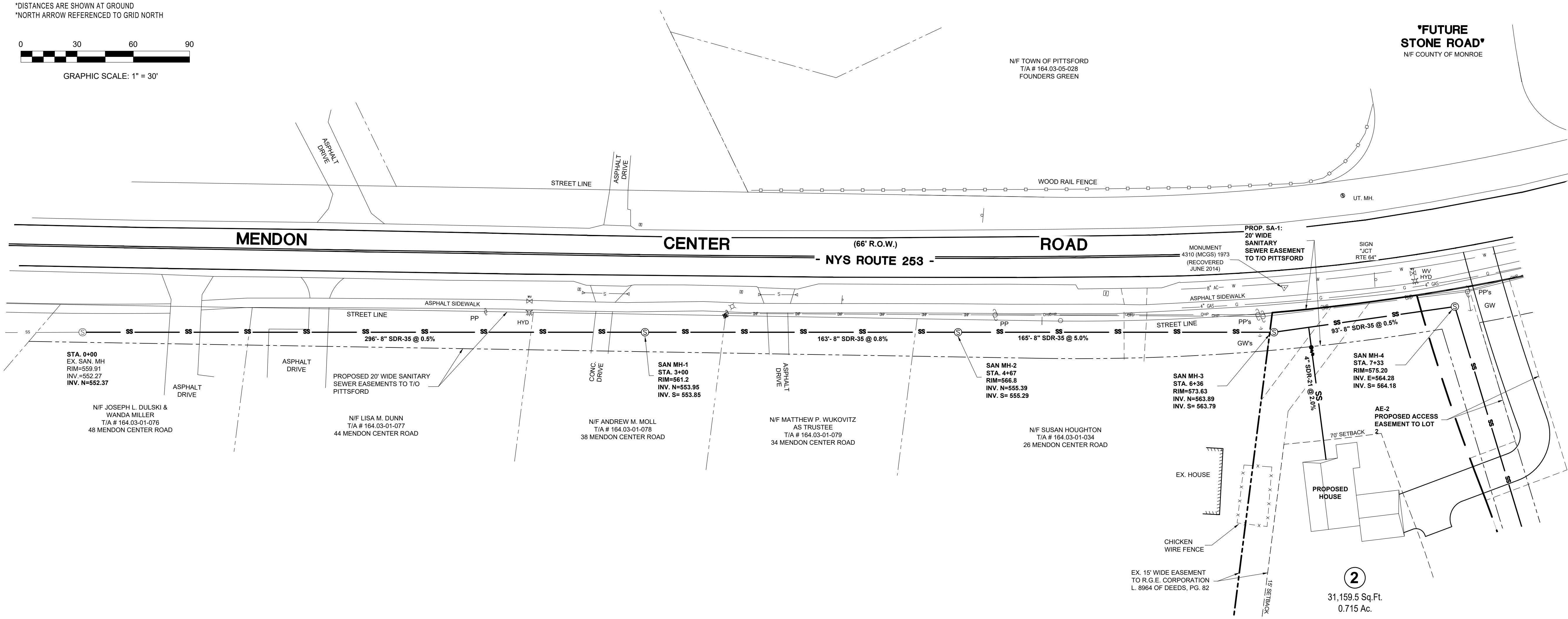
*DISTANCES ARE SHOWN AT GROUND
 *NORTH ARROW REFERENCED TO GRID NORTH



GRAPHIC SCALE: 1" = 30'



LOCATION SKETCH
 N.T.S



DATE	REVISIONS	BY



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CLIENT:
 GEOCA HOMES, LLC
 19 APOLLONIA LANE
 FAIRPORT, NEW YORK
 14450

PROJECT:
GEOCA SUBDIVISION
 215 MENDON ROAD

DRAWING:
PRELIMINARY / FINAL
SANITARY SEWER EXTENSION

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY:	AII, GWM
DRAWN BY:	JAT
CHECKED BY:	AII, BJW
S.B.L. #:	164.03-01-033
PROJ. NO.:	1185-04
DATE:	JANUARY 2024
SCALE:	1" = 30'
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CADD FILE:	1185-04

SIGNATURES:

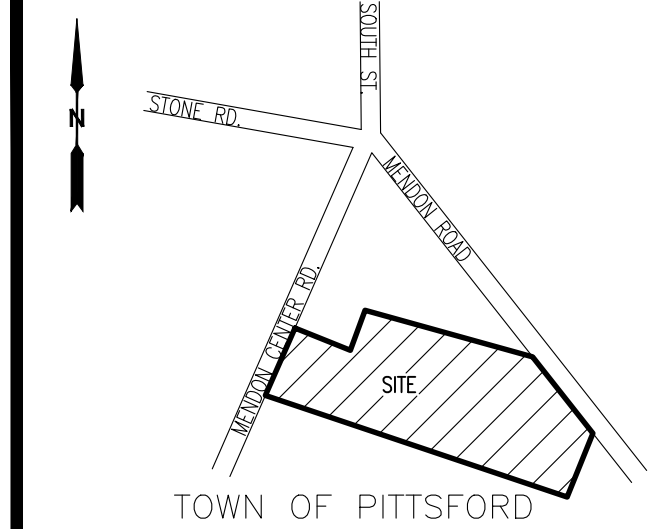
 PLANNING BOARD CHAIRPERSON

 TOWN ENGINEER

 TOWN SUPERVISOR

 COMMISSIONER OF PUBLIC WORKS

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
 THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL
 DIRECTOR OF PUBLIC HEALTH
 BY _____ DATE _____



TOWN OF PITTSFORD
LOCATION SKETCH
N.T.S

DATE	REVISIONS	BY:



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McMahon LaRue Associates, P. C.
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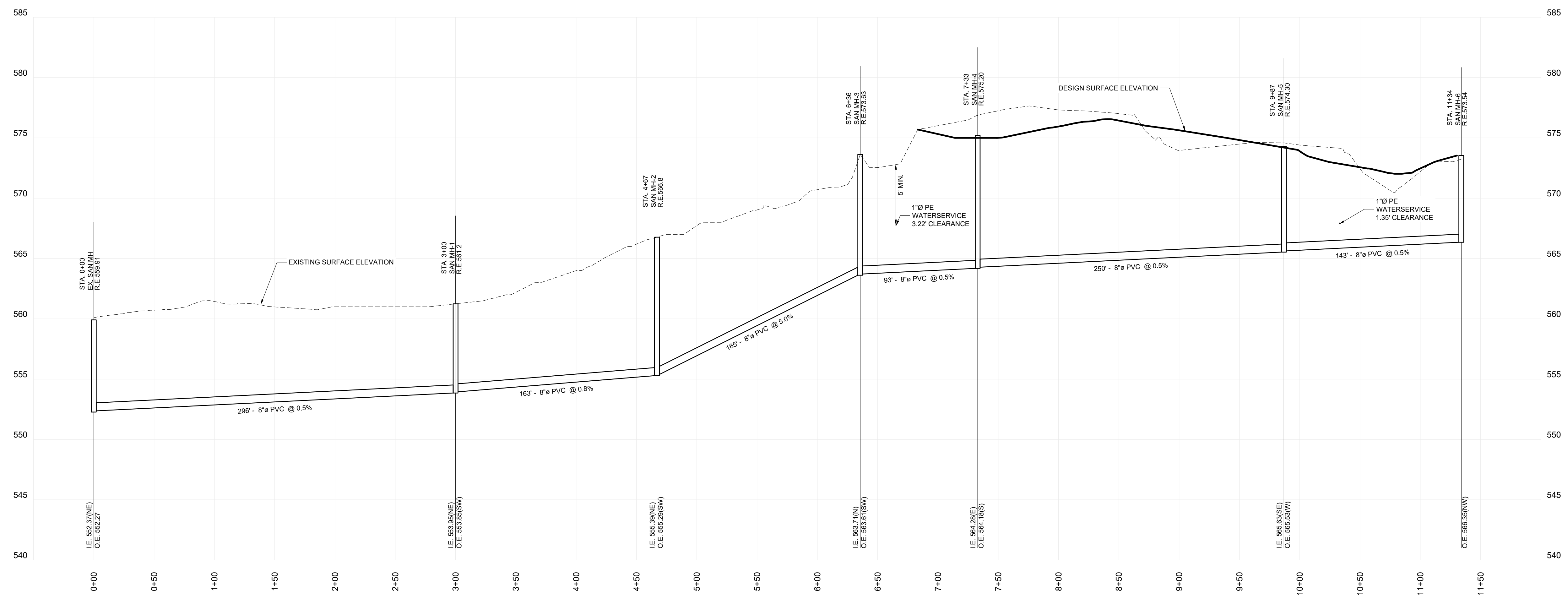
DRAWING:
**PRELIMINARY/FINAL
SANITARY SEWER PROFILE**

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY: GWM
DRAWN BY: IFK
CHECKED BY: ALL, BJW
S.B.L. #: 164.03-01-033
PROJ. NO: 1185-04
DATE: JANUARY 2024
SCALE: AS SHOWN

BY: PUBLIC HEALTH ENGINEER
DATE: HEALTH

7 SHEET OF 9 CADD FILE: 1185-04



**SANITARY PROFILE
EX. SAN MH TO SAN MH-6**
H: 1" = 50' , V: 1" = 5'

SURVEY CONTROL NOTES:
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-NORTH ARROW REFERENCED TO GRID NORTH

SIGNATURES:

PLANNING BOARD CHAIRPERSON

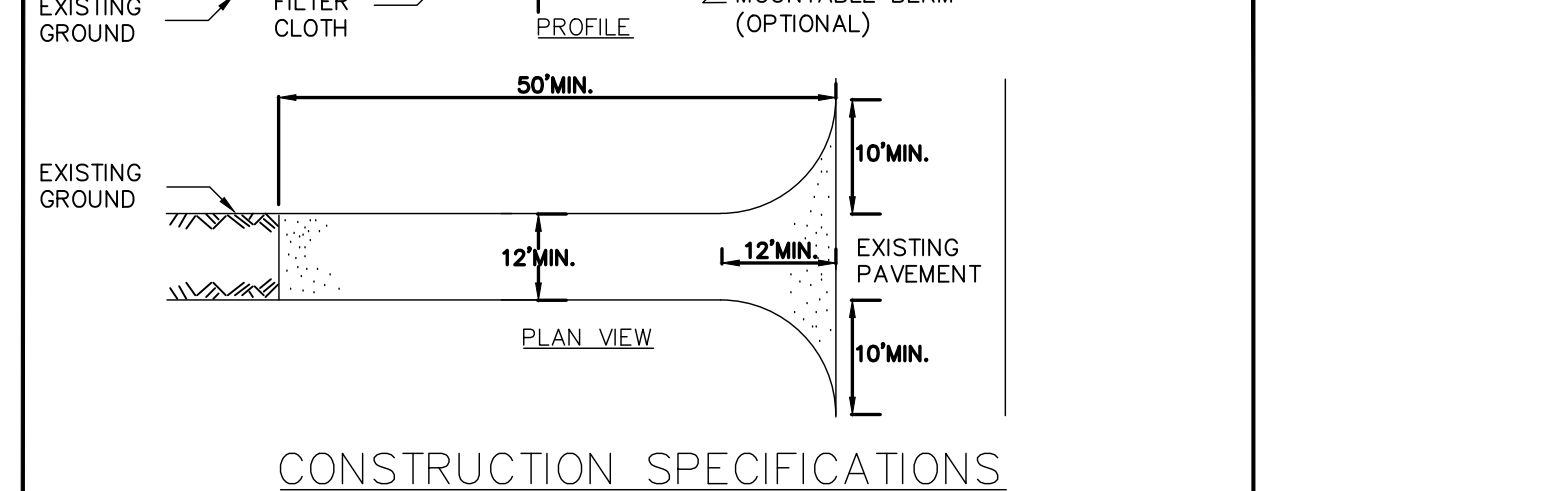
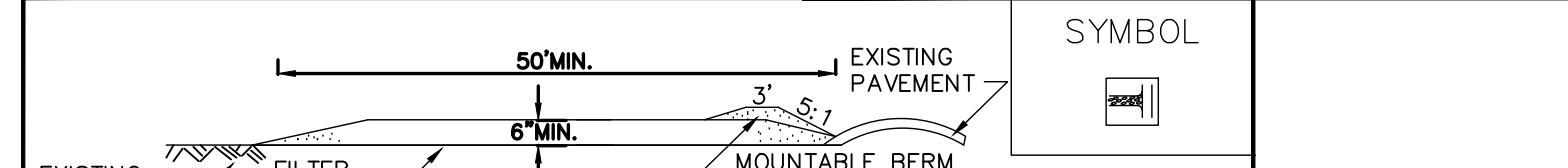
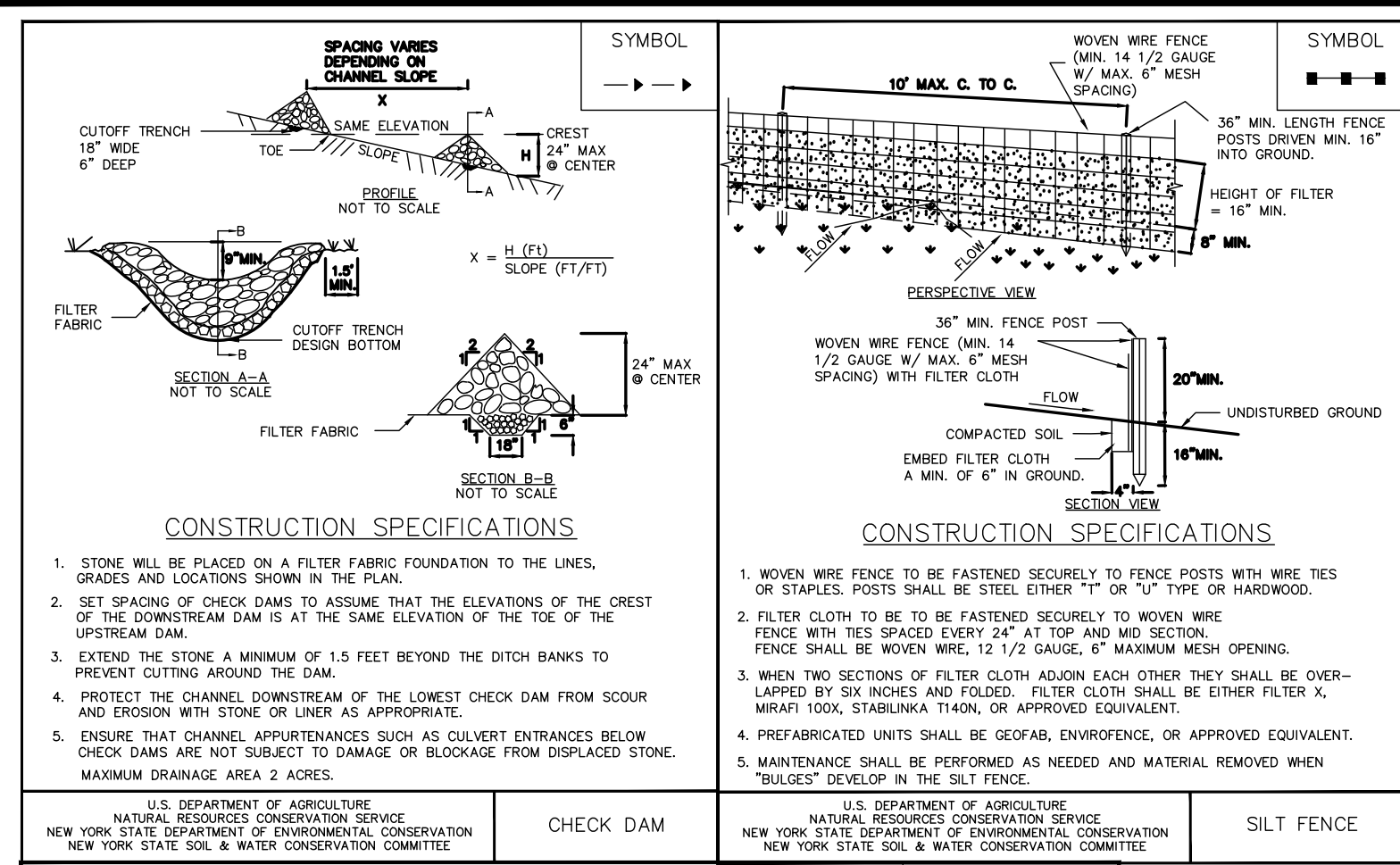
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- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

CHECK DAM

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ENTRANCE

GENERAL NOTES:

- ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF PITTSFORD'S LATEST SPECIFICATIONS.
- TOPOGRAPHIC INFORMATION IS BASED UPON A TOPOGRAPHIC SURVEY COMPLETED BY McMAHON LARUE ASSOCIATES PC ON 4-6-23. THE CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK AND NOTIFY THE DEVELOPER OF ANY DISCREPANCIES IMMEDIATELY.
- THE CONTRACTOR SHALL CLEAN DEBRIS FROM ALL EXISTING STORM STRUCTURES WITHIN THE WORK LIMIT LINES. THE CONTRACTOR SHALL MAINTAIN TEMPORARY AND/OR PERMANENT STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE CONTRACT.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE AMENITIES NOT DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF HIS CONSTRUCTION ACTIVITIES, AS DETERMINED BY THE DEVELOPER AND AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES FOR THE DURATION OF THE CONTRACT. THE CONTRACTOR SHALL REPLACE ANY UTILITY WHICH BECOMES DAMAGED AS A RESULT OF HIS/HER CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO THE SITE FOR THE DURATION OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE IN PLACE ALL BARRICADES, SIGNAGE, AND LIGHTS PERTAINING TO MAINTENANCE AND PROTECTION OF TRAFFIC BEFORE ANY EXCAVATION ACTIVITY TAKES PLACE.
- ALL EXCESS EXCAVATION MATERIALS DETERMINED BY THE DEVELOPER TO BE REUSABLE BY THE CONTRACTOR FOR THIS CONTRACT, MAY BE STORED ON-SITE IN A LOCATION DETERMINED BY THE OWNER. CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL WHERE POSSIBLE.
- CONTRACTOR STAGING AREAS ARE TO BE COORDINATED WITH THE DEVELOPER PRIOR TO START OF CONSTRUCTION. ALL DISTURBED AREAS SHALL BE RESTORED. ALL STAGING AREAS ARE TO BE WITHIN WORK LIMITS.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE INFERRED FROM SURFACE EVIDENCE, AND RECORD AND UTILITY PLANS. ACTUAL LOCATION AND DESCRIPTION MAY DIFFER. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR STAKEOUT. TRUE LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OPERATIONS.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH N.Y.S. GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AND LOCAL GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS. SILT FENCE WILL BE INSTALLED WITH A TRENCHER.
- ONLY AREAS NEEDED FOR CONSTRUCTION AS SHOWN ON THESE PLANS SHALL BE DISTURBED. NO OTHER TREES, SHRUBS, OR GRASSES ARE TO BE REMOVED FOR CONSTRUCTION. REMAINING VEGETATION SHALL BE PROTECTED TO PRESERVE THEIR AESTHETIC AND EROSION CONTROL VALUES.
- THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF EROSION CONTROL AND SEDIMENTATION CONTROLS AFTER GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES WHEN AN AREA IS PERMANENTLY STABILIZED. CONSTRUCTION IS COMPLETE, FINAL VEGETATIVE COVER HAS BEEN ESTABLISHED, AND IS APPROVED BY THE TOWN OF PITTSFORD.
- LOOSE PILE MATERIAL THAT IS EXCAVATED FOR BUILDING CONSTRUCTION PURPOSES SHALL BE KEPT LOOSE PILED UNTIL IT IS USED FOR FOUNDATION BACKFILL OR FINAL GRADING AND PERMANENT VEGETATION.
- RUNOFF FROM STOCKPILED MATERIALS SHALL BE CONTAINED BY EROSION CONTROL MEASURES. STOCKPILED MATERIALS NOT MOVED WITHIN 30 DAYS SHALL BE SHAPED INTO A UNIFORM PILE AND SEEDED WITH A RAPID GERMINATING GRASS SEED MIX.
- CONTRACTOR SHALL ROUGH GRADE THE SITE. ALL FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR TEST DENSITY WITH PROPER MOISTURE CONTENT.
- ALL CATCH BASIN INLETS SHALL HAVE STAKED SILT FENCE AROUND THEM TO PREVENT SEDIMENT FROM ENTERING THE STORM SEWER. ALL FIELD INLETS ARE TO HAVE STONE FILTER DAMS AS SHOWN IN THE EXCAVATED DROP INLET DETAIL.
- CONTRACTOR SHALL TEMPORARY SEED AND MULCH ALL DIVERSION DITCHES AND ANY OTHER DISTURBED AREAS NOT SCHEDULED FOR IMMEDIATE ADDITIONAL WORK. REMAINING DISTURBED AREAS SHALL BE SEED WITH GROUND COVER AND MULCHED AS SOON AFTER THEIR DISTURBANCE AS CONSTRUCTION PRACTICES AND WEATHER WILL ALLOW. CONTRACTOR SHALL STABILIZE DISTURBED AREAS AND STOCKPILES PER NOTE #22 BELOW.
- DRAINAGE SYSTEMS AND EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY AND REPLACED IF NECESSARY UNTIL SUCH TIME AS A SUBSTANTIAL STAND OF VEGETATION HAS DEVELOPED AND POTENTIAL FOR EROSION NO LONGER EXISTS.
- THE CONTRACTOR SHALL MAINTAIN SITE CONDITIONS WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR SHALL KEEP CLEAN AND FREE SIDEWALKS, STREETS, AND PAVEMENTS FROM DIRT, MUD, STONE, DEBRIS, AND OTHER HAULED MATERIALS AS A RESULT OF HIS/HER WORK.
- A STABILIZED CONSTRUCTION ENTRANCE LOCATED SHALL BE IN PLACE PRIOR TO WORK COMMENCING ON THE SITE. THE CONTRACTOR SHALL CONTROL DUST FROM SITE ACTIVITY TO THE SATISFACTION OF THE PROJECT DEVELOPER, OWNER, AND THE TOWN OF PITTSFORD.
- SITE EROSION CONTROL MEASURES INCLUDE BUT ARE NOT LIMITED TO MEASURES SHOWN ON THE PLANS. CONTRACTOR SHALL IMPLEMENT OTHER MEASURES ORDERED BY THE DEVELOPER OR A VILLAGE REPRESENTATIVE NECESSARY TO CONTROL EROSION AND SEDIMENTATION ON SITE.
- CONTRACTOR SHALL INSPECT EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PER WEEK, AND CLEAN WITHIN ONE WORKING DAY OF ANY RAINFALL EVENT OF 1/2" RAINFALL OR GREATER OR FOLLOWING SIGNIFICANT SNOW MELT.
- REMOVE ACCUMULATED SEDIMENTS FROM TRAPS WHEN SEDIMENTS OCCUPY 50% OF THE VOLUME PROVIDED.
- CHECK AND REPAIR SILT FENCE, AS NECESSARY.
- SWEEP ADJOINING ROADWAYS, IF ANY TRACKING OF SOILS ONTO OFF-SITE PAVING OCCURS.
- INSPECT AND CLEAN ALL TEMPORARY EROSION CONTROL STRUCTURES AFTER EACH RAIN STORM EVENT.
- ALL SLOPES 1-ON-3 OR GREATER WILL BE STABILIZED WITH JUTE MESH AND RESTORED WITH CROWN VETCH OR OTHER APPROPRIATE COVER.
- THE ENTIRE PROJECT WILL BE RESTORED WITH 6" OF TOPSOIL.
- EROSION CONTROL MEASURES SUCH AS SILT FENCE ARE TO BE PLACED 5' INTO THE PROJECT FROM ORANGE CONSTRUCTION FENCE, AND SHALL REMAIN IN EFFECT UNTIL DEEMED UNNECESSARY BY TOWN OF PITTSFORD.
- IN AREAS WHERE SOIL DISTURBANCE HAS ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS (SEVEN (7) DAYS IF OVER FIVE (5) ACRES OF DISTURBANCE, OR THREE (3) DAYS IF BETWEEN NOVEMBER 15th AND APRIL 1st).

TEMPORARY/PERMANENT EROSION CONTROL MEASURES

A. Temporary Stabilization -Topsail stockpiles and disturbed portions of the site where construction activity temporarily ceases stabilization measures shall commence no later than the next business day and shall be completed within 14 days (7days if disturbance > 5 acres) or 3 days if between November 15th and April 1st.

If: Spring or summer or early fall, then seed the area with ryegrass (annual or perennial) at 30 lbs. per acre (Approximately 0.7 lb./1000 sq. ft. or use 1 lb./1000 sq. ft.)

If: Late fall or early winter, then seed Certified 'Arrostook' winter rye (cereal rye) at 100 lbs. per acre (2.5 lbs./1000 sq. ft.)

Any seeding method may be used that will provide uniform application of seed to the area and result in good soil to seed contact.

Mulch the area with hay or straw at 2 tons/acre (Approx. 90 lbs./1000 sq. ft. or 2 bales). The straw mulch is to be tacked into place by a disk with blades set nearly straight.

B. Permanent Stabilization -Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed no later than 14 days after the last construction activity. Lime and fertilizer will be applied as determined by soil tests. Seeding shall be completed in compliance with the NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."

General Seed Mix:

Species	Variety	lbs./acre	lbs./1000 sq. ft.
Common White Clover	Common	8	0.20
Tall Fescue	KY-31/Rebel	20	0.45
Ryegrass (perennial)	Pennfine/Linn	5	0.10

After seeding, the surface shall be evenly raked with a fine-tooth rake and rolled with an approved roller, weighing approximately 500 pounds. All seeding work shall be done between April 15 and June 15 or between August 20 and October 15, and the Developer or his/her Contractor shall return to the site if necessary to meet this requirement. This requirement may be modified if deemed appropriate by the local Soil and Water Conservation District Office.

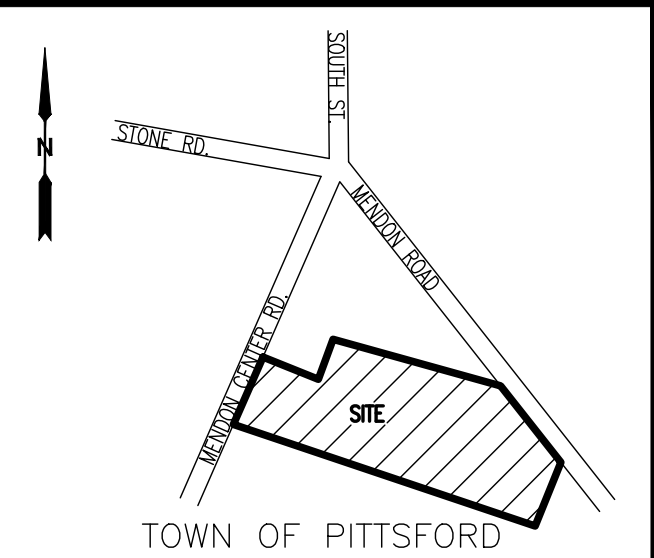
A mulch of clean new crop wheat or other approved crops, free of noxious weed seeds, shall be placed uniformly in a continuous blanket to provide a cover of 3", loose depth. Straw shall be of such thickness that it can be left in place during cutting operations.

The permanent lawn seed mix shall consist of:

65% Kentucky Bluegrass blend at 2.0-2.6 lbs./1000 sq. ft.
20% perennial ryegrass at 0.6-0.7 lbs./1000 sq. ft.
15% fine fescue at 0.4-0.6 lbs./1000 sq. ft.

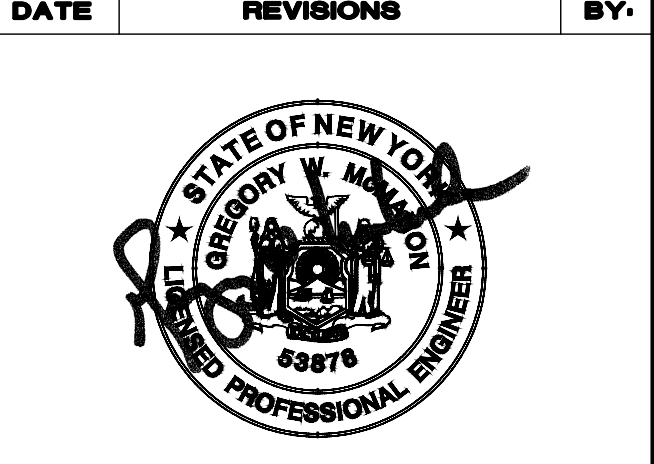
After seeding, each area shall be mulched as described above. All slopes greater than 3H:1V shall have jute or other erosion control fabric applied.

ALL SLOPES 1 ON 3 OR STEEPER SEE NOTE BELOW



LOCATION SKETCH
N.T.S

DATE	REVISIONS	BY



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING:

"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED. THE SEAL, ENGINEER OR LAND SURVEYOR SHALL AFTER TO THE ITEM HIS SEAL AND THE WORDS 'ALTERED BY' FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

