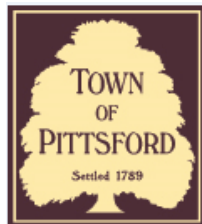


SUPERVISOR
William A. Smith, Jr.



COUNCIL MEMBERS
Kate Bohne Munzinger, Deputy Supervisor
Cathy Koshykar
Kim Taylor
Stephanie Townsend

Town Board Agenda
Town Hall – 11 S. Main Street, Pittsford – Lower Level
Tuesday, November 21, 2023 – 6:00 PM

Call to Order

Pledge of Allegiance

Public Hearing

Sewer District Extension JHSD – 158
Sewer District Extension JHSD – 159
Sewer District Extension SWBC – 52

Legal Matters

Public Comment
Pittsford Oaks, Tobey PUD Parcels 8 & 12
Coventry Ridge Subdivision, Open Space E Dedication
Coventry Ridge Subdivision Road Dedication, “Bellingham Creek”
Pittsford Youth Services Agreement

Financial Matters

Public Comment
Vouchers

Personnel Matters

Public Comment
2024 Holiday Schedule
Hiring Resolution

Other Business

Public Comment

Adjournment

PUBLIC MEETINGS OF THE TOWN BOARD are IN-PERSON at TOWN HALL

ATTENDING IN PERSON

Comments:

As always, comments are open to Pittsford residents, owners of property in the Town who pay Town taxes, owners of businesses in the Town, attorneys or agents designated by a resident to speak on the resident's behalf. To comment you must sign in at the sign-in desk.

VIEWING FROM HOME

1. Live

The Town Board meeting will stream live through our cable access station's streaming portal. Please use the following link:

<https://videoplayer.telvue.com/player/FcqTL0OYMCGU6WlccUApyUL3twz4dm9V/stream/819?fullscreen=false&showtabssearch=true&autostart=true>

You can watch on any computer, tablet, smart phone or web capable TV. If you log in before the meeting starts and see an error message, refresh your screen at 6:00 pm when the board meeting starts and you can view the meeting live while it is happening.

Comments:

Comments are open to Pittsford residents, owners of property in the Town who pay Town taxes, owners of businesses in the Town, attorneys or agents designated by a resident to speak on the resident's behalf.

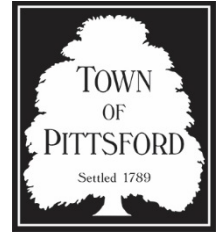
- at any time before 2:30pm on the day of the meeting (a) by email to comments@townofpittsford.org; (b) by submitting it in writing, through the drop slot to the right of the front door at Town Hall (11 South Main Street); or (c) by U.S. Mail to the Town Clerk, for receipt no later than 2:30 pm on the day of the meeting;
and, in addition,
- at any time ***during*** the meeting by email to comments@townofpittsford.org
- All comments submitted should **include the name and street address** of the commenter. Comments from residents will be read by the Town Clerk at the appropriate point of the meeting. The Clerk will read your name, but not your street address unless you ask for it to be read.

2. On-Demand Video

As always, video will be uploaded to our cable access station's streaming portal subsequent to the meeting, usually within a few days. It is available on demand. You can see it here:

<https://videoplayer.telvue.com/player/FcqTL0OYMCGU6WlccUApyUL3twz4dm9V/stream/690?fullscreen=false&showtabssearch=true&autostart=true>

MEMORANDUM



To: Town Board Members

From: Paul Schenkel - Commissioner of Public Works

Date: November 17, 2023

Regarding: Sewer District Extension JHSD-158

For Meeting On: November 21, 2023

Ladies and Gentlemen:

The Town Board received a Petition to establish an Extension to the Pittsford Sewer District, to be known as "Extension JHSD-158". A Public Hearing on the Petition has been scheduled for the evening of November 21, 2023.

Attached is the proposed "Resolution and Order" approving the establishment of this Extension to the Sewer District.

Recommendation is hereby made that the Town Board approve the proposed Extension. In the event that the Board determines that action should take place on the proposed Sewer District Extension, I suggest the following Resolution motion:

RESOLUTION FOR ORDER

I move that Extension JHSD-158 to the Pittsford Sewer District, on lands located on:

184 W Bloomfield Rd 178.03-2-32 Joshua Dougherty & Alicia Dougherty

be approved, as set forth in the proposed written Resolution and Order.

