

**Design Review & Historic Preservation Board  
Agenda  
June 25, 2020**

## **HISTORIC PRESERVATION DISCUSSION**

### **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

- **117 East Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of a fence. This property is zoned AG (Agricultural) and is designated historic.

### **RESIDENTIAL APPLICATION FOR REVIEW**

- **9 White Briar**

The Applicant is requesting design review for the first floor addition. The addition will be approximately 469 sq. ft. and will be located to the rear of the structure.

- **797 Stone Road**

The Applicant is requesting design review for the one story addition and porch. The addition and roof will be approximately 745 sq. ft. and will be located to the rear.

- **290 Tobey Road**

The Applicant is requesting design review for the addition of a third bay to an existing two car garage and the conversion of the underside of a deck to a screened porch. The garage addition will be approximately 432 sq. ft. and the screened porch will be 144 sq. ft.

- **31 Sandpiper Lane**

The Applicant is requesting design review for the addition of a first floor bedroom/bathroom and front porch. The addition will be approximately 415 sq. ft. and will be located to the west of the existing home. The porch addition will be approximately 72 sq. ft. and will be on the front of the home.

### **COMMERCIAL APPLICATION FOR REVIEW**

- **3650 Monroe Avenue**

The Applicant is requesting design review for the replacement of the "Pittsford Garden Apartments" sign. The current sign was damaged and will be replaced with an approximately 15 sq. ft. sign.

### **OTHER – REVIEW OF 6/11/2020 MINUTES**

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/85029885066?pwd=TXphNjMrdWNUL2xGYi9KZmwybG8rdz09>
- 
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **850 2988 5066**. No password is necessary.

(929) 205-6099	(312) 626-6799
(253) 215-8782	(301) 715-8592
(346) 248-7799	(669) 900-6833

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**June 11, 2020**

**PRESENT**

Dirk Schneider, Chairman; John Mitchell, Leticia Fornataro, Paul Whitbeck, Bonnie Salem, Kathleen Cristman

**ALSO PRESENT**

Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney; Kevin Beckford, Town Board Liaison

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, June 11 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

**ABSENT**

David Wigg

Dirk Schneider opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

The Board discussed scheduling a fall date for the Historic Landmark Homes reception. It was recommended that the date be scheduled for later in the year so that the public would feel comfortable attending given this year's COVID pandemic. Potential dates were mentioned – October 15 or 29 or November 5 or 19. The invited speaker will be contacted to determine his availability.

**RESIDENTIAL APPLICATION FOR REVIEW**

• **48 N. Country Club Drive**

The Applicant is requesting design review for the renovation and addition to an existing home. The additions will total approximately 270 sq. ft. and will add square footage to the existing garage and to the front of the home.

James Fahy of Fahy Designs was present to represent the homeowners.

Mr. Fahy discussed the proposed renovations to include additional living space and a third bay garage. The applicant has received an area variance from the Zoning Board of Appeals for a side setback. The total square footage will be 2539 sq. ft. A sunroom which has fallen into disrepair will be removed.

Materials will be cultured stone in a dark grey color, Hardi Board siding, casement windows, architectural dark grey shingles on the roof and carriage style garage doors. The third bay will be set back from the two bay garage. There will be three windows on the front elevation as reflected in the rendering on A 3.0 on the plans. Mr. Fahy stated that the window scaping will be accentuated on the rear of the home so the homeowners may enjoy the adjacent golf course views.

Leticia Fornataro move to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **9 Thomas Grove**

The Applicant is requesting design review for the addition of a porch. The porch will be located to the rear of the home and will be approximately 529 sq. ft.

David Burrows, architect for the project, was present to discuss the application with the Board.

Mr. Burrows stated that Steve Walsh of Walsh Custom Concepts had developed the project and Mr. Burrows had been called in on the project to add design features.

Mr. Burrows designed a open gable porch with two sides open. There will be 2 hip roofs and a ridge roof. Two 6 x 6 posts will be wrapped and framed and trimmed with cultured stone on the bottom. There is potential for an outside kitchen to be added to the porch addition. The shingle product had not yet been chosen.

Dirk Schneider commented that he did not feel that the tapered columns reflected the architecture on the front elevation of the home.

John Mitchell moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **52 N. Country Club Drive**

The Applicant is requesting design review for the proposed construction of a covered porch/patio. The proposed construction will total 186 sq. ft. The deck extension is a separate project and is not part of this review.

The homeowner, Jeff Bornheim, was present to discuss the project with the Board.

Mr. Bornheim discussed the proposed cover to the patio. He stated that the rooflines would match the existing.

Leticia Fornataro disclosed that she know the applicant personally but has no prejudices nor financial interest in the project.

Robert Koegel indicated that this presents no conflict of interest and Ms. Fornataro should feel free to vote on the application.

Paul Whitbeck noted that the new proposed construction is favorable.

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

## **COMMERCIAL APPLICATION FOR REVIEW**

- **3819 Monroe Avenue**

The Applicant is requesting design review to change the siding on an existing commercial building. The building currently has white siding and the applicant would like to change the color to the "Bluish" color submitted.

Mike Nichting was present to discuss the application with the Board.

Mark Lenzi explained that a color change on a commercial building on the Monroe Avenue corridor is subject to the approval of the Design Review Board.

Bonnie Salem disclosed that she knows the applicant personally but she has no prejudice in the project and no financial interest.

Robert Koegel indicated that no conflict of interest exists and Ms. Salem should feel free to vote in this matter.

Mr. Nichting stated that the roof would be torn off and the siding would be replaced with a blue vinyl siding replacement to match the signage on the front of the building.

Kathleen Cristman moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **5611 Palmyra Road**

The Applicant is requesting design review for the addition of a business identification sign. The main area of the sign will be white and in the shape of a tooth. The lettering identifying "Pitcher Pediatric Dental" will be black.

The applicant, Marci Mendola-Pitcher, was present to discuss the application with the Board.

Ms. Pitcher stated that the sign is larger in the rendering than it will actually would be. She had hoped for a larger sign to accommodate her extended last name.

Mark Lenzi explained that the Zoning Board of Appeals granted approval of a 10 ft. square sign and that the Design Review Board cannot override the decision of the Zoning Board.

Bonnie Salem inquired about the lighting of the sign. Ms. Pitcher explained that the electrical is present for a flood light but the sign itself will not be internally illuminated. Per the use variance the sign may only be lit during specific hours.

Paul Whitbeck moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

## **REVIEW OF 5/28/2020 MINUTES**

Bonnie Salem moved to approve the minutes of the May 28, 2020 meeting as submitted.

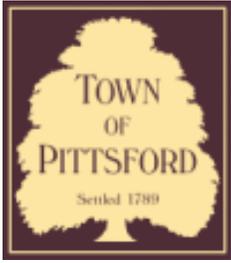
Leticia Fornataro seconded.

All Ayes.

The meeting adjourned at 6:45 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA20-000001**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 117 East Street PITTSFORD, NY 14534

**Tax ID Number:** 178.02-1-2.1

**Zoning District:** AG Agricultural

**Owner:** Gleason, Michael P

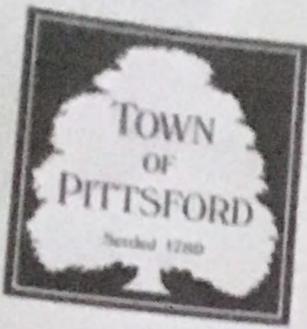
**Applicant:** Gleason, Michael P

### Application Type:

- |                                                                                |                                                                                 |
|--------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |                                                                                 |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of a fence. This property is zoned AG (Agricultural) and is designated historic.

**Meeting Date:** June 25, 2020



Print Form

Reset Form

# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 117 EAST ST.

2. Tax Account Number: \_\_\_\_\_

3. Applicant's Name: MIKE & KATHY Gleason

Address: 117 EAST ST Phone: 585-586-9482

Pittsford, NY Street 14534 City State Zip Code

E-mail: Kathyde4@gmail.com

### Applicant's Interest in Property:

Owner:  Lessee:  Holding Purchase Offer:

Other (explain): \_\_\_\_\_

Owner (if other than above): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

\_\_\_\_\_ Street \_\_\_\_\_  
\_\_\_\_\_ City State Zip Code \_\_\_\_\_  
E-mail: \_\_\_\_\_

Has the Owner been contacted by the Applicant? Yes  No

Application prepared by: KATHY Gleason

Address: 117 EAST ST. Phone: 585-586-9482

Pittsford Street \_\_\_\_\_  
\_\_\_\_\_ City State Zip Code \_\_\_\_\_  
E-mail: \_\_\_\_\_

Project Design Professional (if Available): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

\_\_\_\_\_ Street \_\_\_\_\_  
\_\_\_\_\_ City State Zip Code \_\_\_\_\_  
E-mail: \_\_\_\_\_

8. Project Contractor (if Available): John Rick  
Address: 79 Bridgeport DR Phone: 739-8399  
Rochester, NY 14617 E-mail: JRICK@ROCHESTER  
City State Zip Code RR.COM

9. Present use of Property: Residential

10. Zoning District of Property: A9

11. Is the property located in a Town Designated Historic District?  
Yes  No

12. Is the property listed on the National Registry of Historic Places?  
Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
Yes  No

If Yes, please explain:

We would like to install a privacy fence to shield our patio from the street. Fence position to match existing columns. The fence will be approx 22' long x 5' high

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Fence will be constructed out of wood and painted white to match exterior of the house.

Print Form

Reset Form

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

Parcel map

Architectural elevations

Photographs

Architectural plans

Other materials

\_\_\_\_\_

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Kerry Gleason  
Signature of applicant

6/1/2020  
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

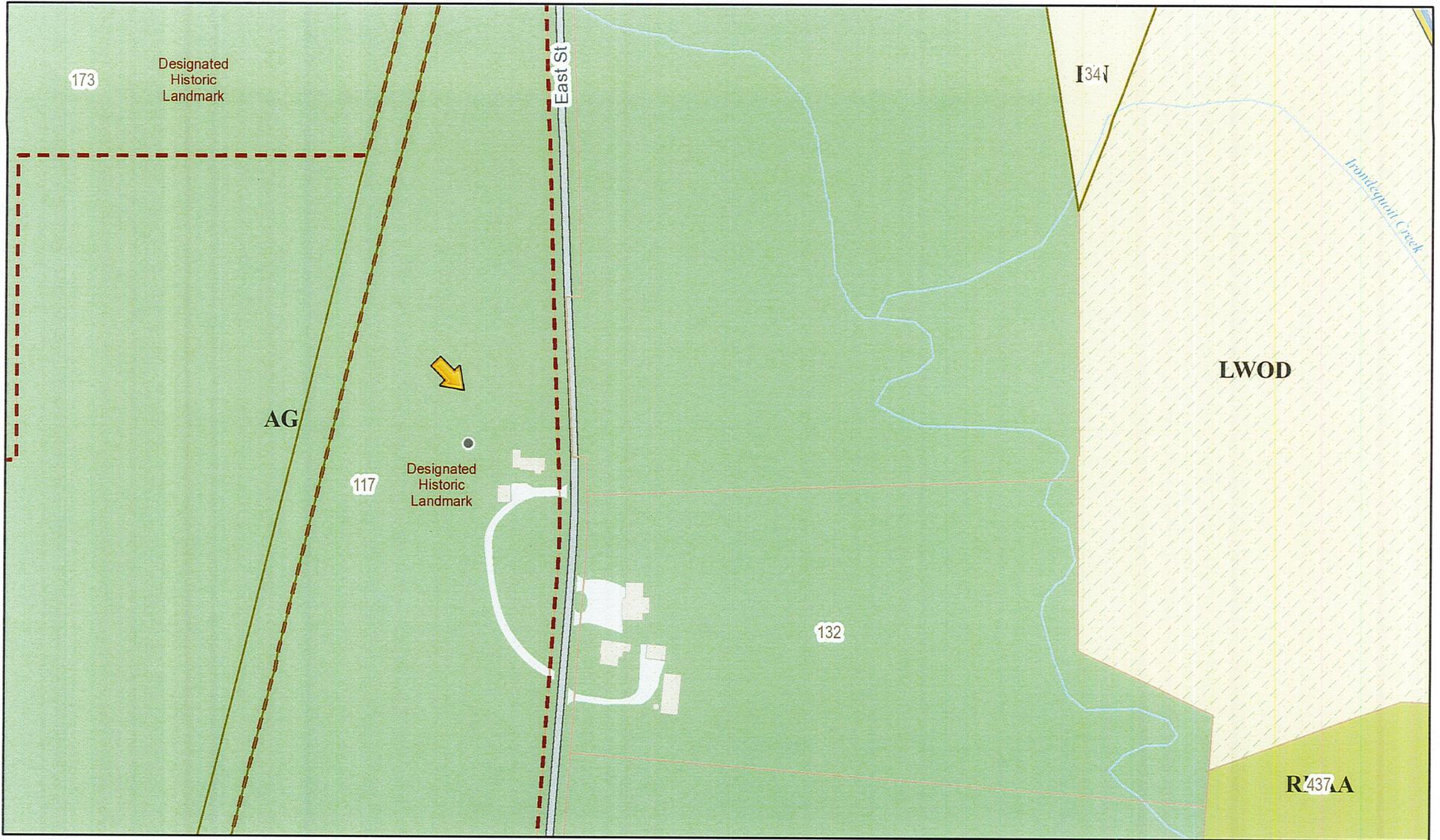
Yes

No

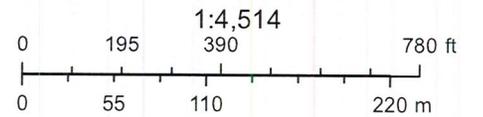
If Yes, owner's signature:



# RN Residential Neighborhood Zoning



Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

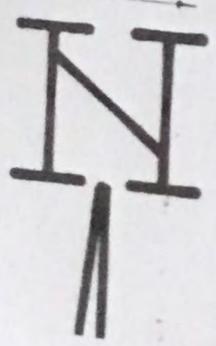
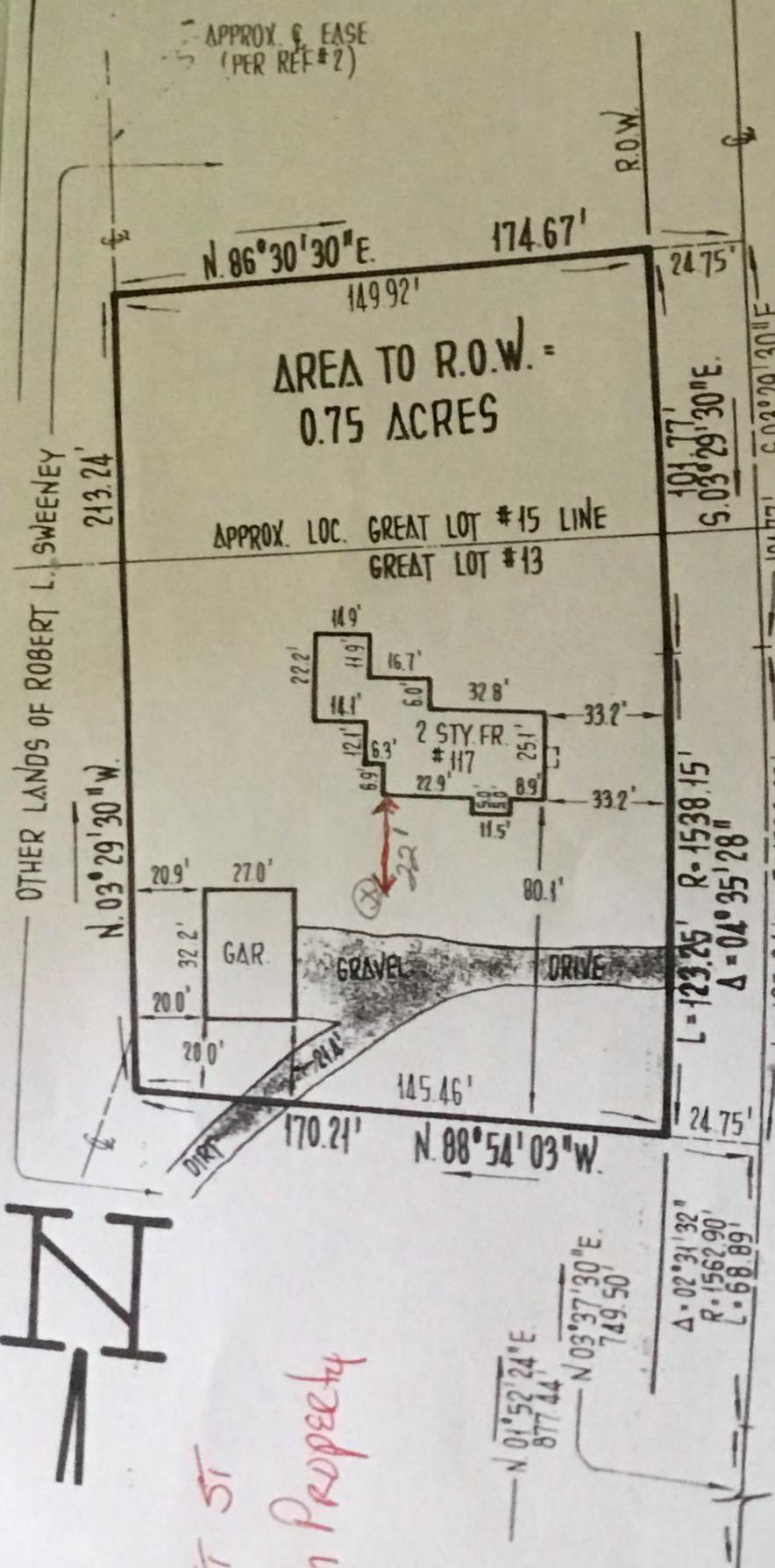


117

450 ft

East Street

450 ft



117 EAST ST  
Gleason Property

COUNTY ROUTE 56 (495) EAST STREET

22 FT LONG  
5 FT HIGH

Certifications indicated herein certify that this survey was prepared in accordance with the existing laws and regulations for Land Surveys adopted by the New York State Association of Professional Land Surveyors. The survey was conducted not only to the present but also to the future. The survey is prepared, and the plat to the title company, and the plat, survey and location of physical monuments, and to the acceptance of the surveying institution. The plat is subject to modification by subsequent owners.

## REFERENCE

1. MAP ENTITLED "LANDS OF ROBERT S. SWEENEY", BY R. RONALD KREILING, P.E., L.S., P.C., DATED DEC. 7, 1988; DWG. #88-2722.
2. EASEMENT TO T/O PITTSFORD FOR 20' SANITARY SEWER, L. 3427 PG. 265.



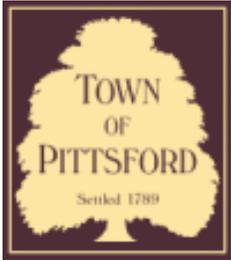












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000074**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 9 White Briar PITTSFORD, NY 14534

**Tax ID Number:** 178.15-3-4

**Zoning District:** RN Residential Neighborhood

**Owner:** Grage, Kurtis A

**Applicant:** Jeff Shear Homes Inc

### Application Type:

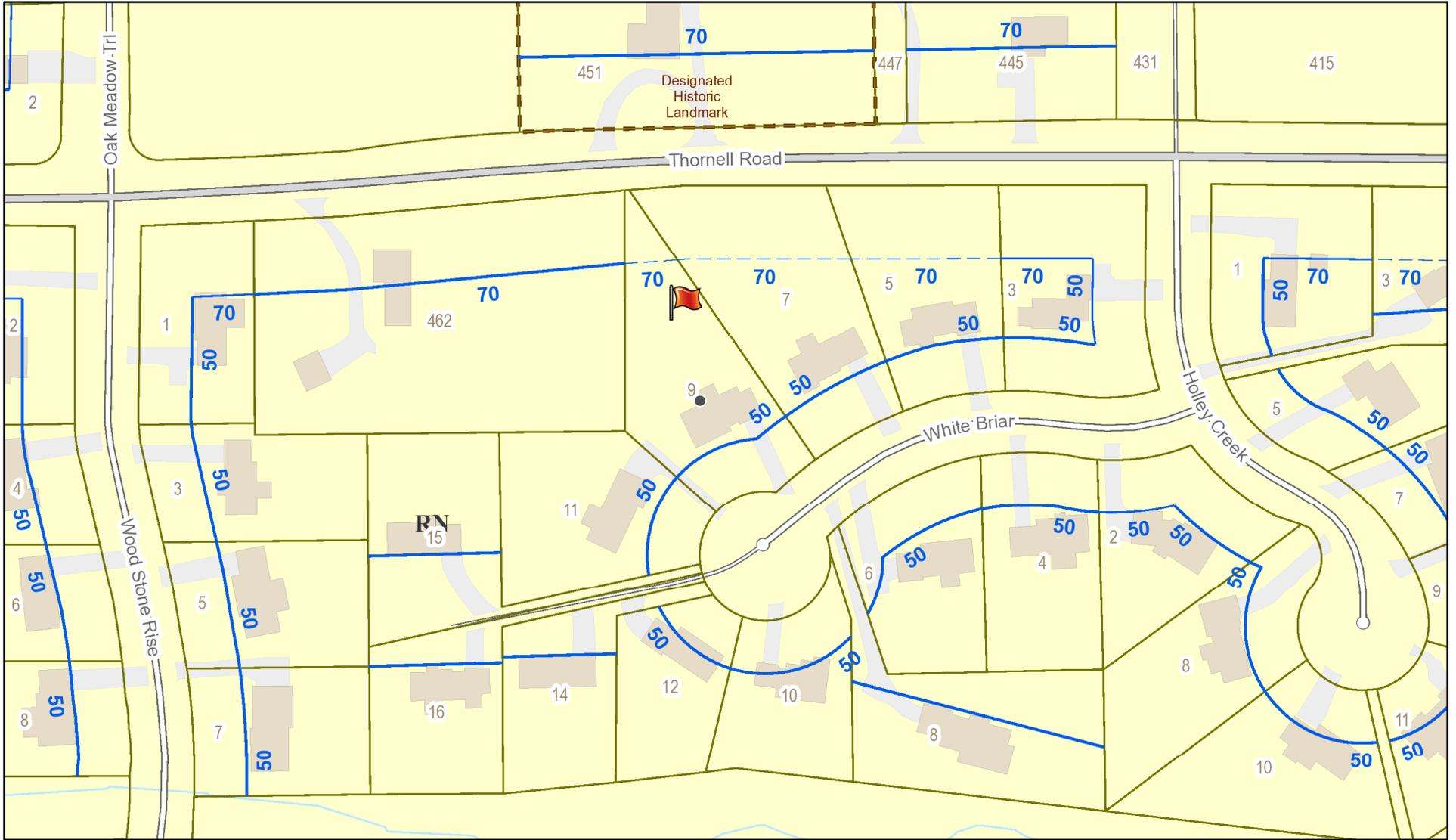
- |                                                                               |                                                                                 |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |                                                                                 |

**Project Description:** Applicant is requesting design review for the first floor addition. The addition will be approximately 469 sq. ft. and will be located to the rear of the structure.

