

**AGENDA  
TOWN OF PITTSFORD  
PLANNING BOARD  
JANUARY 8, 2024**

*This agenda is subject to change.*

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, January 8, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

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**NEW HEARING**

**X-Golf, 3349 Monroe Avenue**  
Special Use Permit

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**OTHER BUSINESS**

**Pittsford Oaks Apartments Project**  
Town Board Re-Zoning Application (PUD)

**Approval of Minutes**

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**TABLED TOPICS**

**Bergmann Associates, Oak Hill Country Club (145 Kilbourn Road) Clubhouse Renovations**  
Preliminary/Final Site Plan and Special Use Permit

**Victorian Estates Resubdivision (3096/3092 Clover Street)**  
Preliminary/Final Subdivision

**McMahon LaRue Associates, Geoca Subdivision**  
Concept Subdivision

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*The next scheduled meeting is for Monday, January 22, 2024.*

January 2<sup>nd</sup>, 2024

Doug DeRue  
Director of Planning Zoning & Development  
Town of Pittsford

RE: Special Use Permit Letter of Intent  
X-Golf Pittsford  
3349 Monroe Ave.  
Rochester, NY

Mr. DeRue and Planning Board Officials,

We have provided this letter to communicate our intent for the proposed X-Golf at Pittsford Plaza. Our plan is to combine the existing Spenga and Body Fuel spaces in Pittsford Plaza create a new 6700 SF X-Golf in Rochester.

X-Golf is a recreation and entertainment-based franchise with nearly 100 locations across the country. This location will host 7 state-of-the-art golf simulators. These simulators may be reserved by the public at an hourly rate for recreational and training purposes. Each X-Golf will also host various leagues, with the exact days and times determined by local proprietors. Simulators and may also be reserved for private lessons by in-house PGA pros or private events such as holiday parties.

In addition to golf simulators, this location will have a bar, kitchen, office, storage spaces, and toilet rooms. Food goods are limited to prepackaged, frozen appetizer-type foods. There are no open-air griddles or deep fryers. Food goods are heated in self-contained electric convection ovens and fryers. Our cooking appliances are UL710B complaint and do not require Type I or Type II hoods per 507.2 and 507.3 of the New York Mechanical Code. Food is served mostly on disposable plateware and utensils. Our grease waste is negligible. However, we still provide a recessed grease interceptor sized per the plumbing code.

Hours of operation vary slightly by location. Anticipated hours of operation are as follows:

Monday-Thursday	10am to 11pm
Friday-Saturday	8am to 12am
Sunday	8am to 10pm

Normal operation will see 2-4 occupants on each simulator, with transient occupants utilizing the bar and lounge areas. Occupancy will be at its highest on league nights, with up to 6 players at each simulator. Typical league night occupancy would be roughly 50 people, including 2-3 staff members. Maximum occupant load has been calculated at 99 per the New York Building Code. Staff members on rotation are anticipated at 5-7.

We hope this helps explain our intent and meets your satisfaction. If there are any questions, please do not hesitate to reach out via email at [Brian@BrianEadyArchitects.com](mailto:Brian@BrianEadyArchitects.com) or phone at 586-933-3010.

Sincerely,



Brian Eady, AIA, NCARB

Principal | Brian Eady Architects



N2533 Van Matre Lane  
Monroe, WI 53566

November 28, 2023

RE: Determination of Impact  
Project Address: 3349 Monroe Ave.  
Rochester, NY

- A. Whether the proposed use will be in harmony with the general purpose and intent of this chapter, taking into account the location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it and the size of the site with respect to streets giving access to it.
  - a. *In our review of the X-Golf business model it is believed that recreation provided by X-Golf entertainment facilities adds a positive recreation experience for the communities they are a part of. Also, the size and scope of the business will not enlarge the already existing commercial commerce facility located at the address listed above. Therefore, we believe our proposal is in harmony with the general purpose and intent of this chapter.*
- B. Whether the proposed use will tend to depreciate the value of adjacent property, taking into account the possibility of screening or other protective measures.
  - a. *With the added recreation opportunities afforded the community we believe that our proposed X-Golf will support and enhance consumer traffic to the existing commerce facility therefore benefiting adjacent property values. The business will operate within the existing structure therefore no screening is deemed necessary at this time.*
- C. Whether the proposed use will be detrimental to the flow of traffic in the vicinity or otherwise create a traffic hazard.
  - a. *The existing commercial commerce facility that our proposed X-Golf will reside in is designed to direct traffic in an orderly manner. We believe our business will not negatively impact the existing traffic flow.*
- D. Whether the proposed use will create fire or other safety hazards
  - a. *Our X-Golf concept is designed to meet or exceed safety code standards. No increase in fire or safety hazards is anticipated.*
- E. Whether the size and use of the proposed facility alone or in combination with similar facilities in the area, will be so substantially out of proportion with the character of nearby residential neighborhoods as to jeopardize the continued use of the neighborhoods for residential purposes.
  - a. *No extensive exterior changes for this existing commercial space are planned. Sign concepts are anticipated to align with the current commercial complex's design standards.*
- F. Whether the proposed use or operation will produce or present substantial danger of excessive noise, noxious odors, noxious or harmful discharge, fire or explosion, radiation, chemical or toxic release or other conditions injurious to the health or general welfare of occupants of the surrounding area.
  - a. *The proposed X-Golf concept as an entertainment space with limited food menu, it will not produce or present substantial danger of excessive noise, noxious odors, noxious or harmful discharge, fire or explosion, radiation, chemical or toxic release or other conditions injurious to the health or general welfare of occupants of the surrounding area.*

- G. Whether the location and size of the use, the size of the site in relation to the use, the operations in connection with the use and the parking and traffic related to the operations will be such as to create a significant hazard to the safety and general welfare of the surrounding area.
- a. *The existing facility in which this X-Golf will be located is designed to direct traffic in an orderly manner, and we believe the existing traffic patterns will accommodate any increased traffic our business will attract. As such we do not believe our business will create a significant hazard to the safety and general welfare of the surrounding area.*
- H. Whether the proposed use will be detrimental to the neighboring property or alter the essential character of the neighborhood.
- a. *In our review of the existing commercial commerce center, we've determined that the proposed X-Golf concept complies with the existing nature of the commercial commerce facility that this proposed X-Golf will exist in.*
- I. Whether the proposed use complies with the State Environmental Quality Review Act (SEQRA)
- a. *Given the nature of X-Golf entertainment with limited made to order menu concept we believe that any negative environmental, social or economical considerations will be minimal if not non-existent as compared to other entities of similar nature.*

Sarah Goeke  
Tenant's Agent  
Access Permits  
N2533 Van Matre Ln  
Monroe, WI 53566  
815-541-7995  
[sarah@accesspermits.com](mailto:sarah@accesspermits.com)