McMahon LaRue Associates
ENGINEERS AND SURVEYORS

822 HOLT ROAD
WEBSTER, NY 14580
(585)-438-1080
WWW.McMAHON-LARUE.COM

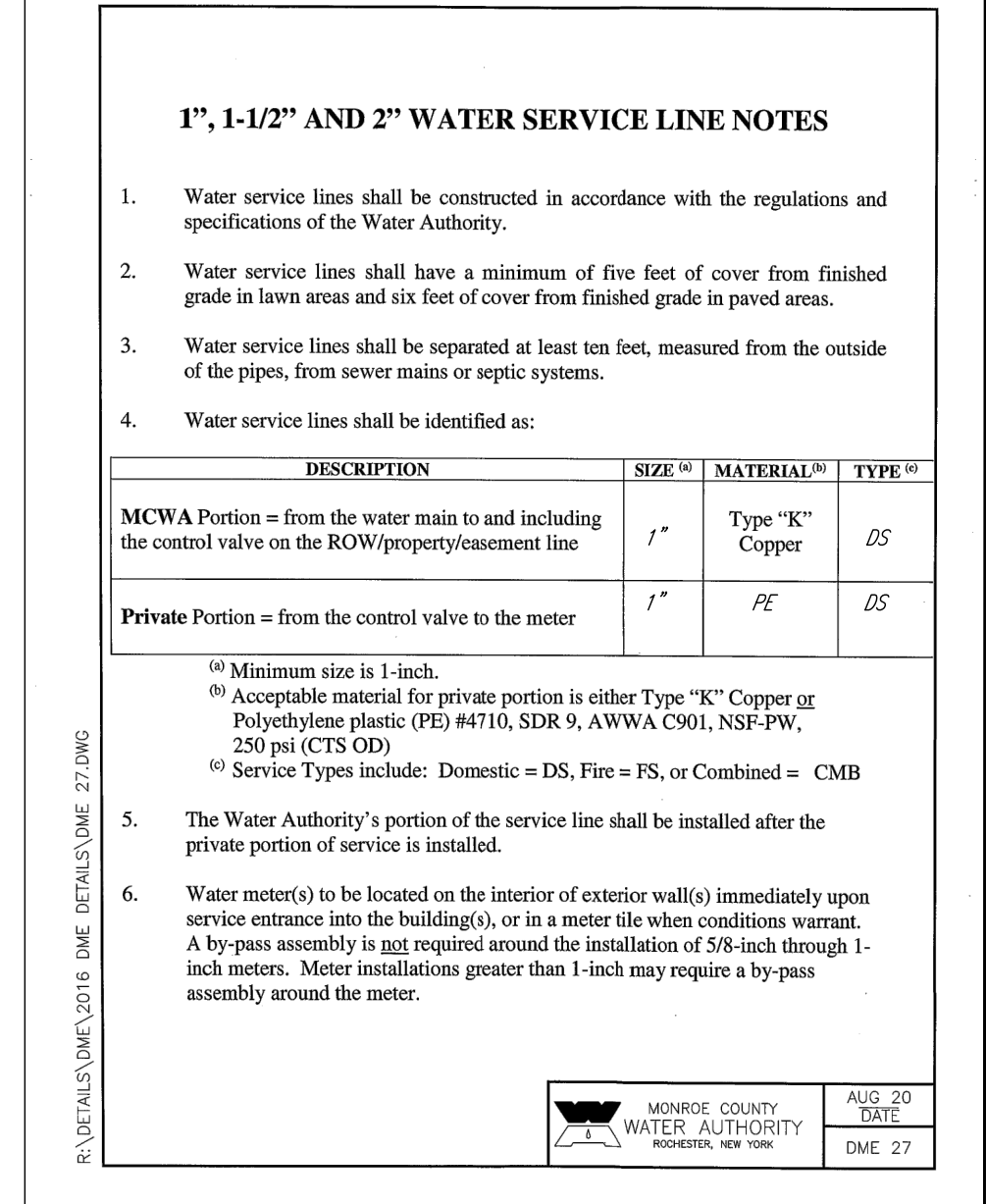
CLIENT:
GEOCA HOMES, LLC
19 APOLLONIA LANE
FAIRPORT, NEW YORK
14450

PROJECT:
GEOCA SUBDIVISION
215 MENDON ROAD

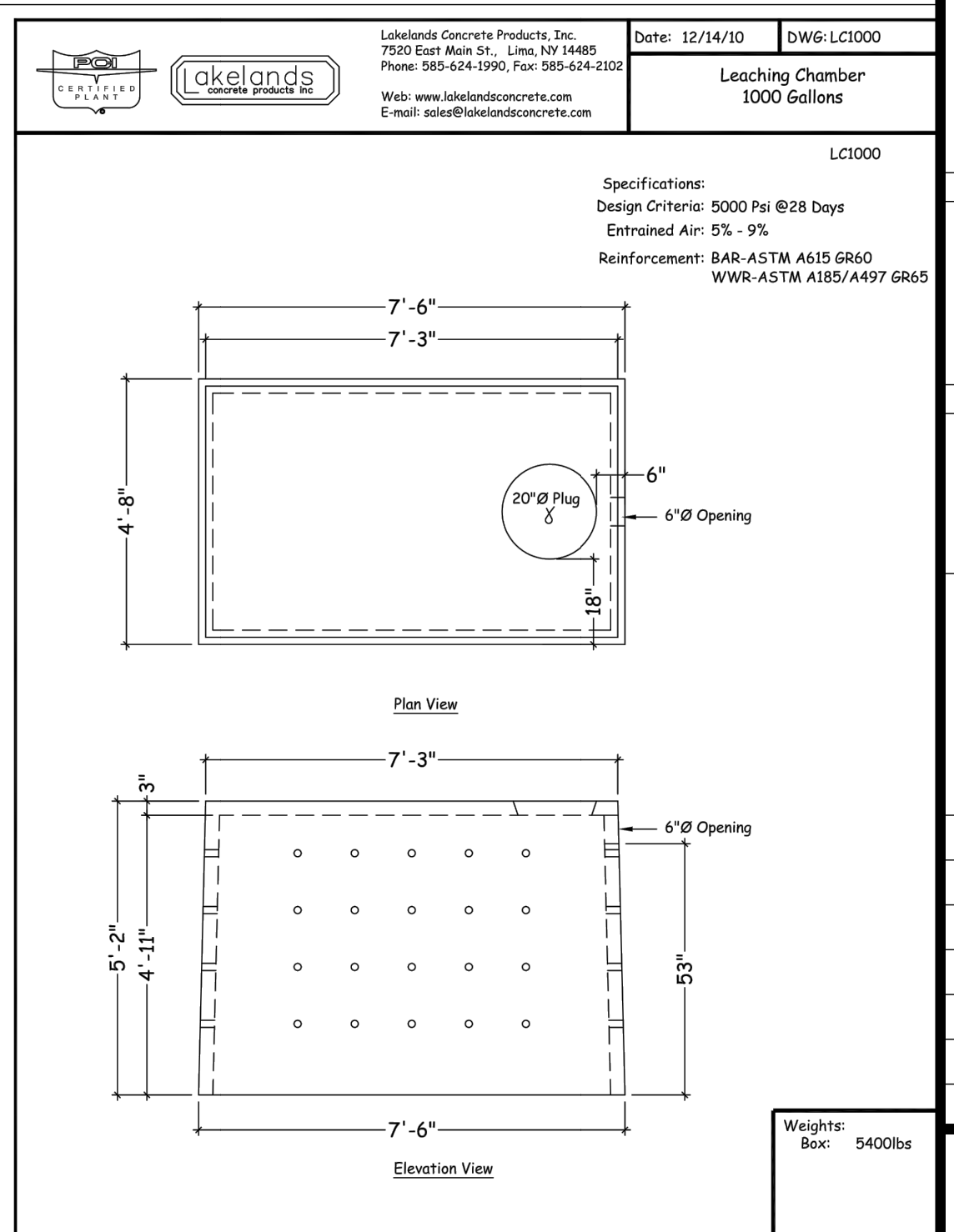
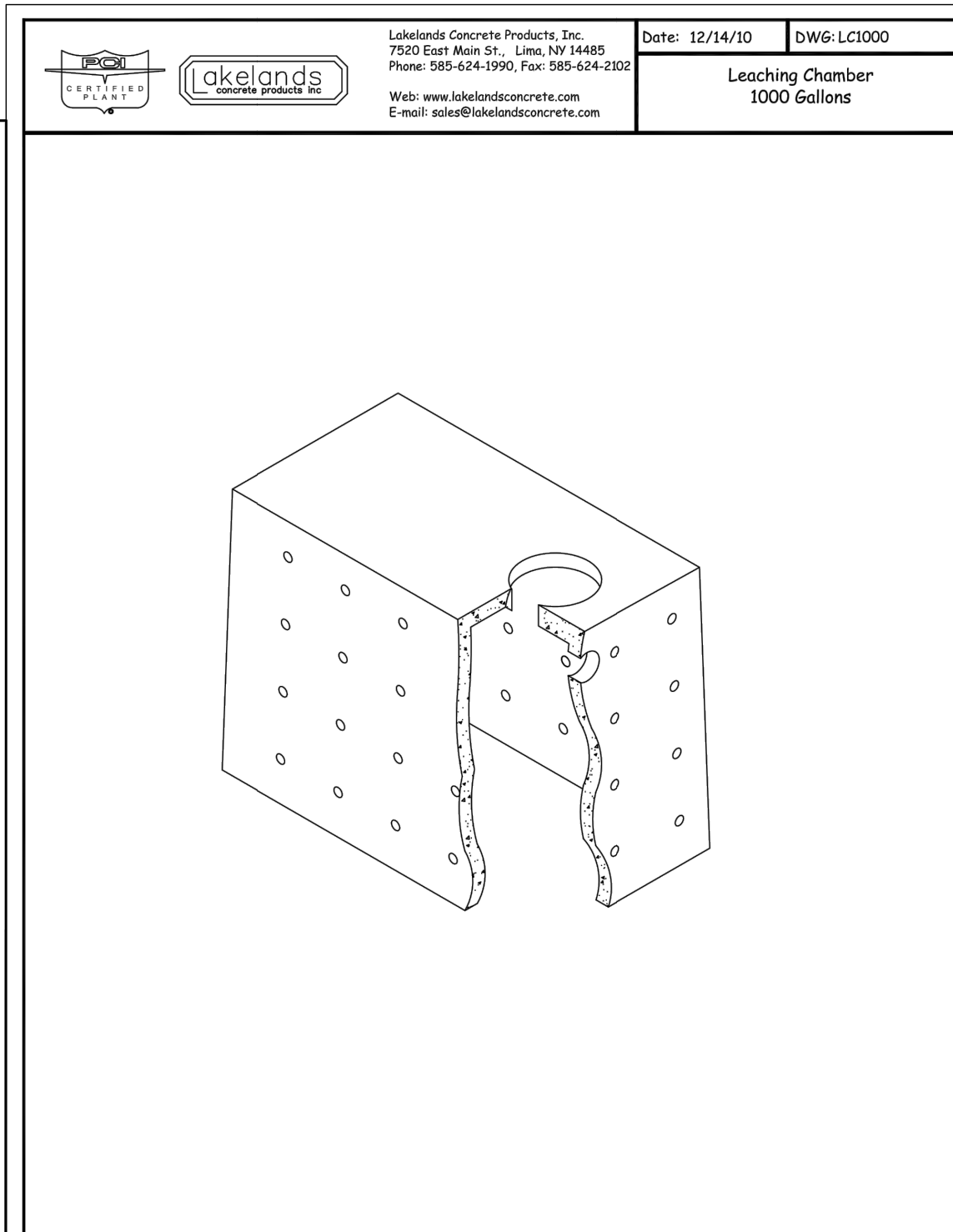
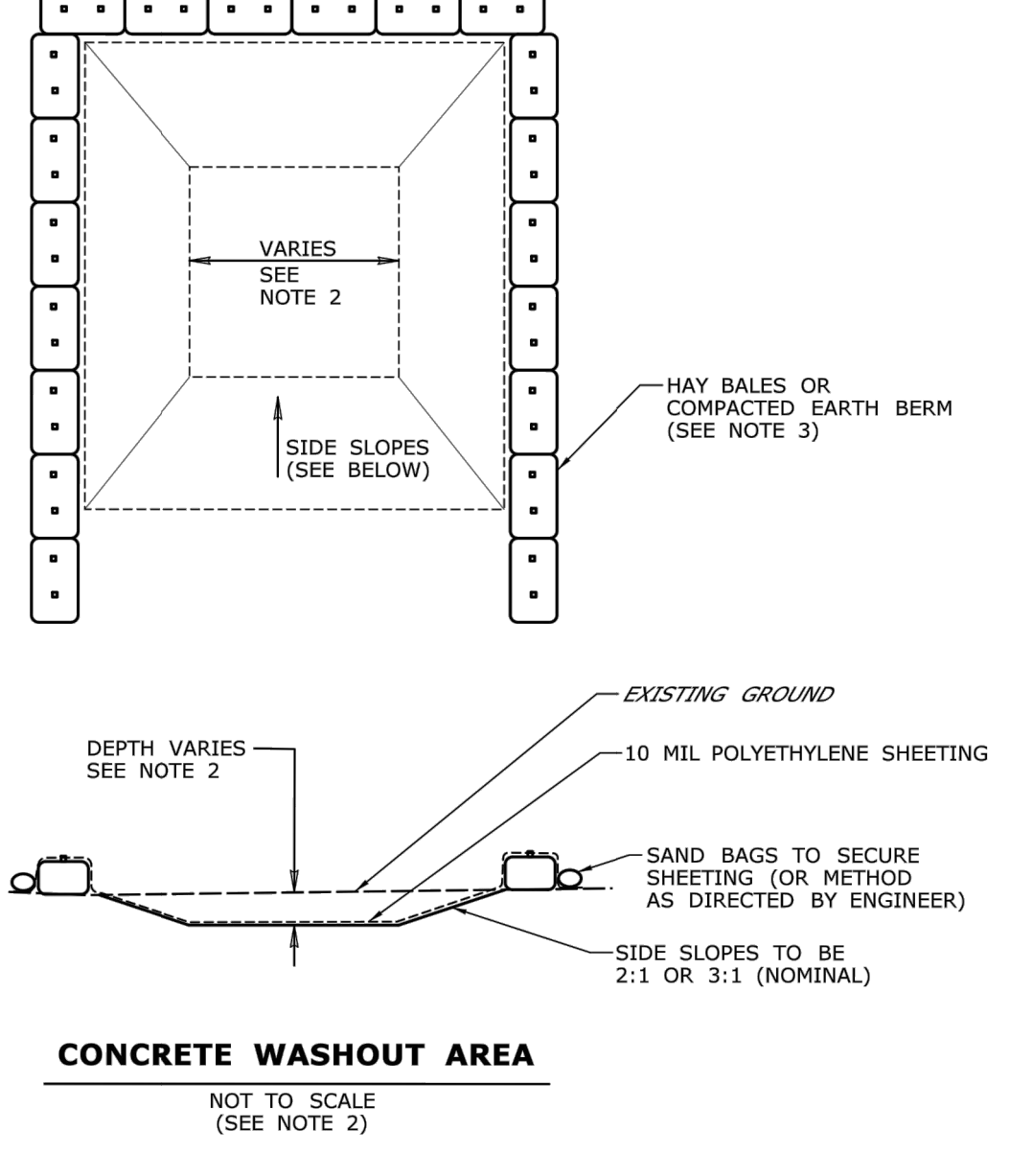
DRAWING:
NOTES AND DETAILS

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

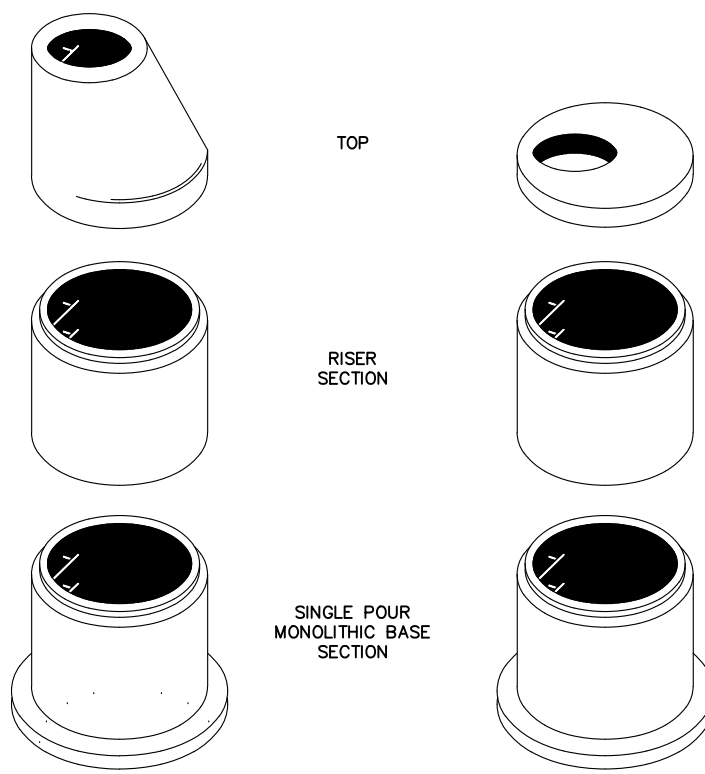
DESIGNED BY: AIL, GWM
DRAWN BY: JAT
CHECKED BY: AIL, BJW
S.B.L. # 164.03-01-033
PROJ. NO. 1185-04
DATE: JANUARY 2024
SCALE: AS NOTED
Weights Box: 5400lbs
8 SHEET OF 9 CADD FILE: 1185-04



- NOTES**
- CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. THE CONCRETE WASHOUT AREA SHALL BE ENTIRELY SELF-CONTAINED.
 - THE CONTRACTOR SHALL SUBMIT THE DESIGN, LOCATION AND SIZING OF THE CONCRETE WASHOUT AREA(S) WITH THE PROJECT'S EROSION AND SEDIMENTATION CONTROL PLAN AND SHALL BE APPROVED BY THE ENGINEER.
LOCATION: WASHOUT AREA(S) ARE TO BE LOCATED AT LEAST 50 FEET FROM ANY STREAM, WETLAND, STORM DRAINS, OR OTHER SENSITIVE RESOURCE. THE FLOOD CONTINGENCY PLAN MUST ADDRESS THE CONCRETE WASHOUT IF THE WASHOUT IS TO BE LOCATED WITHIN THE FLOODPLAIN.
SIZE: THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING, BUT NOT LIMITED TO, OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.
 - SURFACE DISCHARGE IS UNACCEPTABLE. THEREFORE, HAY BALES OR OTHER CONTROL MEASURES, AS APPROVED BY THE ENGINEER, SHOULD BE USED AROUND THE PERIMETER OF THE CONCRETE WASHOUT AREA FOR CONTAINMENT.
 - SIGNS SHOULD BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CONCRETE AREA(S) AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS. WASHOUT AREA(S) SHOULD BE FLAGGED WITH SAFETY FENCING OR OTHER APPROVED METHOD.
 - WASHOUT AREA(S) ARE TO BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND CHECKED FOR LEAKS, TEARS, OR OVERFLOWS. (AS REQUIRED BY THE CONSTRUCTION SITE ENVIRONMENTAL INSPECTION REPORT) WASHOUT AREA(S) SHOULD BE CHECKED AFTER HEAVY RAINS.
 - HARDENED CONCRETE WASTE SHOULD BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO HALF OF THE CONCRETE WASHOUT'S HEIGHT. THE WASTE CAN BE STORED AT AN UPLAND LOCATION, AS APPROVED BY THE ENGINEER. ALL CONCRETE WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS, REGULATIONS, AND GUIDELINES.
 - PAYMENT FOR THIS ITEM IS TO BE INCLUDED UNDER THE GENERAL COST OF THE WORK FOR THE PROJECT, INCLUDING SITE RESTORATION.



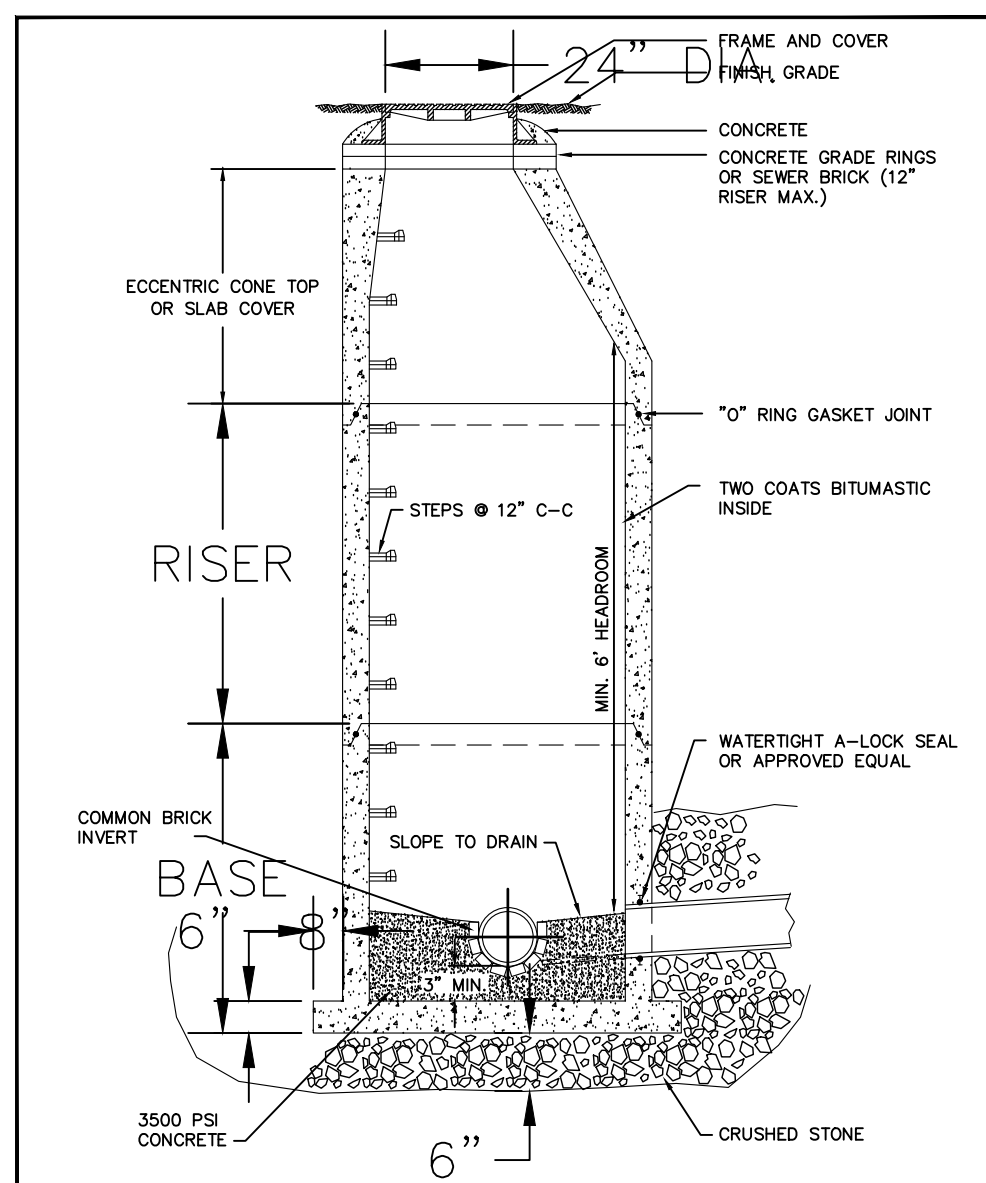
ECCENTRIC CONE TOP FLAT TOP



- SANITARY MANHOLES SHALL HAVE TWO COATS OF BITUMASTIC SEALANT INSIDE.
- ANY SECTION JOINTS SHALL BE SEALED WITH APPROVED RUBBER O-RINGS.

STANDARD 4' DIA. MANHOLES

N.T.S.

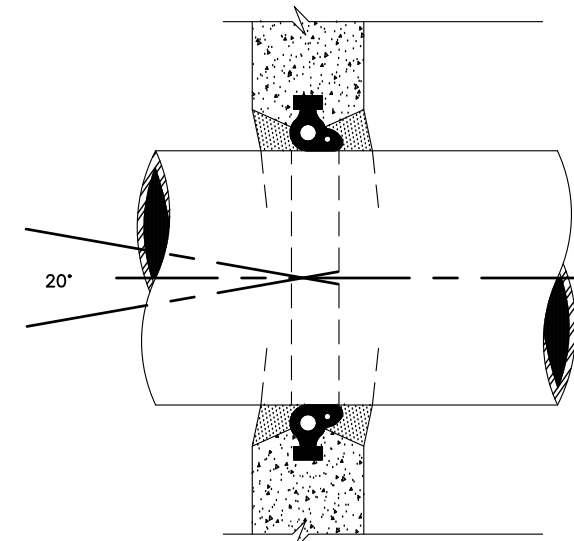


4' DIA. REINFORCED PRECAST CONCRETE MANHOLE

N.T.S.