At a regular Meeting of the Town Board of the Town of Pittsford, New York held at the Town Hall, 11 South Main Street, in the Town of Pittsford, New York, on the 21st day of November, 2023.

PRESENT: William A. Smith, Jr., Supervisor
Katherine Bohne Munzinger, Deputy Supervisor
Cathleen A. Koshykar, Councilperson
Kim Taylor, Councilperson
Stephanie M. Townsend, Councilperson

ABSENT: None

TOWN BOARD
TOWN OF PITTSFORD

STATE OF NEW YORK
COUNTY OF MONROE

In the Matter of Extension JHSD-158
to the PITTSFORD SEWER DISTRICT,
to include:

RESOLUTION AND ORDER
EXTENSION OF DISTRICT

184 W Bloomfield Rd

178.03-2-32

Joshua Dougherty & Alicia Dougherty

WHEREAS, a Petition having been duly presented to the Town Board of the Town of Pittsford, Monroe County, New York, together with the necessary map and information which requests an Extension to the Pittsford Sewer District, to be known as "Extension JHSD-158"; and

WHEREAS, the aforesaid Petition was signed by owners of the property within the proposed Extension to the District; and

WHEREAS, an Order was duly adopted by the Town Board on the 6th day of November, 2023, for the hearing of all persons interested in the matter to be held on the 21st day of November, 2023, at 6:00 o'clock P.M., Local Time, at the Pittsford Town Hall, 11 South Main Street, Town of Pittsford, New York; and

WHEREAS, due proof of publication and posting of the said Order has been duly filed with the Clerk of the said Town Board; and

WHEREAS, the hearing required by the said Order has been duly held, and it appears from the said Petition that the proposed Extension to the District does not require any expenditure of money for the construction or acquisition of the improvement therein, and does not require the financing of the cost thereof by the issuance of any bonds, notes, certificates of any indebtedness of said Town; and

WHEREAS, the within action is a Type II action, pursuant to the SEQRA regulations published at 6 NYCRR § 617.5(c)(13), requiring no further environmental review by the Town Board; and

WHEREAS, the permission of the Comptroller of the State of New York is not required for the Extension to the District;

NOW, ON MOTION duly made and seconded, it is unanimously

RESOLVED AND ORDERED, that

- (a) The Petition is signed and acknowledged or approved as required by law and is otherwise sufficient;
- (b) The property and the sole property owners within the Extension to the District are benefited thereby;
- (c) The property and the sole property owners benefited are included within the limits of the Extension to the District;
- (d) The expenses of Maintenance of the Extension to the District are to be paid by the property owners annually on a benefit basis; and
- (e) It is in the public interest to grant in whole the relief sought; and it is further

RESOLVED AND ORDERED, that Extension “JHSD-158” to the Pittsford Sewer District, be and the same hereby is created, and that the boundaries of the Extension, as hereby created, are as set forth in “Exhibit 1” annexed hereto, and it is further

RESOLVED AND ORDERED, that all improvements to the sewer system required for the Extension will be constructed or caused to be constructed by the Petitioners, at the expense of the Petitioners; and it is further

RESOLVED AND ORDERED, that the Town Clerk is hereby directed to record in the Monroe County Clerk’s Office and file with the New York state Office of Audit and Control certified copies of the within Resolution, as required by law.

Said matter having been put to a vote, the following votes were recorded:

William A. Smith, Jr.	VOTING
Katherine Bohn Munzinger	VOTING
Cathleen A. Koshykar	VOTING
Kim Taylor	VOTING
Stephanie Townsend	VOTING

The Resolution was thereupon declared duly adopted.