Date: 11/28/2023

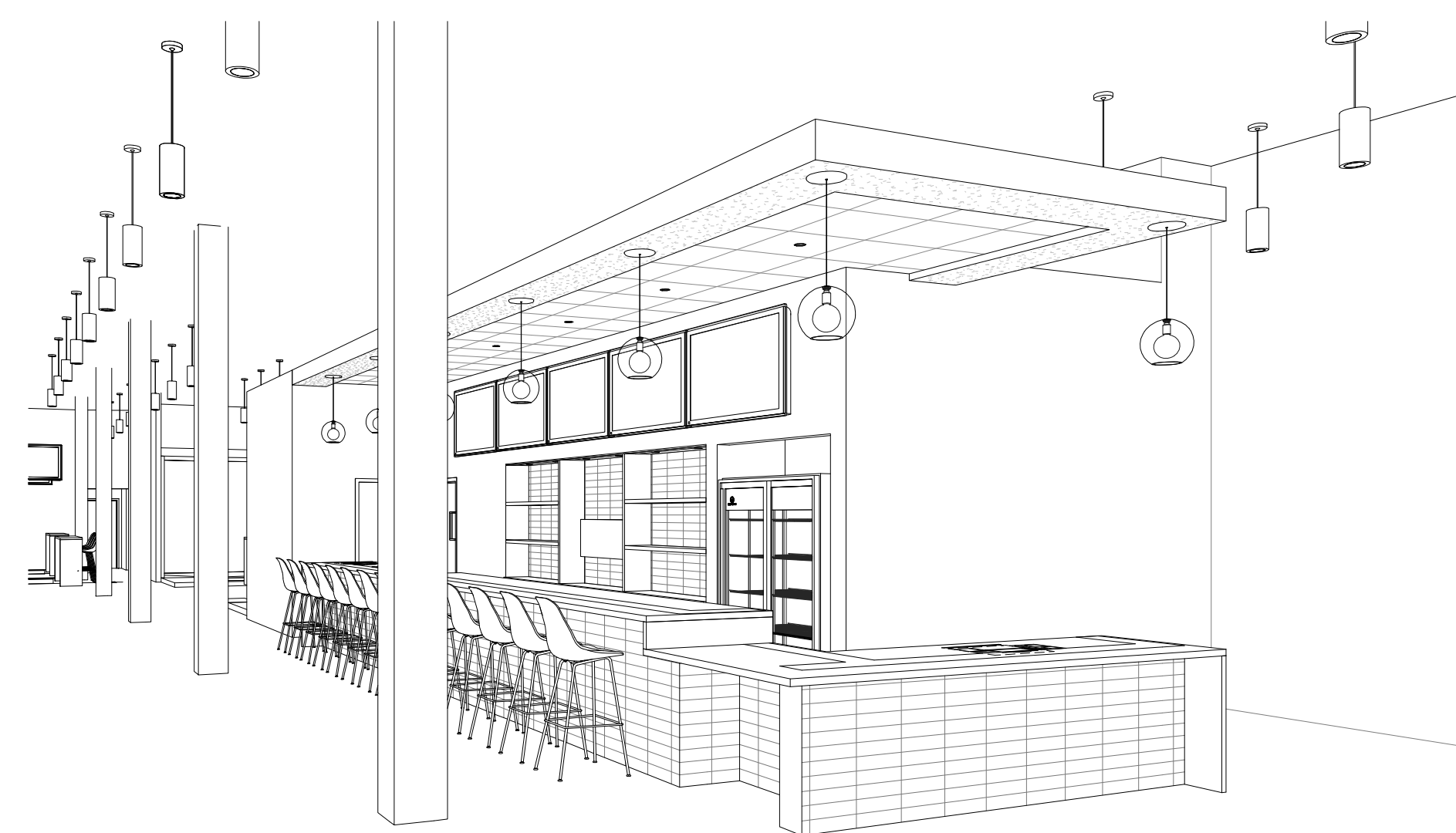




# X-GOLF PITTSFORD

NICK RATCLIFFE

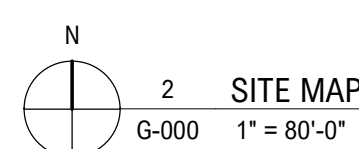
3349 Monroe Ave, Rochester, NY 14618



PROPOSED TENANT SPACE



EGRESS / SERVICE CORRIDOR



2 SITE MAP  
G-000 1" = 80'-0"

## DRAWING INDEX

### GENERAL

- G-000 COVER SHEET & INDEX
- G-001 CODE COMPLIANCE & LIFE SAFETY

### ARCHITECTURAL

- A-001 NOTES, SYMBOLS, & ABBREVIATIONS
- A-002 ACCESSIBILITY AND MOUNTING HEIGHTS
- A-003 PARTITION TYPES
- A-004 FIRE RATED ASSEMBLIES
- AD-101 DEMOLITION PLANS
- A-101 MAIN LEVEL FLOOR PLAN
- A-102 MAIN LEVEL REFLECTED CEILING PLAN
- A-111 FINISH PLANS
- A-401 INTERIOR VIEWS
- A-402 ENLARGED PLANS AND ELEVATIONS - BAR AND BACK BAR
- A-403 ENLARGED PLANS AND ELEVATIONS - BAR AND BACK BAR
- A-404 ENLARGED PLANS AND ELEVATIONS - TOILET ROOMS
- A-601 DOOR SCHEDULE, NOTES & DETAILS
- A-701 REFERENCE - SIMULATOR BOOTH
- A-702 REFERENCE - SIMULATOR BOOTH

### MECHANICAL

- M000 MECHANICAL GENERAL INFORMATION
- P100 UNDERGROUND SANITARY AND VENT NEW WORK PLAN
- P101 PLUMBING NEW WORK PLAN
- M100 MECHANICAL HVAC NEW WORK PLAN
- M500 MECHANICAL AND PLUMBING DETAILS
- M501 MECHANICAL AND PLUMBING DETAILS
- M502 PLUMBING DETAILS
- M600 MECHANICAL SCHEDULES
- M800 SPECIFICATIONS

### ELECTRICAL

- E000 ELECTRICAL GENERAL INFORMATION AND LIGHTING SCHEDULE
- EP100 ELECTRICAL POWER NEW WORK PLAN
- EL100 ELECTRICAL LIGHTING NEW WORK PLAN
- E500 PANEL SCHEDULE AND ELECTRICAL DETAILS
- E700 ELECTRICAL ONE-LINE DIAGRAMS AND FIRE ALARM RISER DIAGRAM
- E800 ELECTRICAL SPECIFICATIONS
- E801 ELECTRICAL SPECIFICATIONS

## PROJECT CONTACTS

### CLIENT / TENANT

X-GOLF PITTSFORD  
NICK RATCLIFFE  
PH: 585-315-7588  
EMAIL: NARATCLIFFE@GMAIL.COM

### LOCAL AUTHORITY

TOWN OF PITTSFORD, NY  
11 S. MAIN STREET, PITTSFORD, NY 14534  
PH: (585) 248-6250

### ARCHITECT

BRIAN EADY ARCHITECTS  
BRIAN EADY  
OWNER / PRINCIPAL

32403 SPRUCEWOOD STREET  
FARMINGTON HILLS, MI 48334  
PH: 586.933.3010  
EMAIL: BRIAN@BRIANEADYARCHITECTS.COM

### MECHANICAL, ELECTRICAL & PLUMBING

UNIFIED BUILDING SYSTEMS ENGINEERING, LLC  
MICHAEL HARRIS, P.E.  
PRESIDENT

75 N. MAIN ST. SUITE 221  
MT. CLEMENS, MI 48043  
PH: 248-804-1741  
EMAIL: MICHAELH@UNIFIEDSBE.COM

## DEFERRED SUBMITTALS/DELEGATED DESIGN

DEFERRED SUBMITTALS ARE BEYOND THE SCOPE OF THESE DRAWINGS AND TO BE COMPLETED BUT THE GENERAL CONTRACTORS SUBCONTRACTOR OR OWNERS EXTERNAL CONSULTANT. WORK PRODUCTS ARE TO BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION AS REQUIRED.

DELEGATED DESIGN IS TO BE COMPLETED BY A STATE LICENSED ENGINEER OR CERTIFIED INDIVIDUAL AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. SUBMITTALS ARE TO BE FOR COMPLETE SYSTEMS THAT ARE PROJECT SPECIFIC, AND COORDINATED WITH THE CLIENTS ARCHITECTURAL AND ENGINEERING DRAWINGS. SUBMIT DRAWINGS FOR REVIEW AND APPROVAL TO THE OWNER/ARCHITECT FOR REVIEW/APPROVAL.

### REQUESTED DELEGATED DESIGN/DEFERRED SUBMITTALS

- BUILDING SIGNAGE
  1. REQUIRED VENDORS: OWNERS VENDOR, AS APPROVED BY LANDLORD
- FIRE SUPPRESSION/FIRE ALARM
  1. SCOPE: MODIFICATIONS TO LANDLORDS EXISTING SYSTEM AS REQUIRED TO SUITE PROPOSED FITOUT
  2. REQUIRED VENDORS: CONTACT PROPERTY MANAGER FOR PREFERRED VENDOR.
- STRUCTURAL BRACING/SUPPORT
  1. INCIDENTAL STRUCTURAL SUPPORT (UNISTRUT OR OTHER) REQUIRED FOR SUPPORTING TELEVISION MOUNTS, CEILINGS, AND OTHER EQUIPMENT

## REQUESTED MOCK-UPS

- EPOXY FLOORING FOR OWNER APPROVAL

PERMIT 10.24.2023

# ISSUANCE DATE

### PROJECT

NICK RATCLIFFE

X-GOLF PITTSFORD

3349 Monroe Ave, Rochester, NY 14618

### SEAL



11.10.2023

### COVER SHEET & INDEX

G-000

PROJECT NO. 0020.00

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**COMPLIANCE DATA**

**PROJECT SUMMARY**

THE PROJECT IS A TENANT IMPROVEMENT WITHIN AN EXISTING SINGLE-STORY MULTI-TENANT STRIP RETAIL BUILDING. THE SPACE IS CURRENTLY DEMISED BY THE LANDLORD PER CODE. THE SCOPE OF THE TENANT IMPROVEMENT IS A NEW GOLF ENTERTAINMENT FACILITY, WHICH WILL HOUSE INDOOR GOLF SIMULATORS, LIMITED FOOD AND BEVERAGE, AND SUPPORT SPACES. ALCOHOLIC BEVERAGES AND FOOD WILL BE SERVED. FOOD IS LIMITED TO PREPACKAGED FROZEN GOOD HEATED IN SELF-CONTAINED VENTLESS ELECTRIC COOKING OVEN. THESE OVENS DO NOT REQUIRE A TYPE 1 OR TYPE 2 HOOD, AS THEY COMPLY WITH UL 710B PER THE MECHANICAL CODE.

**\*GOVERNING CODES**

- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 FIRE CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE
- 2020 MECHANICAL CODE OF NEW YORK STATE
- 2020 FUEL GAS CODE OF NEW YORK STATE
- 2020 ENERGY CODE OF NEW YORK STATE
- 2010 ADA STANDARDS

\* ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. ALL WORK SHALL BE DONE WITH A PROFESSIONAL STANDARD OF CARE USING CURRENT CONSTRUCTION PRACTICES

**BUILDING USE GROUP  
CH3 MBC**

ASSEMBLY A-3 (RECREATION)  
ASSEMBLY A-2 (FOOD AND BEVERAGE)

**BUILDING HEIGHTS + AREAS  
CH5 MBC**

CONSTRUCTION TYPE TYPE IIB  
FIRE PROTECTION SPRINKLERED  
TENANT AREA 6778 SF, SINGLE STORY  
SEPARATION SEPARATED FROM ADJACENT TENANT SPACES, 508.3  
INCIDENTAL USES NONE

**TYPES OF CONSTRUCTION  
CH6 MBC**

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLES 601 AND 602):

PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS EXTERIOR	0 HR
BEARING WALLS INTERIOR	0 HR
NONBEARING WALLS AND PARTITIONS EXTERIOR	0 HR
NONBEARING WALLS AND PARTITIONS INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR

**INTERIOR FINISHES  
CH8 MRC**

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (TABLES 803.11):

INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS CLASS B\*  
CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS NOT APPLICABLE  
ROOMS AND ENCLOSED SPACES CLASS C

\*CLASS B PERMITTED IN NON-SPRINKLERED < 3 STORIES.  
\*CLASS C PERMITTED FOR WAINSCOTTING UNDER 1,000 SF

**FIRE PROTECTION SYSTEMS  
CH9 MRC**

AUTOMATIC SPRINKLER SYSTEMS EXISTING, RECONFIGURED TO SUITE FITOUT  
PORTABLE FIRE EXTINGUISHERS PROVIDED @ 75 FEET  
FIRE ALARM AND DETECTION EXISTING, RECONFIGURED TO SUITE FITOUT

**MEAN OF EGRESS  
CH10 MBC**

**CALCULATED OCCUPANT LOAD (TABLE 1004.1.2)**

SIMULATOR SPACE	(4 ACTIVE + 4 WAITING) X 7 SIMULATORS	= 56 OCCUPANTS
BAR SEATING	14 SEATS	= 14 OCCUPANTS
LOUNGE/DINING	218 SF / 15 SF PER OCC	= 15 OCCUPANTS
BACK BAR	243 SF / 100 SF PER OCC	= 3 OCCUPANTS
KITCHEN	286 SF / 200 SF PER OCC	= 2 OCCUPANTS
CHECK-IN	30 SF / 5 SF PER OCC	= 6 OCCUPANTS
OFFICE	192 SF / 100 SF PER OCC	= 2 OCCUPANTS
STORAGE/MECH (ACCESSORY)	259 SF / 300 SF PER OCC	= 1 OCCUPANTS
TOILETS + CIRCULATION		= 0 OCCUPANTS
<b>CALCULATED TOTAL</b>		<b>= 99 OCCUPANTS</b>

TRAVEL DISTANCE 250 FEET, SPRINKLERED  
COMMON PATH 75 FEET WHEN SERVING 50 OCCUPANTS OR LESS  
DEAD END CORRIDOR 20 FEET MAX

**PLUMBING FIXTURES  
CH4 MPC**

MINIMUM FIXTURES	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINKS
ASSEMBLY USE	R = 1 M / 1 F P = 1 M / 1 F	R = 1 M / 1 F P = 1 M / 1 F	R = 0 P = 0	R = 1 P = 1

**NOTES:**

1. BASED ON RESTAURANT USE - MOST APPROPRIATE BASED ON DENSITY
2. R = REQUIRED P = PROVIDED
3. M = MALE F = FEMALE
4. DRINKING FOUNTAIN NOT REQUIRED PER PLUMBING CODE SECTION 410.4. WATER PROVIDED BY THE RESTAURANT.