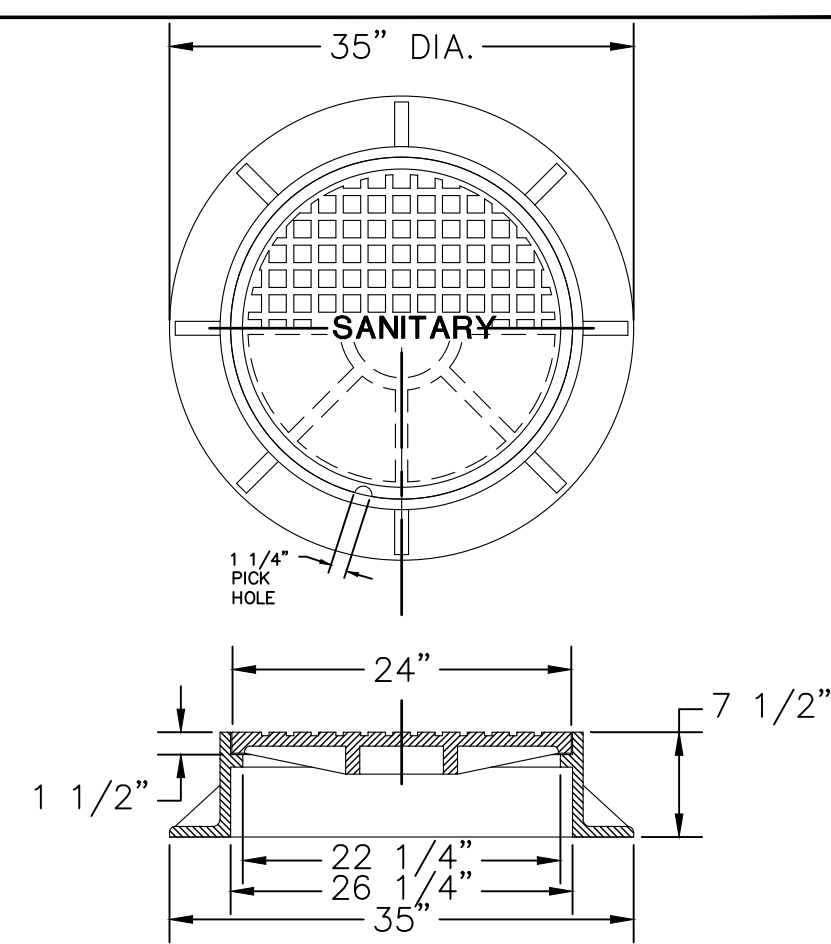
DESIGN TO MEET RESILIENT CONNECTORS REQUIREMENTS OF A.S.T.M. C-923

A-LOCK MANHOLE PIPE CONNECTOR



***A*-LOCK MANHOLE TO PIPE CONNECTION**

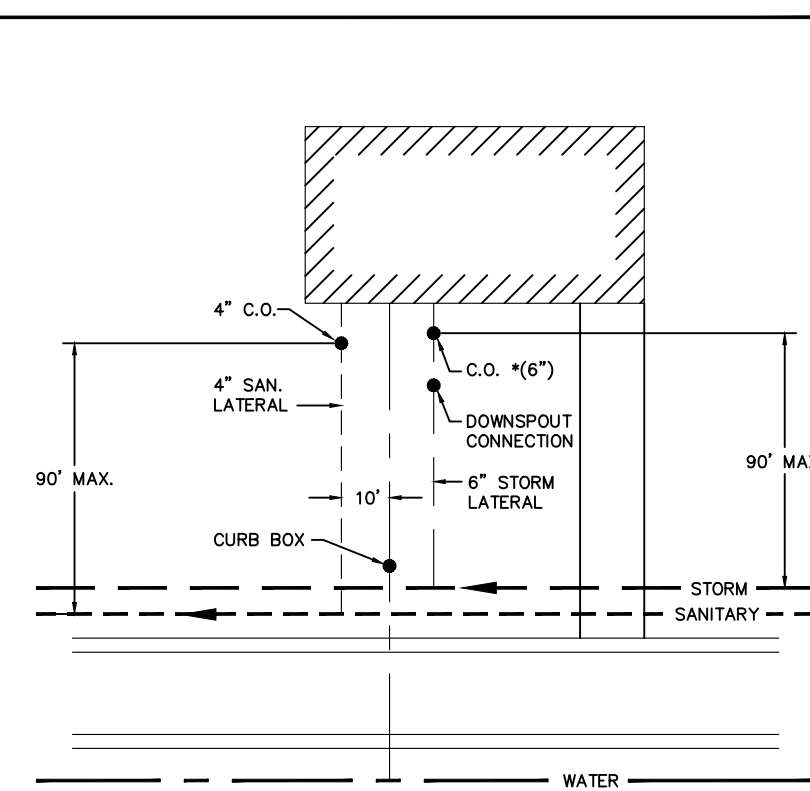
N.T.S.



- MANHOLE COVER:**
NEENAH R1726A OR EQUAL TO MEET THE FOLLOWING:
1. MATERIAL: A.S.T.M. SPEC. A-48, CLASS 30
2. HORIZONTAL BEARING SURFACES TO BE MACHINED.
3. COVER SHALL READ "SANITARY"
- MANHOLE FRAME:**
NEENAH R-1726A OR EQUAL TO MEET THE FOLLOWING:
1. MATERIALS: A.S.T.M. SPEC. A-48, CLASS 30
2. HORIZONTAL BEARING SURFACES TO BE MACHINED.

SANITARY SEWER MANHOLE COVER AND FRAME

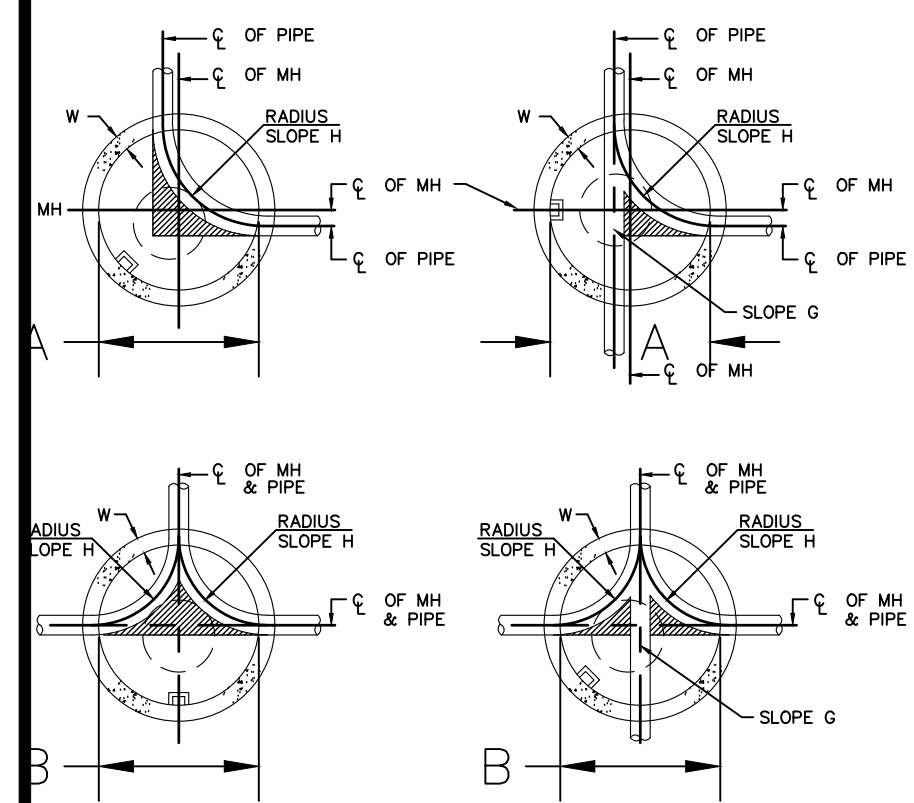
N.T.S.



- NOTES:**
- DEPTH OF LATERALS SHALL NOT EXCEED 10'.
 - LATERALS SHALL BE LAID AT A MIN. 1/8" PER FOOT SLOPE FOR 6" DIA. PIPE OR 1/4" PER FOOT SLOPE FOR 4" DIA. PIPE.
 - DISTANCE BETWEEN C.O.'S SHALL NOT EXCEED 90'.
- * CLEANSOUT MAY BE INCORPORATED WITH CONDUCTOR RISER (DOWNSPOUT CONNECTION).

TYPICAL LOT LAYOUT STORM AND SANITARY LATERALS

N.T.S.

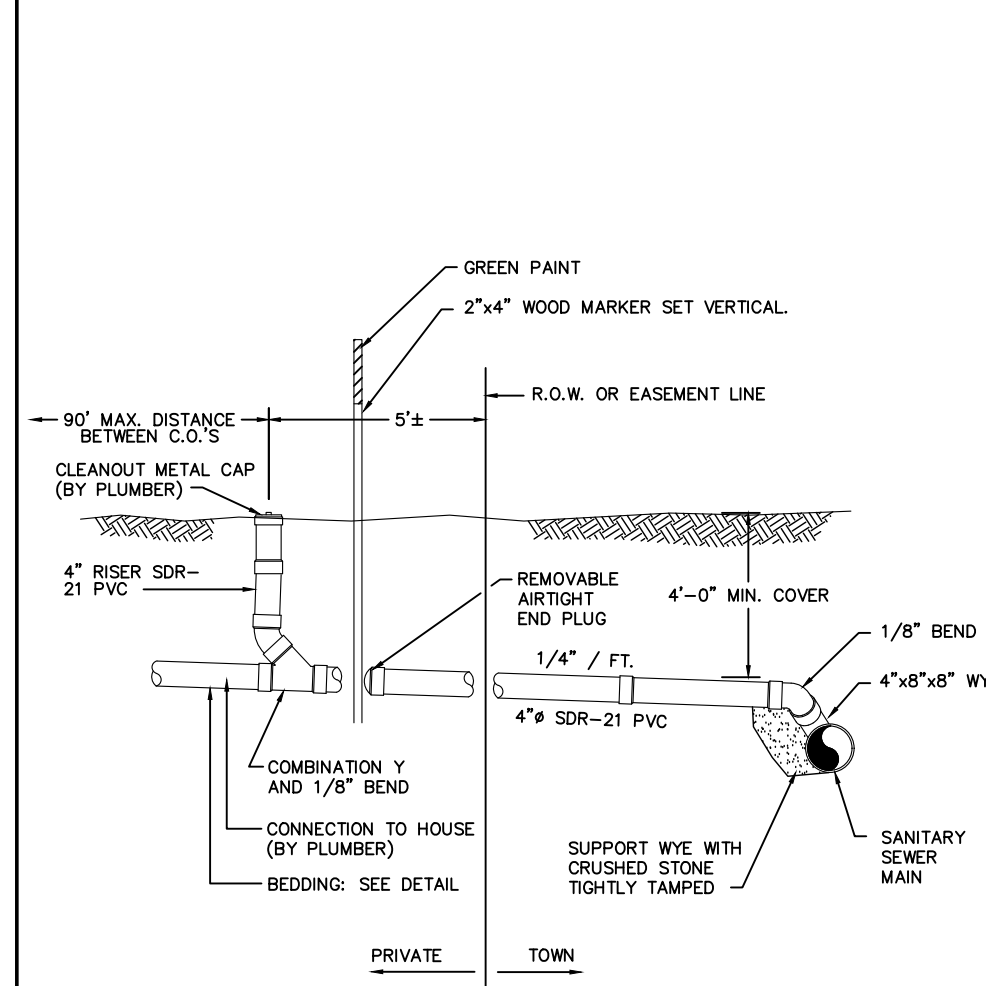


SEWER PIPE DIA.	8"	10"	12"	15"	18"	MH BARREL WALL THICKNESS
MANHOLE DIA. A	4'-0"	4'-0"	4'-0"	5'-0"	5'-0"	A 4'-0"
B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	B - 5'-0"
INVERT SLOPE G	0.1'	0.1'	0.1'	0.08'	0.05'	
H	0.3'	0.3'	0.2'	0.15'	0.2'	

NOTE: WHERE INLET AND OUTLET PIPES ARE OF DIFFERENT DIAMETERS THE SLOPE MUST NOT BE LESS THAN THE DIFFERENCE IN DIAMETER OR GREATER THAN 9'.

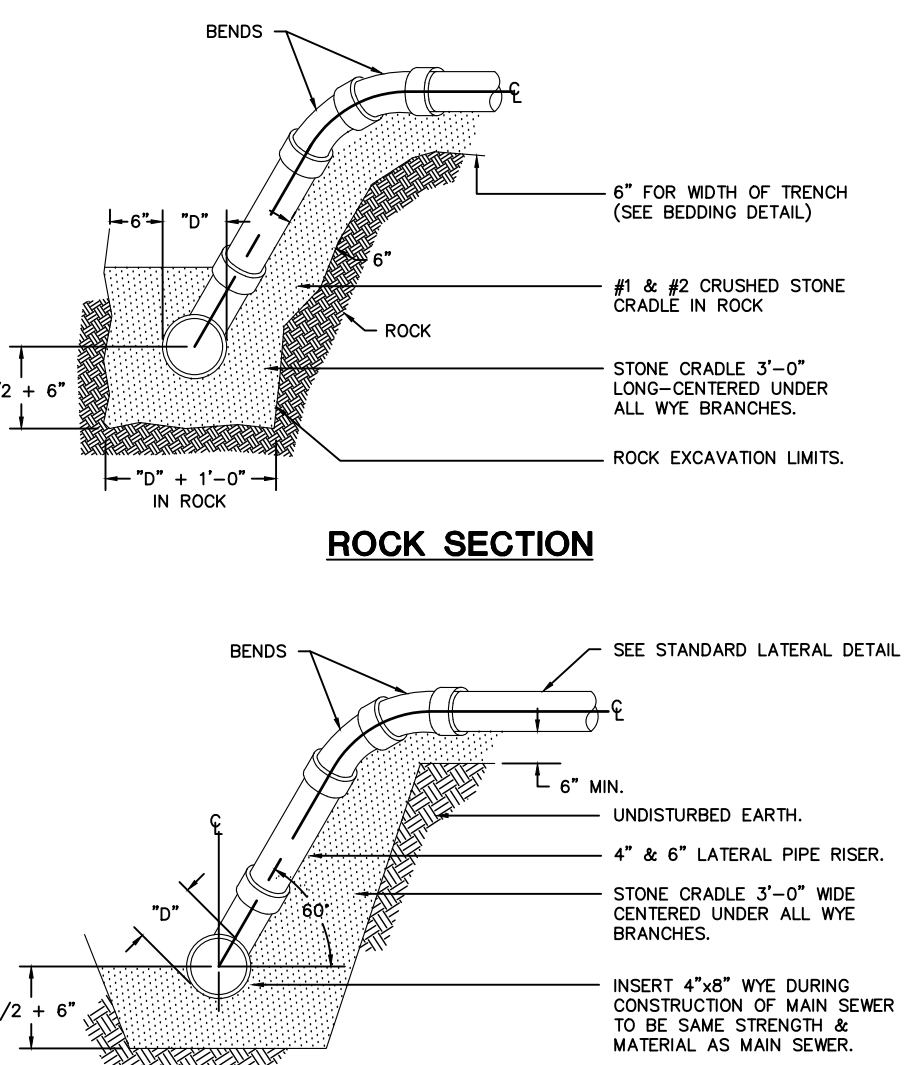
STANDARD MANHOLE DIMENSIONS

N.T.S.



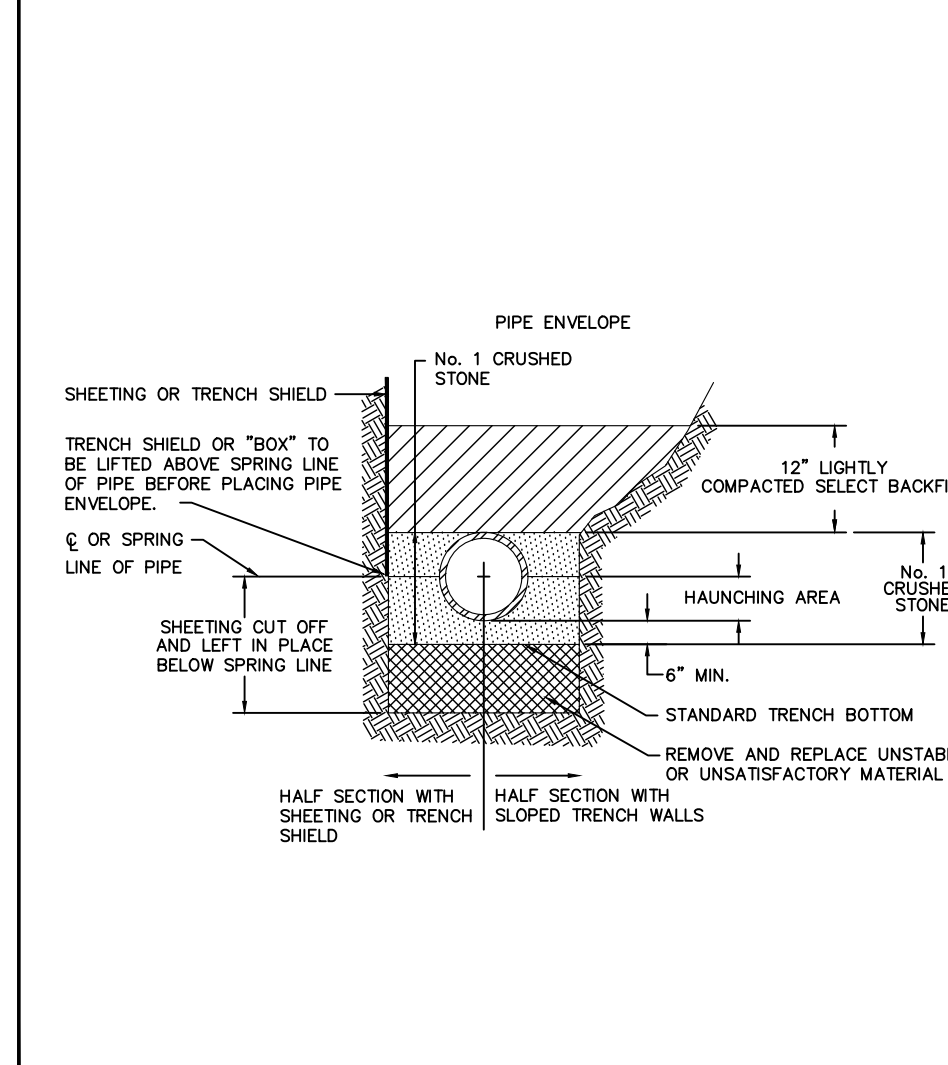
TYPICAL SANITARY SERVICE RISER CROSS SECTION

N.T.S.



SANITARY SERVICE RISER CROSS-SECTION

N.T.S.