Dated: November 21, 2023

EXHIBIT 1

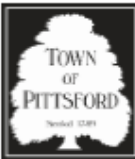
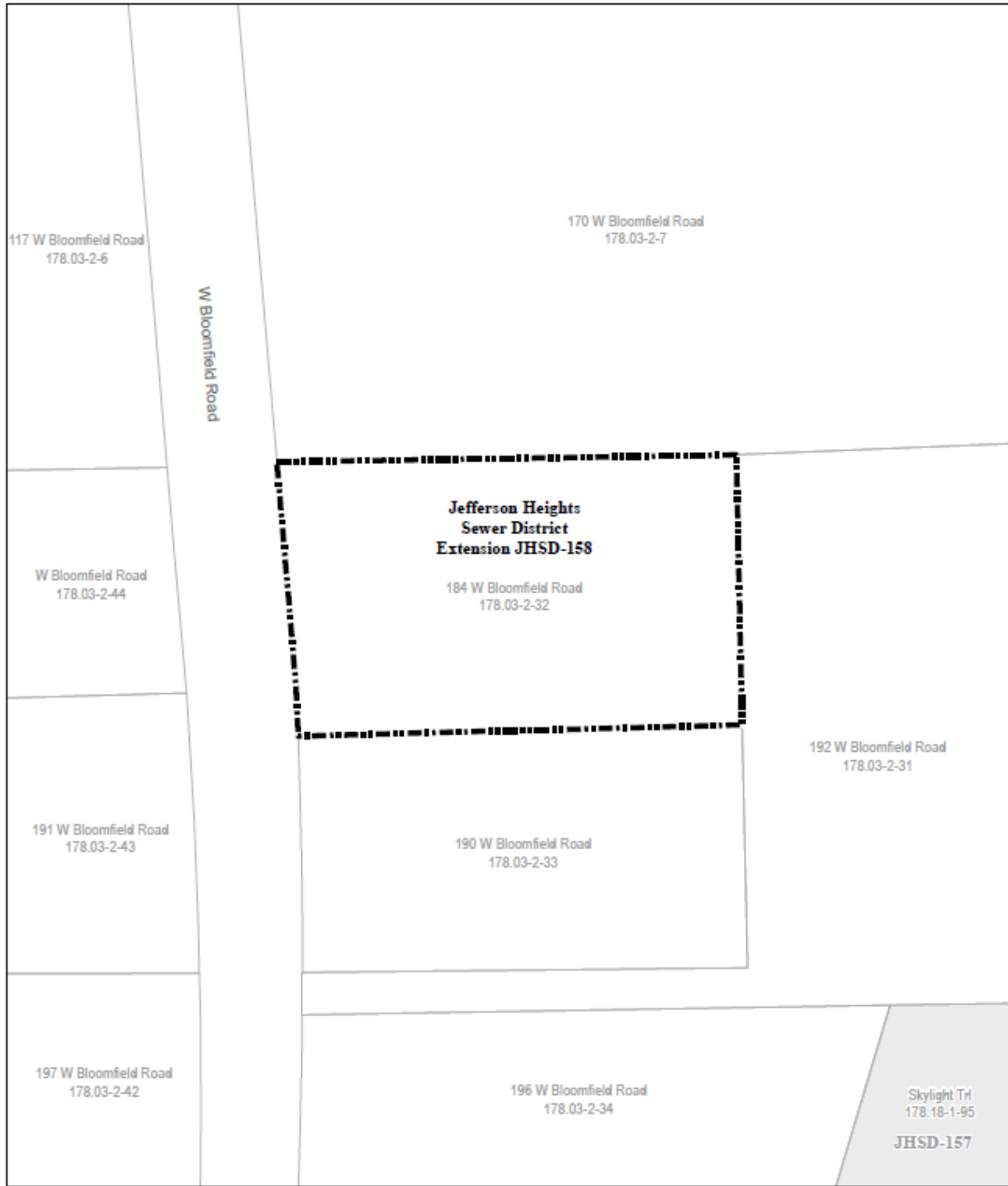
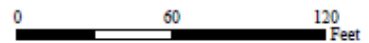


Exhibit 1
Extension JHSD-158
Jefferson Heights Sewer District
184 W Bloomfield Road



Source: Town of Pittsford GIS, September 2023
District Extension JHSD-158 Petition, September 2023
Monroe County Real Property Tax Service, July 2022
Town of Pittsford GIS | September 14, 2023

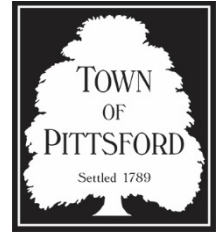
TOWN CLERK CERTIFICATION

I, Renee M. McQuillen, Town Clerk of the Town of Pittsford, New York, DO HEREBY CERTIFY that I have compared a copy of the Resolution as herein specified with the original in the minutes of the meeting of the Town Board of the Town of Pittsford, and that the same is a correct transcript thereof and the whole of the said original.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of November, 2023.

Renee M. McQuillen, Town Clerk

MEMORANDUM



To: Town Board Members

From: Paul Schenkel - Commissioner of Public Works

Date: November 17, 2023

Regarding: Sewer District Extension JHSD-159

For Meeting On: November 21, 2023

Ladies and Gentlemen:

The Town Board received a Petition to establish an Extension to the Pittsford Sewer District, to be known as "Extension JHSD-159". A Public Hearing on the Petition has been scheduled for the evening of November 21, 2023.