PERMIT 10.24.2023

# ISSUANCE DATE

**PROJECT**

**X-GOLF PITTSFORD**

NICK RATCLIFFE

3349 Monroe Ave, Rochester, NY 14618

**SEAL**

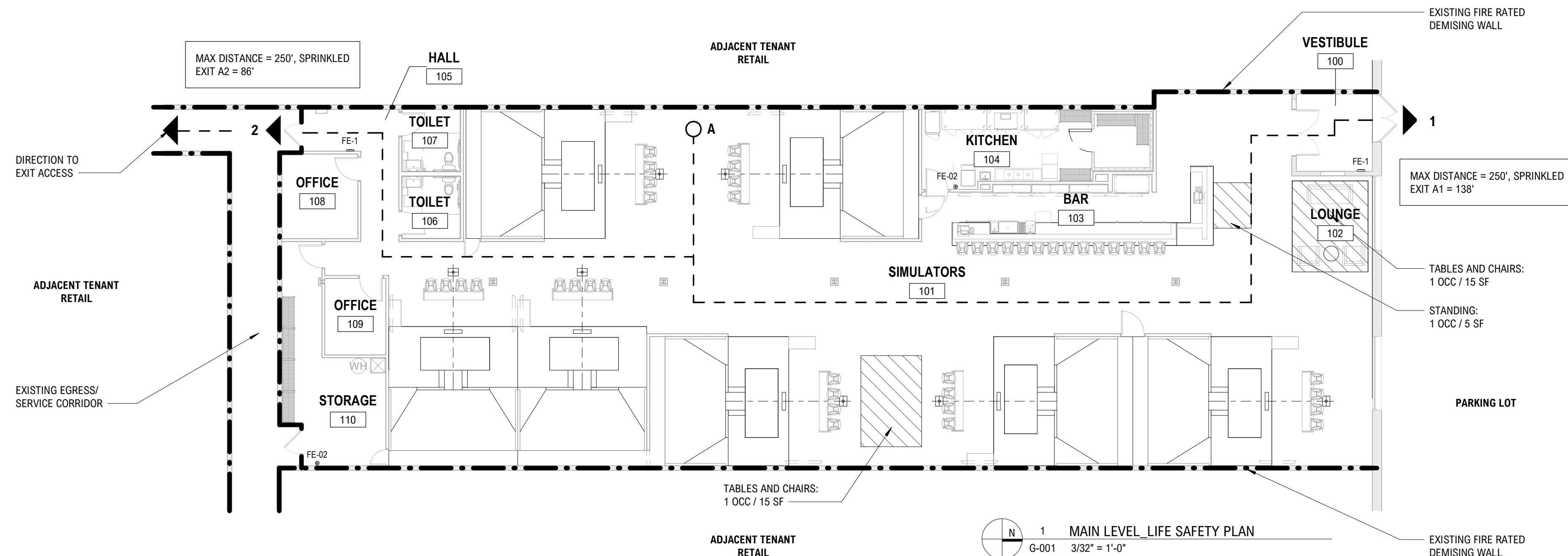


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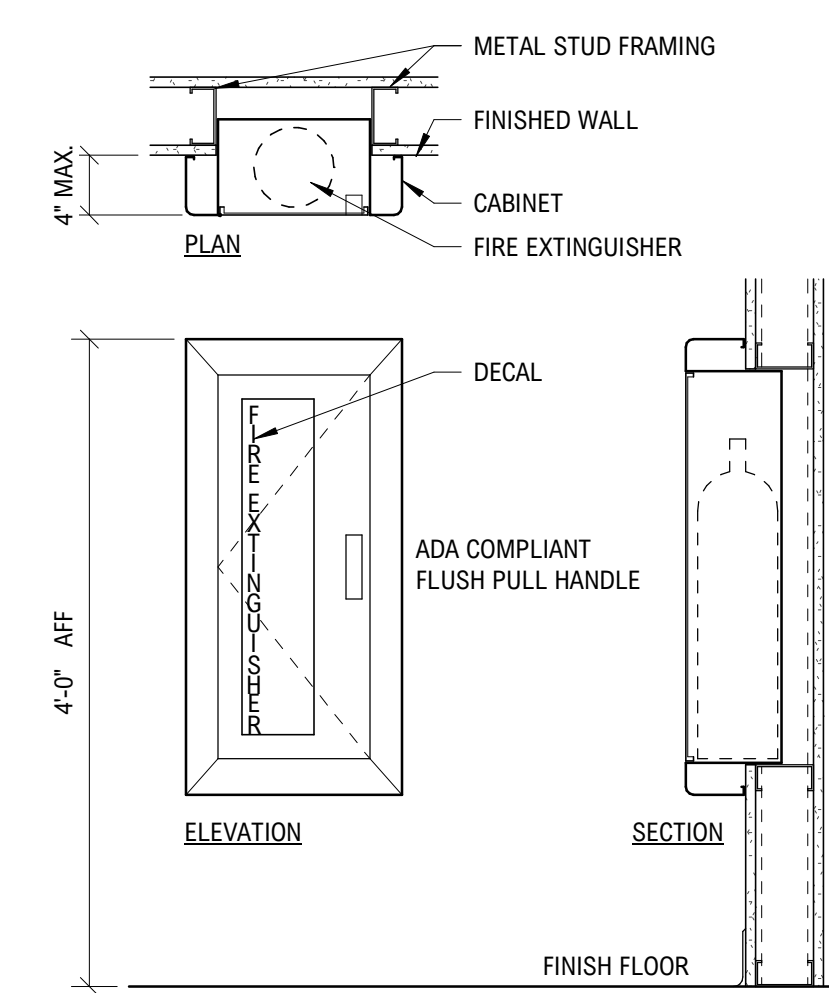
CODE COMPLIANCE & LIFE SAFETY

**G-001**

PROJECT NO. 0020.00



1 MAIN LEVEL LIFE SAFETY PLAN  
G-001 3/32" = 1'-0"



2 EQUIPMENT - FIRE EXTINGUISHER CABINET  
G-001 1" = 1'-0"

**LIFE SAFETY PLAN LEGEND**

- 1 EXIT
- PATH OF EGRESS
- A FURTHEST POINT FROM MEANS OF EGRESS
- FE-01 SEMI-RECESSED FIRE EXTINGUISHER CABINET
- FE-02 WALL-MOUNTED FIRE EXTINGUISHER

E

D

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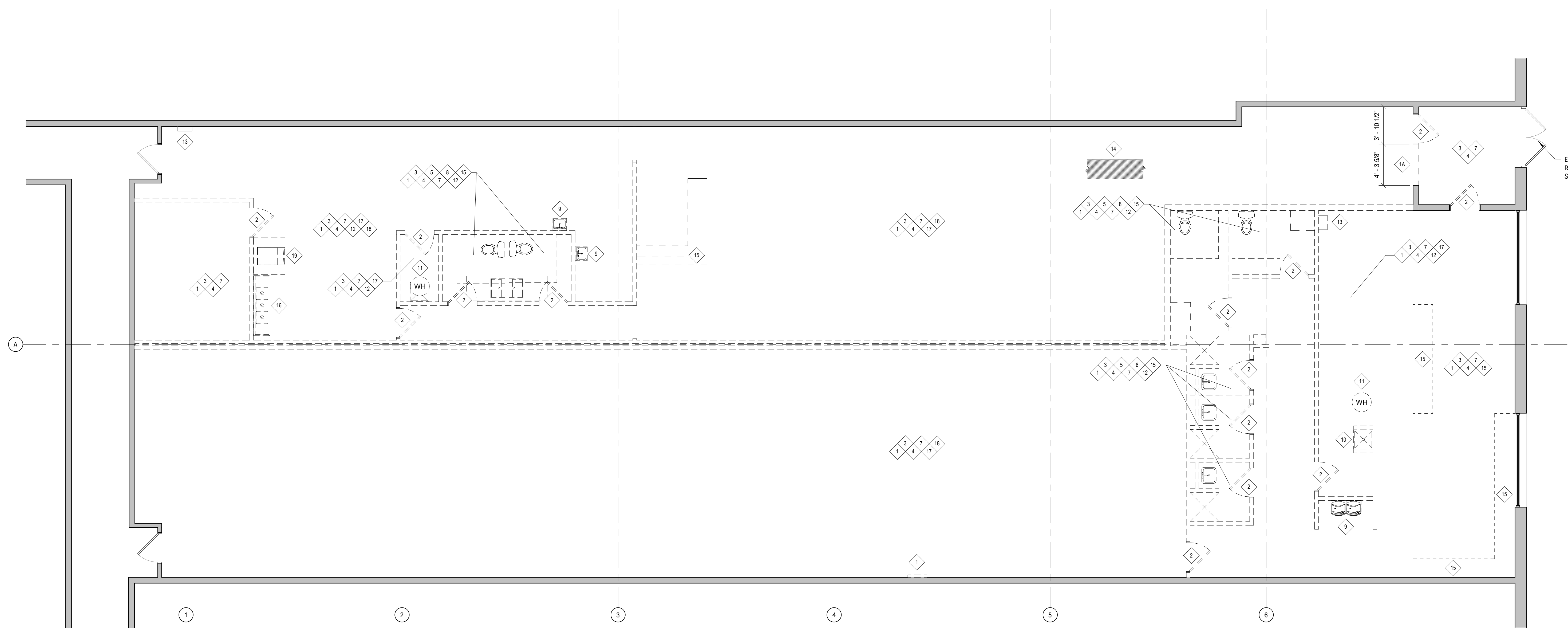
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EXISTING PAIR OF DOORS TO REMAIN - REFER TO DOOR SCHEDULE