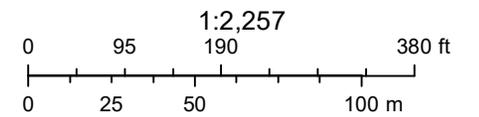
**Meeting Date:** June 25, 2020



# RN Residential Neighborhood Zoning

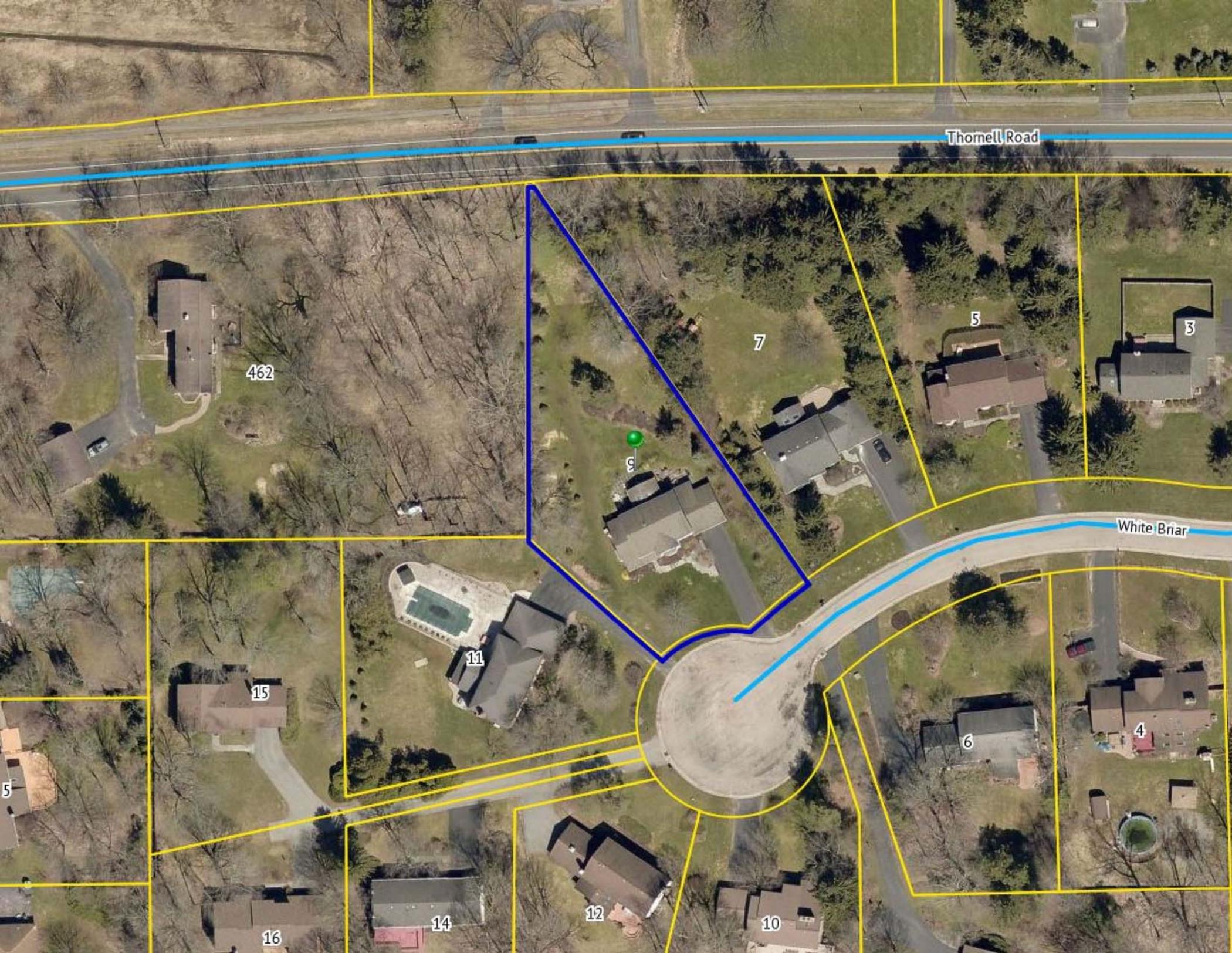


Printed June 18, 2020



Town of Pittsford GIS

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Thornell Road

White Briar

462

7

5

3

9

11

15

4

6

12

10

14

16

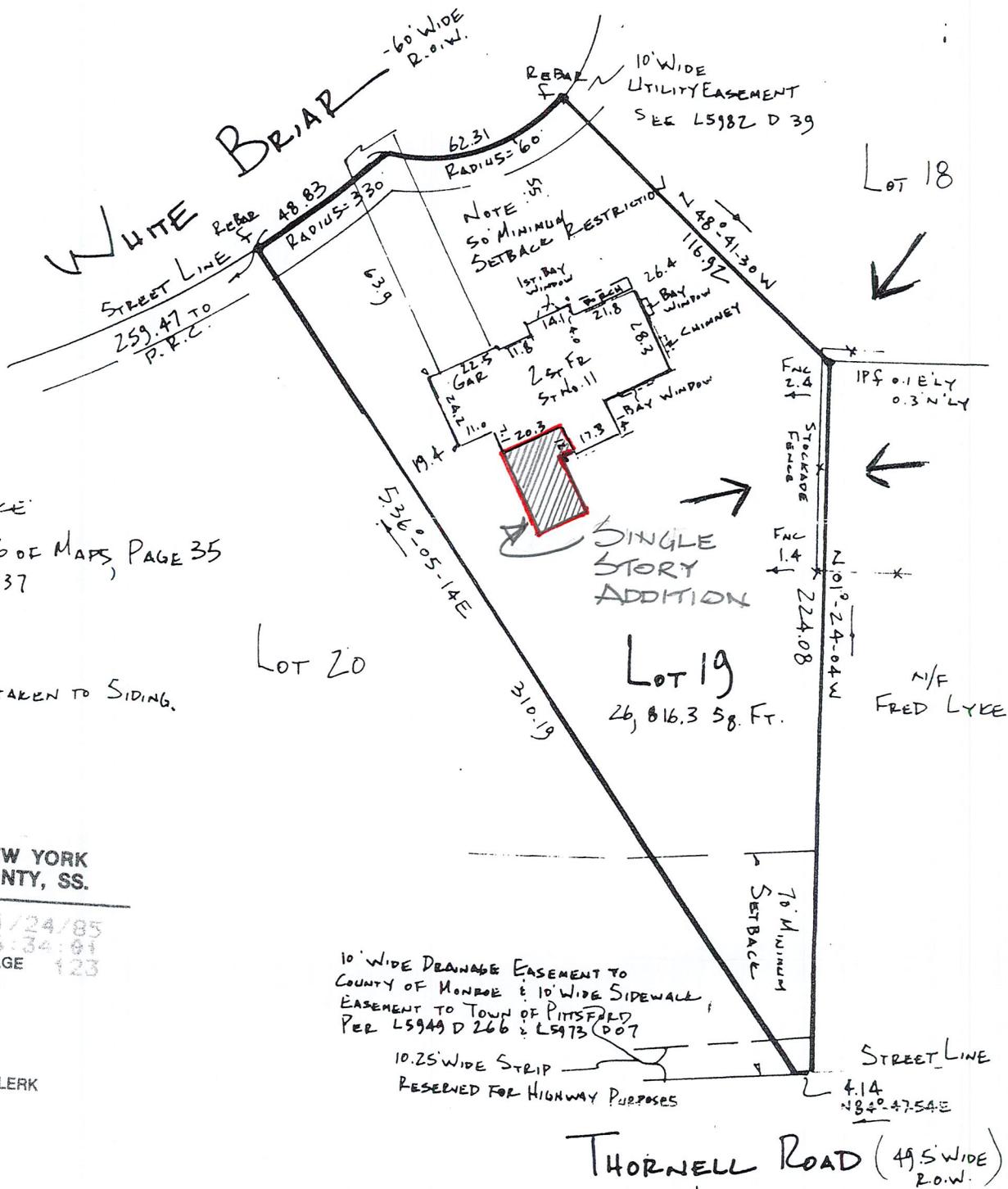
5





LIBER 6654 PAGE 124 MAP OF A SURVEY  
 OF LOT 19 OF  
 WOOD STONE SUBDIVISION  
 SITUATE AT 9 WHITE BRIAR  
 TOWN OF PITTSFORD  
 MONROE COUNTY NEW YORK

GARY L. DUTTON  
 LAND SURVEYOR  
 6115 BALD HILL ROAD P.R.I. Box 65  
 SPRINGWATER NEW YORK 14560  
 716-367-3304  
 SCALE: 1" = 50' JAN. 15, 1985



REFERENCE:  
 LIBER 216 OF MAPS, PAGE 35  
 L 6252 D 37

NOTE:  
 ALL TIES TAKEN TO SIDING.

STATE OF NEW YORK  
 MONROE COUNTY, SS.

RECORDED ON 01/24/85  
 TIME 16:34:01  
 BOOK 6654 PAGE 123  
 REEL FR OF

DEED  
 AND EXAMINED  
 PATRICIA B. ADDUCI  
 MONROE COUNTY CLERK

10' WIDE DRAINAGE EASEMENT TO  
 COUNTY OF MONROE & 10' WIDE SIDEWALK  
 EASEMENT TO TOWN OF PITTSFORD  
 PER L5949 D 266 & L5973 D 07

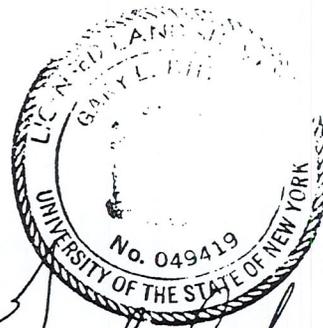
10.25' WIDE STRIP  
 RESERVED FOR HIGHWAY PURPOSES

THORNELL ROAD (49.5' WIDE R.O.W.)

CERTIFY TO  
 ROCHESTER COMMUNITY SAVINGS BANK;  
 HARRIS, BEACH, WILCOX, RUBIN & LEVY;  
 MONROE ABSTRACT & TITLE CORP.;  
 GUY S. JONES, PATRICIA A. JONES;  
 THAT THIS MAP WAS MADE JAN. 15, 1985  
 FROM NOTES OF AN INSTRUMENT SURVEY  
 COMPLETED JAN. 14, 1985

"Unauthorized alteration or addition  
 survey map bearing a licensed land sur-  
 veyor's seal is a violation of section 7209,  
 sub-division 2, of the New York State  
 Education Law."

"Only copies from the original of this sur-  
 vey marked with an original of the land  
 surveyor's inked seal or his embossed  
 seal shall be considered to be valid true  
 copies."



*Gary L. Dutton*

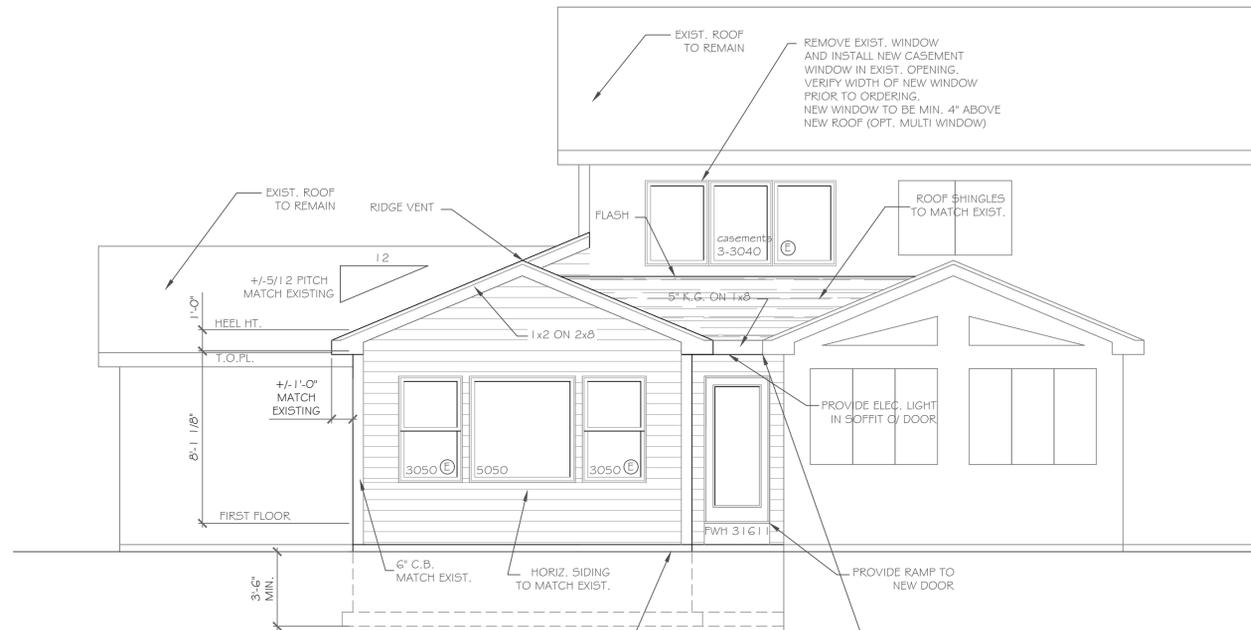
**DEMOLITION NOTES:**

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.

**CONSTRUCTION NOTES:**

- 1. Construction shall conform to the residential code of New York State.
- 2. Comply with all local, state and federal codes and regulations.
- 3. General Contractor is responsible for all materials, construction methods and craftsmanship.
- 4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- 5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- 6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
- 7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- 8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- 9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- 10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- 11. All dimensions are face of wall to face of wall (rough).
- 12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
- 13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.

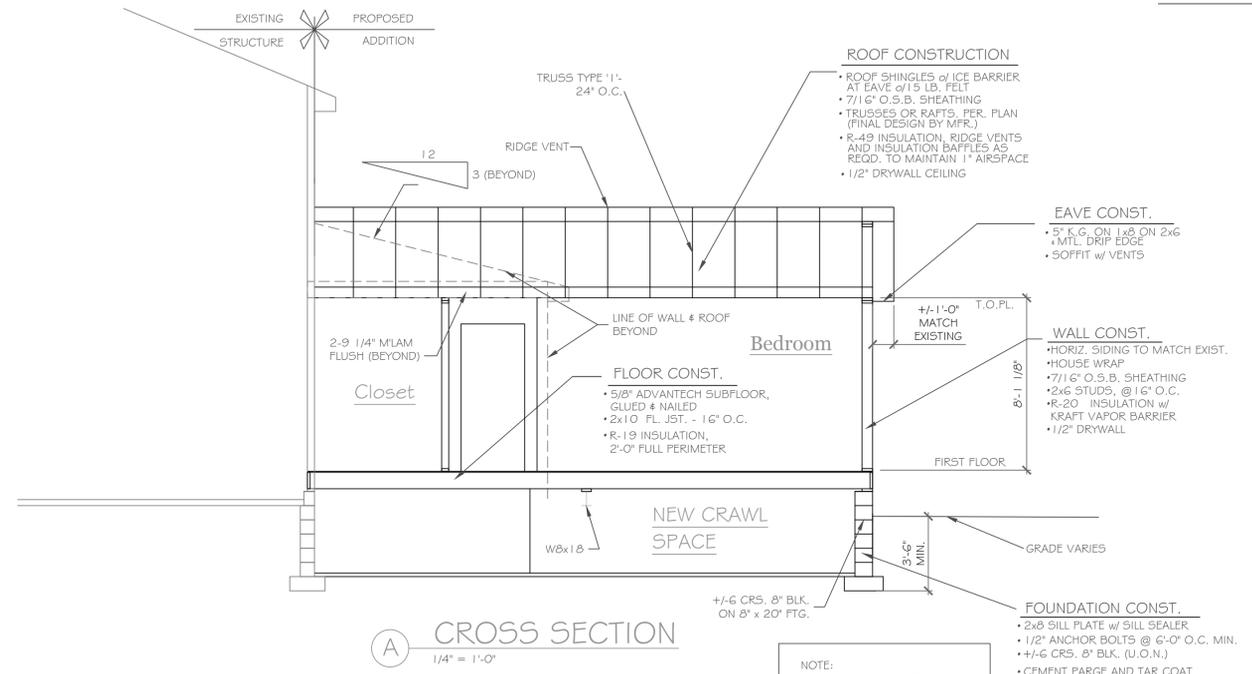
- 14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- 15. Call UFPO before you dig. 1-800-962-7962
- 16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
- 17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- 18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- 19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
- 20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
- 21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



**REAR ELEVATION**  
1/4" = 1'-0"  
469 square feet addition

- NOTE:
- WINDOWS TO BE "GREAT LAKES" (HP LOW-E) DOUBLE-HUNG (OR EQUAL)
  - DOORS TO BE "ANDERSEN" (OR EQUAL)
  - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
  - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
  - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

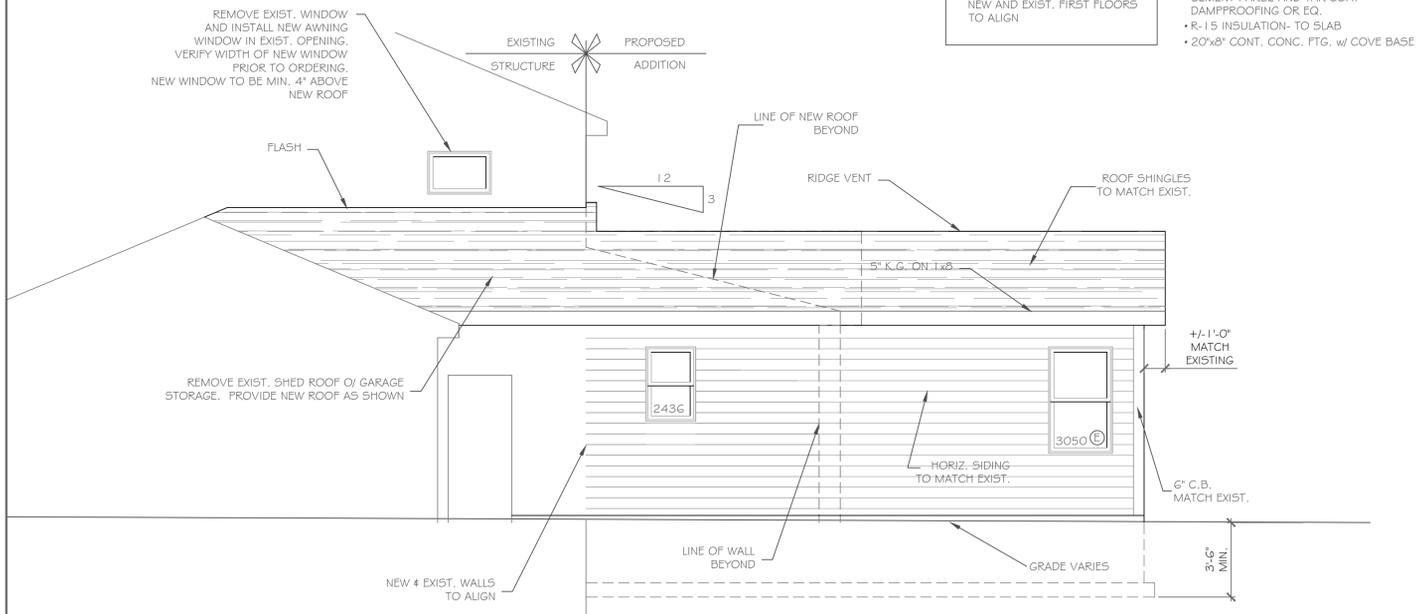
NOTE:  
NEW AND EXIST. FIRST FLOORS TO ALIGN. ADJUST BLOCK HT. AS REQD. FOR 2x10 FLOOR JOIST TO BE FLUSH W EXIST. FIRST FLOOR



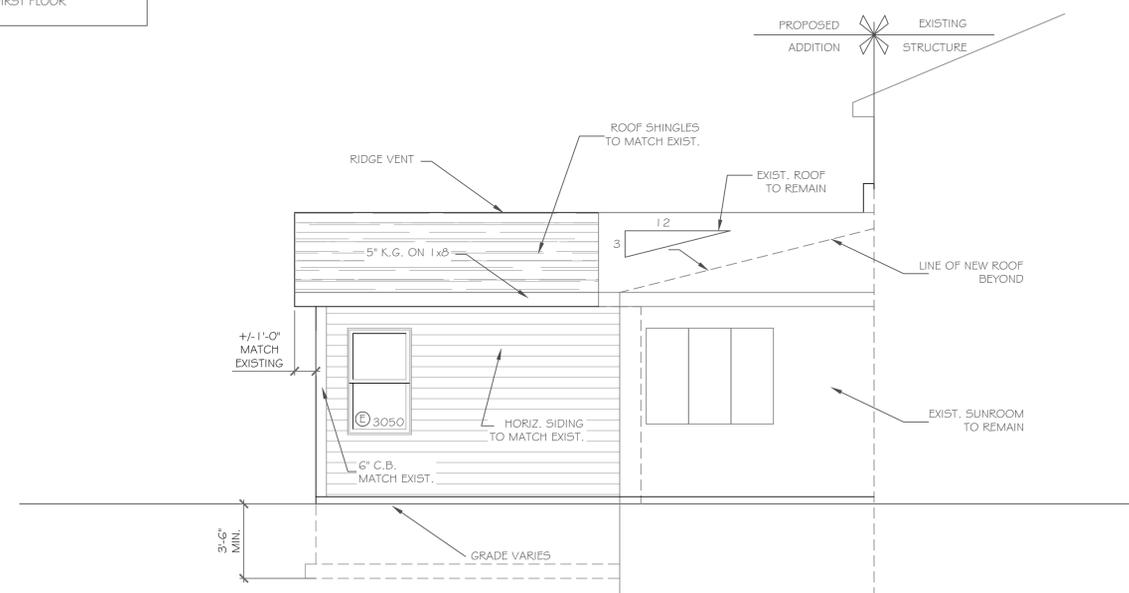
**CROSS SECTION (A)**  
1/4" = 1'-0"

- NOTE:  
NEW AND EXIST. FIRST FLOORS TO ALIGN

NOTE:  
NEW AND EXIST. FIRST FLOORS TO ALIGN. ADJUST BLOCK HT. AS REQD. FOR 2x10 FLOOR JOIST TO BE FLUSH W EXIST. FIRST FLOOR



**RIGHT SIDE ELEVATION**  
1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
1/4" = 1'-0"

**COPYRIGHT NOTICE:**  
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. This plan is a violation of the provisions of the Professional Service Law, Section 2209, Article 145, of the Laws of the State of New York.  
CKH Architecture, P.A.  
Copyright ©  
All rights reserved.