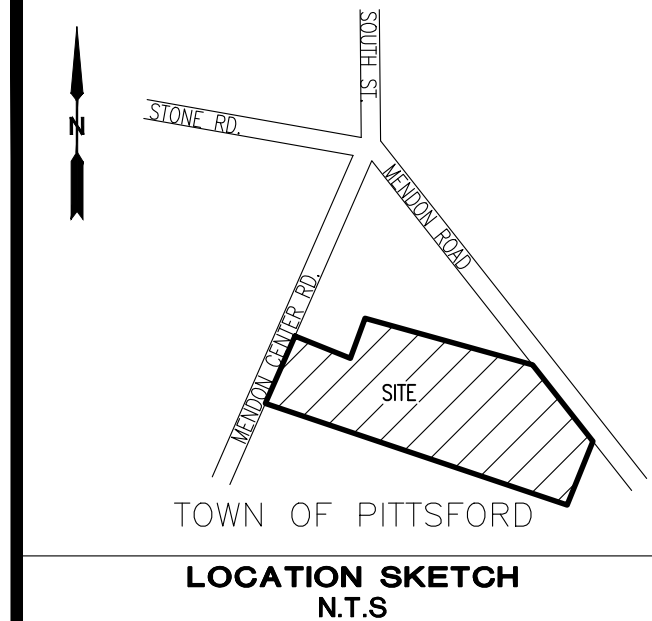


TYPICAL PIPE TRENCH SECTION

N.T.S.

STANDARD SANITARY SEWER EXTENSION NOTES:

- Maximum allowable infiltration or exfiltration shall not exceed 100 gallons per inch diameter per mile of pipe per day for the sanitary sewer. If an air test is used, the test as a minimum shall conform to the procedure described in ASTM Designation C828-86 entitled practice for Low Pressure Air Test of Vitrified Clay Pipe Lines. Sanitary manholes shall be visually inspected and tested for leakage by exfiltration or vacuum. Vacuum testing of manholes shall comply with the method outlined in the New York State Department of Environmental Conservation Technical Information Pamphlet (TIP) No. 15 (Revised).
- Floor drains, if constructed in the project, must be connected to the sanitary sewer. NOTE: Floor drains **DO NOT** include foundation or footer drains installed to intercept uncontaminated ground water. All discharges to the sanitary sewer must comply with the effluent limits of the local and/or the Monroe County Sewer Use Law.
- Deflection tests shall be performed on all flexible pipe. The test shall be conducted after the final backfill has been, in place at least 30 days. No pipe shall exceed a deflection of 5%. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The test shall be performed without mechanical pulling devices.
- Minimum vertical separation between water mains and sewer lines shall be 18 inches measured from the outside of the pipes at the point of crossing. One full standard laying length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. In addition, when the water main passes under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewer to prevent excessive deflection of joints and settling of the sewer on the water main. Minimum horizontal separation between parallel water mains and sewer pipes (including manholes and vaults) shall be 10 feet measured from the outside of the pipes, manholes or vaults.



LOCATION SKETCH N.T.S.

DATE	REVISIONS	BY



DRAWING ALTERATION

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McMahon LaRue Associates

ENGINEERS AND SURVEYORS

822 HOLT ROAD
WEBSTER, NY 14580
(585)-436-1080
WWW.McMAHON-LARUE.COM

CLIENT:

GEOCA HOMES, LLC
19 APOLLONIA LANE
FAIRPORT, NEW YORK
14450

PROJECT:

GEOCA SUBDIVISION
215 MENDON ROAD

DRAWING:

CONSTRUCTION DETAILS

PART OF TOWN LOT 18
TOWNSHIP 12, RANGE 6
PHELPS AND GORHAM PURCHASE
TOWN OF PITTSFORD, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY: AIL, GWM

DRAWN BY: JAT

CHECKED BY: AIL, BJW

S.B.L. #: 164.03-01-033

PROJ. NO.: 1185-04

DATE: JANUARY 2024

SCALE: AS NOTED

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.
DIRECTOR OF PUBLIC HEALTH
BY _____ PUBLIC HEALTH ENGINEER DATE _____

SHEET OF 9 OF 9 **CADD FILE:** 1185-04

PB minutes Geoca 215 Mendon Road Concept Subdivision

5-8-23

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

Al LaRue, of McMahon LaRue Associates, P.C. and as agent for Eric Geoca, introduced the application. Eric Geoca and Lynne Geoca Tempest, owners of 215 Mendon Road, were also in attendance. Mr. LaRue stated that this application is for a 3-lot residential subdivision to include 2 new building lots and 1 existing home located at 215 Mendon Road. The DRC report was received, and the applicant plans to submit written responses. The exact route of the sewers is still under consideration.

Chairman Limbeck voiced his concern for the potential re-route of Stone Road to connect with Mendon Road through this property. He stated that the Planning Board should require right-of-way (ROW) consideration through this lot. Mr. LaRue stated that the State has expressed no interest in a highway realignment. Chairman Limbeck stated his hesitation to approve a subdivision concept plan without acknowledging the potential re-route plan that was created in the 1990s. This plan was incorporated into the Town's Comprehensive Plan of 1994 and labeled a "bottleneck" intersection with heavy traffic congestion. This is the last of seven intersections identified in the traffic improvement plan to be constructed.

Mr. DeRue confirmed Chairman Limbeck's statements and explained that the Stonetown Hamlet subdivision to the west of this property was required to create an 80-foot-wide ROW that later became Monroe County property. He explained that the property is zoned Residential Neighborhood (RN) and according to the Town Code, the Planning Board has authority to control number of lots and lot size when a road is created in the RN District. He believes that although the road may not be created immediately, or ever, the creation of a ROW through the property would still allow the Planning Board to control the number of lots and lot size required for subdivision of the property. This could possibly allow for more than three total lots.

The Board agreed that the applicant should submit a revised plan with an 80-foot-wide ROW through the property. Mr. DeRue explained that an 80-foot-wide ROW is common in state roads to allow for the road and sidewalks on both sides.

Mr. LaRue asked the Town to provide any previous drawings or plans of the highway realignment for reference when revising the plans.

Chairman Limbeck motioned to open the public hearing, seconded by Board Member Morabito. Following a unanimous voice vote, the public hearing was opened.

Susan Houghton, of 26 Mendon Center Road, asked about the proposed sewer route to this property. Chairman Limbeck explained that there are currently two options to extend the sewer: either up Mendon Center Road from the south or across Mendon Center Road from the Stonetown Hamlet subdivision to the west. Ms. Houghton asked if sewers are required. Mr. DeRue stated that according to Town Code, sewers must be extended to new subdivisions. The applicant also has the choice to install septic systems but must build a dry sewer to the site. Mr. DeRue stated that he believes sewers are achievable to the site. The preferred sewer location is from the south and up Mendon Center Road, as this route would allow for accessible sewers to neighbors. Ms. Houghton asked if neighbors along Mendon Center Road would be required to

pay a sewer tax if they choose not to connect to the sewer. Mr. DeRue stated that homes within the sewer district that are not connected will pay \$10 per year. Those who are connected will pay additional fees to use the sewer. Ms. Houghton asked about current wildlife on the property. Mr. DeRue stated that the Town has preserved thousands of acres of open space through zoning requirements to accommodate wildlife.

Peggy Brizee, of 81 South Main Street, asked the Board for sensitivity when reviewing this application. She stated that this property is within the Town's only historic district. She offered Historic Pittsford's expertise on the district should the Board be interested.

Tom Helfrich, of 1 Ingridshire Drive, asked why the property is not being preserved through past open space requirements. Mr. DeRue stated that this property is not included in the Lusk Farm development open space "deal" with Spall Homes from the past. Mr. Helfrich asked why past subdivision proposals were not approved in the past. Chairman Limbeck stated that old subdivision plans for this lot were not resolved and are not relevant to the current subdivision application.

Ms. Brizee returned to the podium. She asked if the Board would complete a SEQRA review. Mr. DeRue stated that a Part 1 Short EAF was submitted by the applicant and the Planning Board and Design Review and Historic Preservation Board (DRHPB) will coordinate SEQRA review.

Chairman Limbeck stated that the public hearing will remain open.

Mr. DeRue stated that the DRHPB has submitted comments for this application that were delivered to the Planning Board via email. Mr. DeRue provided the Board with hard copies during the meeting. He asked the Board to consider that DRHPB was not aware of the highway realignment plan when composing comments. The Planning Board will resolve a Concept Subdivision, then the application will go to DRHPB for subdivision Certificate of Appropriateness. The application will then return to the Planning Board for Preliminary and Final Subdivision approvals. New homes constructed through this subdivision will be required to receive a Certificate of Appropriateness.

5-22-23

McMahon LaRue Associates, Geoca Subdivision Concept Subdivision

Al LaRue, of McMahon LaRue Associates, P.C. and as agent for Eric Geoca, re-introduced the application. Eric Geoca and Lynne Geoca Tempest, owners of 215 Mendon Road, were also in attendance.

Mr. LaRue brought a revised plat map to the meeting. At the Board's previous request, an 80-foot right-of-way (ROW) was added to the map. Mr. LaRue asked for input regarding the possibility of additional lots and types of homes desired for this property, which is located in the Mile Post/Stonetown Historic District. Eric Geoca, of 215 Mendon Road, stated that the applicant is awaiting input from the Design Review and Historic Preservation Board (DRHPB). Chairman Limbeck stated that the Board, the Town, and the DRHPB, will communicate for input on the revised concept plat map. Planning Board Member Hali Buckley showed interest in hearing from the DRHPB and reviewing their comments.

Chairman Limbeck stated this application is an open public hearing and asked for public comment. Hearing none, Chairman Limbeck stated that this hearing will remain open.

6-12-23

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

Al LaRue, of McMahon LaRue Associates, P.C. and as agent for Eric Geoca, re-introduced the application. Eric Geoca, owner of 215 Mendon Road, was also in attendance.

Mr. LaRue stated that the revised plan includes the 80-foot right-of-way (ROW) and 4 new building lots south of the ROW, plus 1 existing home at 215 Mendon Road.

Chairman Limbeck asked the Board to address any questions with the applicant. Planning Board Member Hali Buckley asked the applicant why 4 new lots were chosen. Mr. Geoca stated that 4 new lots on the south side of the ROW provide village-style lot dimensions, of which are slightly larger than the common Village of Pittsford lot size. Mr. LaRue stated that all new lots are proposed south of the ROW to allow for buffering around the existing home.

Chairman Limbeck stated that this application was referred to the Design Review and Historic Preservation Board (DRHPB) for comment about the feasible number and size of lots, as this property falls within the Town's only historic district: the Mile Post/Stonetown Historic District. The DRHPB has mixed recommendations for the concept subdivision. Chairman Limbeck stated that the Planning Board has confirmed that the ROW will remain and is specifically looking for DRHPB comment regarding the number of lots, either 3 or 4 new building lots south of the ROW. The Planning Board is favoring 3 new lots.

Planning Board Member Paula Liebschutz asked Robert Koegel, the Town Attorney, to clarify the Planning Board and DRHPB roles within this subdivision process. Mr. Koegel stated that he will research the exact roles and relay to each respective board.

Chairman Limbeck stated that this is an open public hearing and requested public comment. Hearing none, Chairman Limbeck stated that this hearing will remain open.

6-26-23

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

Al LaRue, of McMahon LaRue Associates, P.C. and as agent for Eric Geoca, re-introduced the application. Lynne Geoca-Tempest and Eric Geoca, owners of 215 Mendon Road, were also in attendance. Mr. LaRue stated that the Board and applicant were awaiting Design Review and Historic Preservation Board (DRHPB) comments at the last Planning Board meeting. Doug DeRue, the Town's Director of Planning, Zoning, and Development, stated that a memo from Meghan Brooks, the Town's Building Department Assistant, on behalf of the DRHPB, was delivered to the Planning Board immediately prior to tonight's meeting. Chairman Limbeck asked Robert Koegel, Town Attorney, to clarify the correct procedure for this subdivision after his research, which was requested at the last Planning Board meeting. Mr. Koegel stated that

the Planning Board has referred this application to the DRHPB, but only as an advisory role. The DRHPB, as interpreted from Town Code by Mr. Koegel, is not required to issue a Certificate of Appropriateness for the subdivision of land within a historic district. The Planning Board will regulate the subdivision of land. Following its subdivision, the DRHPB will issue a Certificate of Appropriateness for each structure that is built because the lots fall within the Mile Post/Stonetown Historic District. The DRHPB will have control over home orientation, scale, color, and overall look. Mr. LaRue confirmed that he understood the process as Mr. Koegel described.

Chairman Limbeck asked the Board to address any questions with the applicant. No questions were raised.

Chairman Limbeck stated that this application was referred to the Design Review and Historic Preservation Board for comment as this property falls within the Town's only historic district: the Mile Post/Stonetown Historic District. Chairman Limbeck read the DRHPB's memo aloud. Their comments included:

- The DRHPB supports no new development, of a road or any additional residential development, in order to retain the historic integrity of the district. It is the Town's only historic district and is a 19th century settlement area unduplicated in Pittsford. Unlike many historic sites, it is important that the actual terrain is to be preserved, not just one building. The intersection is the heart of this historic district, supplemented by the several buildings and cemetery. The meeting of several old roads is key.
- If new development is necessary, the DRHPB strongly recommends dividing the existing property into three total lots, one existing home and two new lots, with the setbacks of new lots orienting towards existing streets in such a way that would allow for the possibility of the Stone Road realignment should it be constructed.
- The DRHPB agrees that modern front setback standards are "out-of-character" for this historic district and recommends that historical context is taken into consideration when establishing the front setback.
- The DRHPB recognized that historic homes still need to function as homes and the key to a successful district is to be respectful of the historic nature of the district even as it changes.
- Regarding future homes, the DRHPB advises that modest homes, subservient in size to the existing homes and of appropriate style with detached garages, would be most likely to be successful in the Mile Post/Stonetown Historic District.

Chairman Limbeck stated that this is an open public hearing and requested public comment.

Chairman Limbeck stated that residents along Mendon Center Road submitted a petition in favor of the sewer extension and their interest in granting an easement to allow this. Residents featured in the petition included Andrew Moll, of 38 Mendon Center Road, Mary Ann Wukovitz, of 34 Mendon Center Road, and Lisa Dunn, of 44 Mendon Center Road.

Susan Houghton, of 26 Mendon Center Road, stated that she was not contacted by neighbors regarding the interest for a public sewer extension, though she is interested in granting an easement as well. Ms. Houghton stated that she understands the historic significance of this district and plans to recreate historic foliage in the area. She stated that she appreciated the DRHPB's comments for no new development or road and agrees that the proposed four new lots are too many. Mr. DeRue confirmed the Planning Board's interest to include the right-of-way (ROW) through this property has been validated through past planning and Town Board

decisions. The Town Board adopted this plan in the 1995 Comprehensive Plan and required a ROW to be preserved during the Stonetown Hamlet Subdivision in the late 1990s. The actual construction timeline of the Stone Road realignment remains unknown.

Peggy Brizee, of 81 South Main Street, and as President of Historic Pittsford, stated that she questioned the Town Board regarding this application and members were not familiar with the realignment plan. She also asked if SEQRA was addressed for the road realignment. Chairman Limbeck asked Mr. DeRue if the Stonetown Hamlet Subdivision falls within the Mile Post/Stonetown Historic District. Mr. DeRue confirmed and mentioned that this subdivision was approved after the creation of the district. Mr. DeRue informed Ms. Brizee and the Planning Board that this realignment was identified in the 1995 Comprehensive Plan, which was adopted by previous Town Board members. No current Town Board members were on the Town Board in 1995. SEQRA was addressed during the adoption of the 1995 Comprehensive Plan. Without realignment, any future expansion of the intersection would encroach on multiple historic places. Mr. DeRue stated the realignment plan would protect and preserve the historic places surrounding the existing intersection. Planning Board Member Hali Buckley asked Mr. DeRue if DRHPB comments were made then in protest of development. Mr. DeRue could not recall but did confirm that there were concerns about development of a subdivision within the historic district at the time.

Board Member Buckley asked the applicant to please submit a revised subdivision plat showing three new lots instead of the four lots as submitted. Chairman Limbeck seconded this request. Mr. Geoca voiced his frustration over the inclusion of a ROW through the property and stated his preference for two new lots without the ROW. Board Member Buckley stated that the Board will require a ROW for this subdivision. Planning Board Member Paula Liebschutz stated her preference to see three new lots. Mr. Geoca stated that he will consider this request.

Bonnie Salem, of 31 Rosewood Drive and a member of the DRHPB, requested that the Board please consider home orientation when subdividing. She suggested two new lots would allow one home to face Mendon Center Road and one to face Mendon Road.

Chairman Limbeck stated that this hearing will remain open.

7-10-23

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

Eric Geoca & Lynne, owners of 215 Mendon Road, were in attendance. Mr. Geoca submitted a list of questions for the Design Review and Historic Preservation Board (DRHPB).

Vice Chairman Halldow asked the Board to address any questions with the applicant. Planning Board Member Hali Buckley asked Mr. Geoca if he planned to submit revised plans. Mr. Geoca stated that the applicant is awaiting feedback from DRHPB. Board Member Buckley stated that the Planning Board will only approve layout and that each house will have a Certificate of Appropriateness and public hearing. Vice Chairman Halldow stated that there is no support for four new lots and that the Board is contemplating between two and three new lots. In order to specify the number of lots, the Board would like to see two plans: one for two new lots and one for three new lots. Mr. Geoca stated that he would like to receive DRHPB feedback before

submitting more lot configurations. Planning Board Member Kevin Morabito showed favor for three new lots.

Vice Chairman Halldow stated that this is an open public hearing and requested public comment.

Bill Cherry, of 1 Mendon Center Road, also known as the "Lusk Farmhouse," asked if the letter Mr. Geoca was submitted to DRHPB. Vice Chairman Halldow confirmed and informed Mr. Cherry that the DRHPB would be discussing this application informally at their meeting on July 13, 2023.

Suzanne Shaw, of 127 Woodland Road, shared concern and opposition for subdivision within the Mile Post/Stonetown Historic District.