**DEMOLITION KEYNOTES**

- 1 REMOVE PARTITION COMPLETE.
- 1A REMOVE PORTION OF EXISTING PARTITION
- 2 REMOVE DOOR AND FRAME COMPLETE.
- 3 REMOVE EXISTING WALL FIXTURES AND FINISHES COMPLETE
- 4 REMOVE EXISTING FLOOR FINISH COMPLETE, INCLUDING ALL ADHESIVES AND MASTICS.
- 5 REMOVE EXISTING GWB CEILING COMPLETE.
- 6 REMOVE EXISTING ACT AND GRID COMPLETE
- 7 REMOVE EXISTING LIGHT FIXTURES COMPLETE.
- 8 REMOVE EXISTING TOILET FIXTURES AND ACCESSORIES COMPLETE. TRENCH FLOOR AS REQUIRED FOR RELOCATION OF PLUMBING FIXTURES.
- 9 REMOVE EXISTING EWC COMPLETE. FOR REMOVAL OF PLUMBING FIXTURES SEE PLUMBING SHEETS.
- 10 REMOVE EXISTING MOP SINK COMPLETE. FOR REMOVAL OF PLUMBING FIXTURES SEE PLUMBING SHEETS.
- 11 REMOVE EXISTING WATER HEATER COMPLETE. FOR REMOVAL OF PLUMBING FIXTURES SEE PLUMBING SHEETS.
- 12 REMOVE, CAP, OR FILL EXISTING DRAIN COMPLETE. FOR MODIFICATION OF EXISTING PLUMBING SEE PLUMBING SHEETS.
- 13 FOR REMOVAL AND/OR RELOCATION OF EXISTING ELECTRICAL PANELS AND TRANSFORMER SEE ELECTRICAL SHEETS.
- 14 REMOVE PORTION OF EXISTING CONCRETE SLAB AS REQUIRED TO TRENCH FLOOR FOR RELOCATION OF PLUMBING FIXTURES. REFER TO ARCHITECTURAL AND MEP DRAWINGS FOR FULL SCOPE.
- 15 REMOVE EXISTING WOOD SHELVING, CABINETS AND FIXTURES COMPLETE.
- 16 REMOVE EXISTING 3-BAY SINK COMPLETE. FOR REMOVAL OF PLUMBING FIXTURES SEE PLUMBING SHEETS.
- 17 REMOVE AND CAP EXISTING CONDUIT / OUTLETS COMPLETE TO BELOW FINISH FLOOR.
- 18 REMOVE EXISTING EMBEDDED PLATES, DEVICES, AND FIXTURES IN FLOOR NOT INDICATED FOR REUSE - TRENCH CONCRETE AS REQUIRED FOR REMOVAL AND PREP FOR SLAB INFILL AND FUTURE EPOXY FLOORING.
- 19 REMOVE EXISTING ICE MACHINE COMPLETE

**DEMOLITION FOR UNDERGROUND UTILITIES**

- 1. TRENCHING IS NOT SHOWN ON THIS PLAN, BUT WILL BE REQUIRED FOR UNDERGROUND PLUMBING AND ELECTRICAL UTILITIES. REFER TO PLUMBING AND ELECTRICAL FOR UNDERGROUND ROUTING AND STUBS TO COORDINATE CONCRETE TRENCHING.
- 2. ALL CONCRETE TRENCHING TO BE SAWCUT SQUARE TO EXTERIOR WALLS UNLESS PROHIBITED BY CODE REQUIRED PIPE FALL.
- 3. TRENCH POURBACK TO SMOOTH AND SUITABLE FOR FUTURE FINISHING.

**ROOF DEMOLITION SCOPE**

- 1. ROOF DEMOLITION BEYOND PATCH AND REPAIR FOR NEW ROOF PENETATIONS NOT PART OF THIS SCOPE.

**MOLD REMOVAL AND PREVENTION NOTES**

- 1. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EXISTING MOLD THAT MAY BE ENCOUNTERED DURING CONSTRUCTION USING BLEACH OR APPROVED EQUAL AFTER BEING CLEANED. AFFECTED AREAS SHALL BE ALLOWED TO DRY THOROUGHLY BEFORE COVERING. APPLY MOLD/MILDEW REMOVER OR APPROVED EQUAL TO ALL EXPOSED WOODEN STRUCTURE COMPONENTS THROUGHOUT.

**DEMOLITION FLOOR & SLAB PLAN LEGEND**

- EX. WALL TO REMAIN
- EX. WALL OR FEATURE TO BE REMOVED
- EX. SLAB TO BE REMOVED

**GENERAL DEMOLITION NOTES**

- 1. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND ALL LOCAL ORDINANCES.
- 2. DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION, THE GENERAL CONTRACTOR SHALL MAINTAIN INTEGRITY TO THE STRUCTURE TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN WITH INTERIOR OR EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE. EXISTING STRUCTURE TO REMAIN SHALL BE SAFED OFF AND PROTECTED FROM ELEMENTS AT ALL TIMES.
- 3. GENERAL CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. DISCONNECT AND/OR CAP UTILITIES AS REQUIRED AND DIRECTED.
- 4. MAINTAIN MINIMUM TWO MEANS OF EGRESS AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.
- 5. BUILDING TO BE SECURED DURING NON-WORKING HOURS.
- 6. WHERE THE EXISTING WORK IS TO BE CUT, UNDERPINNED, AND/OR SHORED, CONTRACTOR SHALL PROVIDE ALL SHORING, NEEDLING, BRACING, WEDGING, AND DRY PACKING, AND BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THESE OPERATIONS.
- 7. AREA OF WORK SHALL BE KEPT CLEAN AT ALL TIMES.
- 8. ANY MATERIALS DEEMED AS HAZARDOUS, SUCH AS BUT NOT LIMITED TO ASBESTOS OR LEAD PAINTS SHALL BE REMOVED AS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES. CONTRACTOR SHALL UTILIZE THE APPROPRIATE TECHNIQUES, PROCEDURES, AND DISPOSAL METHODS AS PER STANDARD PRACTICE AND ALL FEDERAL, STATE, AND LOCAL CODES.
- 9. CONTRACTOR SHALL REMOVE ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PLUMBING FIXTURES, PIPING SYSTEMS, ETC. NOT BEING REUSED. **DO NOT ABANDON.** CAP OFF AND SEAL ALL PENETRATIONS FROM DEMOLISHED PLUMBING AND MECHANICAL WORK.
- 10. REMOVE ALL LIGHT FIXTURES, ELECTRICAL DEVICES, PANELS, CONDUITS, AND WIRING NOT INTENDED FOR REUSE. **DO NOT ABANDON.** REMOVE BACK TO SOURCES AND SEAL PENETRATIONS.
- 11. REMOVE ALL PLUMBING FIXTURES AND PIPING NOT BEING REUSED. **DO NOT ABANDON.** REMOVE BACK TO SOURCES AND SEAL PENETRATIONS.
- 12. REMOVE ALL FLOOR FINISHES, ADHESIVES, AND MORTAR THROUGHOUT THE WORK AREA.
- 13. EXISTING FLOOR SLAB/DECK BE LEVELED, BROOM CLEAN WITH NO REMAINING ADHESIVE RESIDUES.
- 14. DEMOLISH AND REMOVE ANY REMAINING SUSPENDED/HARD CEILING COMPONENTS THROUGHOUT. REMOVE EXISTING CEILING FINISH, LIGHTS, DIFFUSERS, AND OTHER CEILING MOUNTED EQUIPMENT.
- 15. REMOVAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND THE LANDLORD AND SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- 16. UPON COMPLETION OF DEMOLITION CONTRACTOR SHALL FIELD VERIFY ALL OVERALL DIMENSIONS, COLUMN SPACING, AND EXISTING OPENING SIZES, AND LOCATIONS, WITH DIMENSIONS INDICATED ON THE CONTRACT DRAWINGS. NOTIFY ARCHITECT OF **ANY** DISCREPANCIES.