NO.	DATE	DESCRIPTION

**PROJECT:** Additions & Renovations to:  
9 White Briar Dr., Pittsford, N.Y.

**CLIENT:** Kurt & Nancy Grage

**DRAWING TITLE:** Elevations & Section

**DATE:** May 22, 2020

**PHASE:** Construction Documents

**JOB NO.:** A20-012

**PROJECT:** Additions & Renovations to:  
9 White Briar Dr., Pittsford, N.Y.

**CLIENT:** Kurt & Nancy Grage

**DRAWING TITLE:** Elevations & Section

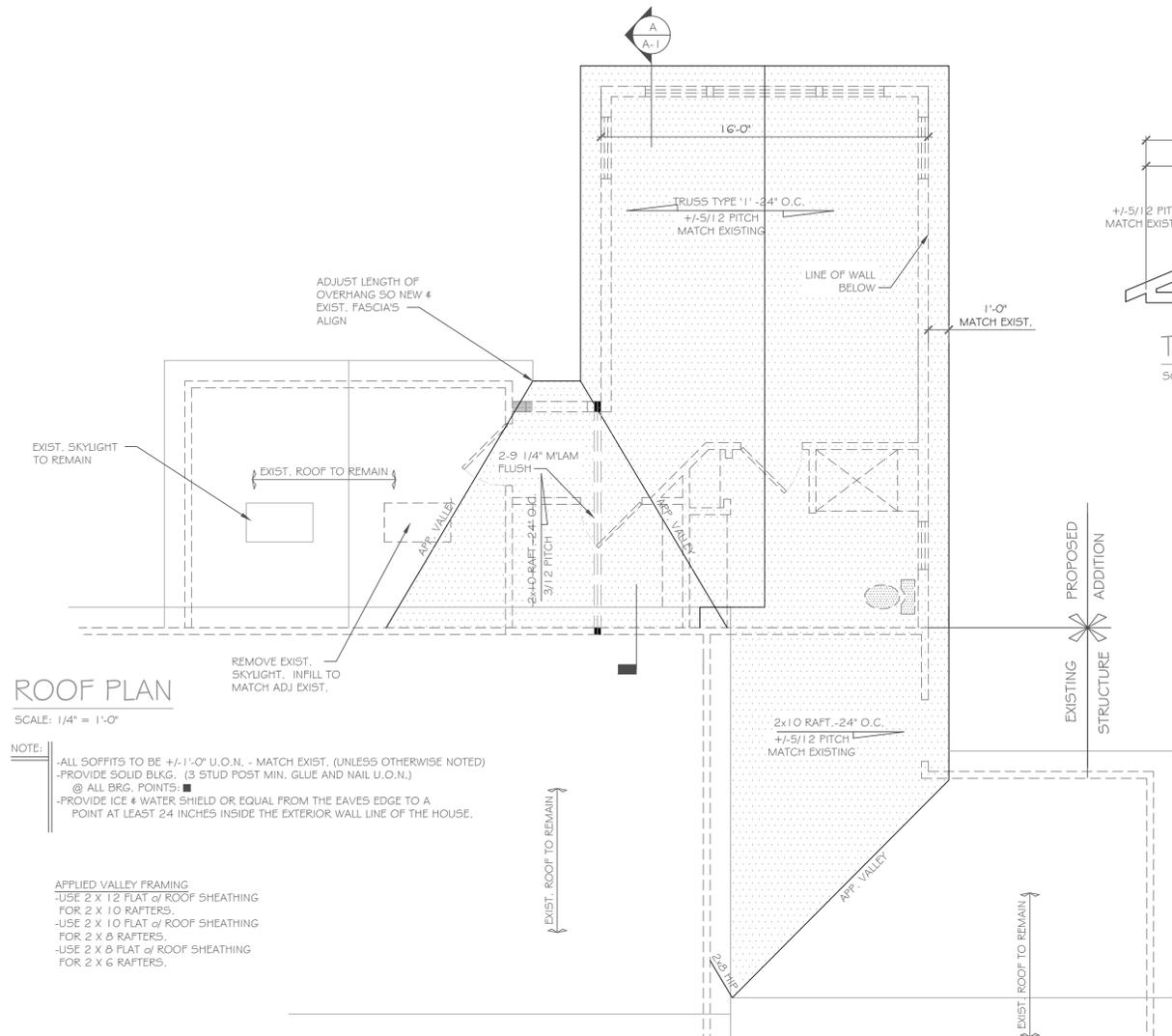
**DATE:** May 22, 2020

**PHASE:** Construction Documents

**JOB NO.:** A20-012

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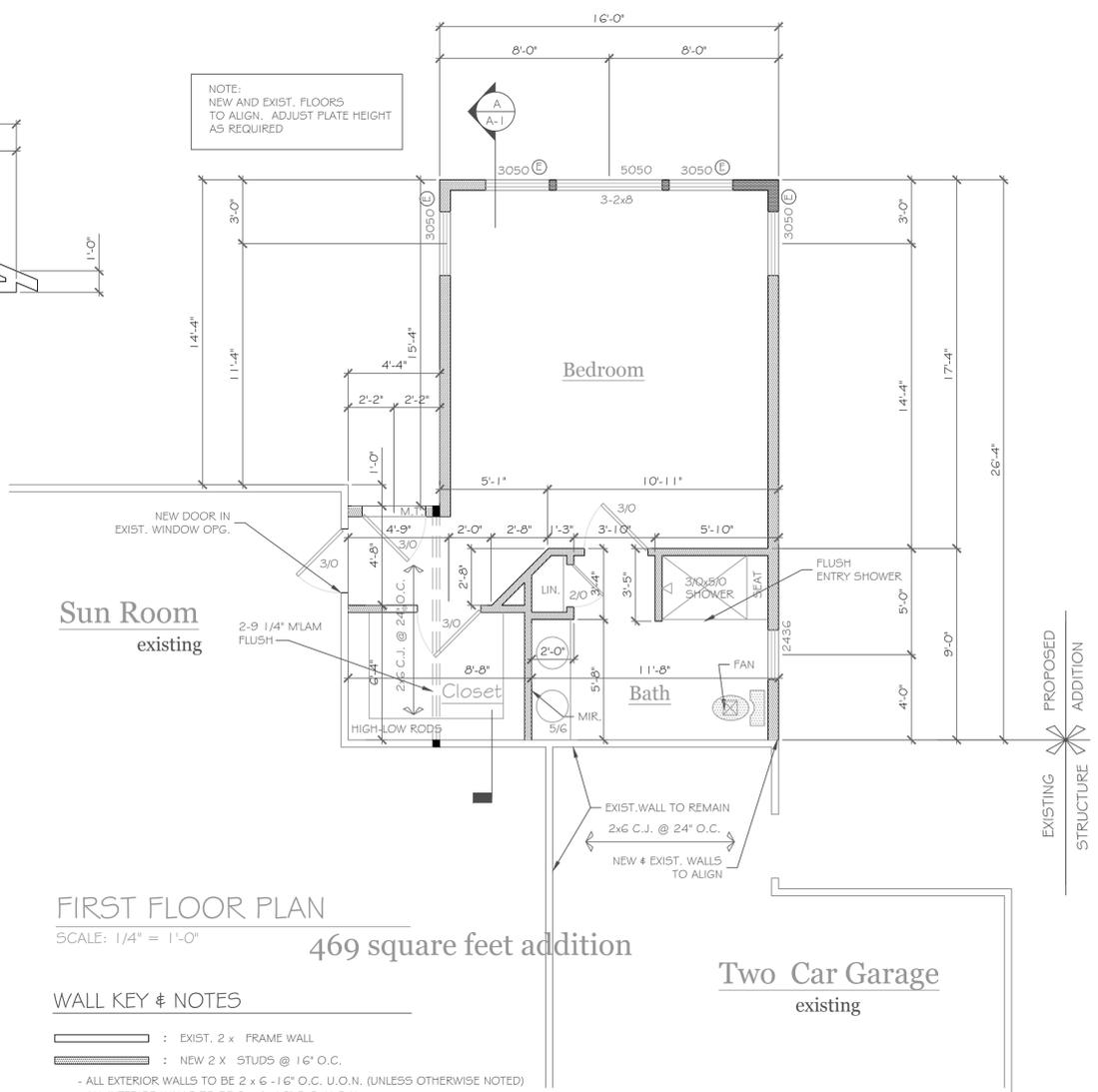
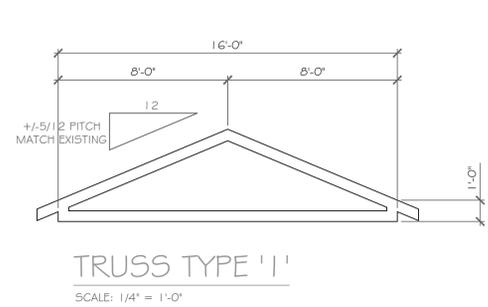
**DRAWING NO.:**  
A-1



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
-ALL SOFFITS TO BE +/- 1'-0" U.O.N. - MATCH EXIST. (UNLESS OTHERWISE NOTED)  
-PROVIDE SOLID BLK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.)  
@ ALL BRG. POINTS  
-PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.

**APPLIED VALLEY FRAMING**  
-USE 2 X 12 FLAT OF ROOF SHEATHING FOR 2 X 10 RAFTERS.  
-USE 2 X 10 FLAT OF ROOF SHEATHING FOR 2 X 8 RAFTERS.  
-USE 2 X 8 FLAT OF ROOF SHEATHING FOR 2 X 6 RAFTERS.

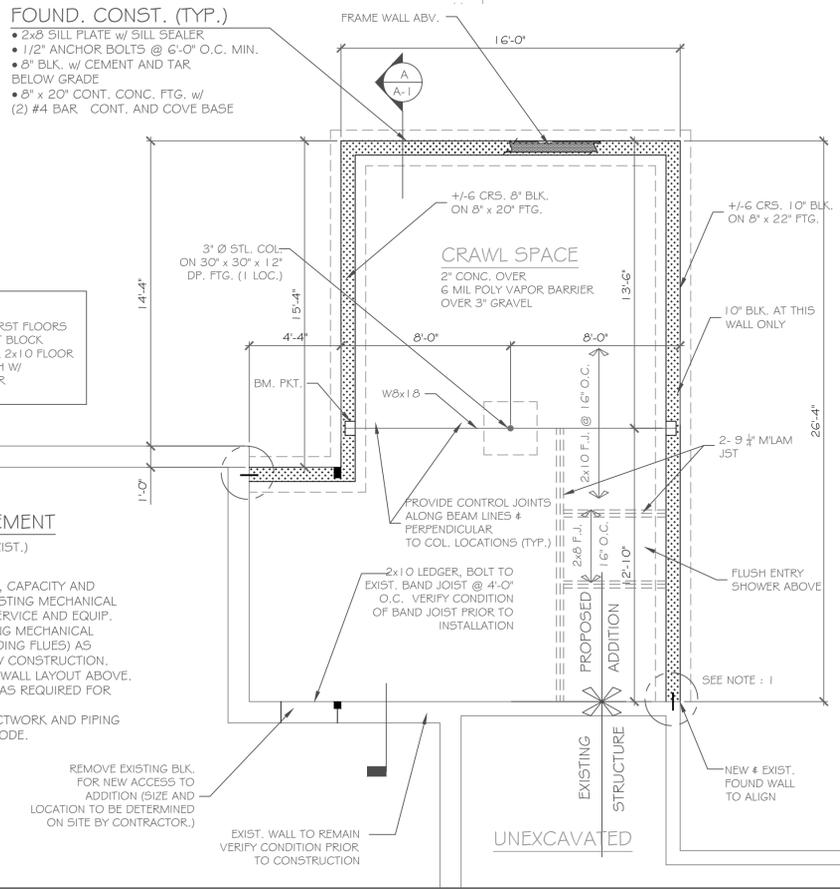


**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**WALL KEY & NOTES**

**G.C. NOTE:** THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD  
 PROVIDE SOLID BLK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS  
 CLG. HTS. TO BE +/- 7'-6" (NEW & EXIST. FIRST FLOORS TO ALIGN)  
 ALL ANGLES TO BE 1/2 1/2 U.O.N.  
 REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.  
 (1) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 \* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
 DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

**NOTES: SMOKE DETECTION & ALARM DEVICES:**  
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.  
 CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
 1. PROVIDE 1 1/2" LONG NO. 5 BAR EVERY 2ND. CRS. @ NEW AND EXISTING BLK. JOINT GROUT CORES SOLID FULL HEIGHT.  
 2. GROUT CORES SOLID FULL HEIGHT AT ALL BEAM BEARING LOCATIONS  
 3. USE SIMPSON (OR EQUAL) JOIST HANGERS AT ALL HEADER CONNECTIONS.  
 4. NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS  
 5. NEW & EXIST. FIRST FLOORS TO ALIGN  
 6. VERIFY DEPTH OF EXIST. FL. JST. IN FIELD PRIOR TO CONSTRUCTION

**CONC. BLK. LEGEND:**  
 NEW C.M.U. -ELEV. = 0'  
 EXIST. FOUND. WALL-ELEV. = 0'  
 BRG. POINT ABV. W/ FULL SUPPORT TO SOLID BEARING OR MASONRY (GROUT SOLID)

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REVISIONS- NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
**Foundation Plan, First Floor Plan & Roof Plan**

**PROJECT:**  
 Additions & Renovations to:  
 9 White Briar Dr., Pittsford, N.Y.

**CLIENT:**  
 Kurt & Nancy Grage

**PHASE:**  
 Construction Documents

**DATE:**  
 May 22, 2020

**JOB NO.:**  
 A20-012

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**DRAWING NO.:**  
 A-2

GENERAL CONSTRUCTION NOTES:

- 1. Construction shall conform to the latest edition of the Residential Code and Energy Conservation Construction Code of New York State, with possible modifications by local code administration.
2. The Contractor shall comply with all applicable Building, Electrical, Mechanical, Sanitary and Energy Codes (local, state, and federal).
3. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the latest edition of the Residential Code of New York State.
4. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
5. The Contractor shall be responsible for all construction means, methods, techniques, sequences, and safety precautions in connection with the work.
6. The Contractor shall verify all existing conditions, requirements, notes, and dimensions shown on Drawings or noted in Specifications. Any variances within Drawings and Specifications, or with conditions encountered at job site, shall be reported to Owner/Architect in writing before commencement of any work effected by such variance.
7. The Contractor shall rigidly adhere to all laws, codes, and ordinances which apply to this work. He shall notify and receive clarification from Owner/Architect in writing of any variances between contract documents and governing regulations.
8. The Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies, or omissions in the Contract Documents, of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.
9. The Contractor shall be responsible for adapting these plans, if required, to suit the needs of the building on the site provided that the alterations do not violate the code or alter the structural integrity of the building. The Contractor shall make no structural changes without written approval of the Architect.
10. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings and specifications.

- 11. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standards and specifications may be used.
12. Construction loads shall not overload structure nor shall they be in excess of design loadings indicated herein.
13. Due to revisions made during the development of these drawings, they may not reflect the dimensions noted. Do not scale the drawings.
14. Call UFPO before you dig. 1-800-962-7962.
15. All dimensions are face of wall to face of wall (rough).

- 16. Contractors are responsible for coordinating work with other trades wherever they overlap.
17. All details are subject to change due to existing field conditions. Contractors must notify Owner/Architect of same.

- 18. Interior and exterior finish material selection (including, but not limited to, siding, roofing, wall, floor and ceiling finishes) by Owner and Contractor unless otherwise specified.
19. All subcontractors shall leave extra materials for patching and/or repair of all interior and exterior finish materials including, but not limited to, flooring, wall coverings, roofing, siding, etc. Coordinate exact list and quantity of materials required with owner.

- 20. Design of electric, plumbing, and HVAC systems by other consultants or contractors. Verify municipal requirements and location of existing utilities/services prior to construction. The Contractor shall be responsible for compliance with the Energy Conservation Construction Code for all HVAC equipment, and controls, Water heating equipment, pipe and duct insulation and fluorescent lamps and ballasts.
21. Where reference is made to various test standards for materials, such standards shall be the latest edition or addendum.
22. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope of the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction. No adjustment will be made to the contract sum or time of completion for failure to include any portion of the work where such inclusion may be reasonably inferred from the contract documents.

SITE WORK:

- 1. Site work shall include all site demolition, clearing, excavation, filling, grading, drainage, and related items necessary to complete the work indicated on drawings.
2. Contractor shall investigate site during clearing and earthwork operations for filled excavations or buried structures such as cess pools, cisterns, foundations, etc. If any such items are found, Owner/Architect shall be notified immediately.
3. Before commencing construction or excavation activities at the site, Contractor shall obtain geotechnical assistance of a registered soils testing laboratory. Testing laboratory shall make necessary borings, tests, and analysis of soils at locations and elevations pertinent to the project of preparations of a soils test and recommendations report.
4. It is assumed that the subsurface conditions will be earth or soil. If bedrock is encountered, removal will be considered an addition to the contract.
5. Contractor shall extend asphalt driveway and parking area to new addition. Driveway construction shall be in accordance with generally accepted industry standards.

CONCRETE:

- 1. GENERAL:
A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.
B. Contractor shall be responsible for support of all temporary embankments and excavations.
2. STRUCTURAL BACKFILL:
A. Structural backfill of well graded sand and gravel or crusher run stone shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs-on-grade and building structure) and 90% (elsewhere) of maximum density at optimum moisture content as determined by ASTM D698.

CONCRETE: (Cont.)

- B. Backfill shall be free of excessive vegetation, debris or other deleterious materials and contain no particles larger than 3-inches in diameter and no more than 10% passing the #200 sieve.
C. Backfill shall not be placed against basement retaining walls until (1.) Concrete or masonry grout has reached its specified 28 days strength, and (2.) Structural floor framing (including plywood subfloor) required to stabilize walls is complete and fully nailed and anchored.
3. FOOTINGS:
A. Footings shown on drawings are sized for building design loads and an assumed soil bearing capacity of 1,500 psf. Verify actual soil bearing capacity on site and notify Owner/Architect in writing if less than 1,500 psf.
B. Footings shall be placed at a minimum depth of 42-inches below adjacent finished grade unless otherwise specified on the Contract Documents.
C. Final 3-inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.
D. Footings shall be founded on firm, undisturbed, native soils free of frost and loose material. Footings may bear on properly engineered backfill provided settlement and/or consolidation tests performed indicate anticipated settlement will not exceed that allowed for the proposed structure. Conditions found to be otherwise shall be reported to Owner/Architect.
E. Bottom surface of footings shall not slope more than 1.0 vertical to 10.0 horizontal, except as shown otherwise of drawings.
F. No excavation shall be made lower and closer to any footing than 1.0 vertical to 3.0 horizontal, except as shown on drawings.
G. Footings and slabs-on-grade shall not be placed on muddy or frozen ground. Sub-grade for slabs-on-grade where vapor barrier is not required shall be damp at time of concrete placement.

CONCRETE:

- A. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements For Reinforced Concrete".
B. Concrete shall meet the requirements of ACI 301-72 with type II cement. Minimum 28 days compressive strength of 2,500 psi (footings) and/or 3,500 psi (slabs), unless otherwise specified. Max. slump 4 1/2" as determined by ASTM C143.
C. In on-grade concrete slabs the welded wire fabric reinforcement (when required) shall be located midway in the slab thickness.
D. All exterior concrete to be air-entrained.
E. Provide concrete reinforcing bars at footing locations where soil is engineered fill. Bars shall be 2-#4, at the bottom with a minimum of 3" concrete cover, unless noted otherwise. Concrete reinforcing bars are not required at footings bearing on undisturbed soil with a bearing capacity of 2500 psf unless noted otherwise on the drawings.
F. Provisions must be taken to protect all concrete work from frost damage with special attention paid to footings and other on-grade construction prior to backfilling and enclosing the building.
G. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diameter minimum and 10" long. Placement of anchor bolts shall be: 12" from plate end, 6"-0" O.C. maximum intermediate spacing, minimum 2 bolts per bearing plate section.

- H. Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D 2103 where indicated on drawings.
5. MILD STEEL REINFORCEMENT FOR CONCRETE AND MASONRY:
A. Mild steel reinforcement for concrete and masonry construction shall conform to ASTM-A615 Grade 40. Ties, strumps, and hoops shall conform to ASTM A615-#7, Grade 40.
B. Welded wire fabric shall conform to ASTM A185 in as long lengths as practical.
C. PLACING:
1. Reinforcement shall be accurately placed and adequately supported by concrete, metal, or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement. Tack welding is not allowed.
2. Except where shown otherwise on structural drawings, reinforcement in concrete shall have concrete cover as follows:
a. Concrete deposited against earth. . . . . 3"
b. Formed concrete against earth. . . . . 2"
c. Exterior faces of walls. . . . . 2"
d. Interior faces of walls. . . . . 3/4"
e. To top of slabs-on-grade. . . . . 3/4"

MASONRY:

- 1. Concrete block shall conform to ASTM C90, N - 1. All units shall be 2 core, normal weight.
2. Wall reinforcing shall conform to ASTM A82.
3. All mortar shall conform to ASTM C270, Type S with a minimum compressive strength of 1,800 PSI @28 days - 1 part portland cement, 1/4 part lime and 3 parts sand.
4. Grout for filling cmu cores shall conform to ASTM C476, coarse grout, with a minimum compressive strength of 2,500 PSI @ 28 days. Grout shall be placed in lifts not exceeding 4'-0" in height.
5. All masonry walls shall be laid in running bond.
6. All masonry walls shall be reinforced with 9 gauge horizontal truss-type wire reinforcing, placed in every second bed joint, unless otherwise noted.
7. Cold weather masonry practices shall be followed in accordance with ACI 530/ASCE 6.

STEEL:

- 1. Provide steel beams, columns, plates, lintels, anchors and ties for the building structure and as part of the concrete and masonry work as shown on the drawings and required for complete installation of work.

STEEL: (Cont.)

- 2. Products:
A. Steel Plates, Shapes and Bars - ASTM A 36
B. Steel Pipe - ASTM A 53, Type E or S, Grade B. Steel columns shall be 1 1/2 gauge tubing with a .120 wall thickness and a minimum yield strength of 32,000 psi, unless otherwise indicated
C. Fasteners - High-strength bolts and nuts, ASTM A 325 or A 490.
D. Shop Paint - SSPC-Paint 2
3. Fabrication and installation per the latest edition of the AISC Manual and Specifications.
4. Use high-strength bolts for field connections. Wood plates bearing upon steel beams shall be bolted to the top flange of beams with ASTM A325 compliant High Strength 1/2" bolts @ 4'-0" O.C. All steel to steel bolted connections shall be made with AISC diameter ASTM 325 High Strength Bolts. Steel beams shall be bolted or welded to steel columns with appropriate size plate (3/8" min.).
5. All structural steel W shapes shall conform to ASTM A992 or A572. Tube shapes shall conform to ASTM A500 GR 'B'.
6. All welds shall be made in accordance with the latest requirements of the AWS, using E70 electrodes. Provide field touch-up paint to match shop applied primer where paint has been burned off.

WOOD:

- 1. MATERIALS:
A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
1. American Institute of Timber Construction: (Standards Manual).
2. National Forest Products Association: National Design Specifications for Wood Construction.
3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.
4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TP-71).
5. American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.
6. American Wood-Preservers Association Standards.

- B. All structural lumber shall be Hem-Fir #2 (minimum) stress grade lumber unless noted otherwise. Minimum Fiber Stress in Bending (Fb) for all framing lumber to be 1,150 psi.
C. All structural lumber shall be stamped in accordance with the American Institute of Timber Construction's "Construction Manual".
D. Grade loss resulting from effects of weathering, handling, storage, resawing or dividing lengths will be cause for rejection.
E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat Interior with ext. glue unless otherwise specified on Drawings.
F. Wood which is in contact with concrete, masonry, soil or within 1'-0" of grade or exposed to the exterior shall be pressure preservative treated.
G. All headers shall be as follows unless otherwise noted. Provide (1) 1/2" plywood gusset at 2 x 4 walls and (2) 1/2" plywood gussets @ 2 x 6 walls. All headers to be glued and nailed

Table with 3 columns: Opening Size, Header (2 x 4 Wall), Header (2 x 6 Wall). Rows include up to 4'-0", 4'-0" to 6'-0", 6'-0" to 9'-0", and up to 4'-0", 4'-0" to 6'-0", 6'-0" to 9'-0".

- H. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1 x 3 cross briding at all floor joist and spans.
I. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by a Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.

- J. Roof sheathing shall be APA rated 32 / 1 G, with minimum thickness of 5/32". Plywood shall be exterior grade. Panel clips shall be provided at all non-supported edges. Nailings shall be 6D nails at 6" O.C. at edges and 12" O.C. at interior supports.
K. Wall sheathing shall be APA rated 15/32" (minimum). Nailings shall be 6D nails @ 6" O.C. at edges and 12" O.C. at interior supports.

- L. Floor sheathing shall be APA rated Sturd-I-Floor, T/G, 1 G O.C., 21 / 32 (minimum) capable of supporting a minimum load of 85 PSF with a deflection limit of L / 360 of the span. Plywood shall be glued and nailed, 8D nails @ 12" O.C. at each support (unless the nailing pattern is otherwise noted on the drawings)
M. Laminated veneer lumber (L.V.L.) shall be an engineered wood product as manufactured by Truss Joist MacMillan or equal. The material shall meet the following properties: Fb=2600 psi; Fv=285psi; E=1,900,000 psi

- N. Multiple piece LVL beams shall be nailed together in accordance with the manufacturers recommended nailing detail. All LVL beams shall have 3" beaming unless otherwise noted.
O. Joist hangers for LVL members shall be those specifically manufactured for the type and size of member.