Bonnie Salem, of 31 Rosewood Drive, asked if the Planning Board, applicant, and public received the DRHPB comments on the Geoca Subdivision. Board Member Buckley informed Ms. Salem that the comments were read aloud at the previous Planning Board meeting and were also incorporated into the minutes. Ms. Salem stated that size and massing was discussed in the comments but was unable to recall specific numbers. Board Member Morabito asked Ms. Salem why she was unable to recall the specific comments. Ms. Salem stated that she was not present to represent the DRHPB but was attending for personal interest. Ms. Salem recalled that the DRHPB preferred modest homes subservient in size. Board Member Buckley stated that the DRHPB comments were unclear on specific size.

Hal Lusk, of 14 Mendon Center Road, asked the Board if sanitary sewers were proposed to serve the new homes. Board Member Buckley confirmed. Mr. Lusk asked if the Board was planning to require the right-of-way (ROW) through this parcel. He remembered the Stone Road realignment plan and that it was incorporated when subdividing the current Stonetown Hamlet Subdivision. Vice Chairman Halldow confirmed that the Board has requested the creation of this ROW. Mr. Lusk stated that he was not opposed to the subdivision.

Rae Hadinger, of 17 West Jefferson Road, shared concern and opposition to the subdivision.

Vice Chairman Halldow stated that this hearing will remain open.

TOWN OF PITTSFORD

SETTLED 1789

11 SOUTH MAIN STREET, PITTSFORD, NY 14534
TEL. 585-248-6200 FAX 585-248-6247

Design Review & Historic Preservation Board RESPONSE TO THE GEOCA SUBDIVISION DEVELOPER'S LETTER

On Thursday, July 13, 2023, the Design Review & Historic Preservation Board (DRHPB) gave the following feedback in response to a letter written to them by the developer of 215 Mendon Road:

PART I: Development

- The DRHPB prefers that no new development occur at 215 Mendon Road in order to preserve the integrity of the historic district.
- Should development occur, the DRHPB recommends that the subdivision be divided into three parcels: the existing home at 215 Mendon Road, and two new lots.

PART II: Design & Construction


- The DRHPB deems that the homes at 14 Mendon Center Road and 215 Mendon Road are appropriate context references for future construction within the Geoca Subdivision, *with the exception of existing materials*.
- The DRHPB desires home sizes of approximately 2000 square feet of conditioned living space. This definition is given to maintain an appropriate size and scale to the rural nature of the district and reduce the density of structures.
- The DRHPB states that homes should maintain a farmhouse style without becoming carbon copies of surrounding structures.
- The DRHPB states that the homes in the Founder's Green Subdivision are not an acceptable model for the Geoca Subdivision due to the unique nature of the 215 Mendon Road parcel.
- The DRHPB states their preference for detached garages, as they are considered most historically appropriate.

PART III: Planning

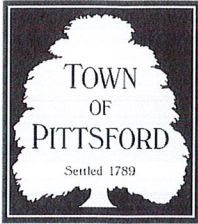
- The DRHPB states their wish to host a joint meeting with the Town of Pittsford Planning Board to discuss the design guidelines for the Mile Post Stone Town Historic District set forth in 1993.

Full minutes for the July 13, 2023, Design Review & Historic Preservation Board meeting will be available following their approval at the next DRHPB meeting.

Respectfully,



Meghan Brooks
Building Department Assistant



TOWN OF PITTSFORD SUBDIVISION AUTHORIZATION TO MAKE APPLICATION

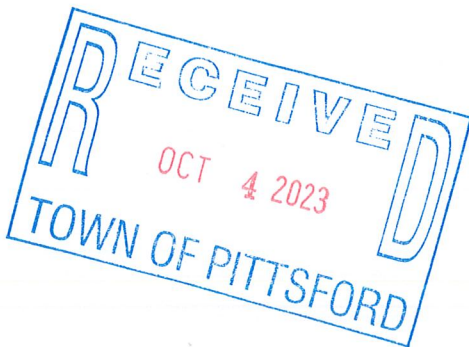
Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, RAMA R GUPTA, the owner of the property located
at: 3096 CLOVER STREET PITTSFORD 14534
(Street) (Town) (Zip)

Tax Parcel # 163.04-1-39.1 do hereby authorize

_____ to make application to the
Town of Pittsford Planning Board, 11 South Main Street, Pittsford NY 14534 for the
purpose(s) of _____



Rama Gupta
Signature of Owner

10/04/2023
Date

PLANNING BOARD FILE

Hearing Date: 11/13/23
DRC Meeting Date: 10/31/23

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

3092 CLOVER STREET & 3096 CLOVER ST.
(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Design Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment
 variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

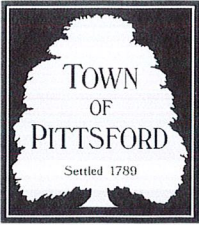
Address(es)

Ranea Cervlo
Signature of Applicant

10/4/2023
Dated

3096 CLOVER ST.
Street Address

PITTSFORD NY 14534
City/Town, State, Zip Code



TOWN OF PITTSFORD SUBDIVISION APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: _____

LOCATION: _____

TAX ACCOUNT NO: _____

OWNER: RAMA R GUPTA

APPLICANT: RAMA GUPTA

ADDRESS: 3096 CLOVER ST

ADDRESS: 3096 CLOVER ST.

CITY, ST ZIP: PITTSFORD, NY 14534

CITY, ST ZIP: PITTSFORD 14534

PHONE: 585-750-5121

PHONE: 585-750-5121

FAX: _____

FAX: _____

E-MAIL: _____

E-MAIL: ramargupta@gmail.com

AGENT: _____

ADDRESS: _____

CITY, ST ZIP: _____

PHONE: _____ FAX: _____

E-MAIL: _____

BRIEF DESCRIPTION OF PROJECT: MOVING LOT LINE

REQUEST FOR: Concept Subdivision
(Please Preliminary Subdivision
check all Final Subdivision
applicable)

HEARING DATE REQUESTED: _____

- Special Permit
- Preliminary Site Plan
- Final Site Plan

Square Footage of Building: _____

Total Acreage of Disturbance: _____

ZONING CLASSIFICATION: RESIDENTIAL SIZE OF PARCEL: 4.96 ACRES

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? NO YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: _____
(Municipality)

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
VICTORIAN ESTATES RESUB			
Name of Action or Project: RE SUBDIVIDE EXISTING LOTS 1 AND 3			
Project Location (describe, and attach a location map): 3096 CLOVER ST.			
Brief Description of Proposed Action: RESUBDIVIDING TO LOTS 1 AND 3 OF VICTORIA ESTATES SUB			
Name of Applicant or Sponsor: RAMA GUPTA		Telephone: 585 750-5121	
		E-Mail: RGUPTA@GMAIL.COM	
Address: 3096 CLOVER ST.			
City/PO: PITTSFORD		State: N.Y.	Zip Code: 14534
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.0 acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.9 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/> NO <input type="checkbox"/> YES		
	<input type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Rama Cereb</u> Date: <u>10/4/23</u>		
Signature: <u>Rama Cereb RAMA GUPTA</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

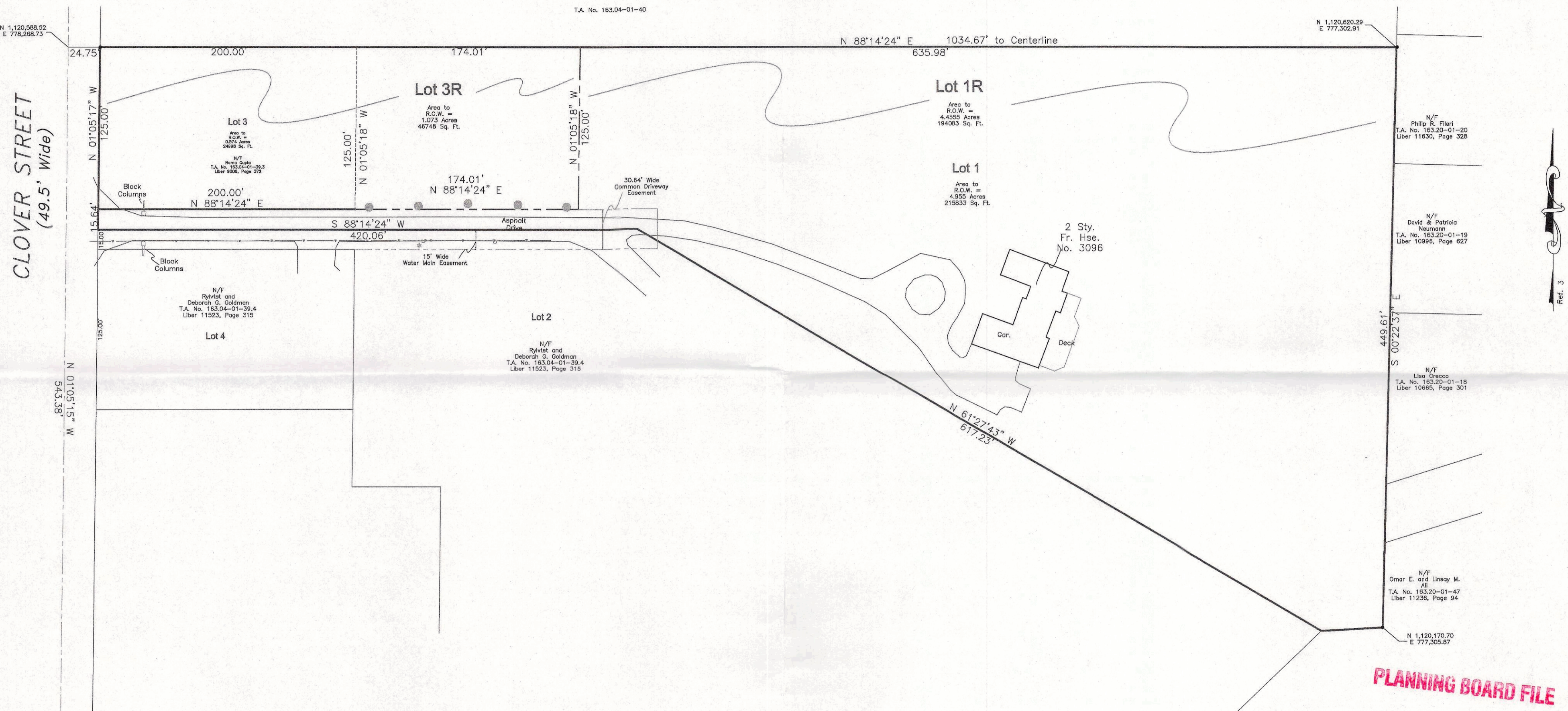
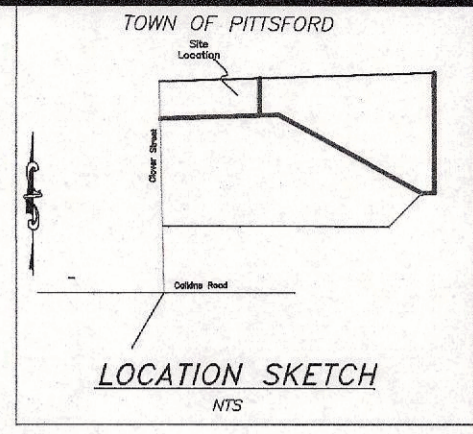
PRINT

RESET

Hearing Date: 11/13/23
 DRC Meeting Date: 10/31/23

VICTORIAN ESTATES RESUBDIVISION
 RESUBDIVISION OF LOT 1 AND LOT 3 OF VICTORIAN ESTATES
 being part of Town Lot 53, Township 12,
 Range 5, of the Phelps & Gorham Purchase,
 ~situate in~
 Town of Pittsford County of Monroe, State of New York

Scale 1 = 60 Date October 4, 2023



SITE DATA

EXISTING LOT 1	Proposed LOT 1R
Owner Rama Gupta Tax Account No. 163.04-01-39.1 3096 Clover Street Pittsford, N.Y. 14534 Zoning RN Residential Neighborhood Area - 4.995 Acres (Proposed) 215833 Sq. Ft. Minimum Front Setback 70 feet Minimum Side Setback 10 feet Minimum Rear Setback 20 feet	Tax Account No. 163.04-01-39.3 3092 Clover Street Zoning RN Existing Area - 4.455 Acres 194083.4 Sq. Ft.
EXISTING LOT 3	Proposed LOT 3R
Tax Account No. 163.04-01-39.3 3092 Clover Street Zoning RN Existing Area - 0.574 Acres 24998 Sq. Ft.	Tax Account No. 163.04-01-39.3 3092 Clover Street Zoning RN Existing Area - 1.073 Acres 46748 Sq. Ft.

LEGEND

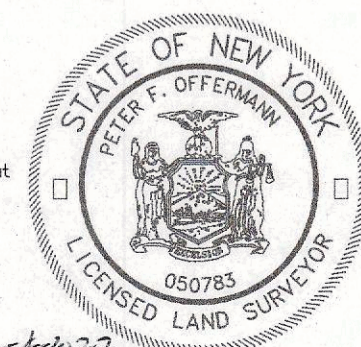
- Disjunctive Tree
- Rebar Found
- Light Pole

MONUMENT DATA

- Bearings shown hereon refer to grid north.
- Distances shown hereon are horizontal ground length.
- Perimeter survey and ties to geodetic monuments were accomplished using procedures necessary to achieve an accuracy of greater than 1 part in 20,000.
- Coordinates shown hereon are referenced to the New York State Transverse Mercator Projection Plane Coordinate System for the West Zone and were computed using an elevation factor of 0.9999742 and a grid factor of 0.9999899.
- Monuments used (N.A.D. 1927, N.G.V.D. 1929):
 MCGS 4303(1973) N 1,119,768.69 E 776,298.34
 MCGS 4304(1973) N 1,119,778.88 E 777,376.60

I, Peter F. Offermann P.L.S. do hereby certify that this map was completed from notes from an instrument survey completed on September 25, 2023.

 Peter F. Offermann PLS #050783 Date 10-4-2023



This plot is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For the General Municipal Law: _____ Date _____

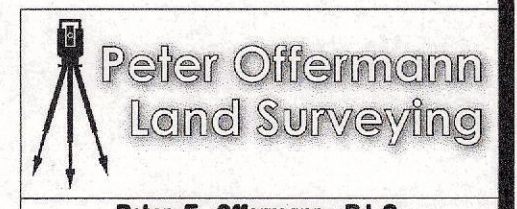
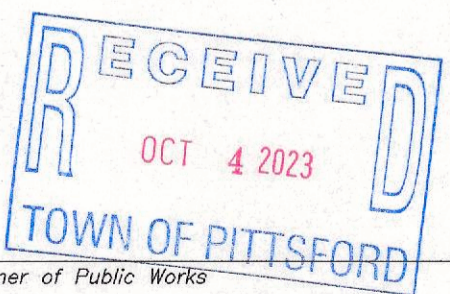
County Highway Superintendent _____ Date _____

For the Monroe County Monumentation Law: _____ Date _____

Monroe County Surveyors Office _____ Date _____

Town Engineer _____ Date _____

Planning Board Chairperson _____ Date _____



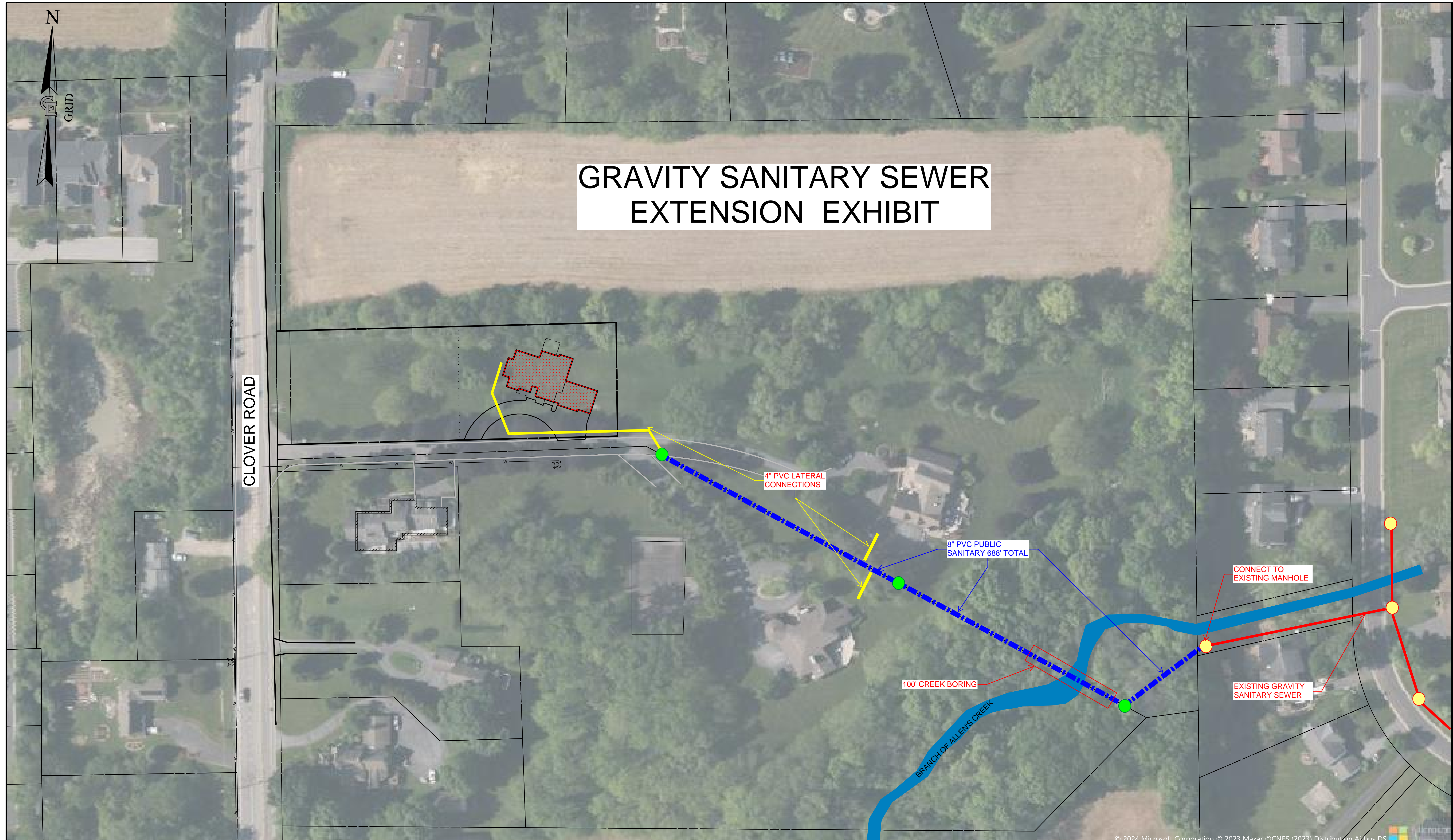
Peter F. Offermann, P.L.S.
 4 Nyby Road, Rochester, New York 14624
 Phone (585) 235-4342 Cell (585) 831-9242
 Email surveyortemp@yahoo.com

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2, of the New York State Education Law.
 Only copies from the original of this survey marked with an original of the Land Surveyor's embossed seal shall be considered to be valid true copies.
 Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for land surveying adopted by the New York State Association of Professional Land Surveyors. Said certifications shall not apply to the person for whom the survey is prepared, and on behalf of the title company, governmental agency, and lending institutions listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
 The certifications hereon are not transferable.
 The locations of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.