PERMIT 10.24.2023

# ISSUANCE DATE

**PROJECT**

X-GOLF PITTSFORD

NICK RATCLIFFE

3349 Monroe Ave, Rochester, NY 14618

**SEAL**



11.10.2023

**DEMOLITION PLANS**

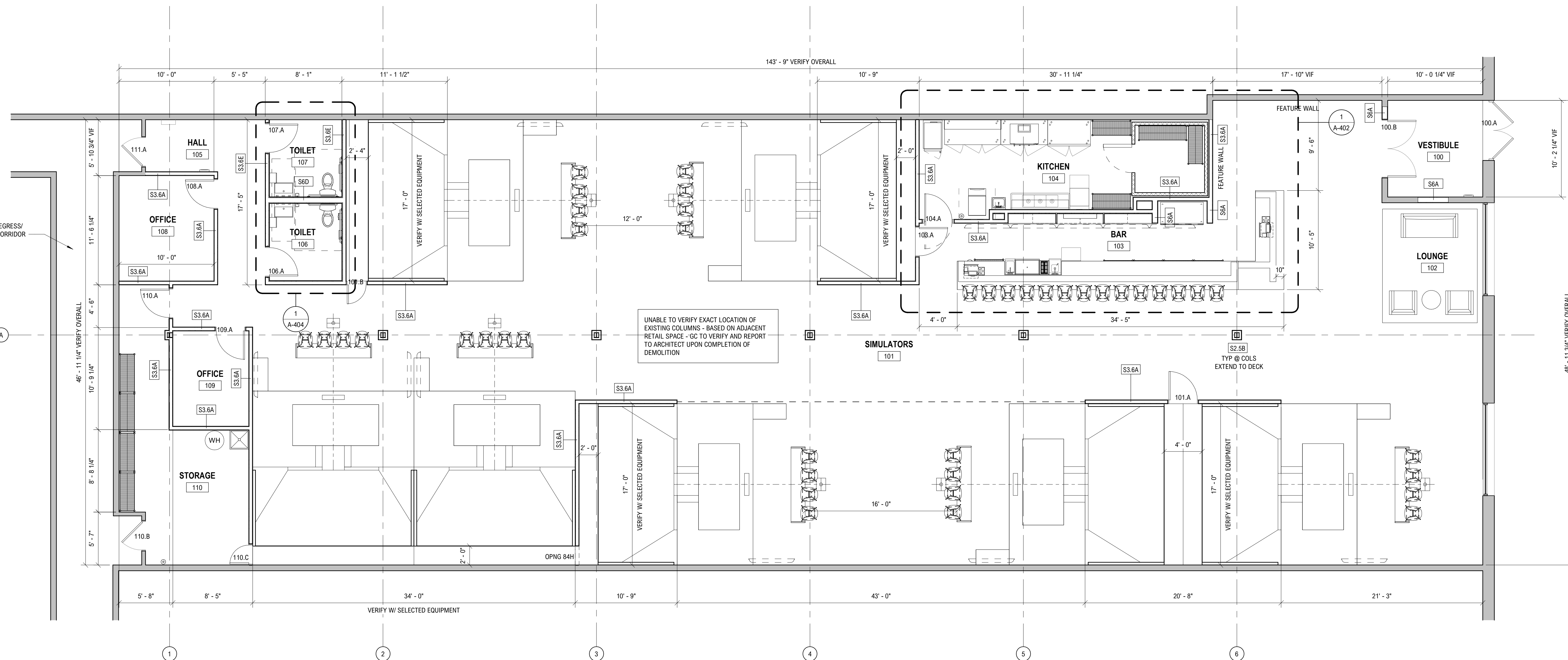
**AD-101**

PROJECT NO. 0020.00

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**EXISTING WALLS TO REMAIN:**  
ANY EXISTING WALL WITH A DRYWALL FINISH WHICH IS EXISTING TO REMAIN SHALL BE PATCHED, PRIMED AND PAINTED TO 'LIKE NEW' CONDITION AND TO ACCEPT NEW FINISHES. CONTRACTOR SHALL DETERMINE BEST METHODS FOR PATCHING, OR IF DRYWALL WILL NEED TO BE REMOVED AND REPLACED TO ACHIEVE DESIRED FINISH.

**DEMISING WALLS:**  
VERIFY EXISTING DEMISING WALL, FRAMING, AND INSULATION EXTEND TO ROOF DECK ABOVE. ENSURE HEAD OF WALL IS FIRESTOPPED. IF THESE CONDITIONS ARE NOT SATISFIED, NOTIFY ARCHITECT.

**DEMOLITION SCOPE:**  
REFER TO DEMOLITION PLAN. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR PLUMBING SCOPE. REFER TO DETAIL 2 THIS SHEET FOR TYPICAL SLAB INFILL DETAIL.

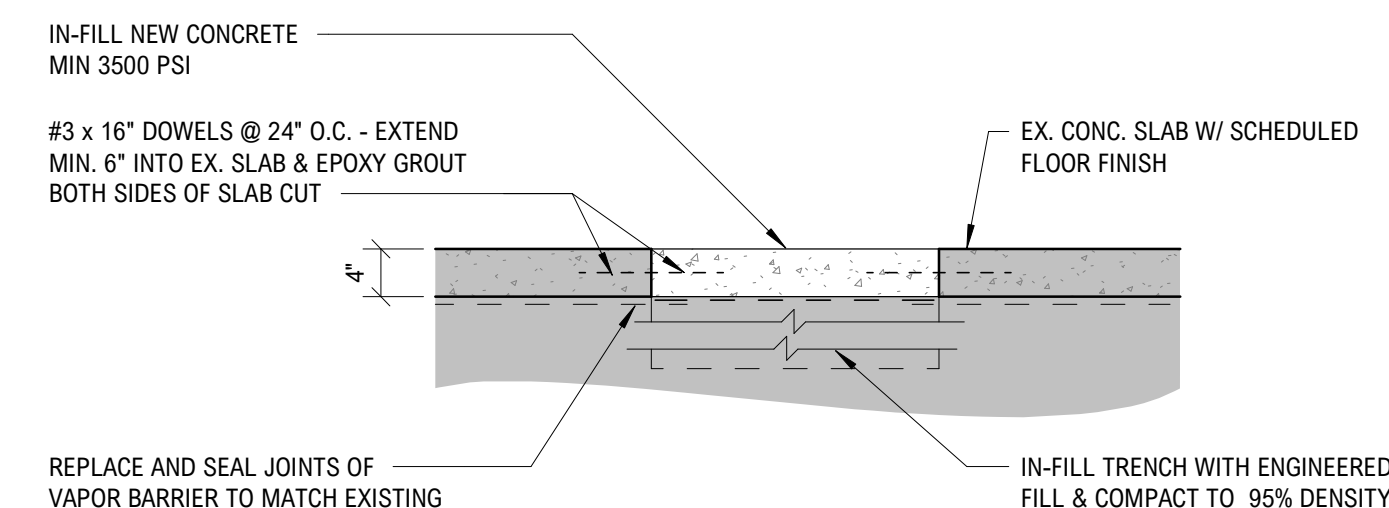
**GENERAL FLOOR PLAN LEGEND**

- PROPOSED NEW WALLS  
TYPE S3.6A UNO  
12'-0" HIGH UNO
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING WALL
- WALL TYPE TAG
- SEMI-RECESSED FIRE EXTINGUISHER CABINET

**FLOOR PLAN NOTES**

1. ALL CONSTRUCTION TO BE IN COMPLIANCE WITH THE LOCAL CONSTRUCTION CODE.
2. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. IF A DIMENSIONAL DISCREPANCY ARISES, NOTIFY THE DESIGNER IMMEDIATELY.
3. IF ANY QUESTIONS ARISE AS TO THE ARCHITECTURAL INTENT OF THESE DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASK SUCH QUESTIONS OF THE DESIGNER, AS THE DESIGNER IS THE SOLE INTERPRETER OF THESE DOCUMENTS. IF NO SUCH QUESTIONS ARE ASKED, IT IS ASSUMED THAT THE ARCHITECTURAL INTENT OF THE DOCUMENTS IS UNDERSTOOD.
4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL APPLICABLE TRADES TO ENSURE PROPER ROUTING, DROPS, ETC. FOR THE H.V.A.C. ELECTRICAL, PLUMBING, ETC. DURING THE ROUGH FRAMING.
5. REFER TO WINDOW AND DOOR SCHEDULE FOR NOMINAL OPENING SIZES. GC TO VERIFY ROUGH OPENINGS PRIOR TO FRAMING.
6. ALL INTERIOR DIMENSIONS FIGURED TO FINISHED FACE UNLESS OTHERWISE NOTED.
7. INTERIOR & EXTERIOR DIMENSIONS MAY VARY PER EXISTING FIELD CONDITIONS AND FINISHED THICKNESS OF EXTERIOR MATERIALS.
8. INTERIOR DIMENSIONS SUBJECT TO CHANGE BASED ON FINISH MATERIAL; COORDINATE FINAL DIMENSIONS OF FINISHES, CABINETRY, SOFFITS, BULKHEADS, COUNTERTOPS, PLUMBING FIXTURES, ETC WITH FINISH WALL MATERIAL.
9. FIRE-RATED WALL CONSTRUCTION SHALL BE 3-5/8" METAL STUDS (U.N.O.) AT 16" O.C. WITH (1) ONE LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD BOTH SIDES, FULL HEIGHT TO UNDERSIDE OF STRUCTURE ABOVE AND FULL INSULATION U.L. DESIGN No. U419.
10. ALL FULL-HEIGHT PARTITIONS SHALL EXTEND TIGHTLY TO STRUCTURE ABOVE WITH DEFLECTION-TYPE TOP TRACK. ALL OTHER WALLS SHALL BE CONSTRUCTED TO 6" ABOVE SCHEDULED CEILING. ANY ADDITIONAL BRACING SHALL BE PROVIDED BY THE FRAMING CONTRACTOR.
11. STUDS SHALL BE INSTALLED SEATED SQUARELY (WITHIN 1/16") AGAINST THE WEB PORTION OF THE TOP AND BOTTOM TRACKS. TRACKS SHALL REST ON A CONTINUOUS, UNIFORM BEARING SURFACE.
12. TEMPORARY BRACING MAY BE PROVIDED AND LEFT IN PLACE UNTIL THE WORK IS PERMANENTLY STABILIZED.
13. VERTICAL ALIGNMENT (PLUMBNESS) OF STUDS SHALL BE WITHIN 1/960TH (1/8" IN 10'-0") OF THE SPAN. HORIZONTAL ALIGNMENT OF WALLS SHALL BE WITHIN 1/960TH (1/8" IN 10'-0") ON THEIR RESPECTIVE DISTANCES.
14. SPACING OF STUDS SHALL NOT BE MORE THAN ± 1/8" FROM THE DESIGNED SPACE PROVIDED THAT THE CUMULATIVE ERROR DOES NOT EXCEED THE REQUIREMENTS OF THE FINISH MATERIALS.
15. PROVIDE (2) ROWS MINIMUM 8" HIGH, 3/4" FIRE RETARDANT PLYWOOD, OR 16-GAUGE HORIZONTAL STRAPPING ON STUDS AT ALL WALLS WITH CABINETS.
16. THERMOSTATS, FIRE EXTINGUISHERS, CABINETS, OR ANY OTHER WALL MOUNTED ARCHITECTURAL ACCESSORY SHALL NOT BE INSTALLED ON ANY WALL WITH GRAPHIC STRETCHINGS OR SPECIALTY FINISHING.
17. HYDRONIC PIPING IN EXTERIOR WALL CAVITIES ARE TO RECEIVE PIPE INSULATION.
18. FRAMING, GYPSUM BOARD AND EXTERIOR INSULATION TO EXTEND TO UNDERSIDE OF DECK AT EXTERIOR ENVELOPE.