CONNECTIONS:

- A. Nailing:
1. Contractor shall adhere to standard industry practices regarding the number and type of fastners required at each connection including, but not limited to, joists, studs, plates, blocking, brnding, laminated beams, headers and plywood sheathing.
C. All manufactured connection hardware designated on Drawings shall be galvanized steel or at least 1/6 gauge thickness. Install full nailed in strict conformance to manufacturer's instructions.
D. All steel connections assemblies detailed on Drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC "Specification for the Design Fabrication, and Erection of Structural Steel for Buildings". Welding shall conform to AM5 D 1.1-86.
E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.
F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all bolt heads and nuts bearing on wood. Holes shall be properly aligned.
G. In no case shall misalignment be allowed which prevents proper beaming or alignment of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts. Nuts shall be tightened snug.

WOOD: (CONT.)

- 3. INSTALLATIONS:
A. All stud walls shown on Drawings shall have 2 x 4 studs (interior) and 2x6 studs (exterior) placed at 16" O.C. except where shown otherwise.
B. Top plates shall be doubled on all stud walls.
C. Nipples under headers shall be continuous to sole plate.
D. Block all stud walls as required for sheathing.
E. Beams, girders, and joists supporting bearing walls or other concentrated loads, shall not be notched. Joists, except as above, may be notched no deeper than 1/4 the depth, at top edge only, provided such notch is located within 1/8 to 1/4 of span from face of support. Sawcuts for notches shall not overrun depth of notch. Holes in joists, beams, and girders shall not be larger in diameter than 1/10 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1" in diameter or depth.
F. Contractor shall pay strict adherence to Microlam manufacturers written directions for cutting, drilling, notching, joining and general installation of their products.
G. Joists, rafters, and decking shall not be cut and headed or displaced to provide for openings in roofs or floors, except as detailed on Drawings.
H. Install all horizontal members with crown up.

- I. All members in beaming shall be accurately cut and aligned so that full beaming is provided without use of shims. Beaming posts shall have full blocking or support under.
J. All rafters shall be notched for full beaming at all supports.
K. All joists shall have a minimum of 2" beaming at supports.
L. All plywood wall sheathing shall be applied as follows: center vertical joints over studs. Nail top of panels to double top plate, and nail bottom of panels to anchored sill plate. Apply gypsum board so that end joints of adjacent courses do not occur over the same stud.
M. Plywood sub-floor and roof sheathing: Install with face grain at right angles to joists, continuous over two (2) or more spans. Allow minimum space 1/16" between end joints and 1/8" at edge joints for expansion and contraction of panels. Plywood decking shall also be continuously glued and nailed to all joists, rafters or trusses.

- N. Underlayment shall not be less than 1/4" in thickness and shall be identified by grademark of an approved inspection agency. Underlayment shall be installed in accordance with code and as recommended by manufacturer. Lay underlayment on #6 Rosin sized sheathing paper.
THERMAL & MOISTURE PROTECTION

THERMAL & MOISTURE PROTECTION

- 1. The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals.
2. Install flashing and sheet metal in compliance with "Architectural Sheet Metal Manual" by SMACNA.
3. Aluminum flashing shall conform to ASTM B 209, and be minimum 0.016" thick standard building sheet of plain finish. Provide 6" x 8" min. at all step flashing.
4. Backpaint flashings with bituminous paint, where expected to be in contact with cementitious materials or dissimilar metals.
5. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight/weatherproof performance.
6. Vinyl siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation. Manufacturer, style and color as selected by Owner.
7. Roof valley and eave flashing shall be provided of not less than 36" wide rolled material and shall extend at least 18" from the center line each way and shall have the flow line formed as part of the flashing. Sections of flashing shall have an end lap of not less than 4".

- A. Warm areas: Ice and Water Shield at all edge and valley conditions to 24" inside "heated wall".
B. Cold areas: 90 lbs. (min.) unperforated asphalt felt.
C. All other areas: 15 lb. (min.) unperforated asphalt felt.

- B. Asphalt shingles (25 years) shall be fastened according to manufacturer's printed instructions, but not less than two (2) nails per each shingle. Exposure 5" for 16" shingle, 5 1/2" for 18" shingle, and 7 1/2" for 24" shingles. Provide one layer of 15 lb. (min.) building felt under shingles unless noted otherwise. Manufacturer, style and color as selected by Owner.
9. Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain. The net free ventilating areas shall be not less than 2/3 of one percent (1%) of the horizontally projected roof area, or 1/3 of one percent (1%) if at least fifty percent (50%) of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. Provide continuous shingled ridge vents installed to manufacturers printed instructions. Manufacturer, style and color as selected by Owner.

- 10. Provide and install 9-1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-30 in roof or ceiling and 3 1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-15 in 2 x 4 exterior walls of heated space.
11. Provide and install batt insulation at window shim spaces.
12. Fit insulation tight within spaces and tight to and behind mechanical and electrical services within the plane of insulation. Leave no gaps or voids.

- 13. Provide and install a 6 mil polyethylene vapor barrier complying with A517 D2 I03 at exterior walls, windows and doors of all heated spaces. Equal to Tyvek "House Wrap".
14. Caulk in joints around openings to provide a watertight and airtight seal. Clean joints thoroughly. Areas adjacent to joints shall be masked if necessary to obtain a neat sealer line, free of stains on adjacent surfaces. Joints greater than 3/8" in depth shall be filled with back-up material.

- 15. All locations indicated on Drawings and wherever air, water, or dust may infiltrate between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.
16. Provide seamless 5" K gutters and 2" x 3" downspouts to splash blocks (match existing style and color). Include all accessories required for a complete installation. Verify location of downspouts in field with Owner.

DOORS AND WINDOWS

- 1. Reference standards for doors and windows shall be as follows:
A. Underwriter's Laboratories, Inc.: Building Material Directory
B. National Fire Protection Association: Pamphlet No. 80 - Standard for Fire Doors and Windows.
C. National Woodwork Manufacturers Association: I.S., 1078: Wood Flush Doors
D. ASTM E 283, ASTM E 331.

- 2. Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrances and exit doors, fixed glass panels, sliding glass doors, shower doors, tub enclosures, and storm doors shall meet the requirements set forth in the Residential Code of New York State and the Safety Standard for Architectural Glazing Material (16 CFR 1201). All glazed panels located within 12" of a door which may be mistaken for openings for human passage, unless such panels are provided with a horizontal member 1 1/2" minimum in width located between 24" and 36" above the walking surface, shall be tempered glass.

- 3. Interior doors shall be pre-hung, molded, style and rail door units by Jeld-Wen or equal. Doors shall match adjacent existing door units as closely as possible. Hardware style and finish/color as selected by Owner.

- 4. All window units shall be of high-performance, wood construction in standard casement, awning, and fixed unit sizes. Provide Insulating Low E II Glass/Argon, removable screens, and extension jambs as required (equal to Andersen vinyl-clad wood windows with a U-Factor of 0.34).

- 5. Exterior doors shall be insulated fiberglass, pre-primed and pre-hung (Therma-Tru or equivalent). Final manufacturer, style, hardware style and finish/color as selected by Owner.

MECHANICAL

- 1. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilations, heating and air conditioning. All work shall comply with state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety devices prior to operations of system.

ELECTRICAL

- 1. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and state and local codes and ordinances. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.

DESIGN DATA:

Table with 2 columns: Description and Value. Rows include Roof (Live Load), Roof (Dead Load), First Floor (Live Load), First Floor (Dead Load), Second Floor (Live Load), Second Floor (Dead Load), and Presumptive Soil Bearing.

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Table with 2 columns: REVISIONS- NO. and DESCRIPTION.

DRAWING TITLE- Specifications
PROJECT- Additions & Renovations to: 9 White Briar Dr., Pittsford, N.Y.
CLIENT- Kurt & Nancy Grage
JOB NO - A20-O12
DATE- May 22, 2020
PHASE- Construction Documents

PROJECT- Additions & Renovations to: 9 White Briar Dr., Pittsford, N.Y.
CLIENT- Kurt & Nancy Grage
JOB NO - A20-O12
DATE- May 22, 2020
PHASE- Construction Documents

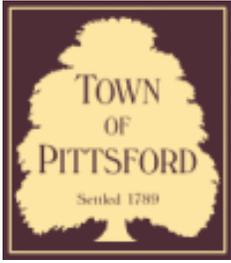
CKH architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKHbusiness@frontier.net

DRAWING NO. - A-3









# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000075**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 797 Stone Road PITTSFORD, NY 14534

**Tax ID Number:** 164.03-1-20

**Zoning District:** RN Residential Neighborhood

**Owner:** Roberts, Peter

**Applicant:** Rabetoy Construction

### Application Type:

- |                                                                               |                                                                                 |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |                                                                                 |

**Project Description:** Applicant is requesting design review for the one story addition and porch. The addition and roof will be approximately 745 sq. ft. and will be located to the rear.

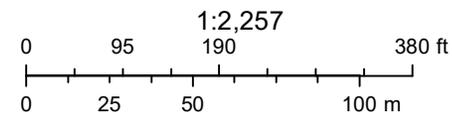
**Meeting Date:** June 25, 2020



# RN Residential Neighborhood Zoning

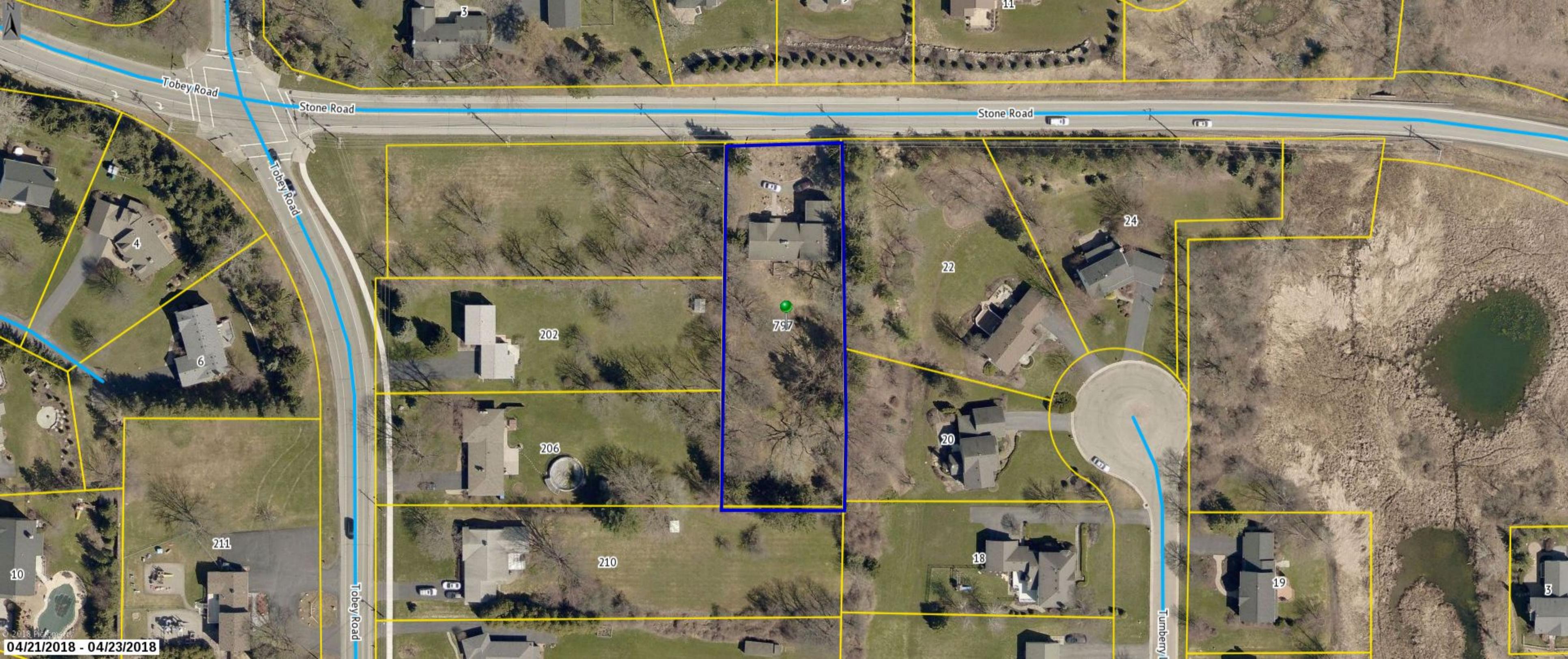


Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Tobey Road

Stone Road

Stone Road

Tobey Road

Turnberry

Tobey Road

787

202

206

210

22

24

20

18

19

211

10

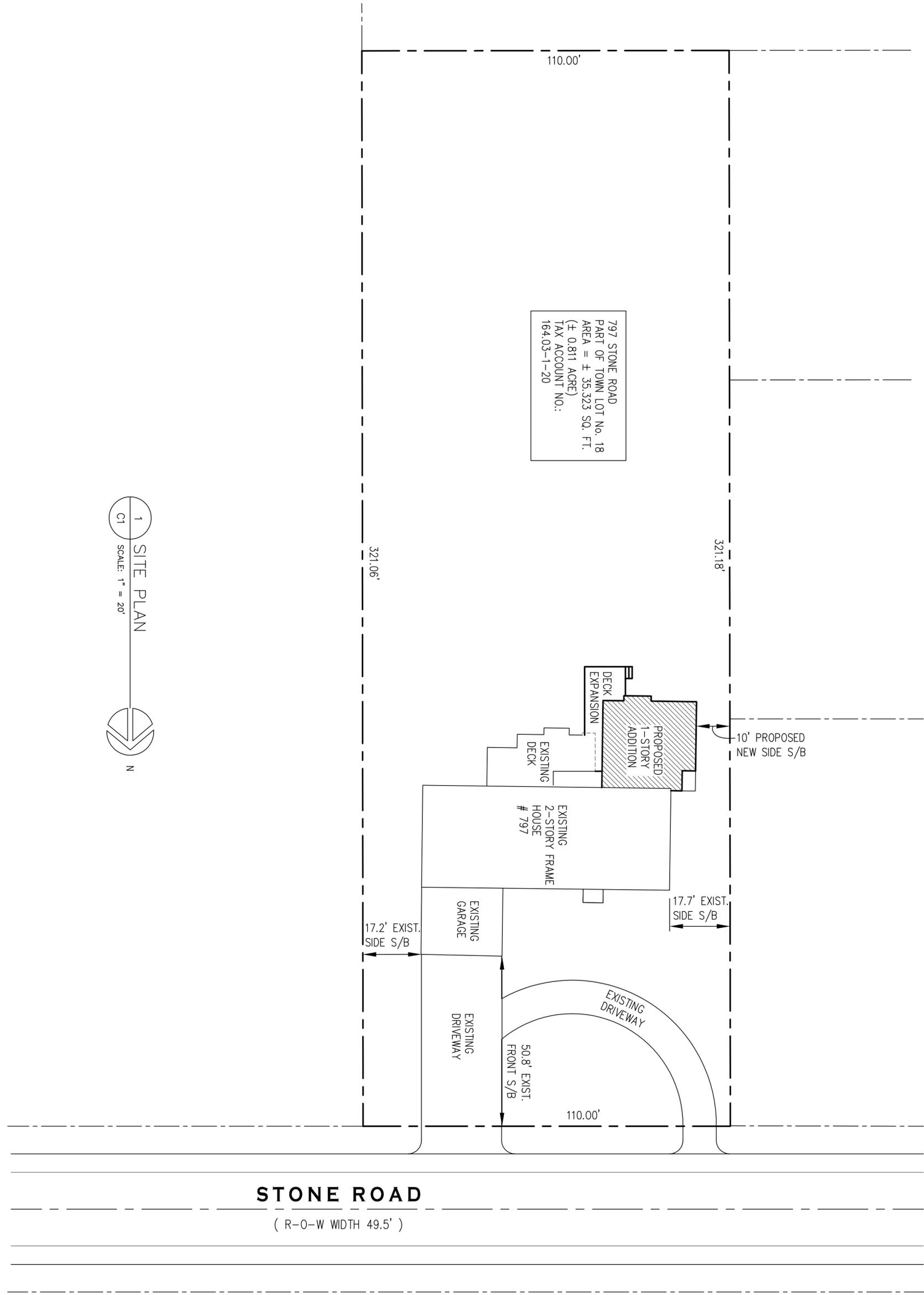
3

11

3

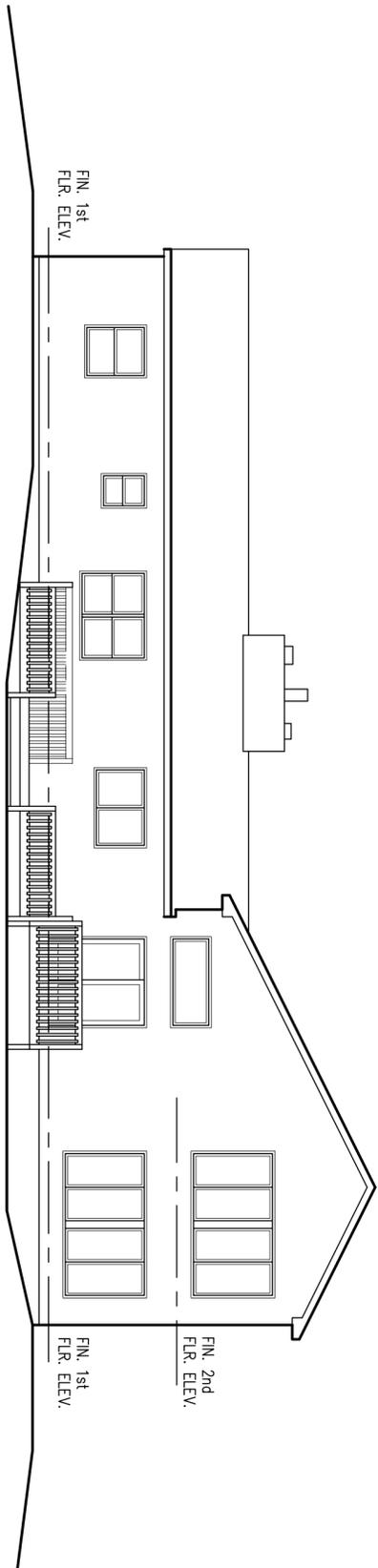


797 STONE ROAD  
 PART OF TOWN LOT No. 18  
 AREA = ± 35,323 SQ. FT.  
 (± 0.811 ACRE)  
 TAX ACCOUNT NO.:  
 164.03-1-20

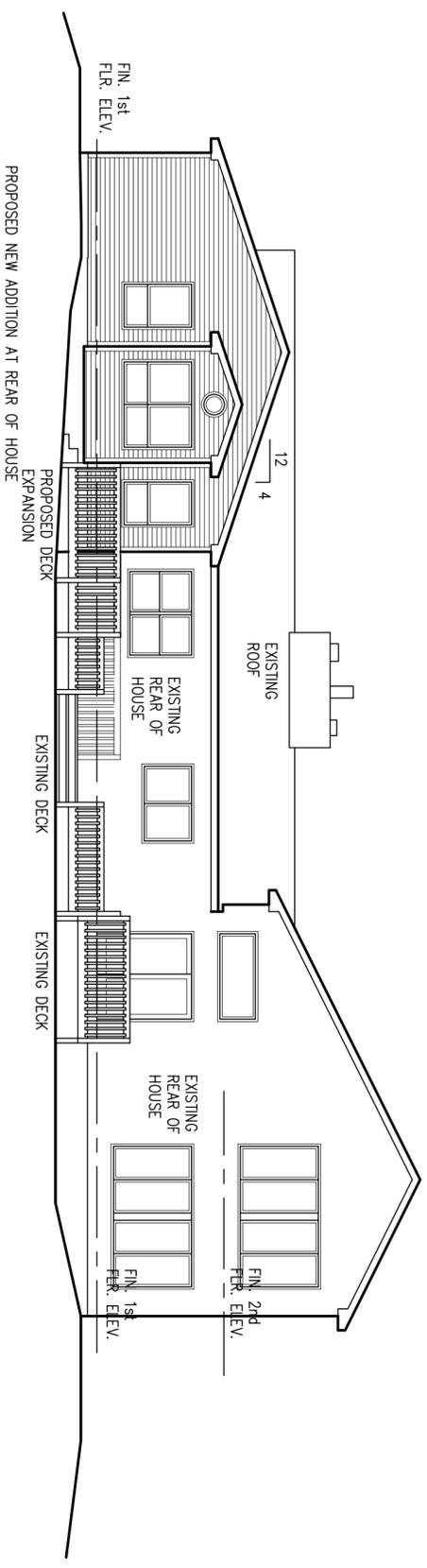


PROJECT NUMBER 1280	DATE 06/17/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED	
DWG. NO. 	PROJECT Addition and Alterations to Roberts / Gallant Residence 797 Stone Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)			
	TITLE OF DRAWING SITE PLAN			
		4		
		3		
		2		
	1			
	REVISIONS	DATE	BY	

James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490



SOUTH (REAR) ELEVATION ---  
 1 EXISTING CONDITIONS  
 A3 SCALE: 1/8" = 1'-0"



SOUTH (REAR) ELEVATION ---  
 2 PROPOSED NEW CONSTRUCTION  
 A3 SCALE: 1/8" = 1'-0"

James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

DATE 06/17/2020

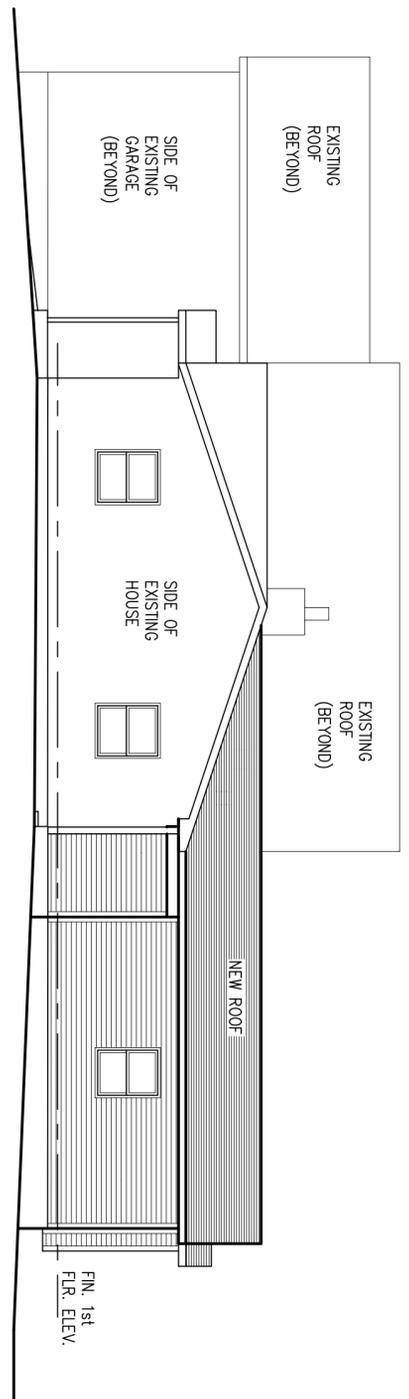
PROJECT NUMBER 1280

PROJECT Addition and Alterations to Roberts / Gallant Residence  
 797 Stone Road, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING SOUTH (REAR) EXTERIOR ELEVATIONS