REFERENCES:

- Liber 10571 of Deeds, Page 428
- Map of Victorian Estates Subdivision, by Passero - Scardetto Associates, dated December 7, 1982, filed in Monroe County Clerk's Office in Liber 228 of Maps, Page 81.

GRAVITY SANITARY SEWER EXTENSION EXHIBIT

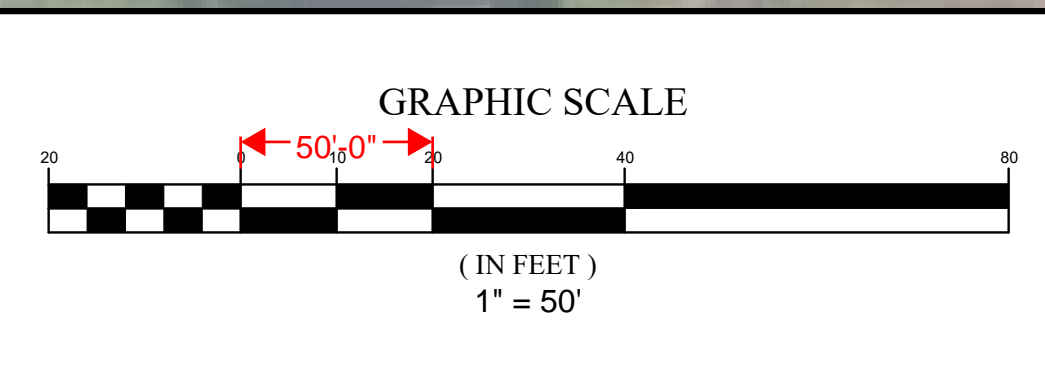


CLOVER ROAD

BRANCH OF ALLENS CREEK



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



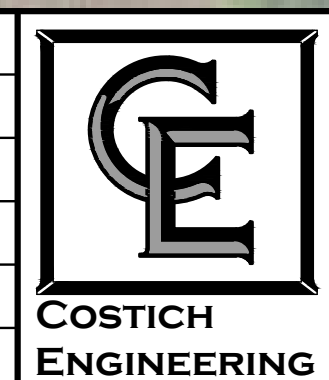
NO.	DATE	REVISION	BY	CHKD.	APVLS.

COPYRIGHT © 2024 COSTICH ENGINEERING, D.P.C.
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.

PROJECT MANAGER
M.O.R.
 DRAWN BY
M.O.R.
 BOUNDARY

 TOP/BASE

 DATE
12/08/2023
 SCALE
1" = 50'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

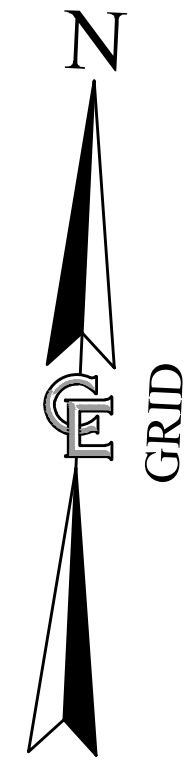
TITLE OF PROJECT
KOTTAMASU & GUPTA RESIDENCE
3092 CLOVER STREET

TITLE OF DRAWING
GRAVITY SEWER EXHIBIT

LOCATION OF PROJECT
TAX PARCEL NO. 163.04-1-39.3
COUNTY OF MONROE, STATE OF NEW YORK

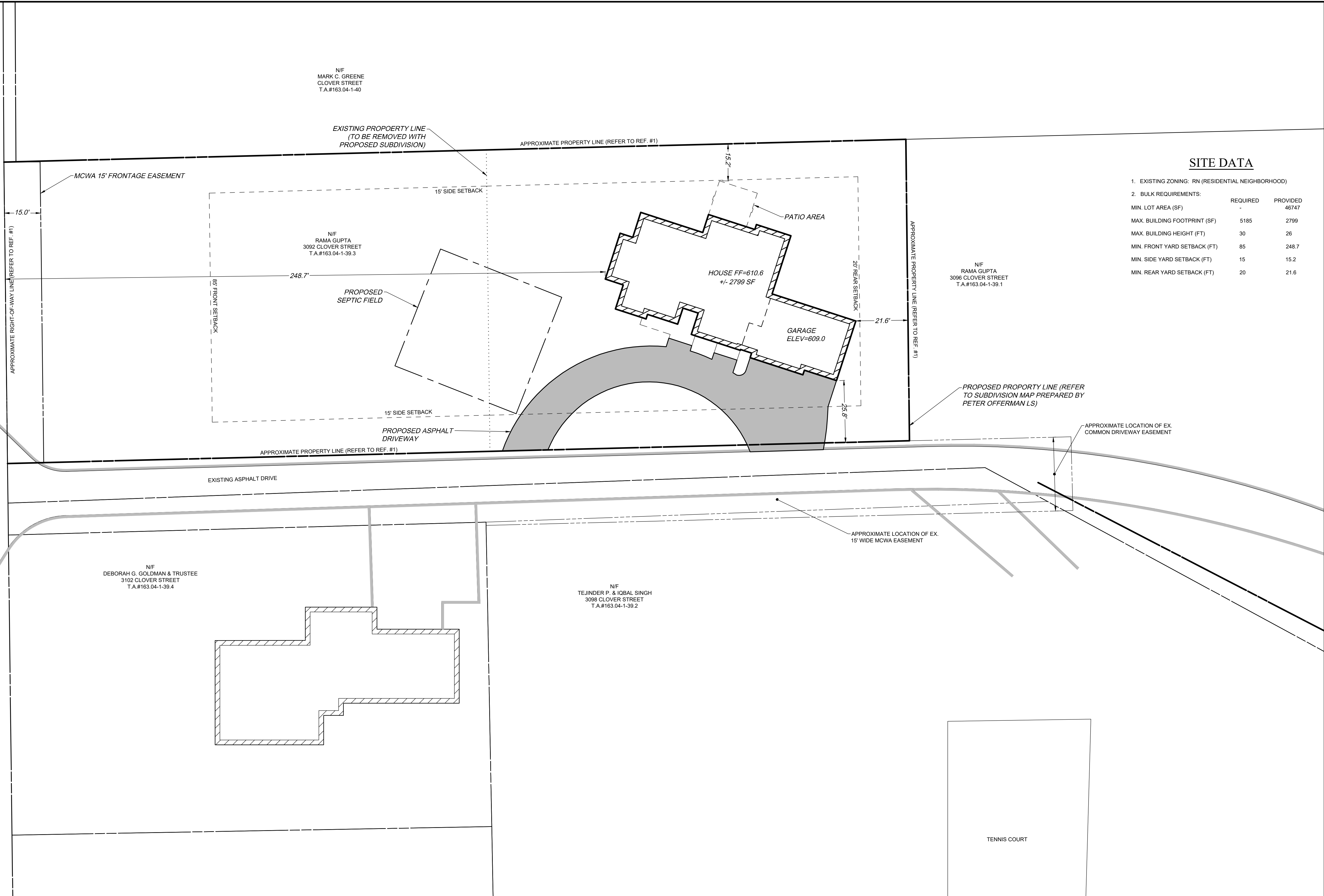
CLIENT
RAMA & PRIYA GUPTA
3096 CLOVER STREET
PITTSFORD, NEW YORK 14534

DWG # 9300
CE001
SHEET 1 OF 1



GRID

CLOVER STREET



SITE DATA

1. EXISTING ZONING: RN (RESIDENTIAL NEIGHBORHOOD)		
2. BULK REQUIREMENTS:		
	REQUIRED	PROVIDED
MIN. LOT AREA (SF)	-	46747
MAX. BUILDING FOOTPRINT (SF)	5185	2799
MAX. BUILDING HEIGHT (FT)	30	26
MIN. FRONT YARD SETBACK (FT)	85	248.7
MIN. SIDE YARD SETBACK (FT)	15	15.2
MIN. REAR YARD SETBACK (FT)	20	21.6

APPROXIMATE RIGHT-OF-WAY LINE (REFER TO REF. #1)

15.0'

MCWA 15' FRONTAGE EASEMENT

N/F
MARK C. GREENE
CLOVER STREET
T.A.#163.04-1-40

EXISTING PROPOERTY LINE
(TO BE REMOVED WITH
PROPOSED SUBDIVISION)

APPROXIMATE PROPERTY LINE (REFER TO REF. #1)

15' SIDE SETBACK

N/F
RAMA GUPTA
3092 CLOVER STREET
T.A.#163.04-1-39.3

PROPOSED SEPTIC FIELD

85' FRONT SETBACK

248.7'

PROPOSED ASPHALT DRIVEWAY

15' SIDE SETBACK

APPROXIMATE PROPERTY LINE (REFER TO REF. #1)

EXISTING ASPHALT DRIVE

N/F
DEBORAH G. GOLDMAN & TRUSTEE
3102 CLOVER STREET
T.A.#163.04-1-39.4

N/F
TEJINDER P. & IQBAL SINGH
3096 CLOVER STREET
T.A.#163.04-1-39.2

APPROXIMATE LOCATION OF EX.
15' WIDE MCWA EASEMENT

PROPOSED PROPERTY LINE (REFER
TO SUBDIVISION MAP PREPARED BY
PETER OFFERMAN LS)

APPROXIMATE LOCATION OF EX.
COMMON DRIVEWAY EASEMENT

PATIO AREA

HOUSE FF=610.6
+/- 2799 SF

GARAGE
ELEV=609.0

APPROXIMATE PROPERTY LINE (REFER TO REF. #1)

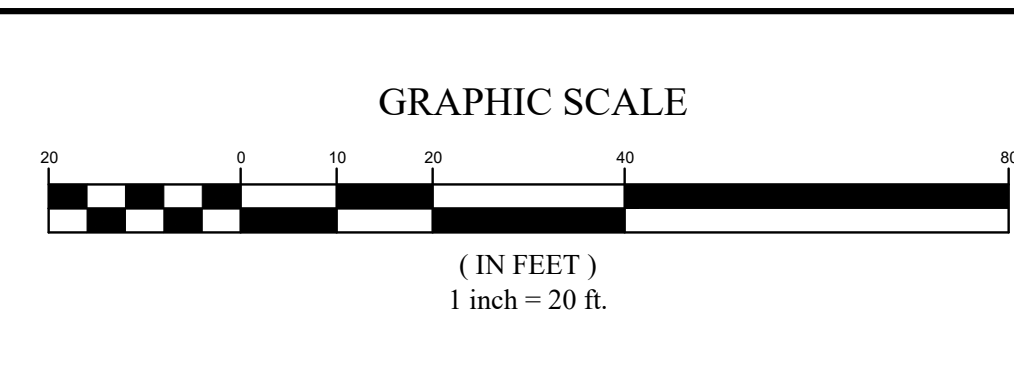
N/F
RAMA GUPTA
3096 CLOVER STREET
T.A.#163.04-1-39.1

PROPOSED PROPERTY LINE (REFER
TO SUBDIVISION MAP PREPARED BY
PETER OFFERMAN LS)

TENNIS COURT



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLI TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	APVLS.

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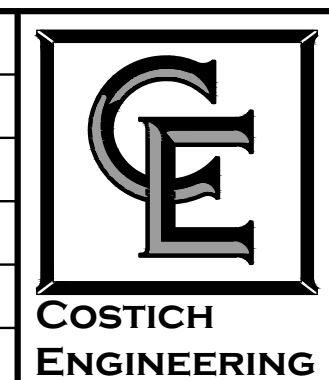
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PROJECT MANAGER
M.O.R.
DRAWN BY
M.O.R.
BOUNDARY

TOPOBASE

DATE
2/07/2024
SCALE
1"=20'



• CIVIL ENGINEERING
• LAND SURVEYING
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

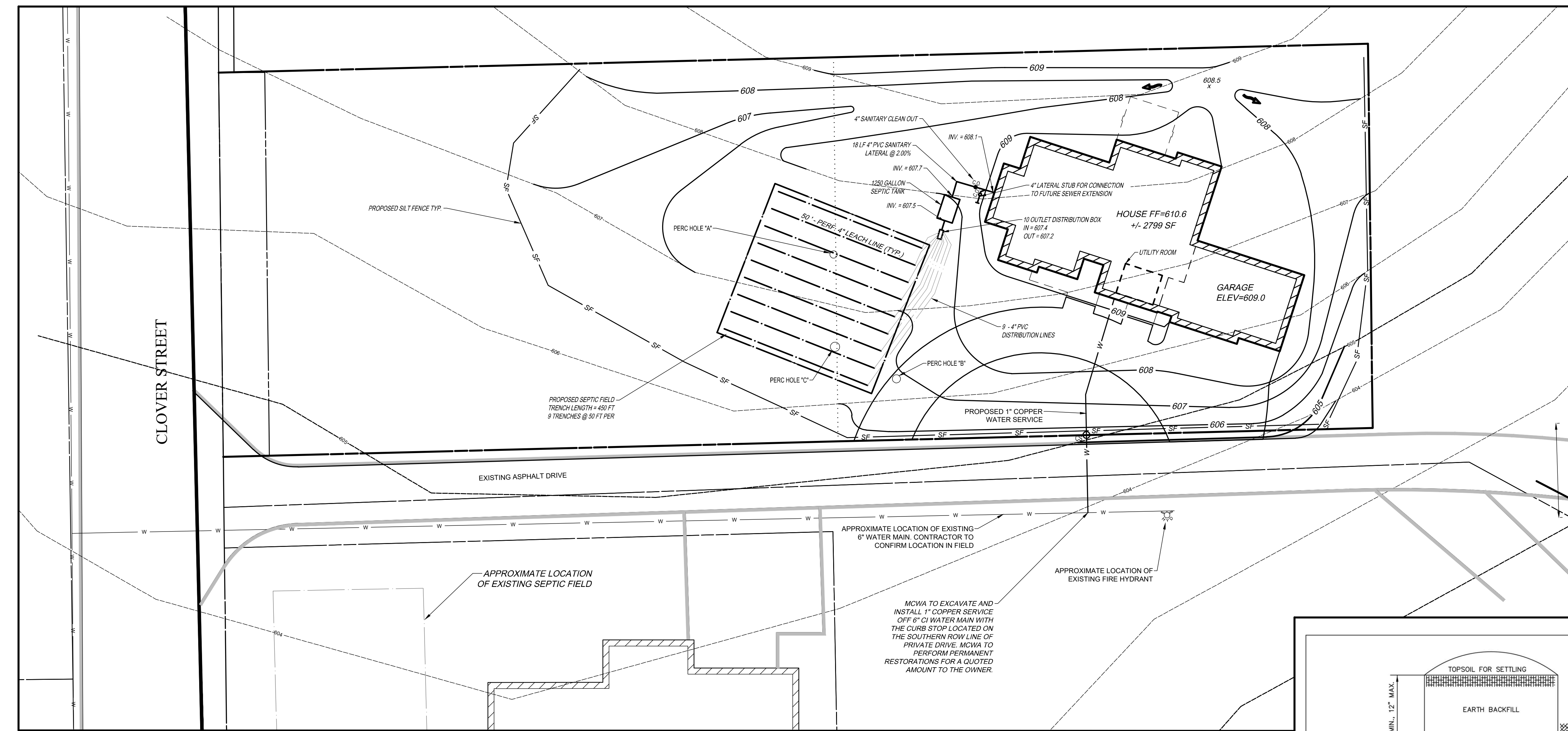
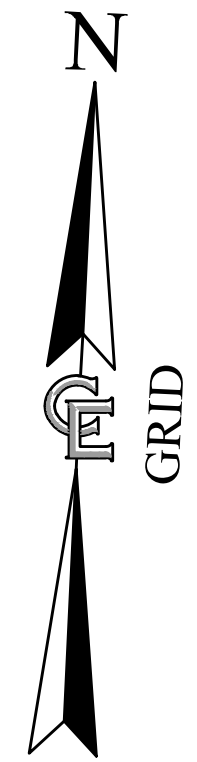
TITLE OF PROJECT
KOTTAMASU & GUPTA RESIDENCE
3092 CLOVER STREET

TITLE OF DRAWING
SITE PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 163.04-1-39.3
COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
RAMA & PRIYA GUPTA
3096 CLOVER STREET
PITTSFORD, NEW YORK 14534

DWG # 9300
CA100
SHEET 1 OF 3



DESIGN CONSIDERATIONS

- USE: ON-SITE WASTEWATER TREATMENT SYSTEM DESIGN AND CONSTRUCTION STANDARDS BY NYS DEPARTMENT OF PUBLIC HEALTH
- DESIGN BASED ON A (4) BEDROOM HOUSE AT 110 GALLONS PER DAY PER BEDROOM.
- TOTAL EFFLUENT TO SEPTIC = 440 G.P.D
- PERCOLATION RATE FOR DESIGN = 31.45 MIN/IN.
- APPLICATION RATE = 0.5 GPD/SF FOR LEACH LINE LENGTH
- REQUIRED 2' WIDE LEACH LINE LENGTH = 440 L.F. 1 FIELDS TOTALING 450 LF
- TRENCHES SHALL BE SPACED (6' O.C.).
- MIN. SEPTIC TANKS CAPACITY 1,250 GALLONS.