1 MAIN LEVEL FLOOR PLAN  
A-101 3/16" = 1'-0" REF:



2 CONCRETE - SLAB INFILL SECTION DETAIL  
A-101 3/4" = 1'-0"

PERMIT 10.24.2023

# ISSUANCE DATE

PROJECT

X-GOLF PITTSFORD

NICK RATCLIFFE  
3349 Monroe Ave, Rochester, NY  
14618

SEAL



11.10.2023

MAIN LEVEL FLOOR PLAN

A-101

PROJECT NO. 0020.00

C:\Users\Briane Eady\Dropbox\BEA\LLC000\_PROJECTS\0060.27\_X-Golf\_Pittsford, NY\06\_deliverables\01\_drawings\0060.00\_X-GOLF Rochester, NY.rvt

11/10/2023 4:55:11 PM

January 8, 2024

**TOWN OF PITTSFORD  
PLANNING BOARD  
SEQRA RESOLUTION  
X-Golf (Restaurant SUP)  
3349 Monroe Ave, Pittsford Plaza #41  
Tax Parcel #150.12-1-18**

WHEREAS, Access Permits, as agent for Nick Ratcliffe and Wilmorite Management Group, LLC, has made application for a Special Use Permit for a bar and restaurant operation with materials received on November 29, 2023; and

WHEREAS, this is an Unlisted Action pursuant to SEQRA and the Planning Board has conducted a single agency review; and

WHEREAS, a Part I Short EAF was submitted by the applicant and the Planning Board has completed a Part II Short EAF, attached hereto; and

WHEREAS, a Public Hearing was duly advertised and held on January 8, 2024; and

NOW, THEREFORE, upon consideration by the Planning Board, of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act based upon the following Findings of Fact:

**FINDINGS OF FACT**

1. The location of X-Golf within Pittsford Plaza, 3349 Monroe Avenue, is zoned as part of the Commercial District, in which a bar in association with a restaurant is a specially permitted use and requires granting of a Special Use Permit from the Planning Board.
2. The Planning Board has considered possible environmental impacts associated with the application and completed a Short Part II EAF which did not identify significant impacts, attached hereto.
3. The Planning Board has considered the possible impacts identified in Section 185-174 of Town Code and has concluded that this action will not have any significant adverse impacts to the surrounding properties.
4. Town Code Section 185-179 provides for revocation of a Special Use Permit should conditions be violated or not fulfilled. The Town may monitor the use to ensure that impacts are controlled or minimized.

**CONCLUSION**

The Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act.

The within Resolution was motioned by Planning Board Member \_\_\_\_\_, seconded by Planning Board Member \_\_\_\_\_, and voted upon by members of the Planning Board as follows:

Paul Alguire  
David Jefferson  
Paula Liebschutz  
Hali Buckley  
Kevin Morabito  
John Halldow  
John Limbeck

Adopted by the Planning Board on: January 8, 2024.

---

April Zurowski  
Planning Assistant

DRAFT

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: X-Golf Pittsford			
Project Location (describe, and attach a location map): 3349 Monroe Ave Rochester, NY 14618			
Brief Description of Proposed Action: Interior tenant alteration of landlord provided space at an existing shopping center. Space will be used for X-Golf -- an entertainment, light food and drink establishment.			
Name of Applicant or Sponsor: Sarah Goeke - Tenant's Agent		Telephone: (815) 541-7995	
		E-Mail: sarah@accesspermits.com	
Address: N2533 Van Matre Ln			
City/PO: Monroe		State: WI	Zip Code: 53566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 0 acres	
b. Total acreage to be physically disturbed?		_____ 0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ n/a acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			





<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Sarah Goeke</u> Date: <u>11/21/2023</u></p> <p>Signature: <u><i>Sarah Goeke</i></u></p>		

DRAFT

**Short Environmental Assessment Form**  
**Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Town of Pittsford Planning Board  
 \_\_\_\_\_  
 Name of Lead Agency  
 John Limbeck  
 \_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency  
 \_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency

January 8, 2024  
 \_\_\_\_\_  
 Date  
 Planning Board Chairman  
 \_\_\_\_\_  
 Title of Responsible Officer  
 \_\_\_\_\_  
 Signature of Preparer (if different from Responsible Officer)

January 8, 2024

**TOWN OF PITTSFORD  
PLANNING BOARD  
SPECIAL USE PERMIT RESOLUTION  
X-Golf (Restaurant)  
3349 Monroe Ave, Pittsford Plaza #41  
Tax Parcel #150.12-1-18**

WHEREAS, Access Permits, as agent for Nick Ratcliffe and Wilmorite Management Group, LLC, has made application for a Special Use Permit for a bar and restaurant operation with materials received on November 29, 2023; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and the Planning Board has considered potential impacts as part of a single agency review and granted a negative declaration on January 8, 2024; and

WHEREAS, a public hearing was duly advertised and held on January 8, 2024, at which time it was closed, and public comment was incorporated into the public record; and

NOW, THEREFORE, upon consideration by the Planning Board, of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board of the Town of Pittsford grants Special Use Permit approval based upon the following Findings of Fact and subject to compliance with the following Conditions of Approval:

**FINDINGS OF FACT**

1. This application proposes to combine the existing Spenga and Body Fuel spaces to create a new 6,700 square-foot X-Golf, which includes 7 indoor golf simulators, bar, kitchen, office, storage spaces, and bathrooms. Food preparation is limited to pre-packaged, frozen appetizer-type foods that will not require open-air griddles or deep fryers.
2. The location of X-Golf within Pittsford Plaza, 3349 Monroe Avenue, is zoned as part of the Commercial District, in which a bar in association with a restaurant is a specially permitted use and requires granting of a Special Use Permit from the Planning Board.
3. Parking in this area of the plaza can be congested, but it is anticipated that many of the customers for this new business will already be visiting nearby stores, therefore not generating as much additional traffic.
4. The application materials have addressed possible impacts identified in the Special Permit Section 185-174 of Town Code and the Planning Board has reviewed the possible impacts and concluded the proposed restaurant will not adversely affect surrounding properties.

**CONDITIONS OF APPROVAL**

1. The renovations to the space must comply with applicable NYS Building and Fire Codes.
2. The applicant shall provide electronic plans for the building interior layout as part of the Building Permit review process. The layout shall include notation of mechanical rooms, utility shut off information and location, alarm panel locations and information relating to the proposed alarm monitoring service. Additionally, the plans shall include location of the fire department connection and riser locations.
3. It is requested that a lock box (to aid in emergency access) be provided with necessary keys to the space.

4. Outside seating is subject to submission of a site plan and verification from the landlord that the sidewalk will maintain adequate pedestrian travel across the front of the building is required. This is subject to approval by the Town of Pittsford Code Enforcement Officer.
5. Signage should conform to the Planning Board's approved Pittsford Plaza Sign Plan regarding maximum size and location of the sign. The design of the sign will be subject to review and approval by the Design Review and Historic Preservation Board.
6. Changes in the type of beverages/food products will require review by the Town of Pittsford Code Enforcement Officer. He/she can require that a new Special Use Permit is applied for if the general nature of the "restaurant" is proposed to change.
7. Details associated with the recessed grease interceptor must be provided to the Building Inspector if interceptor is required.
8. Sewer Department entrance fees will be due and collected when a Building Permit is issued for the interior renovations.
9. Any new HVAC systems or satellite dishes must be screened from views from public footpaths or parking areas.
10. Town Code Section 185-42 prohibits the amplification of sound outside of the structure.
11. Town Code Section 185-179 provides for revocation of a Special Use Permit should conditions be violated or not fulfilled. The Town may monitor the use to ensure that impacts are controlled or minimized.

The within Resolution was motioned by Planning Board Member \_\_\_\_\_, seconded by Planning Board Member \_\_\_\_\_, and voted upon by members of the Planning Board as follows:

Paul Alguire  
David Jefferson  
Paula Liebschutz  
Hali Buckley  
Kevin Morabito  
John Halldow  
John Limbeck

Adopted by the Planning Board on January 8, 2024.

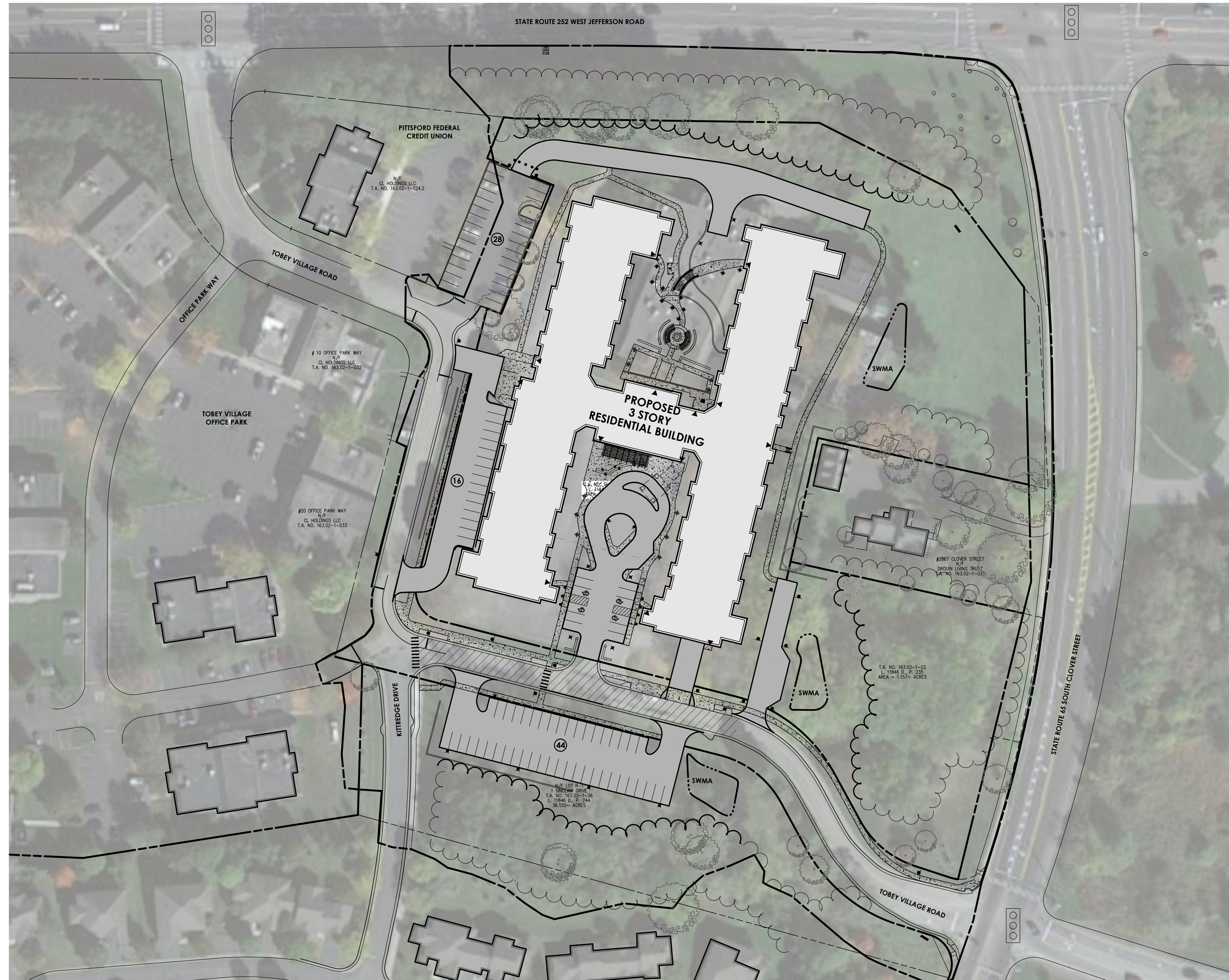
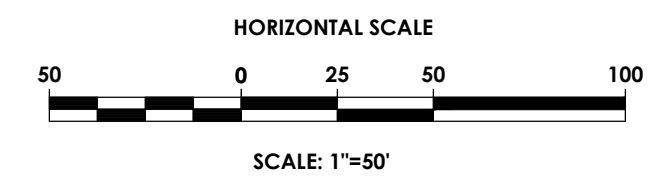
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April Zurowski  
Planning Assistant