DWG. NO. A3

James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490



WEST (RIGHT SIDE) ELEVATION ---  
 1 PROPOSED NEW CONSTRUCTION  
 A4 SCALE: 1/8" = 1'-0"

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY  
 JIM BRASLEY

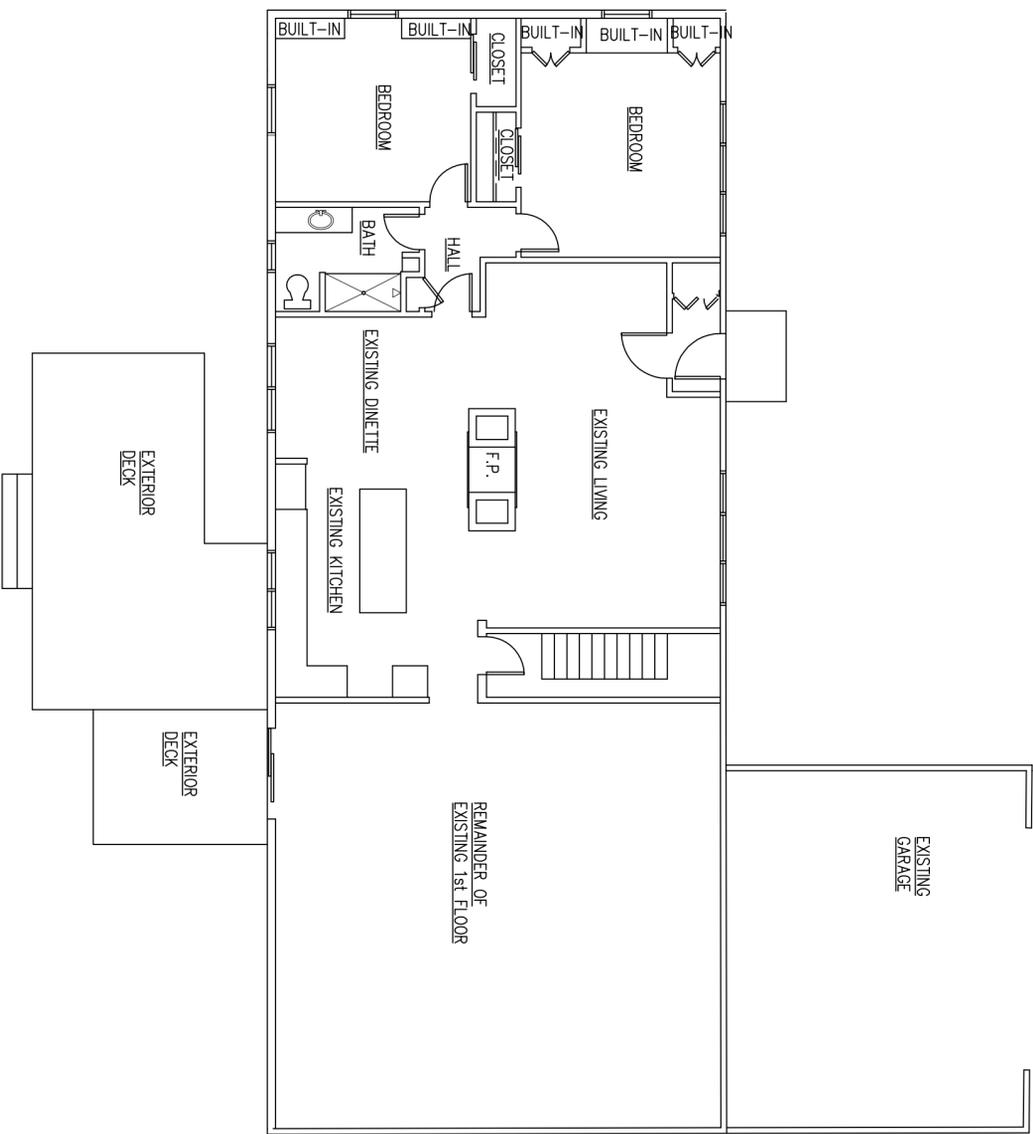
DATE  
 06/17/2020

PROJECT NUMBER  
 1280

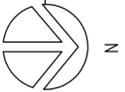
PROJECT  
 Addition and Alterations to Roberts / Gallant Residence  
 797 Stone Road, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING  
 WEST (RIGHT SIDE) EXTERIOR ELEVATIONS

DWG. NO.  
 A4



1  
A0  
EXISTING FIRST FLOOR PLAN --  
EXISTING CONDITIONS  
SCALE: 1/8" = 1'-0"



James P. Brasley  
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE  
AS NOTED

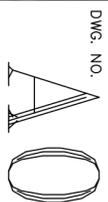
DRAWN BY  
JIM BRASLEY

DATE  
06/17/2020

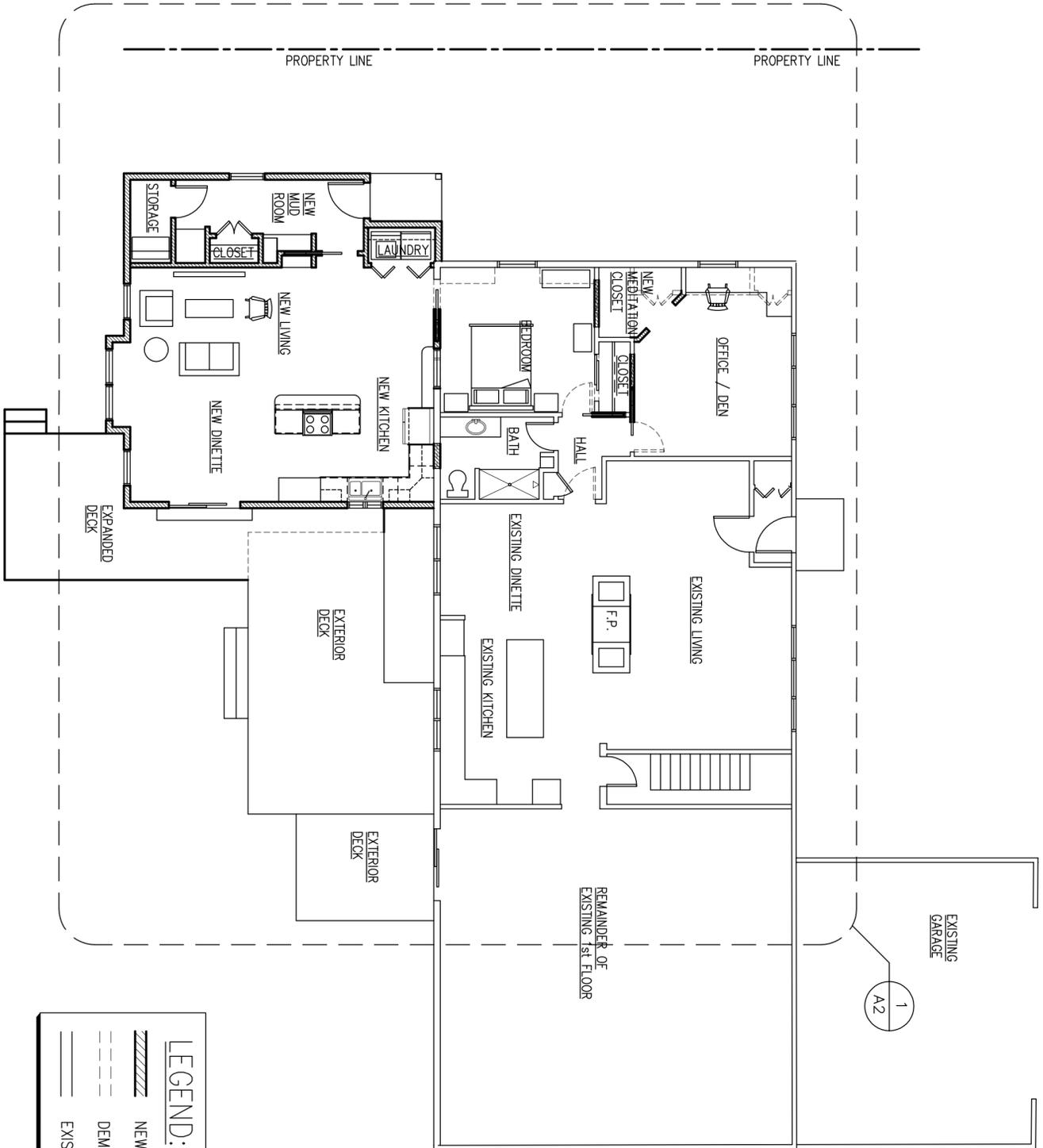
PROJECT NUMBER  
1280

PROJECT  
Addition and Alterations to Roberts / Gallant Residence  
797 Stone Road, Pittsford NY 14534  
(Town of Pittsford, Monroe County)

TITLE OF DRAWING  
EXISTING FIRST FLOOR PLAN -- EXISTING CONDITIONS



DWG. NO.



1 OVERALL FIRST FLOOR PLAN  
 A1 SCALE: 1/8" = 1'-0"

**LEGEND:**

	NEW WALL
	DEMOLISHED WALL
	EXISTING WALL TO REMAIN

PROJECT NUMBER 1280      DATE 06/17/2020      DRAWN BY JIM BRASLEY      SCALE AS NOTED

PROJECT Addition and Alterations to Roberts / Gallant Residence  
 797 Stone Road, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING OVERALL FIRST FLOOR PLAN

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490

DWG. NO. **A1**



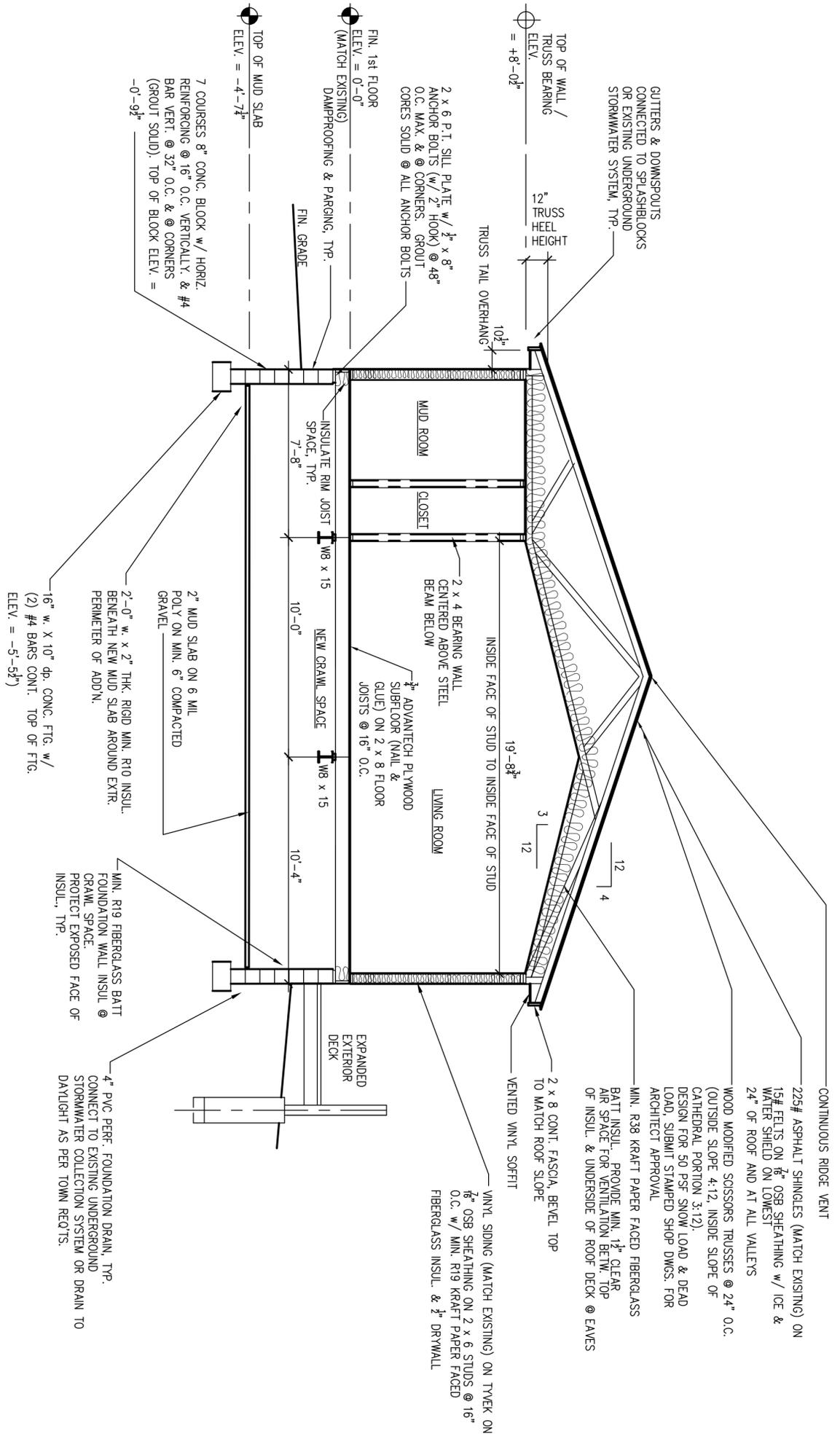


James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1280	DATE 06/17/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Roberts / Gallant Residence 797 Stone Road, Pittsford NY 14534 (Town of Pittsford, MonroeCounty)			
TITLE OF DRAWING BUILDING SECTION			

1 BUILDING SECTION  
 AS SCALE: 1/4" = 1'-0"

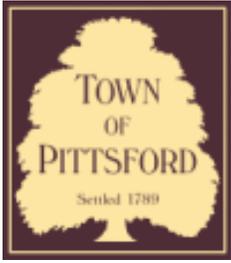








211



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000076**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 290 Tobey Road PITTSFORD, NY 14534

**Tax ID Number:** 164.03-1-96

**Zoning District:** RN Residential Neighborhood

**Owner:** Richardson, Thomas M

**Applicant:** Richardson, Thomas M

### Application Type:

- |                                                                               |                                                                                 |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |                                                                                 |

**Project Description:** Applicant is requesting design review for the addition of a third bay to a existing two car garage and the conversion of the underside of a deck to a screened porch. The garage addition will be approximately 432 sq. ft. and the screened porch will be 144 sq. ft.

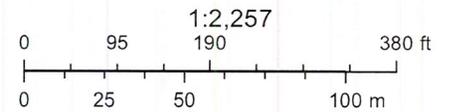
**Meeting Date:** June 25, 2020



# RN Residential Neighborhood Zoning

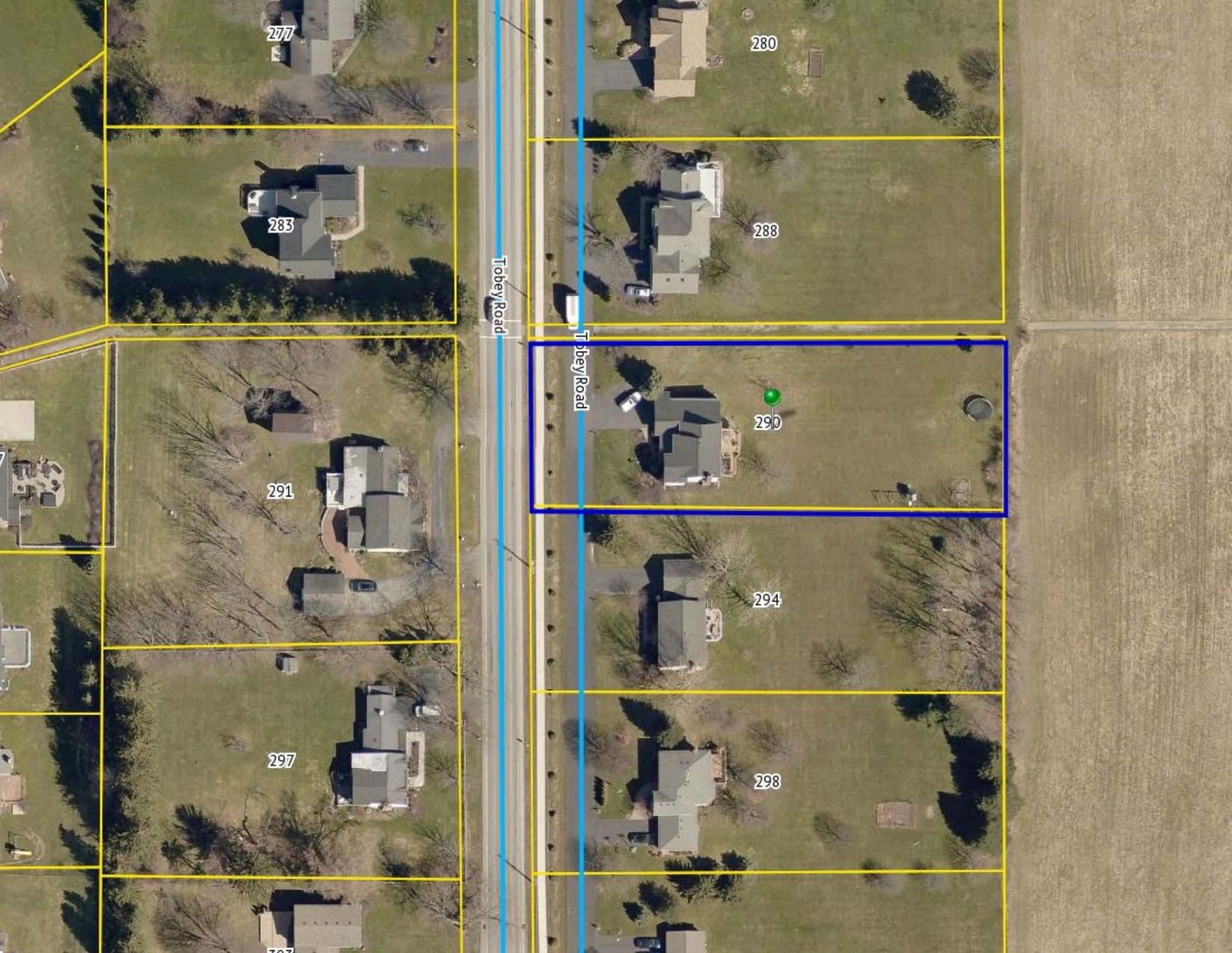


Printed June 18, 2020



Town of Pittsford GIS

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277

283

280

288

Tobey Road

Tobey Road

290

291

294

297

298

299

# TOBEY (49.5' R.O.W.) ROAD

607.39' TO NORTHERLY R.O.W.  
LINE OF CALKINS ROAD

10.25' HIGHWAY RESERVATION  
PER REFERENCE 3

20' WIDE SANITARY SEWER  
EASEMENT PER REFERENCE 3

N 00°57'25" W

120.25'

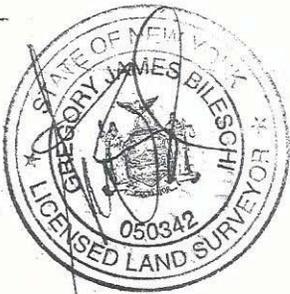
R.O.W. LINE

10' WIDE UTILITY EASE.  
PER REFERENCE 3

10' WIDE SIDEWALK EASE.  
PER REFERENCE 3

BLACKTOP

50' WIDE INGRESS/EGRESS  
& UTILITY EASE. PER REF. 3



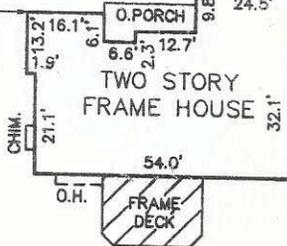
**REFERENCES:**

- 1.) ABSTRACT OF TITLE NOT PROVIDED.
- 2.) LIBER 8610 OF DEEDS, PAGE 643.
- 3.) LIBER 260 OF MAPS, PAGE 11.

LOT  
306

S 89°02'35" W

24.9'



LOT  
307

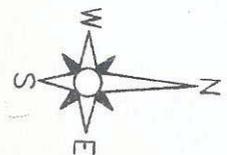
N 89°02'35" E

300.00'

LANDS OF THE TOWN OF PITTSFORD (10' WIDE PEDESTRIAN WALKWAY)

S 00°57'25" E 120.25'

LANDS OF THE TOWN OF PITTSFORD



**CERTIFICATION:**

I hereby certify to:

FRANK H. FERRIS, III, ESQ.  
THOMAS M. RICHARDSON AND THERESA M. RICHARDSON  
THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE  
THE PITTSFORD FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS

that this map was made JUNE 07, 2006 from notes of an Instrument Survey completed JUNE 05, 2006 and from references listed hereon.

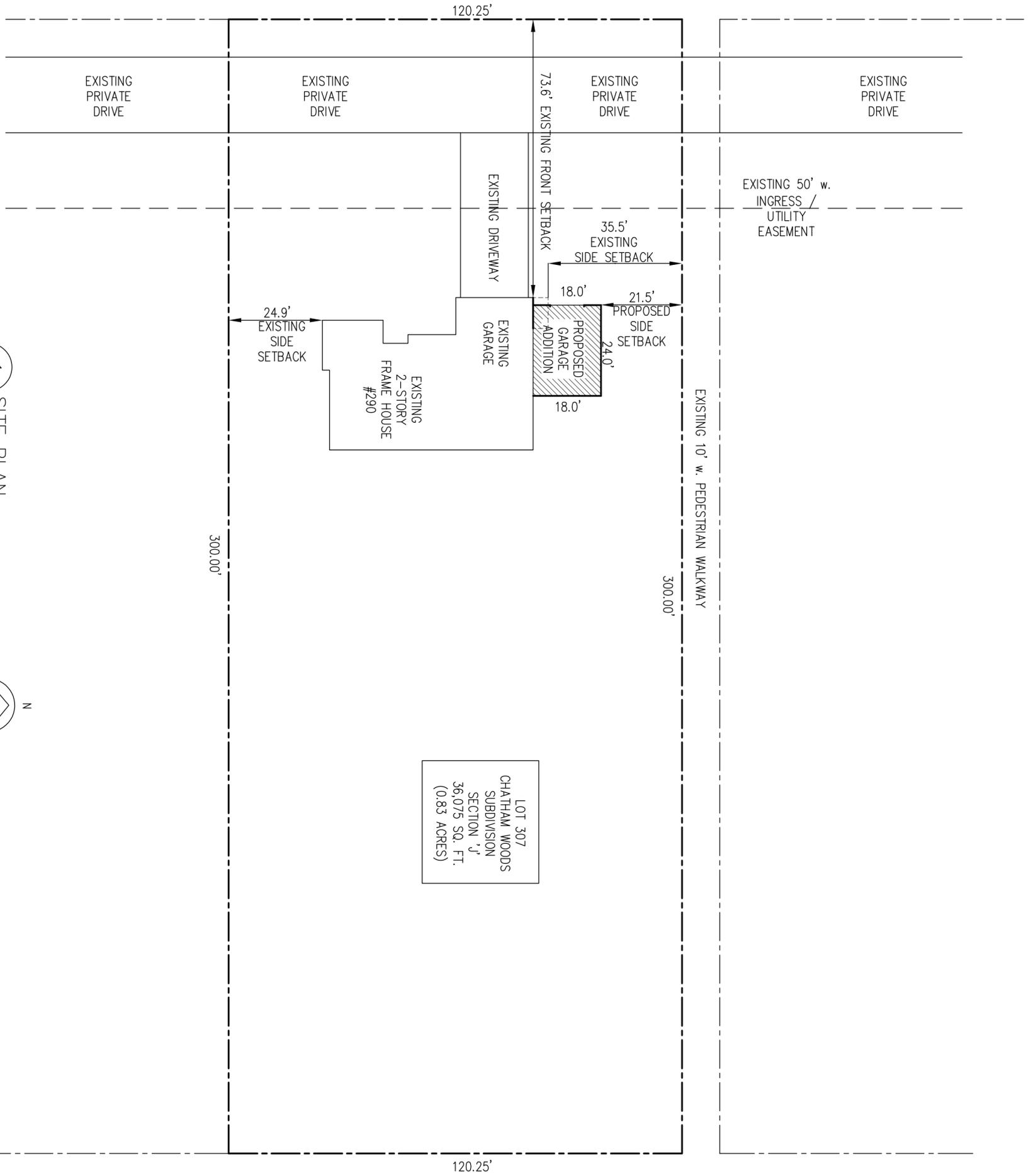
*Gregory James Bilesch*

REVISED JULY 25, 2006: ADDED LOT DIM'S.,  
NORTH ARROW AND REFERENCES.