DEEP HOLE TEST RESULTS

HOLE NUMBER	SOIL DEPTHS IN INCHES		SOIL TYPE AND / OR DESCRIPTION / COMMENTS	GROUND WATER ENCOUNTERED AT WHAT DEPTH ? IF NONE FOUND "X" THE BOX.	BEDROCK ENCOUNTERED AT WHAT DEPTH ? IF NONE FOUND "X" THE BOX.	MINERAL DEPOSITS ENCOUNTERED AT WHAT DEPTH ? IF NONE FOUND "X" THE BOX.
	START DEPTH	END DEPTH				
DH1	0'	12"	TOPSOIL			
	12'	20'	SILT CLAY LOAM	X	X	
	20'	60'	CLAY			
	45'		MINERALS			45"

01-11-2023 WEATHER: SNOWY EQUIPMENT USED: SHOVEL/POST HOLE DIGGER
 TEMPERATURE: 28° F TESTED BY: JOSHUA PORTER OPERATOR: JOSHUA PORTER
 WITNESSED BY: -

PERCOLATION TEST RESULTS

HOLE LETTER	TEST DEPTH	TEST RESULTS (MINUTES)								STAB RATE
		RUN 1		RUN 2		RUN 3		RUN 4		
		START TIME	TOTAL TIME	START TIME	TOTAL TIME	START TIME	TOTAL TIME	START TIME	TOTAL TIME	
A	18	12:36 PM	11	12:53 PM	14	1:14 PM	19	1:29 PM	14	14
		12:25 PM	32	1:45 PM	41	2:29 PM	43			
B	18	12:57 PM	32	1:45 PM	41	2:29 PM	43			41
		12:25 PM	30	1:04 PM	33	1:46 PM	34			
C	18	2:50 PM	30	3:24 PM	33	3:59 PM	34			33
		2:20 PM	30	2:51 PM	33	3:25 PM	34			

Computer Simulated Fire Flow Test

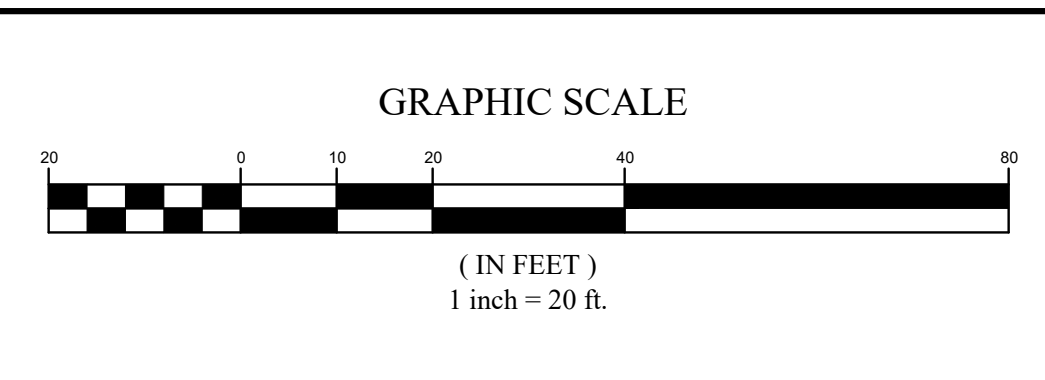
Location: 3092 Clover St
Town of Pittsford
Main: 6-inch
Elevation: 608'
Pressure Zone: 750

Supply Curve

Q	PSI	H
0	56.5	130.5
700	49.3	113.9
1400	31.5	72.8
2189	0	0.0

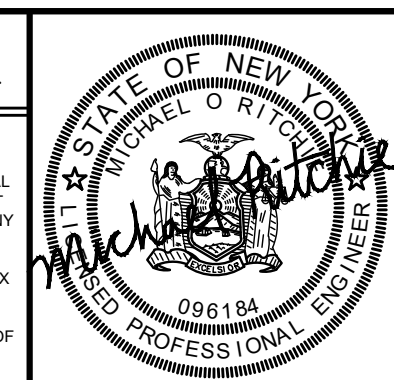


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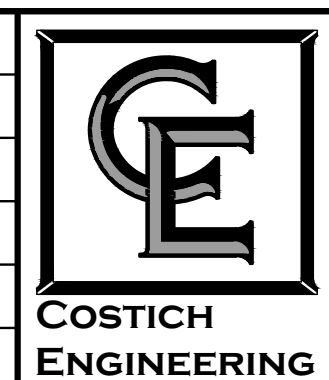


NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER: M.O.R.
 DRAWN BY: M.O.R.
 BOUNDARY: ---
 TOP/BASE: ---
 DATE: 12/08/2023
 SCALE: 1"=20'



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT: **KOTTAMASU & GUPTA RESIDENCE 3092 CLOVER STREET**
 TITLE OF DRAWING: **UTILITY & GRADING PLAN**
 LOCATION OF PROJECT: TAX PARCEL NO. 163.04-1-39.3 COUNTY OF MONROE, STATE OF NEW YORK
 CLIENT: RAMA & PRIYA GUPTA 3096 CLOVER STREET PITTSFORD, NEW YORK 14534
 DWG # 9300
CA110
 SHEET 2 OF 3

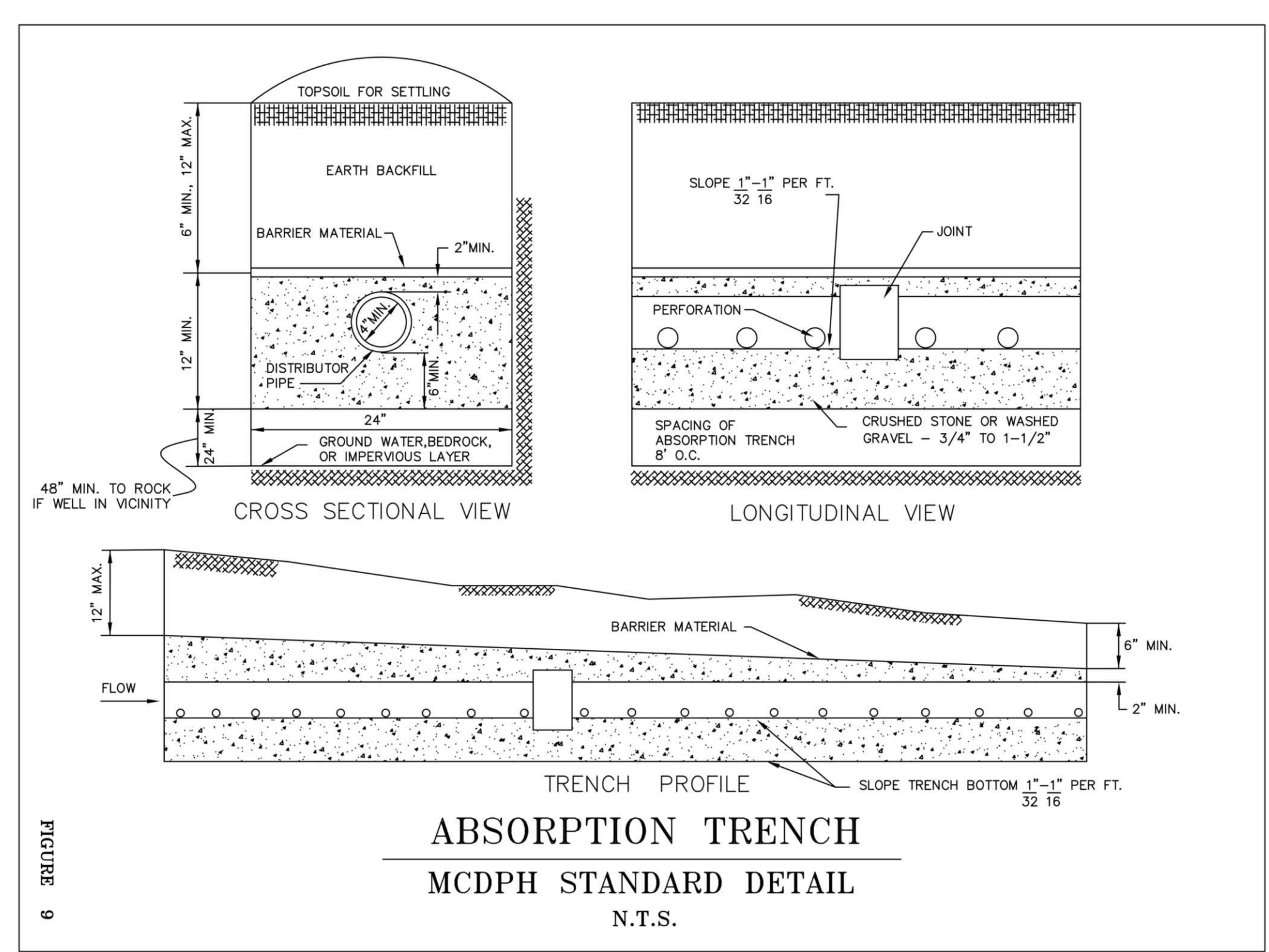


FIGURE 9

ABSORPTION TRENCH
 MCDPH STANDARD DETAIL
 N.T.S.

**TOWN OF PITTSFORD
PLANNING BOARD
JANUARY 22, 2024**

Minutes of the Town of Pittsford Planning Board meeting held on January 22, 2024 at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: John Limbeck, Dave Jefferson, Paul Alguire, John Halldow, Hali Buckley, Paula Liebschutz, Kevin Morabito

ABSENT: None

ALSO PRESENT: Doug DeRue, Director of Planning, Zoning, and Development; Robert Koegel, Town Attorney; Kim Taylor, Town Board Liaison; April Zurowski, Planning Assistant

ATTENDANCE: There were 52 members of the public present.

Chairman Limbeck made a motion to call the meeting to order, seconded by Board Member Dave Jefferson. Following a unanimous voice vote, the meeting opened at 6:30PM.

CONTINUED PUBLIC HEARINGS:

Victorian Estates Resubdivision (3096/3092 Clover Street)
Preliminary/Final Subdivision

The applicant was not in attendance. Chairman Limbeck tabled this application to the next meeting.

Bergmann Associates, Oak Hill Country Club (145 Kilbourn Road) Clubhouse Additions
Preliminary/Final Site Plan and Special Use Permit

Brian Burri, of Bergmann Associates, and Erik Reynolds, of SWBR, introduced the application. Mr. Burri stated that the proposed future terrace expansion has been incorporated into this project.

Chairman Limbeck asked for public comment. Hearing none, Chairman Limbeck motioned to close the public hearing, seconded by Board Member Buckley, none opposed.

Chairman Limbeck read the SEQRA and Preliminary/Final Site Plan and Special Use Permit resolutions, both unanimously approved by the Board.

REFERRED FOR ADVISORY COMMENTS:

Pittsford Oaks Apartments Project
Town Board Rezoning Application (PUD)

This Town Board application involves re-zoning of Parcel 8 and 12 of the Tobey Planned Unit Development (PUD). The Town Board has referred this application to the Planning Board for advisory comments. Town staff has presented the Planning Board with a draft memorandum

that was crafted after Board Members submitted comments. The Board discussed edits of the memorandum and vocalized its opinions on the project.

Danny Daniele, of Daniele Family Companies, Jerry Goldman, of Woods Oviatt Gilman LLP, and Jim Ritzenthaler, of Passero Associates, were in attendance on behalf of the application.

Chairman Limbeck asked Board Members to comment on the proposed change of use from senior housing to market-rate apartments. Board Members Alguire, Morabito, Liebschutz, Jefferson, and Chairman Limbeck supported the change of use. Board Member Buckley supported the change of use but requested a section of the units be preserved for senior housing only.

Chairman Limbeck asked Board Members to comment on the proposed parking ratio of 1.37 spaces per unit. Board Member Jefferson stated his preference for 2 spaces per unit. Board Member Morabito favored a ratio closer to 1.5 spaces per unit. Board Member Buckley asked if Members felt comfortable with overflow parking at Pittsford Federal Credit Union and Ryan Properties. Board Member Alguire did not favor the idea and suggested that ownership may change in the future and eliminate the accessibility to overflow parking. Board Members Liebschutz and Halldow favored a parking ratio between 1.7 and 2 spaces per unit. Board Member Alguire preferred a ratio between 1.5 and 2, 2 spaces per unit being preferable.

Chairman Limbeck asked Board Members to comment on the proposed unit count of 191 units. Chairman Limbeck stated that over 60% of the units are studio or one-bedroom apartments. He preferred less units with more unit types, such as two or three-bedroom apartments. Board Member Morabito preferred less than 191 units but was unsure of an appropriate number. He appreciated that the building had approximately the same footprint as the previously approved senior living project. Board Member Buckley asked Town staff to explain why 150 units was mentioned in the draft memorandum. Mr. DeRue stated that if a parking ratio of 1.75 spaces per unit were used, it would yield about 150 units. Based on individual Board Member comments, an appropriate parking ratio would equate to about 1.75 spaces per unit. Board Member Buckley understood and supported 1.75 spaces per unit with 150 units.

Chairman Limbeck stated that the Board recognizes that the project will create additional traffic, as any project would, but that traffic congestion will not be unreasonable. Board Member Liebschutz stated that although the two main intersections are signaled, the Sinclair Drive and Clover Street intersection is not. She stated concern that Pittsford Oaks residents may use Sinclair Drive, a private drive to Cloverwood Senior Living, as a cut-through to Clover Street.

Mr. DeRue asked the Board to comment on unit types, as Chairman Limbeck mentioned earlier. Board Member Morabito deferred to the applicants' preference. Mr. DeRue stated that if unit count was standardized, but bedroom count increased, a preferred parking ratio may be ineffective. Board Member Buckley preferred square footage of the building to stay the same but was unsure of appropriate unit types. Chairman Limbeck stated that building footprint should not increase, and that his earlier comment may have been difficult to loop into unit count. Mr. DeRue stated that the Design Review and Historic Preservation Board has concerns about square footage and number of stories included at Pittsford Oaks.

The Board made edits to the draft memorandum. Chairman Limbeck motioned to approve the draft memorandum, as edited, and present the memorandum to the Town Board, seconded by Board Member Jefferson. Mr. Zurowski took a roll call vote, all ayes, none opposed. A copy of the approved memorandum is attached hereto as part of the official minutes.

OTHER DISCUSSION:

The minutes of January 8, 2024, were approved following a motion by Board Member Alguire, seconded by Board Member Buckley. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Limbeck motioned to close the meeting at 7:19PM, seconded by Board Member Morabito, and was approved by a unanimous voice vote, none opposed.

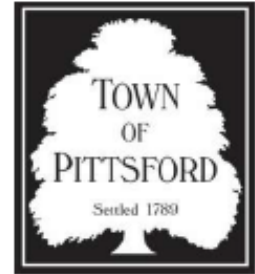
Respectfully submitted,

April Zurowski
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE PLANNING
DEPARTMENT

DRAFT

MEMORANDUM



To: Town Board

CC: Doug DeRue, April Zurowski, Robert Koegel

From: Planning Board

Date: January 22, 2024

Regarding: Pittsford Oaks Re-Zoning Application – Advisory Report

As you know, the Town Board has received an application to rezone Parcels 8 and 12 of the Tobey Planned Unit Development (PUD) at the intersection of Clover Street and West Jefferson Road to allow the construction of up to 191 units of market rate residential apartments. Currently, the parcels are zoned to allow the construction of up to 115 units of senior housing (although the previously-approved, unbuilt project for the parcels was for 106 units of senior housing).

Under Town Code § 185-75(B)(1), whenever any planned unit development is proposed, the Town Board must submit the application to the Planning Board for its “input” through a non-binding advisory report. The Planning Board has received the application, as well as additional plans, reports, and commentary from the applicant, the Planning staff, and the public, and has considered this material at a public workshop as part of its regularly-scheduled meetings on December 11, 2023 and January 8, 2024, consistent with Town Code provisions. This memorandum, which is a distillation of comments from individual Planning Board members, constitutes the Planning Board’s advisory report on the subject application.

On the subject of change of use from senior to market rate housing.

The Planning Board does not object to the change in use from senior to market rate housing. The Planning Board recognizes that the use of this property as senior housing would foster an explicit goal of the most recent update of the Town Comprehensive Plan and should generate, on a unit by unit basis, less traffic congestion than market rate housing. Should market rate housing be allowed, there may be ways to incorporate the benefits of senior housing. For example, a certain number or percentage of units could be designated for seniors only. Alternatively, the target group of tenants could be empty nesters and 50 plus year olds to address concerns of having peripatetic college students as tenants.

On the subject of sufficient parking for the project.

The applicant proposes to provide 282 parking spaces (mostly underground below the apartment building) for the proposed 191 residential units, for a parking ratio of 1.48 spaces per unit. However, 21 of those proposed spaces are on the surface in the Town’s right of way along Tobey Village Road and will not be allowed. Moreover, the Planning Board is not in favor of

providing additional surface parking spaces on the verdant land of Parcel 12, adjacent to the Town-designated landmark at 2867 Clover Street. Thus, the actual parking ratio for the proposed project appears to be 1.37 spaces per unit.

There is some dispute over the proper parking ratio for the proposed project. The applicant points to industry standards and certain projects within and without the region to establish a parking ratio roughly between 1.2 and 1.5 spaces per unit as adequate for a multi-family residential project. The Planning Department looks to the actual parking ratios in the nearby Dunnwood Green apartment complex on West Jefferson Road just over the Henrietta border (2.3 spaces per unit) and recently built Kilbourn Place apartments on East Avenue (2 spaces per unit), as well as the parking requirements in nearby towns (running between 1.75 spaces and 2.5 spaces, with 2 spaces predominating), to propose a parking ratio of at least 2 spaces per unit.

The Planning Board concludes that a parking ratio for this project between 1.5 and 2 spaces per unit should be a prudent target. Assuming the current site plan has 261 viable space (282 proposed spaces, minus 21 spaces not allowed) and a parking ratio of 2 spaces per unit, the project could be limited to 130 units.

On the subject of number of allowed units.

The consensus of the Planning Board is that the proposed unit count of 191 units is too high. Furthermore, creating more parking spaces to accommodate 191 units based on a parking ratio of 2 spaces per unit is not recommended. The allowable number of units should be somewhere between 120 and 170 units, with the optimum number between 130 and 150 units. It is noted that if 261 parking spaces were provided at a parking ratio of 1.75 spaces per unit, the project would yield about 150 units.

On the subject of traffic congestion.

The Planning Board recognizes that any new development of this property will generate additional traffic impacts over the existing conditions, but this project should not cause unreasonable additional traffic impacts. Nevertheless, some nearby residents will notice additional traffic congestion with this project and may find it more difficult to enter and exit their residential subdivisions.