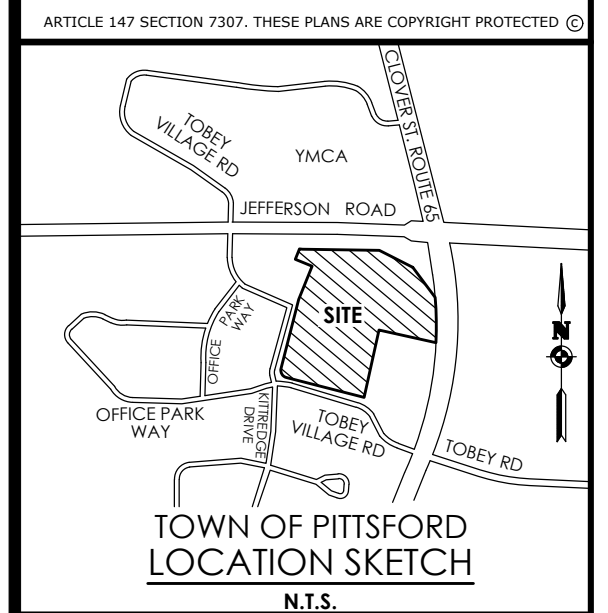


# SITE PLANS FOR PITTSFORD OAKS

## TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK P.N. 20233554.0001



**PA**  
PASSERO ASSOCIATES  
engineering architecture



Client:  
Friendly Senior Living Commons, LLC  
c/o Rochester Friendly Home  
3156 East Avenue  
Rochester, NY 14618

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess Sudol, P.E.  
Project Manager: David Cox, P.E.  
Designed by: Carole Harvey



Revisions			
No.	Date	By	Description
1			

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

COVER

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK  
Project No.: 20233554.0001

Drawing No.: C 101

Scale: 1" = 60'

Date: MAY 2023

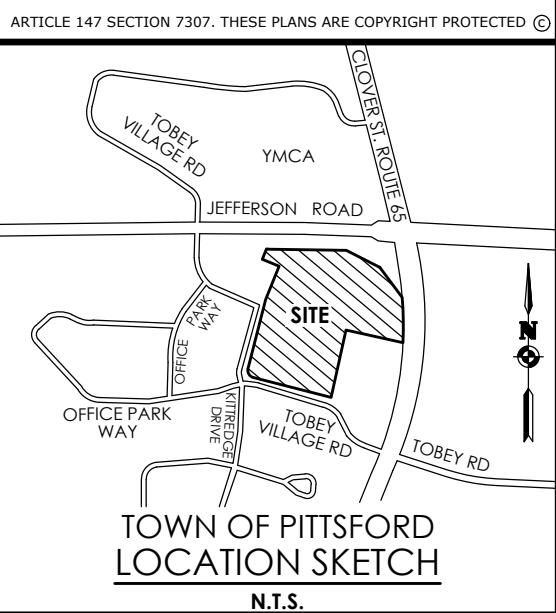
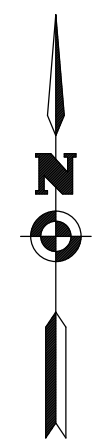
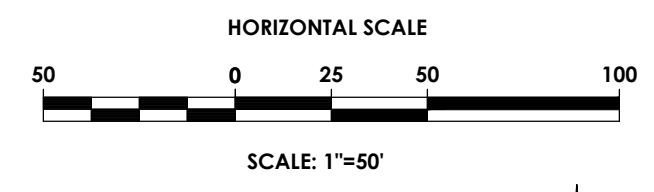
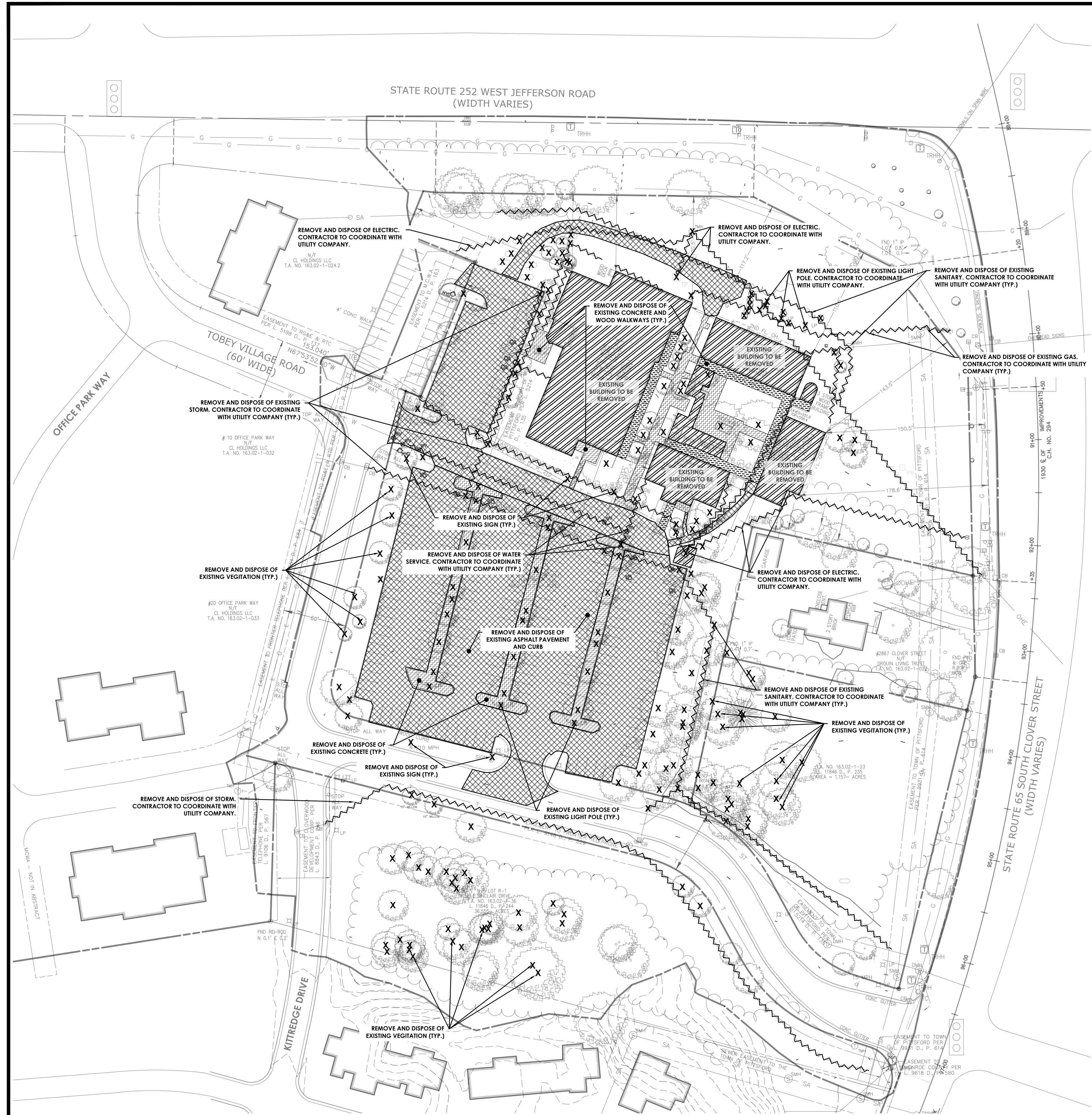
**DRAWING INDEX**

C 101	COVER
C 102	SITE PLAN
C 103	EXISTING CONDITIONS/DEMOLITION PLAN
C 104	UTILITY PLAN
C 105	GRADING & EROSION CONTROL PLAN
C 106	LANDSCAPING PLAN
C 107	LIGHTING PLAN
C 201-207	NOTES & DETAILS

NOT FOR CONSTRUCTION



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Client:  
Friendly Senior Living Commons, LLC  
c/o Rochester Friendly Home  
3156 East Avenue  
Rochester, NY 14618

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: Jess Sudol, P.E.  
Project Manager: David Cox, P.E.  
Designed by: Carole Harvey