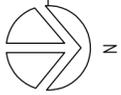
Tax Account No.

# TOBEY ROAD

49.5' R-0-W



1 SITE PLAN  
C1 SCALE: 1" = 20'

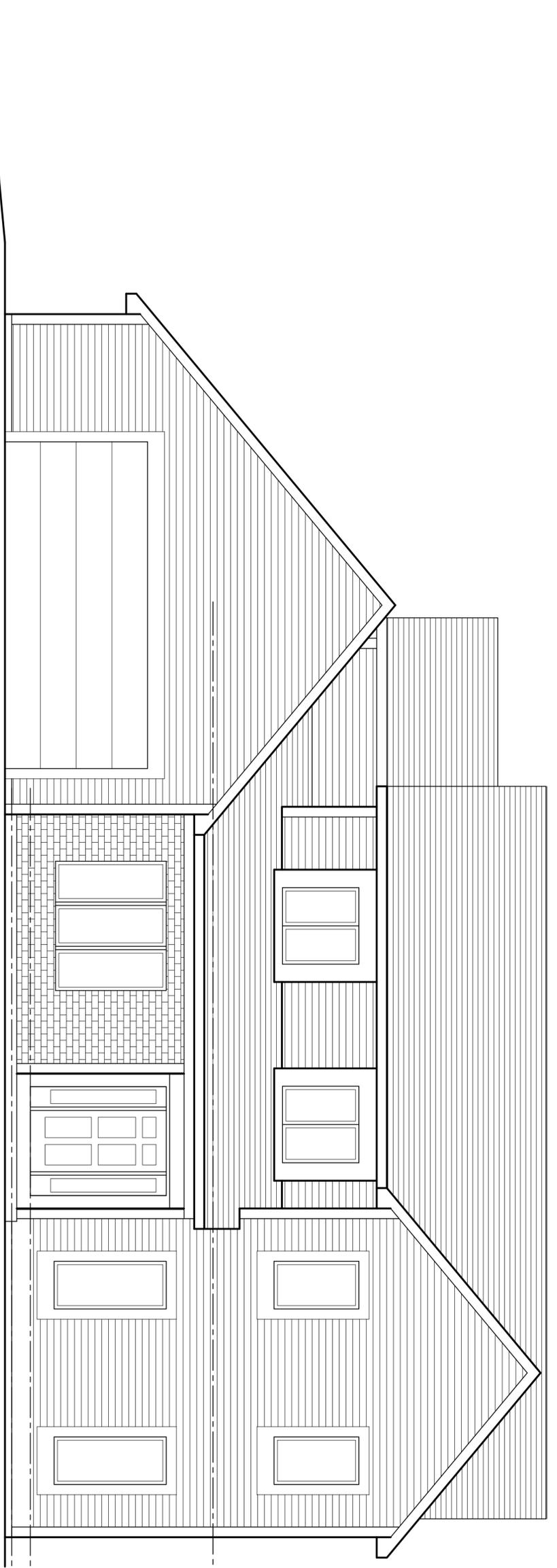


LOT 307  
CHATHAM WOODS  
SUBDIVISION  
SECTION 'J'  
36,075 SQ. FT.  
(0.83 ACRES)

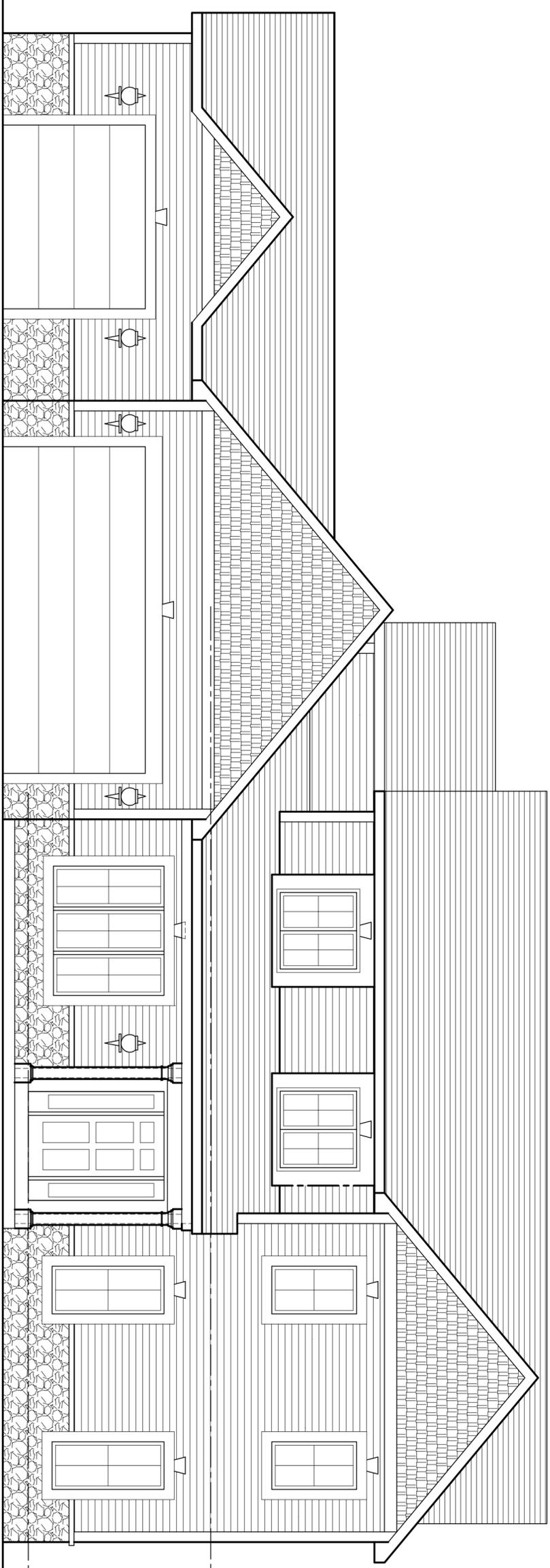
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PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				3			
TITLE OF DRAWING SITE PLAN				2			
				1			
					REVISIONS	DATE	BY

James P. Brasley  
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490

DWG. NO.  
**C1**



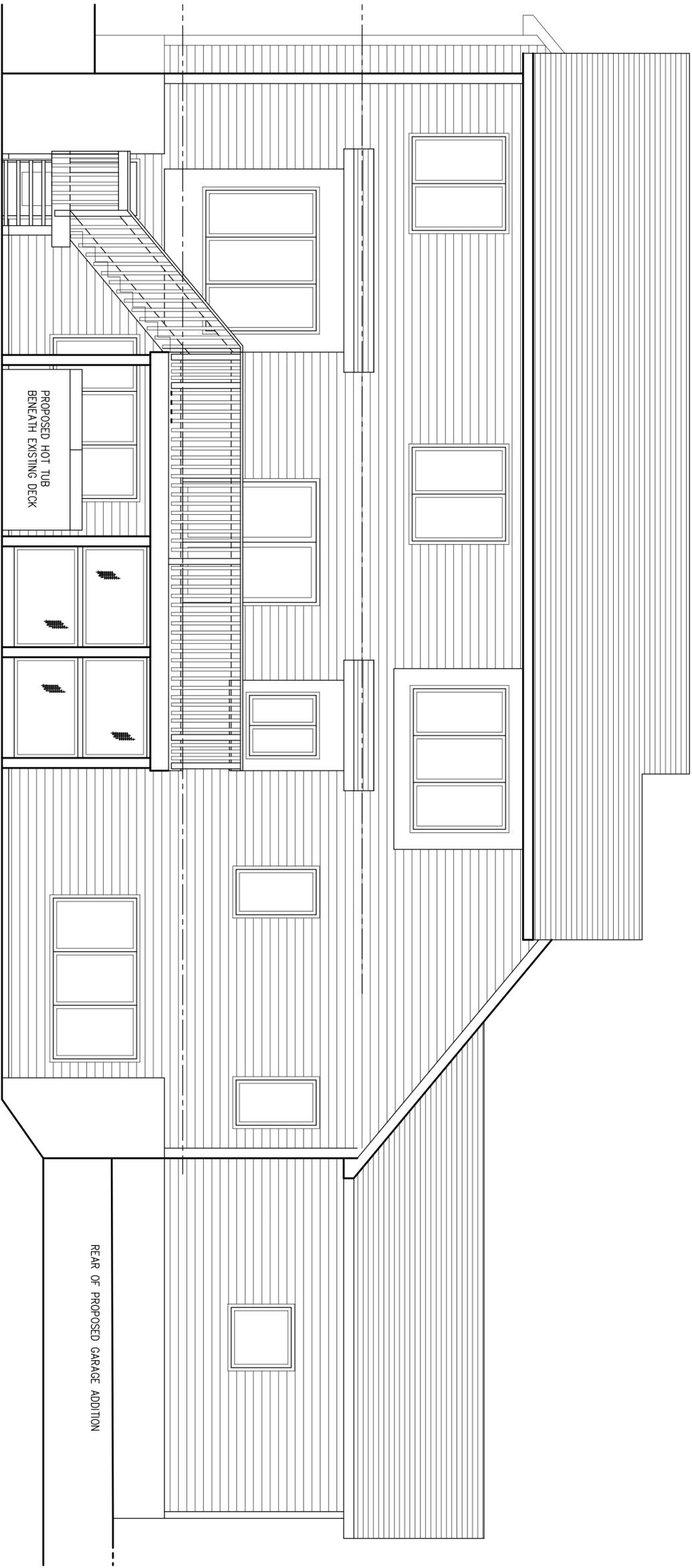
1 EXISTING FRONT (WEST) ELEVATION  
A4 SCALE: 1/4" = 1'-0"



2 PROPOSED NEW FRONT (WEST) ELEVATION  
A4 SCALE: 1/4" = 1'-0"

PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED	4			
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				3			
				2			
				1			
				REVISIONS			DATE
TITLE OF DRAWING FRONT (WEST) ELEVATION				James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490			

DWG. NO.  
A4



1 PROPOSED NEW REAR (EAST) ELEVATION  
 A8 SCALE: 1/4" = 1'-0"

James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

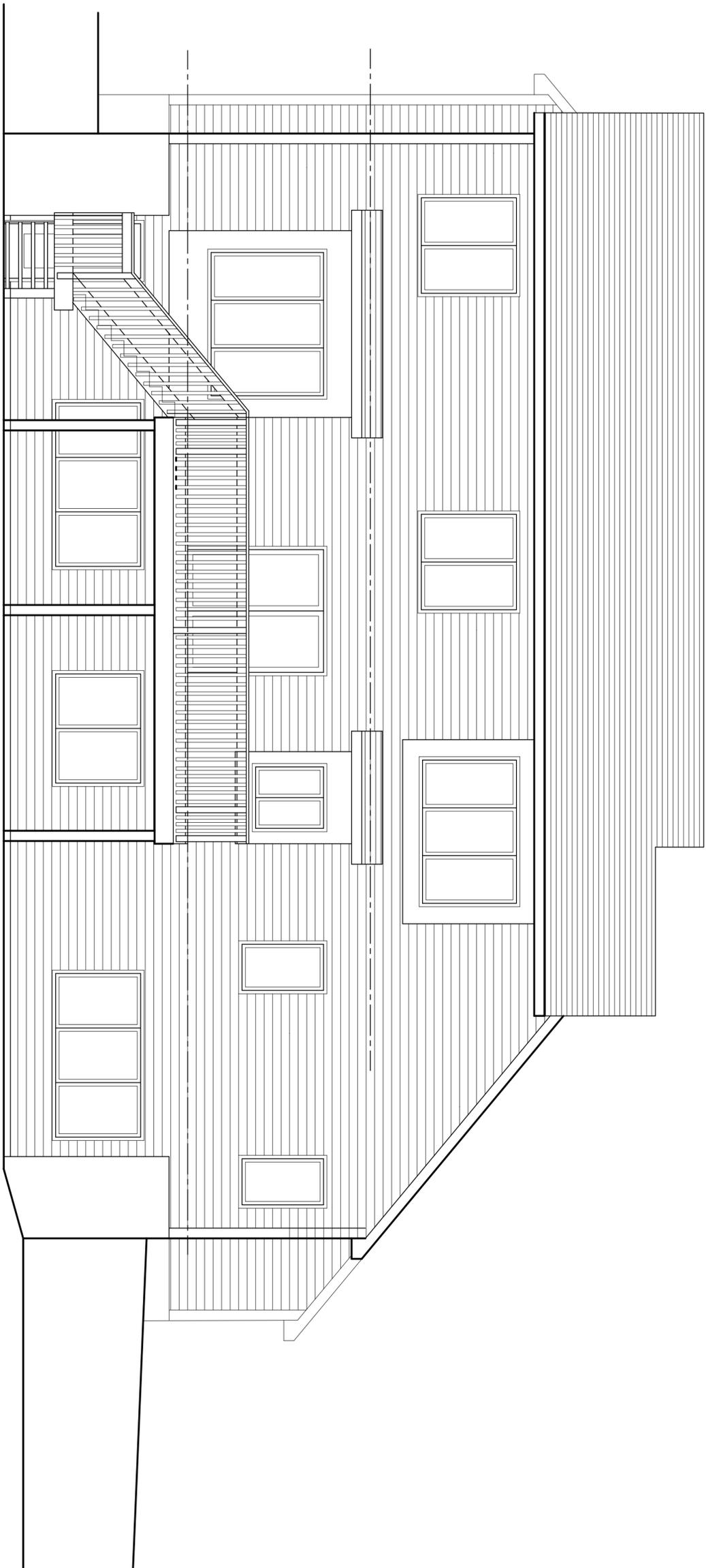
DATE 06/10/2020

PROJECT NUMBER 1272

PROJECT Addition and Alterations to Richardson Residence  
 290 Tobey Road, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING REAR (EAST) ELEVATION --  
 PROPOSED NEW CONSTRUCTION

DWG. NO. A8



1  
A7  
SCALE: 1/4" = 1'-0"  
EXISTING REAR (EAST) ELEVATION

PROJECT NUMBER  
1272

DATE  
06/10/2020

DRAWN BY  
JIM BRASLEY

SCALE  
AS NOTED

DWG. NO.  
A7

PROJECT  
Addition and Alterations to  
Richardson Residence  
290 Tobey Road, Pittsford NY 14534  
(Town of Pittsford, Monroe County)

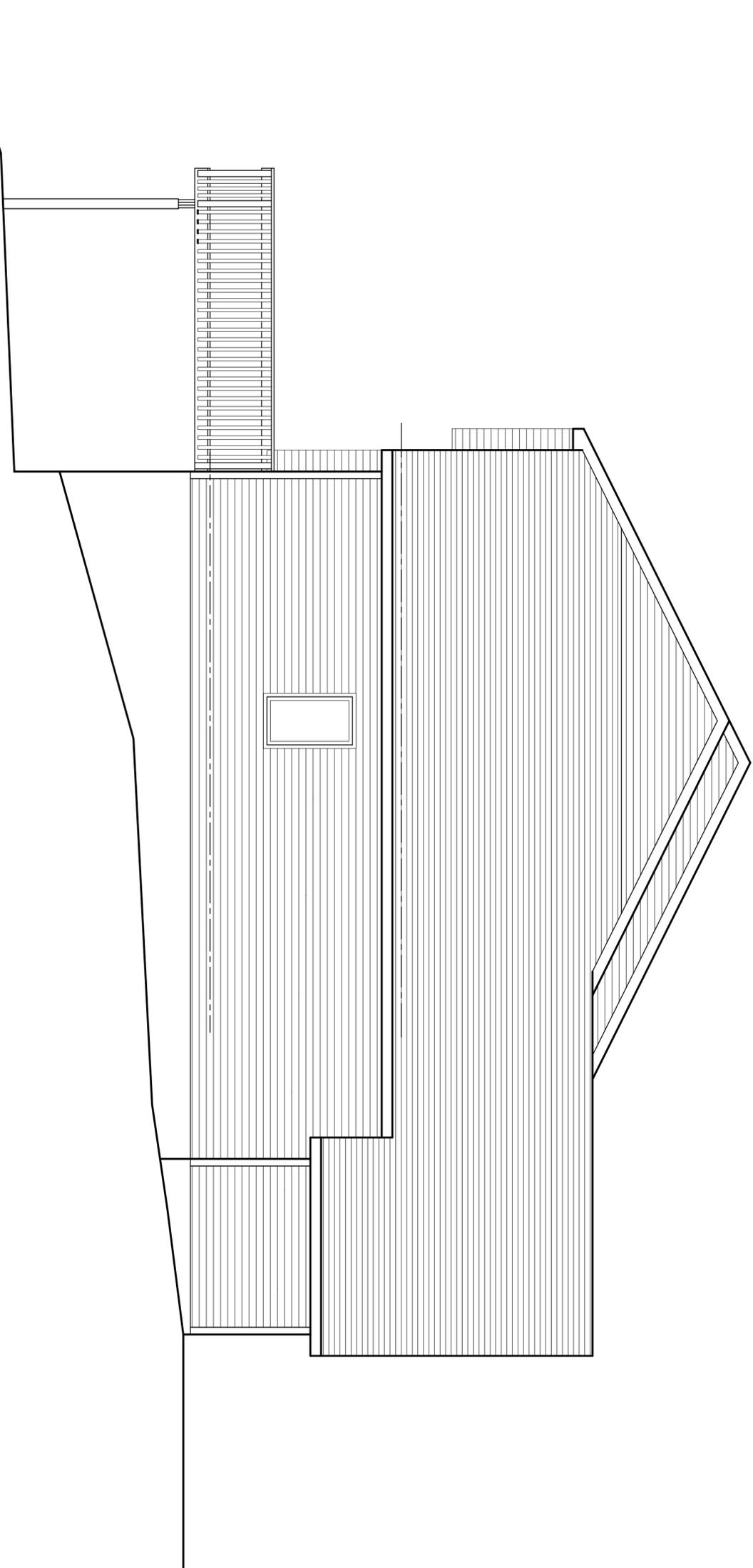
TITLE OF DRAWING  
EXISTING REAR (EAST) ELEVATION

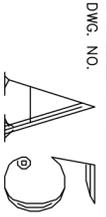
NO.	REVISIONS	DATE	BY
4			
3			
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1			

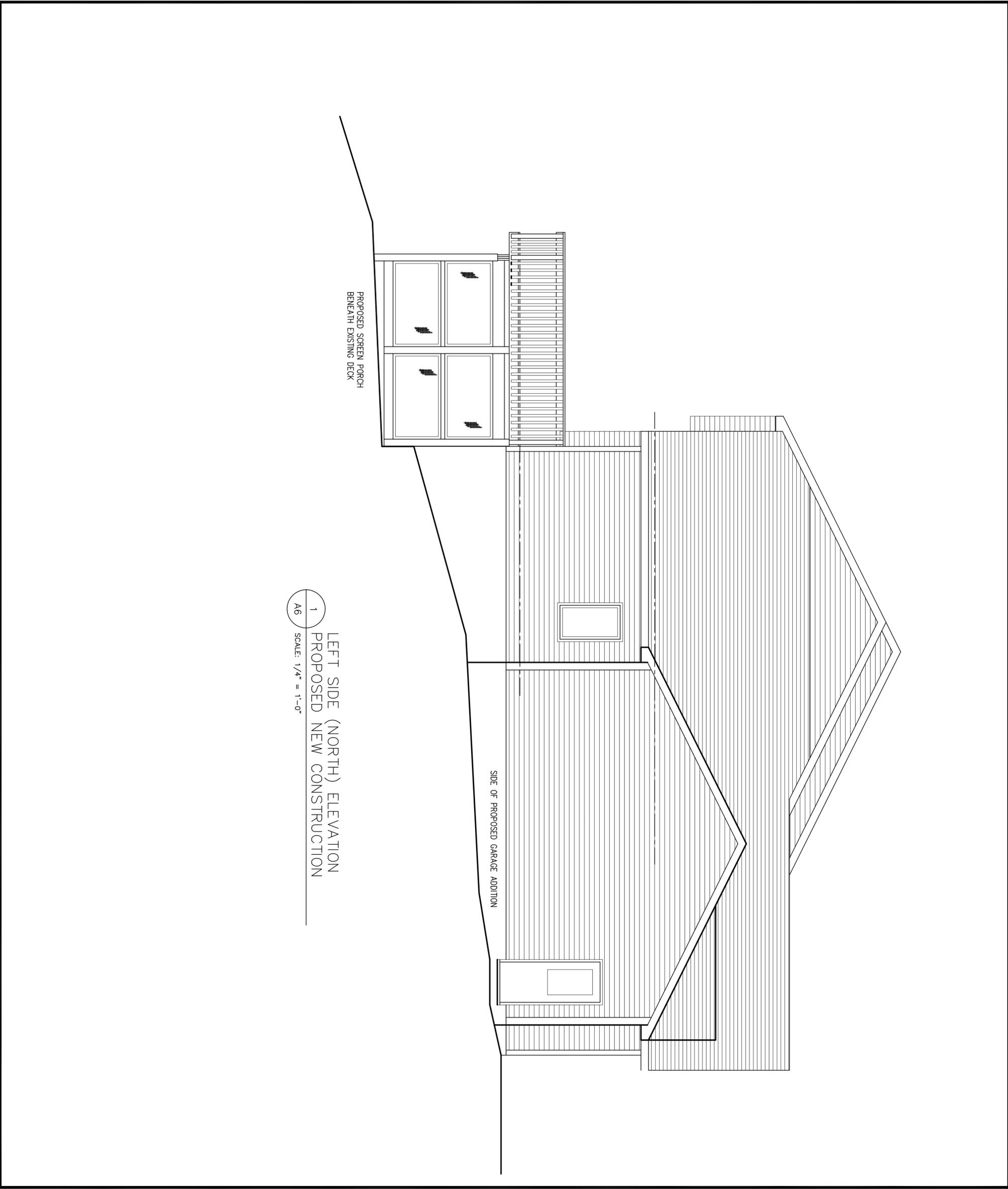
James P. Brasley  
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490



1  
AS  
SCALE: 1/4" = 1'-0"  
EXISTING LEFT SIDE (NORTH) ELEVATION



PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED																												
	PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%; text-align: center;">4</td> <td style="width: 60%;"></td> <td style="width: 15%;"></td> <td style="width: 10%;"></td> <td style="width: 10%;"></td> </tr> <tr> <td style="text-align: center;">3</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td style="text-align: center;">2</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td style="text-align: center;">1</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2" style="text-align: center;">REVISIONS</td> <td style="text-align: center;">DATE</td> <td style="text-align: center;">BY</td> <td colspan="2"></td> </tr> </table>			4					3					2					1					REVISIONS		DATE	BY		
	4																														
3																															
2																															
1																															
REVISIONS		DATE	BY																												
TITLE OF DRAWING LEFT SIDE (NORTH) ELEVATION -- EXISTING		<p style="margin: 0;">James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490</p>																													



1  
A6  
SCALE: 1/4" = 1'-0"  
LEFT SIDE (NORTH) ELEVATION  
PROPOSED NEW CONSTRUCTION

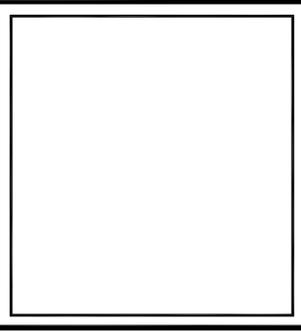
PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED
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DWG. NO. **A6**

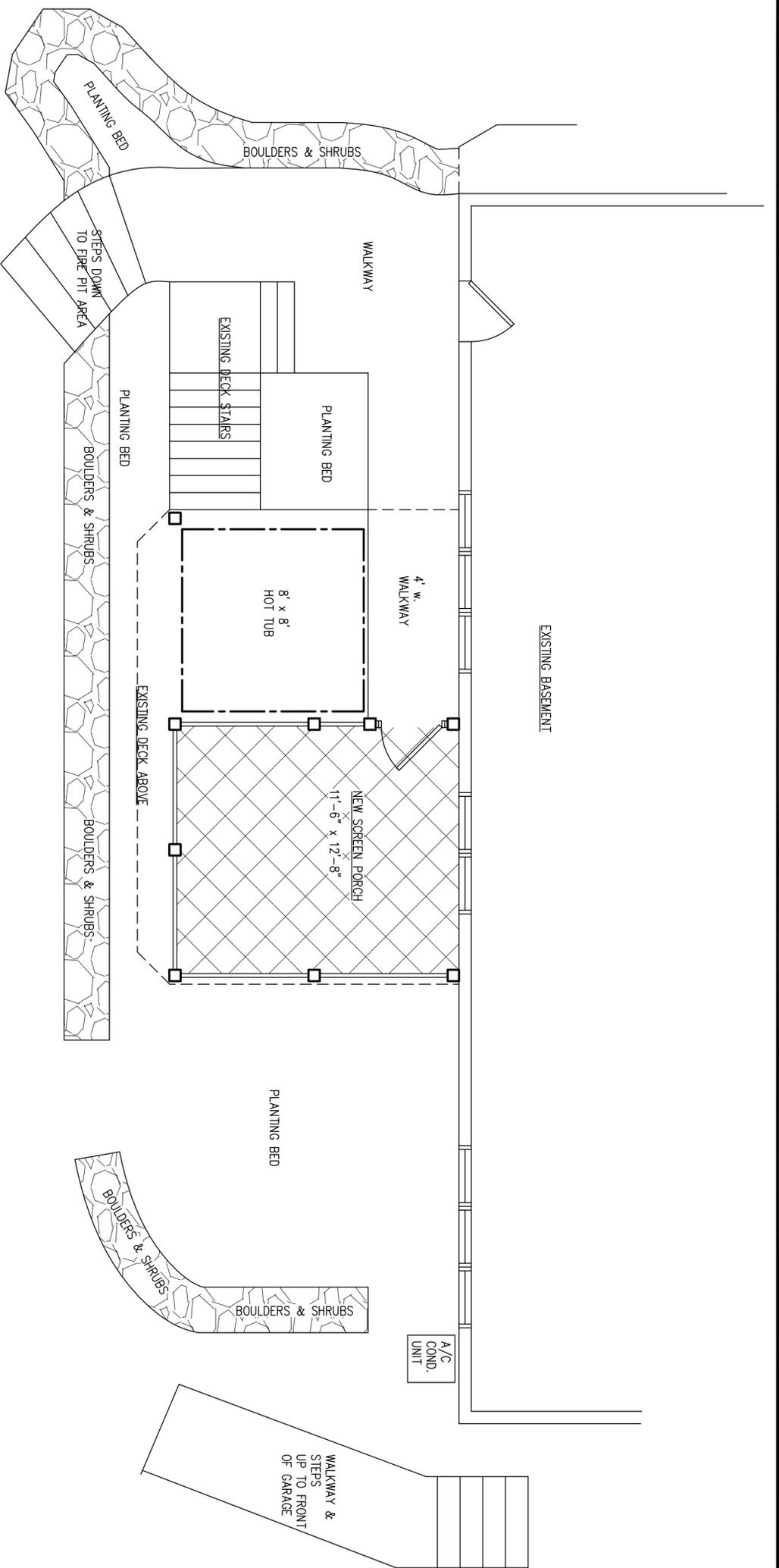
PROJECT  
Addition and Alterations to  
Richardson Residence  
290 Tobey Road, Pittsford NY 14534  
(Town of Pittsford, Monroe County)

TITLE OF DRAWING  
LEFT SIDE (NORTH) ELEVATION --  
PROPOSED NEW CONSTRUCTION

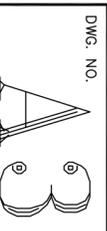
NO.	REVISIONS	DATE	BY
4			
3			
2			
1			



James P. Brasley  
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490



1  
A3  
NEW PATIO LAYOUT  
SCALE: 1/4" = 1'-0"  
N

PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED				
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				4			
TITLE OF DRAWING PROPOSED REAR PATIO LAYOUT				3			
				2			
				1			
					REVISIONS	DATE	BY
				James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490			

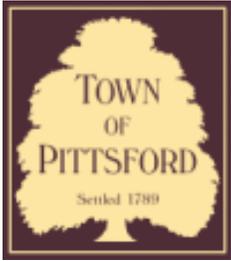






255

256



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000077**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 31 Sandpiper Lane PITTSFORD, NY 14534

**Tax ID Number:** 164.13-2-32

**Zoning District:** RN Residential Neighborhood

**Owner:** Regan, Sean P

**Applicant:** Regan, Sean P

#### Application Type:

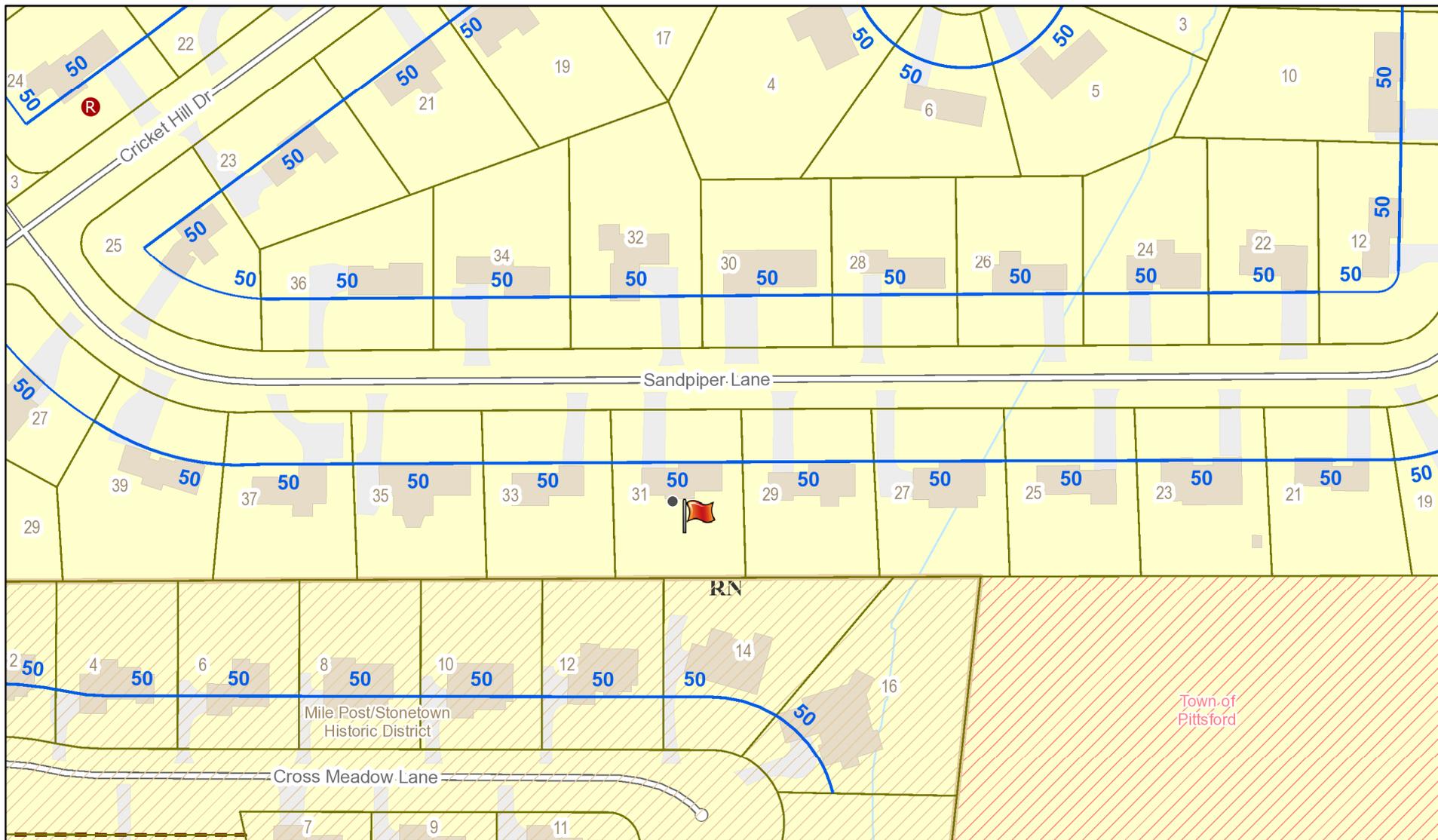
- |                                                                               |                                                                                 |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |                                                                                 |

**Project Description:** Applicant is requesting design review for the addition of a first floor bedroom/bathroom and front porch. The addition will be approximately 415 sq. ft. and will be located to the west of the existing home. The porch addition will be approximately 72 sq. ft. and will be on the front of the home.

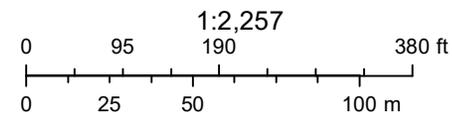
**Meeting Date:** June 25, 2020



# RN Residential Neighborhood Zoning

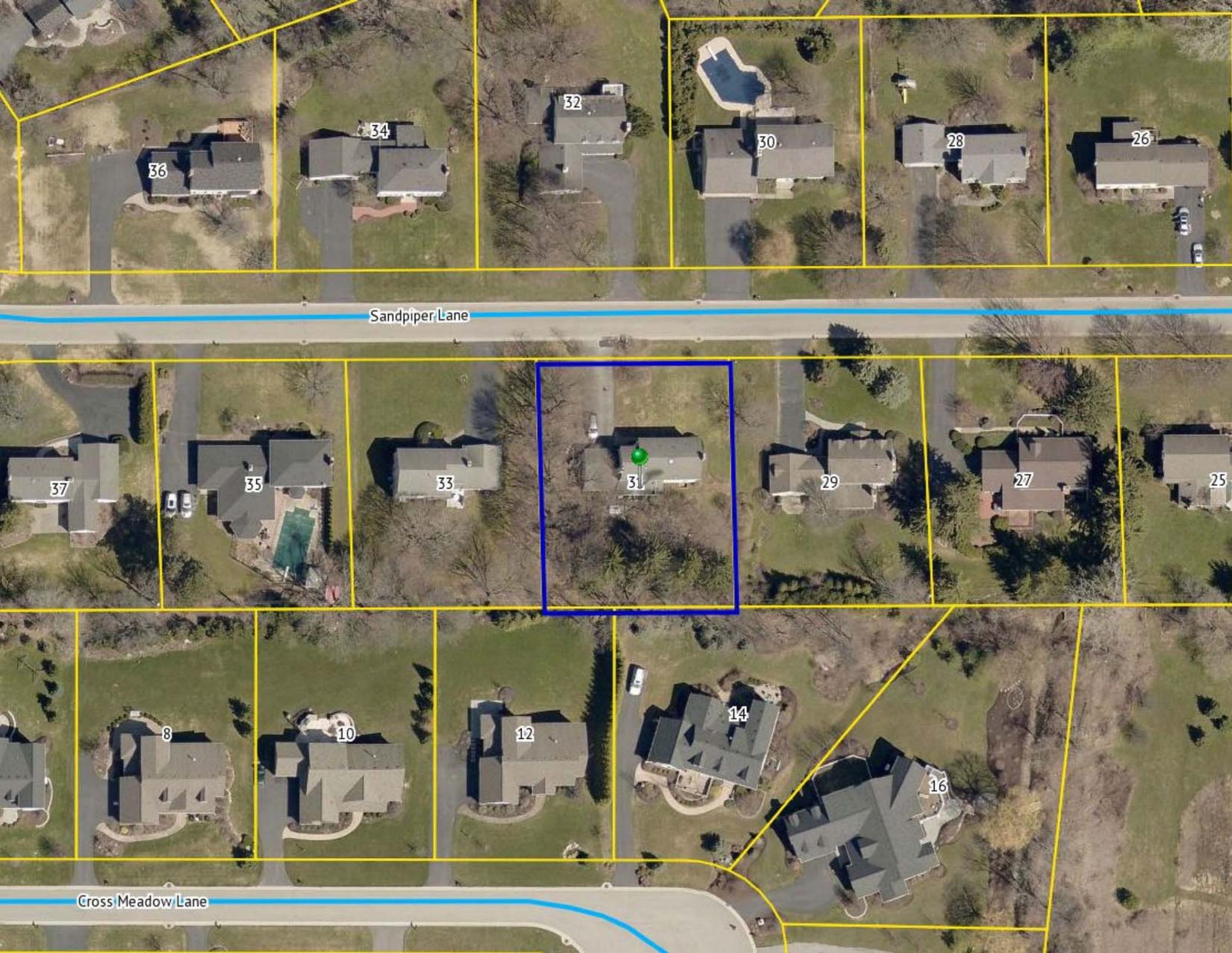


Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



36

34

32

30

28

26

Sandpiper Lane

37

35

33

31

29

27

25

8

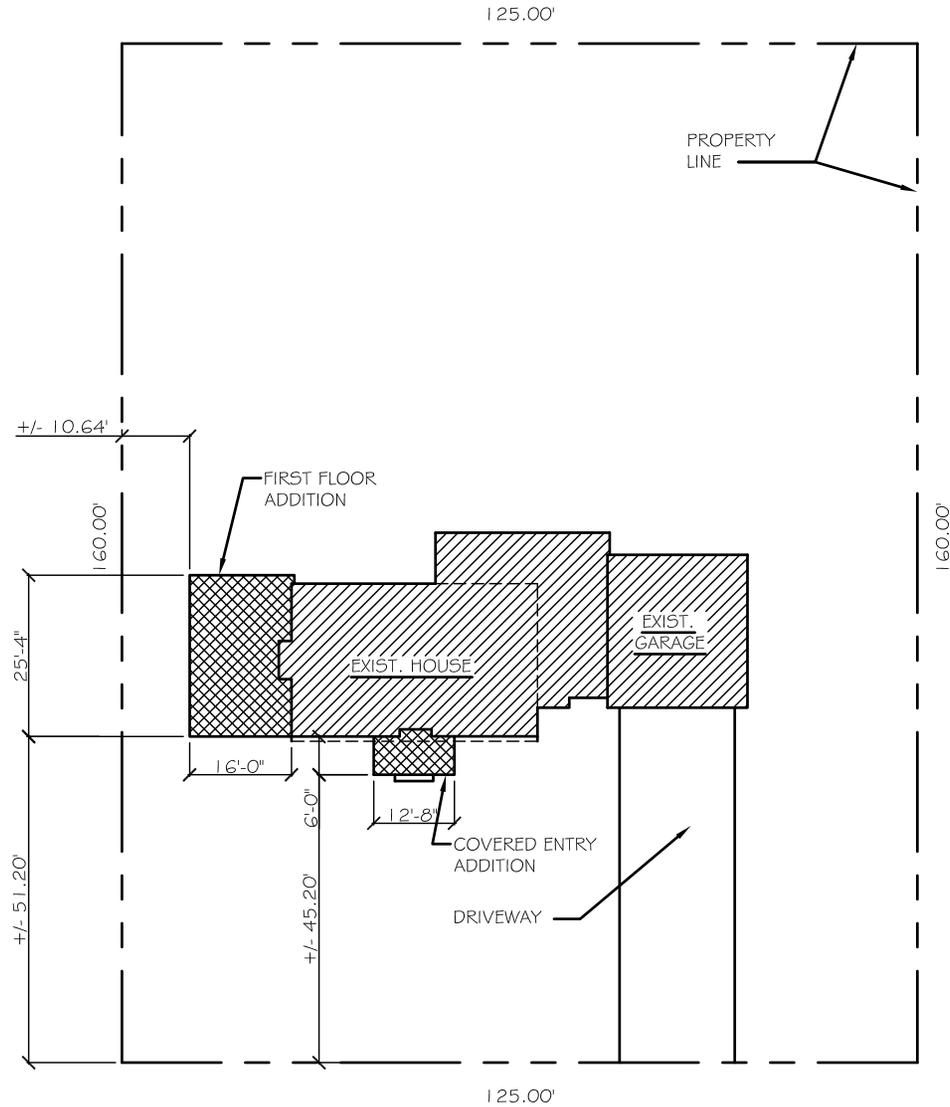
10

12

14

16

Cross Meadow Lane



SANDPIPER LANE



PROPOSED SITE PLAN

SCALE: 1" = 30.00'



ARCHITECT:

**William C. Dean, RA, AIA**

4234 Hogmire Road  
Avon, New York 14414  
585-729-7460  
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
31 Sandpiper Lane  
Pittsford, New York 14534

DRAWING:

SD-O



**North Elevation (from road)**



**North-East Corner of House**



**East Elevation**



**South-East Corner of House**

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585-729-7460  
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
31 Sandpiper Lane  
Pittsford, New York 14534

DRAWING:

**EX-O**



**EXISTING NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

ARCHITECT:

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 Avon, New York 14414  
 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

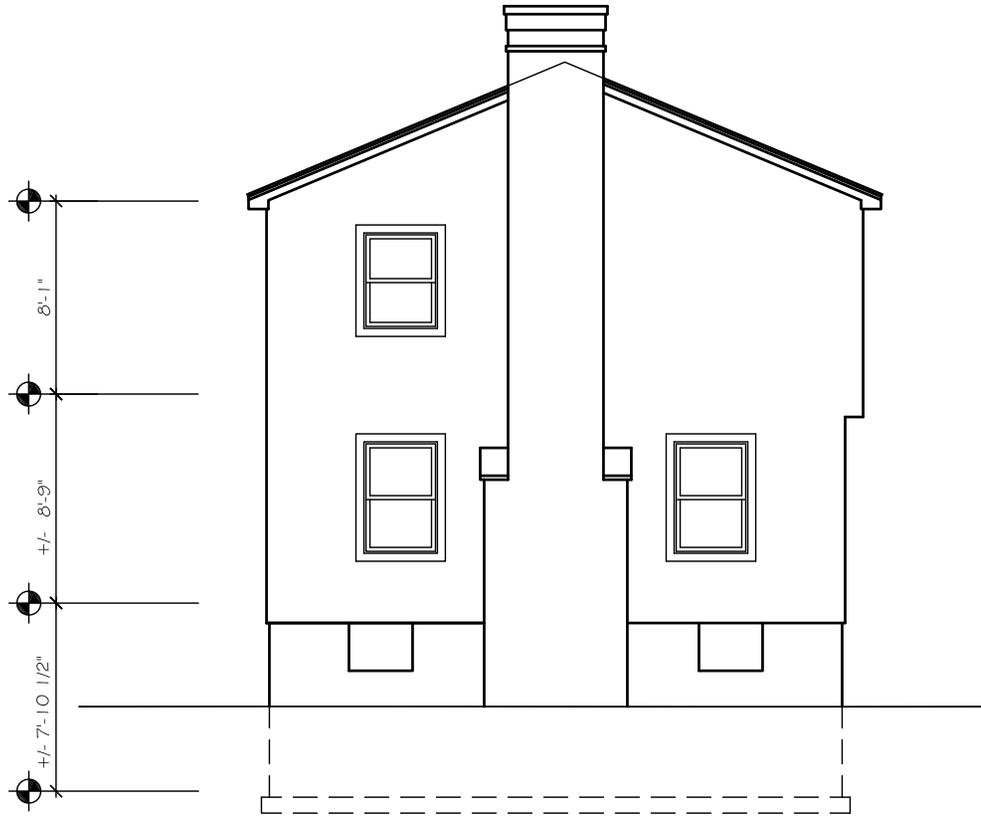
PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

DRAWING:

**EX-3**



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

ARCHITECT:

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 Avon, New York 14414  
 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

DRAWING:

EX-4



EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:

**William C. Dean, RA, AIA**  
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Avon, New York 14414  
585-729-7460  
e-mail: deanarchitect@frontiernet.net

DATE:

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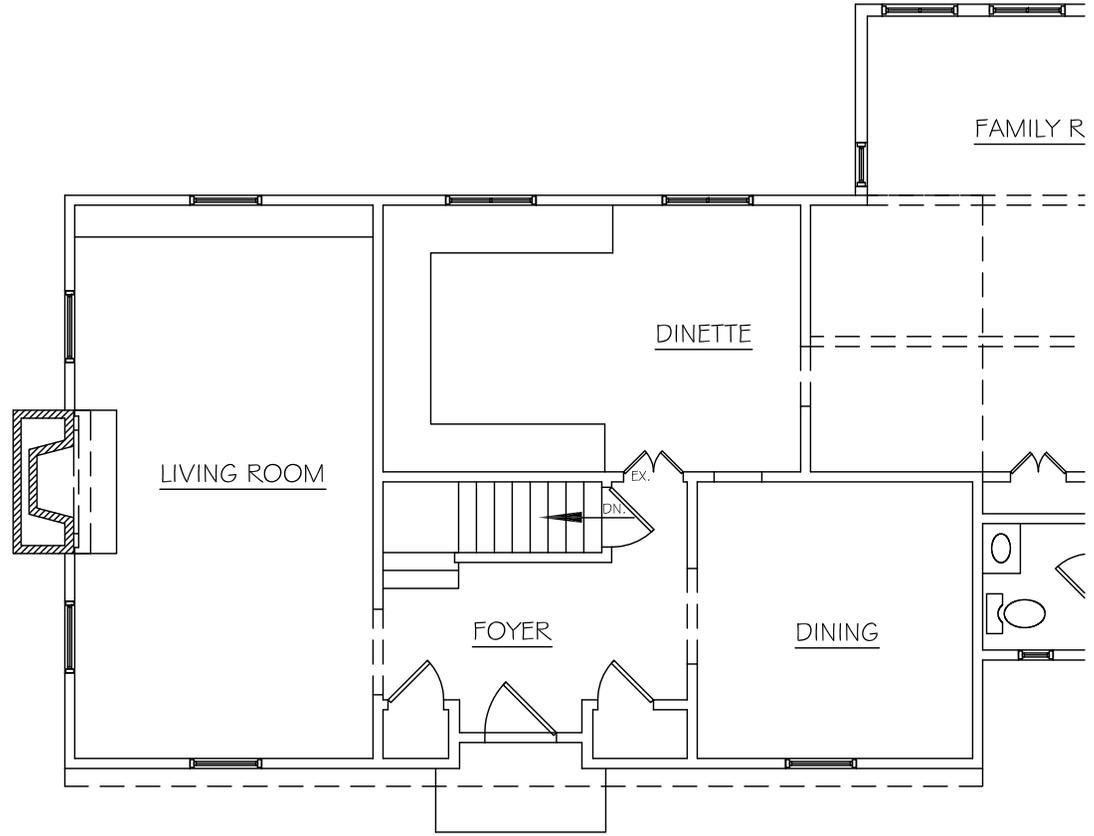
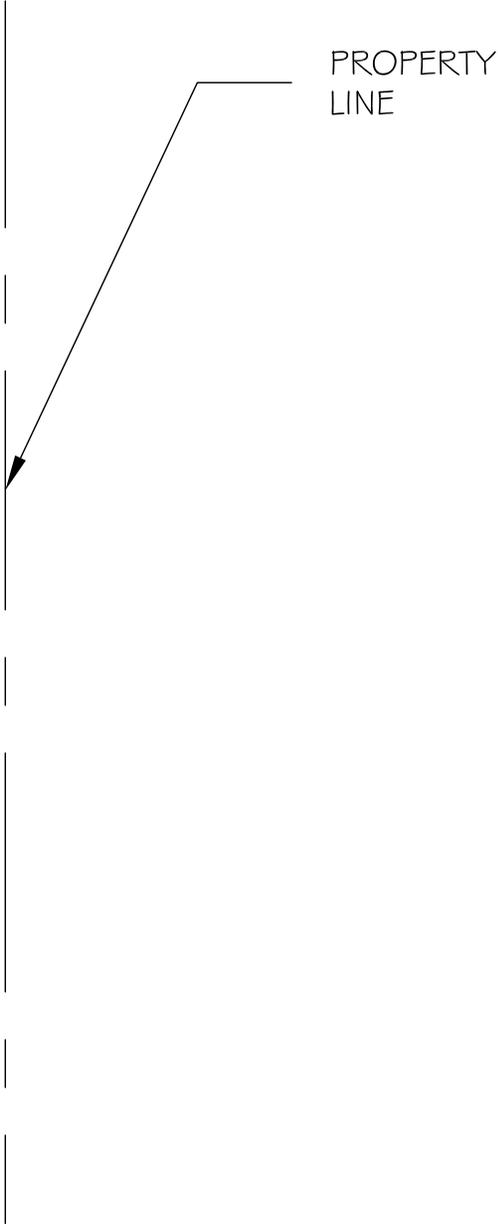
PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
31 Sandpiper Lane  
Pittsford, New York 14534