**LEGEND - DEMO:**

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING EASEMENT LINE
	SETBACK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING STORM SEWER & MH
	EXISTING WATER SERVICE & VALVE
	EXISTING SIGN
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	EXIST. GAS MAIN
	EXIST. WATER MAIN
	EXIST. ELECTRIC LINE
	EXISTING FEATURE TO BE REMOVED
	EXISTING UTILITY TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING BUILDING TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING WOOD PATH TO BE REMOVED

Revisions

No.	Date	By	Description
1			

**EXISTING CONDITIONS & DEMOLITION PLAN**

**PITTSFORD OAKS**

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

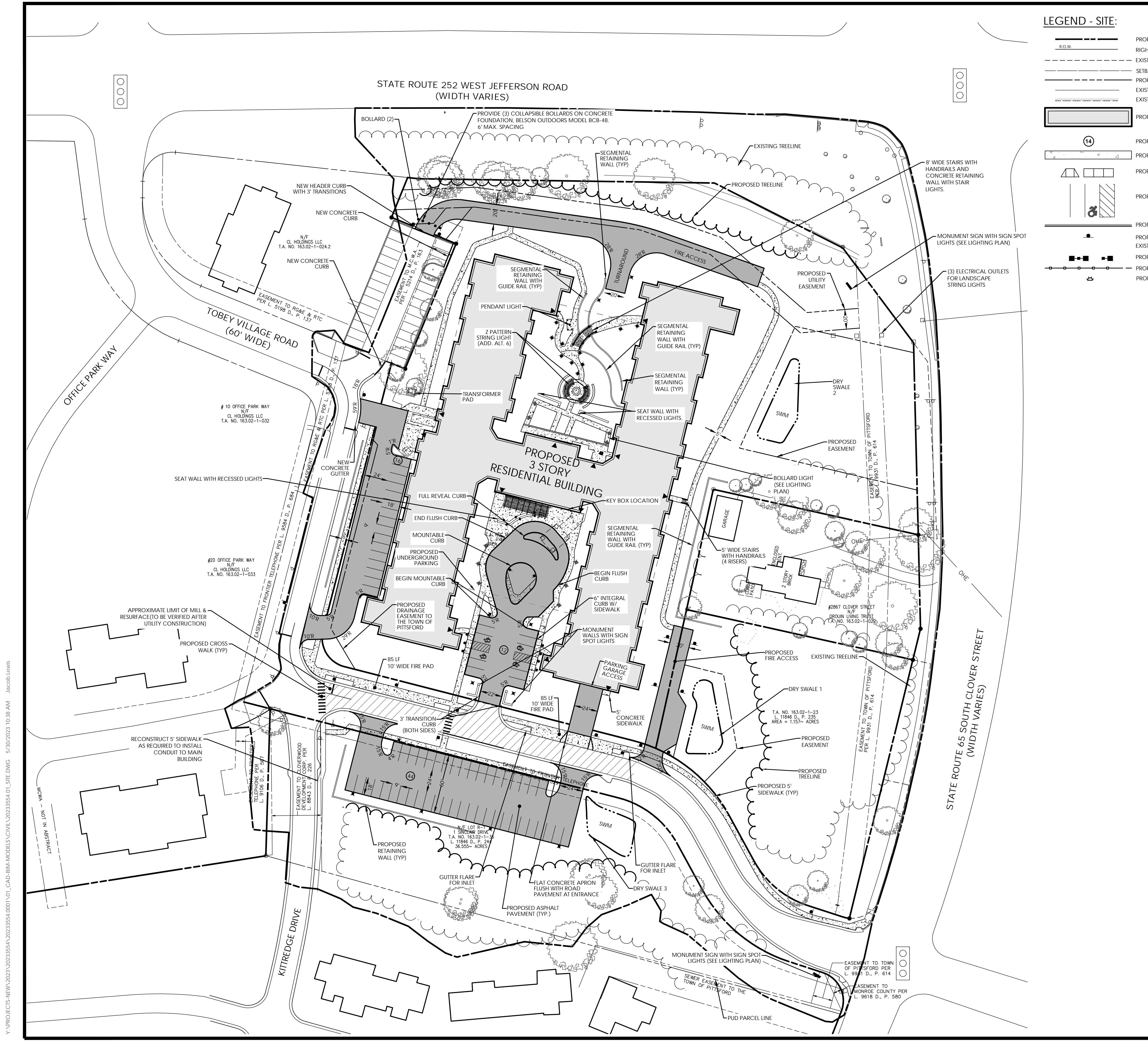
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**20233554.0001**

Drawing No.  
**C 103**

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**1" = 50'**

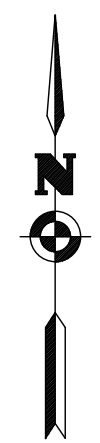
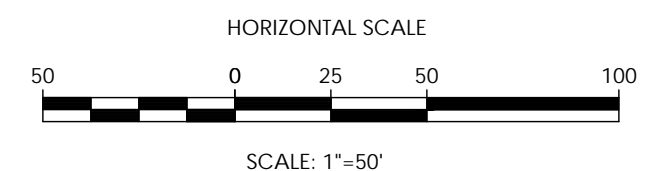
Date  
**MAY 2023**





**LEGEND - SITE:**

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT



**SITE DATA**  
 4-STORY RESIDENTIAL BUILDING  
 WITH SUBTERRANEAN STRUCT. PARKING (LEV. 1)  
 TOTAL BLDG. AREA - 289,673 GSF

**UNIT MIX/COUNT**  
 (12) STUDIO UNITS  
 (107) 1 BED UNITS  
 (60) 2 BED UNITS  
 (12) 3 BED UNITS  
 (191) TOTAL UNITS

(240) TOTAL STRUCTURED PARKING SP. PROVIDED  
 72 SURFACE SPACES PROVIDED  
 312 TOTAL PARKING SPACES (1.63 / UNIT)

**SITE DATA**

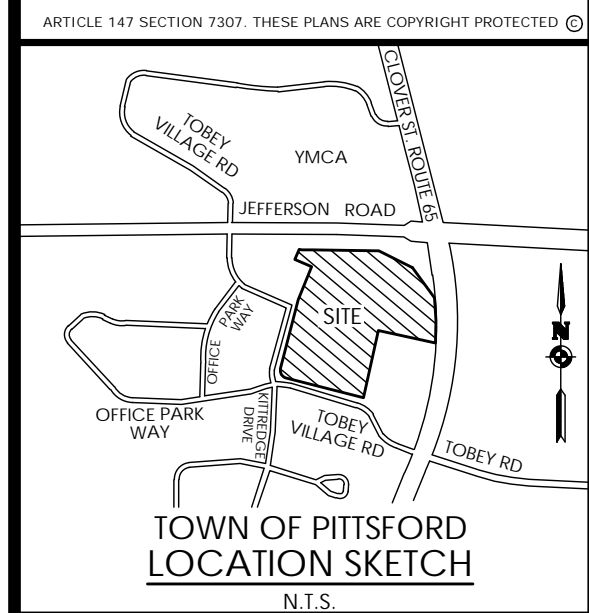
1. TAX ACCOUNT NUMBER:	163.02-1-24.111, 163.02-1-23.1, 163.02-1-36
2. PROJECT ADDRESS:	2851 CLOVER STREET
3. TOTAL PROJECT AREA:	8.00 AC
4. AREA OF DISTURBANCE:	± 5.86 AC
5. EXISTING GREENSPACE:	5.08 AC
6. PROPOSED GREENSPACE:	5.20 AC
7. EXISTING ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
8. PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
9. EXISTING USE:	BARN BAZAAR BUILDING AND INFRASTRUCTURE
10. PROPOSED USE:	RESIDENTIAL BUILDING
11. AREA REQUIREMENTS:	

**PROPOSED ZONING DISTRICT: PLANNED UNIT DEVELOPMENT (PUD)**

LOT	REQUIRED	PROPOSED
WIDTH	N/A	N/A
DEPTH	N/A	N/A
AREA	30,000 SF	348,480 SF
SETBACK		
TOBEY VILLAGE ROAD ROW	20'	20'
CLOVER STREET ROW	110'	110'
JEFFERSON ROAD ROW	65'	65'
REAR PROPERTY LINE OF 2864 CLOVER ST	30'	30'
BUILDING		
HEIGHT	3 STORES OVER PARKING	3 STORES OVER PARKING
UNIT QTY		191
PARKING		
STALLS QTY:		
STALL SIZE - PERPENDICULAR	9'	9'
STALL SIZE - PARALLEL	18'	18'
DRIVE AISLE WIDTH	24'	24'

NOTES:

9. STATE REGULATED WETLANDS (NYSDEC ERM):	NO	YES
10. FEDERALLY REGULATED WETLANDS (USFWS NWI):	X	
11. FLOOD PLAIN (FEMA NFHL): FIRM PANEL: 36055C0358G DATED: 08/28/2008	X	
12. PUBLIC WATER PROVIDED BY:	MONROE COUNTY WATER AUTHORITY	
13. ELECTRIC SERVICE PROVIDED BY:	ROCHESTER GAS AND ELECTRIC	
14. GAS SERVICE SUPPLIED BY:	ROCHESTER GAS AND ELECTRIC	
15. SANITARY SEWER PROVIDED BY:	TOWN OF PITTSFORD	
16. STORM SEWER & DRAINAGE WILL BE: (MAINTAINED BY THE OWNER)	PRIVATE	
17. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY		



Client:  
 Friendly Senior Living Commons, LLC  
 c/o Rochester Friendly Home  
 3156 East Avenue  
 Rochester, NY 14618

**PASSERO ASSOCIATES**  
 242 West Main Street Suite 100  
 Rochester, New York 14614  
 (585) 325-1000  
 Fax: (585) 325-1691  
 Principal-in-Charge: Jess Sudol, P.E.  
 Project Manager: David Cox, P.E.  
 Designed by: Carole Harvey



**Revisions**

No.	Date	By	Description
1			

**SITE PLAN**

**PITTSFORD OAKS**

Town/City: PITTSFORD  
 County: MONROE State: NEW YORK

Project No:  
**20233554.0001**

Drawing No.  
**C 102**

Scale:  
**1" = 50'**

Date  
**MAY 2023**

NOT FOR CONSTRUCTION

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