DRAWING:

EX-5



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



ARCHITECT:

**William C. Dean, RA, AIA**  
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 Avon, New York 14414  
 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

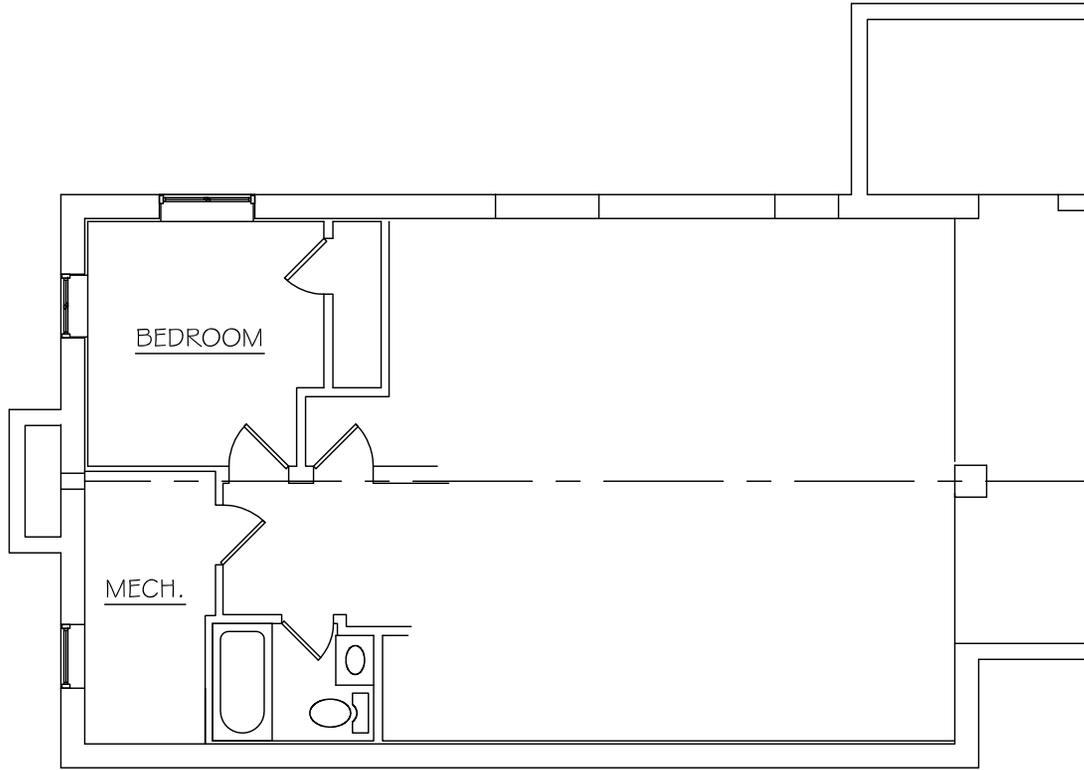
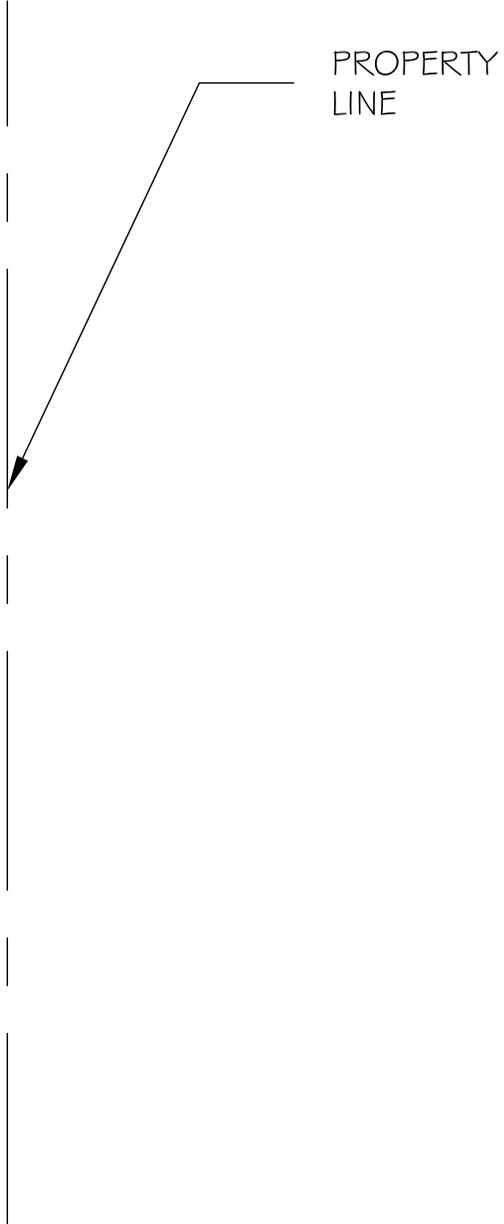
PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

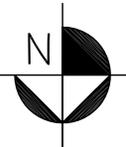
DRAWING:

EX-1



EXISTING BASEMENT/FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



ARCHITECT:

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 Avon, New York 14414  
 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

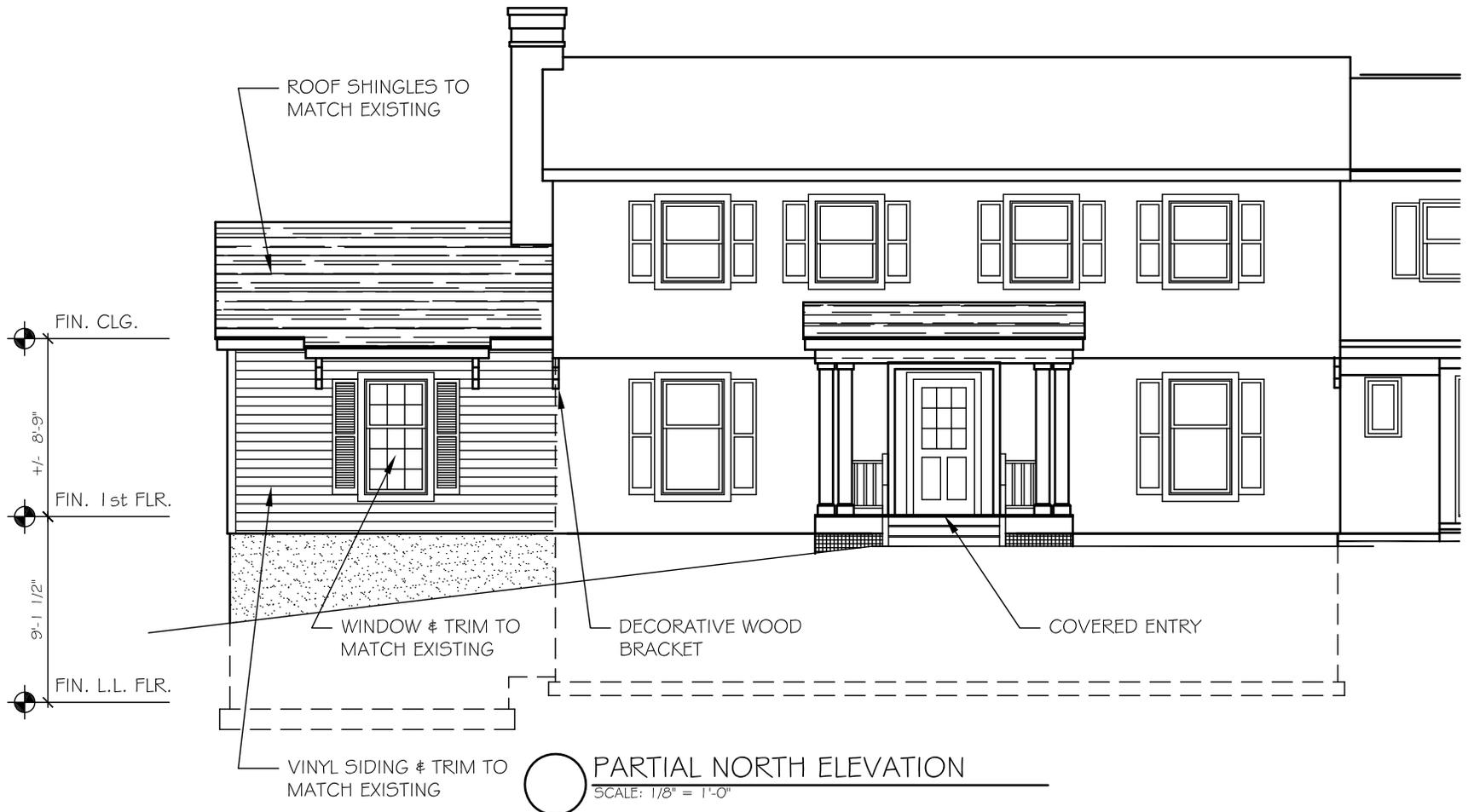
PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

DRAWING:

EX-2



ARCHITECT:

**William C. Dean, RA, AIA**  
 4234 Hogmire Road  
 Avon, New York 14414  
 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:

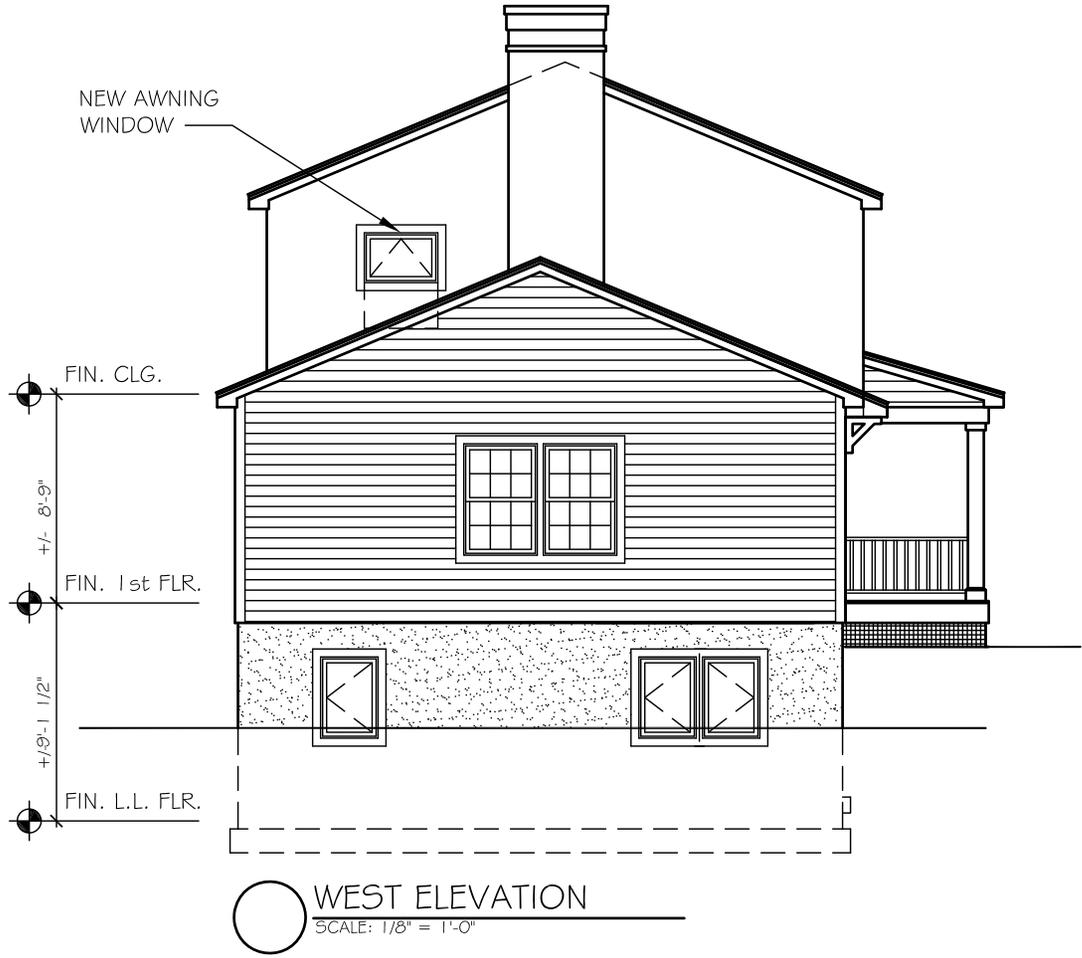
06.17.20

PROJECT:

**PROPOSED ADDITION:**  
 Finnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

DRAWING:

SD-3



ARCHITECT:

**William C. Dean, RA, AIA**  
 4234 Hogmire Road  
 Avon, New York 14414  
 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:  
 06.17.20

PROJECT:

**PROPOSED ADDITION:**  
 Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

DRAWING:

SD-4



○ PARTIAL SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:

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585-729-7460  
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

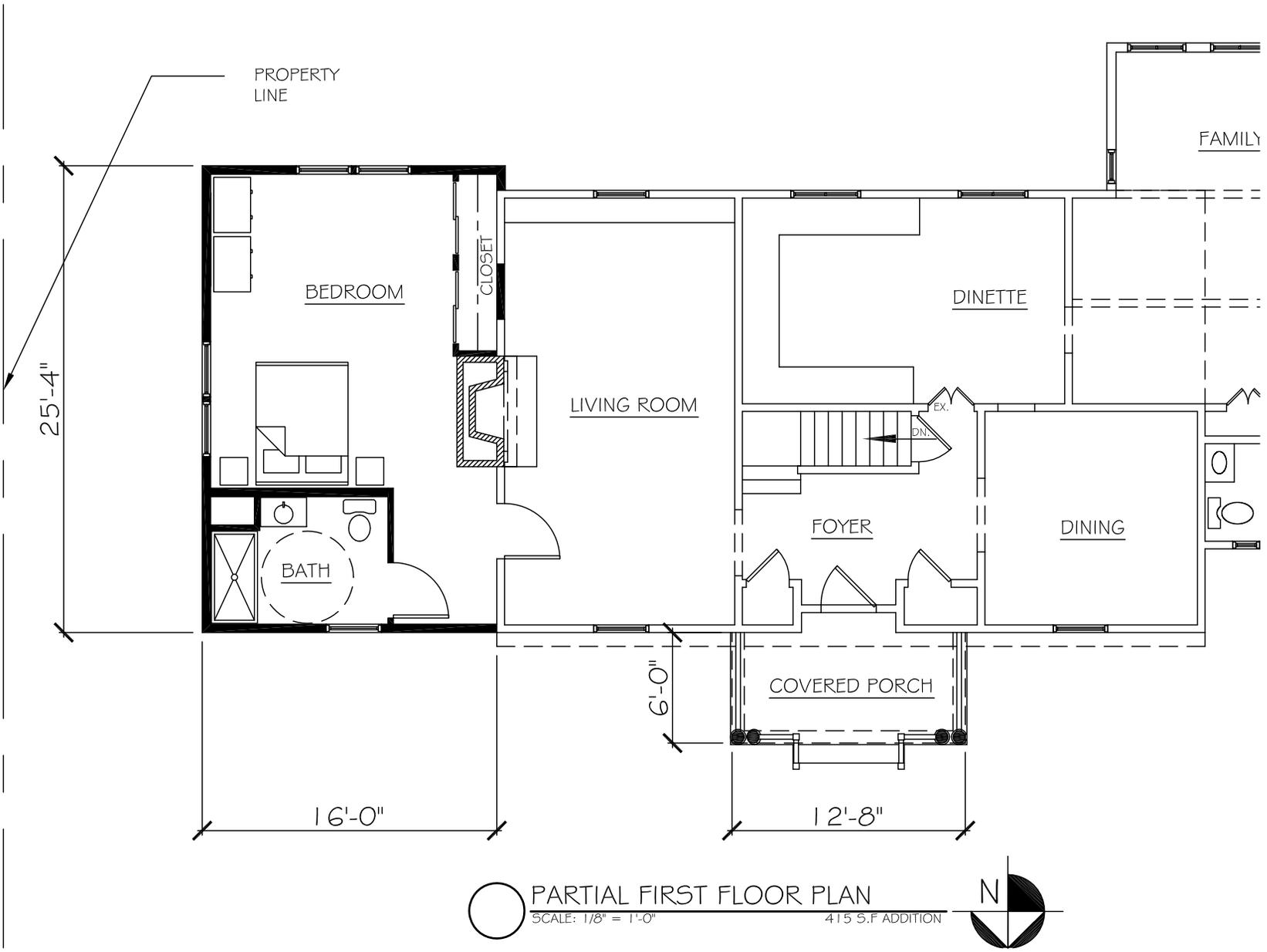
PROJECT:

**PROPOSED ADDITION:**

Fionnuala and Sean Regan  
31 Sandpiper Lane  
Pittsford, New York 14534

DRAWING:

SD-5



PARTIAL FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 415 S.F. ADDITION

ARCHITECT:

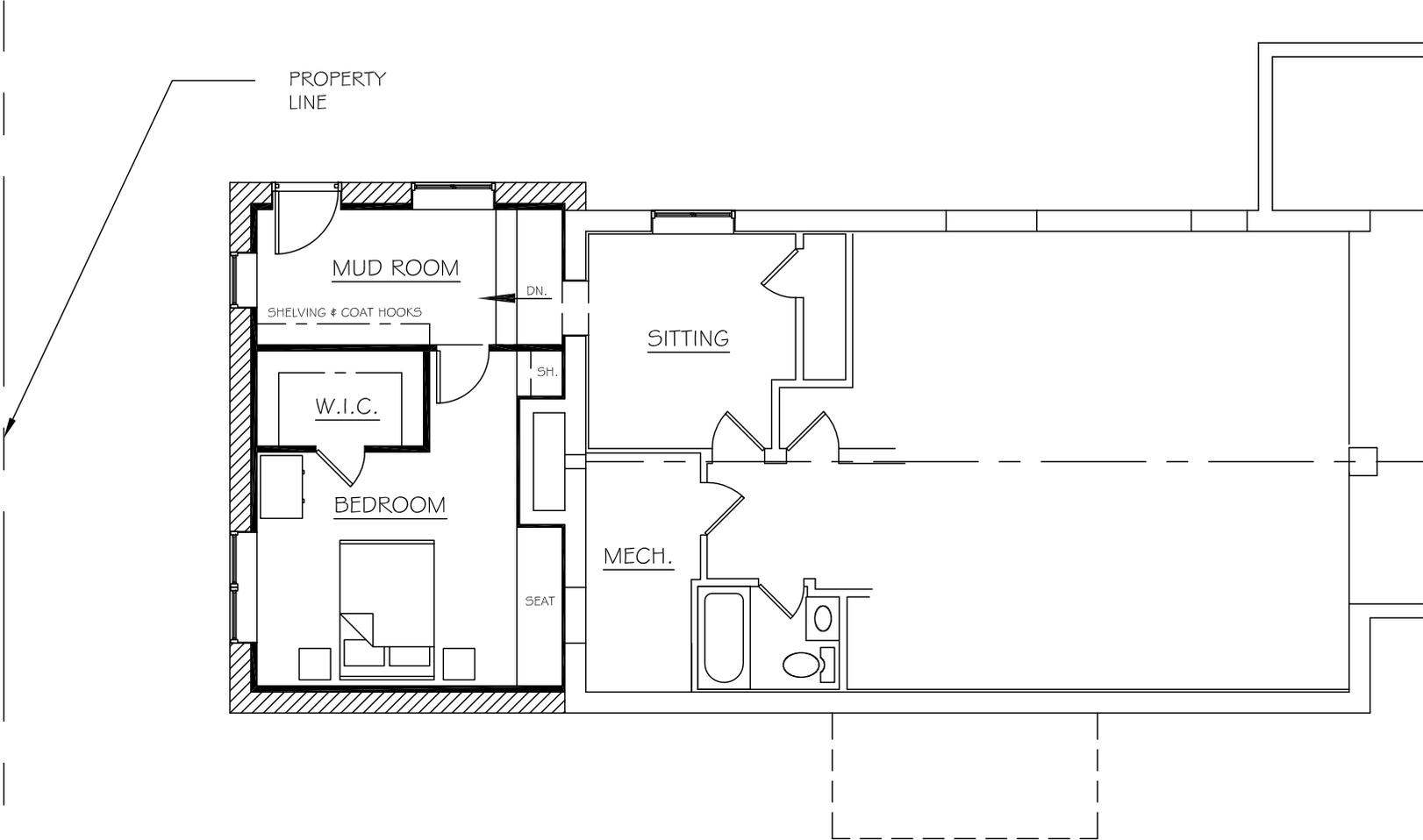
**William C. Dean, RA, AIA**  
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 585-729-7460  
 e-mail: deanarchitect@frontiernet.net

DATE:  
 06.17.20  
 PROJECT:

**PROPOSED ADDITION:**  
 Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

DRAWING:

SD-1



PARTIAL BASEMENT/FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



ARCHITECT:

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 585-729-7460  
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DATE:  
 06.17.20  
 PROJECT:

**PROPOSED ADDITION:**  
 Fionnuala and Sean Regan  
 31 Sandpiper Lane  
 Pittsford, New York 14534

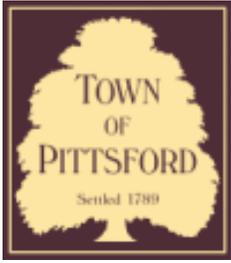
DRAWING:

SD-2









# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S20-000011**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3650-3658 Monroe Avenue PITTSFORD, NY 14534

**Tax ID Number:** 151.13-1-24

**Zoning District:** B Residential

**Owner:** BMJ Properties LLC

**Applicant:** Crystal City Signs

### Application Type:

- |                                                                     |                                                                                 |
|---------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |                                                                                 |

**Project Description:** Applicant is requesting design review for the replacement of the "Pittsford Garden Apartments" sign. The current sign was damaged and will be replaced with an approximately 15 sq. ft. sign.

**Meeting Date:** June 25, 2020