Attached is the proposed "Resolution and Order" approving the establishment of this Extension to the Sewer District.

Recommendation is hereby made that the Town Board approve the proposed Extension. In the event that the Board determines that action should take place on the proposed Sewer District Extension, I suggest the following Resolution motion:

RESOLUTION FOR ORDER

I move that Extension JHSD-159 to the Pittsford Sewer District, on lands located on:

495 Mendon Rd

178.03-1-76

Mark W. Morris & Joy E. Morris

be approved, as set forth in the proposed written Resolution and Order.

At a regular Meeting of the Town Board of the Town of Pittsford, New York held at the Town Hall, 11 South Main Street, in the Town of Pittsford, New York, on the 21st day of November, 2023.

PRESENT: William A. Smith, Jr., Supervisor
Katherine Bohne Munzinger, Deputy Supervisor
Cathleen A. Koshykar, Councilperson
Kim Taylor, Councilperson
Stephanie M. Townsend, Councilperson

ABSENT: None

TOWN BOARD
TOWN OF PITTSFORD

STATE OF NEW YORK
COUNTY OF MONROE

In the Matter of Extension JHSD-159
to the PITTSFORD SEWER DISTRICT,
to include:

RESOLUTION AND ORDER
EXTENSION OF DISTRICT

495 Mendon Rd

178.03-1-76

Mark W. Morris & Joy E. Morris

WHEREAS, a Petition having been duly presented to the Town Board of the Town of Pittsford, Monroe County, New York, together with the necessary map and information which requests an Extension to the Pittsford Sewer District, to be known as "Extension JHSD-159"; and

WHEREAS, the aforesaid Petition was signed by owners of the property within the proposed Extension to the District; and

WHEREAS, an Order was duly adopted by the Town Board on the 6th day of November, 2023, for the hearing of all persons interested in the matter to be held on the 21st day of November, 2023, at 6:00 o'clock P.M., Local Time, at the Pittsford Town Hall, 11 South Main Street, Town of Pittsford, New York; and

WHEREAS, due proof of publication and posting of the said Order has been duly filed with the Clerk of the said Town Board; and

WHEREAS, the hearing required by the said Order has been duly held, and it appears from the said Petition that the proposed Extension to the District does not require any expenditure of money for the construction or acquisition of the improvement therein, and does not require the financing of the cost thereof by the issuance of any bonds, notes, certificates of any indebtedness of said Town; and

WHEREAS, the within action is a Type II action, pursuant to the SEQRA regulations published at 6 NYCRR § 617.5(c)(13), requiring no further environmental review by the Town Board; and

WHEREAS, the permission of the Comptroller of the State of New York is not required for the Extension to the District;

NOW, ON MOTION duly made and seconded, it is unanimously

RESOLVED AND ORDERED, that

- (a) The Petition is signed and acknowledged or approved as required by law and is otherwise sufficient;
- (b) The property and the sole property owners within the Extension to the District are benefited thereby;
- (c) The property and the sole property owners benefited are included within the limits of the Extension to the District;
- (d) The expenses of Maintenance of the Extension to the District are to be paid by the property owners annually on a benefit basis; and
- (e) It is in the public interest to grant in whole the relief sought; and it is further

RESOLVED AND ORDERED, that Extension “JHSD-159” to the Pittsford Sewer District, be and the same hereby is created, and that the boundaries of the Extension, as hereby created, are as set forth in “Exhibit 1” annexed hereto, and it is further

RESOLVED AND ORDERED, that all improvements to the sewer system required for the Extension will be constructed or caused to be constructed by the Petitioners, at the expense of the Petitioners; and it is further

RESOLVED AND ORDERED, that the Town Clerk is hereby directed to record in the Monroe County Clerk’s Office and file with the New York state Office of Audit and Control certified copies of the within Resolution, as required by law.

Said matter having been put to a vote, the following votes were recorded:

William A. Smith, Jr.	VOTING
Katherine Bohn Munzinger	VOTING
Cathleen A. Koshykar	VOTING
Kim Taylor	VOTING
Stephanie Townsend	VOTING

The Resolution was thereupon declared duly adopted.

Dated: November 21, 2023

EXHIBIT 1

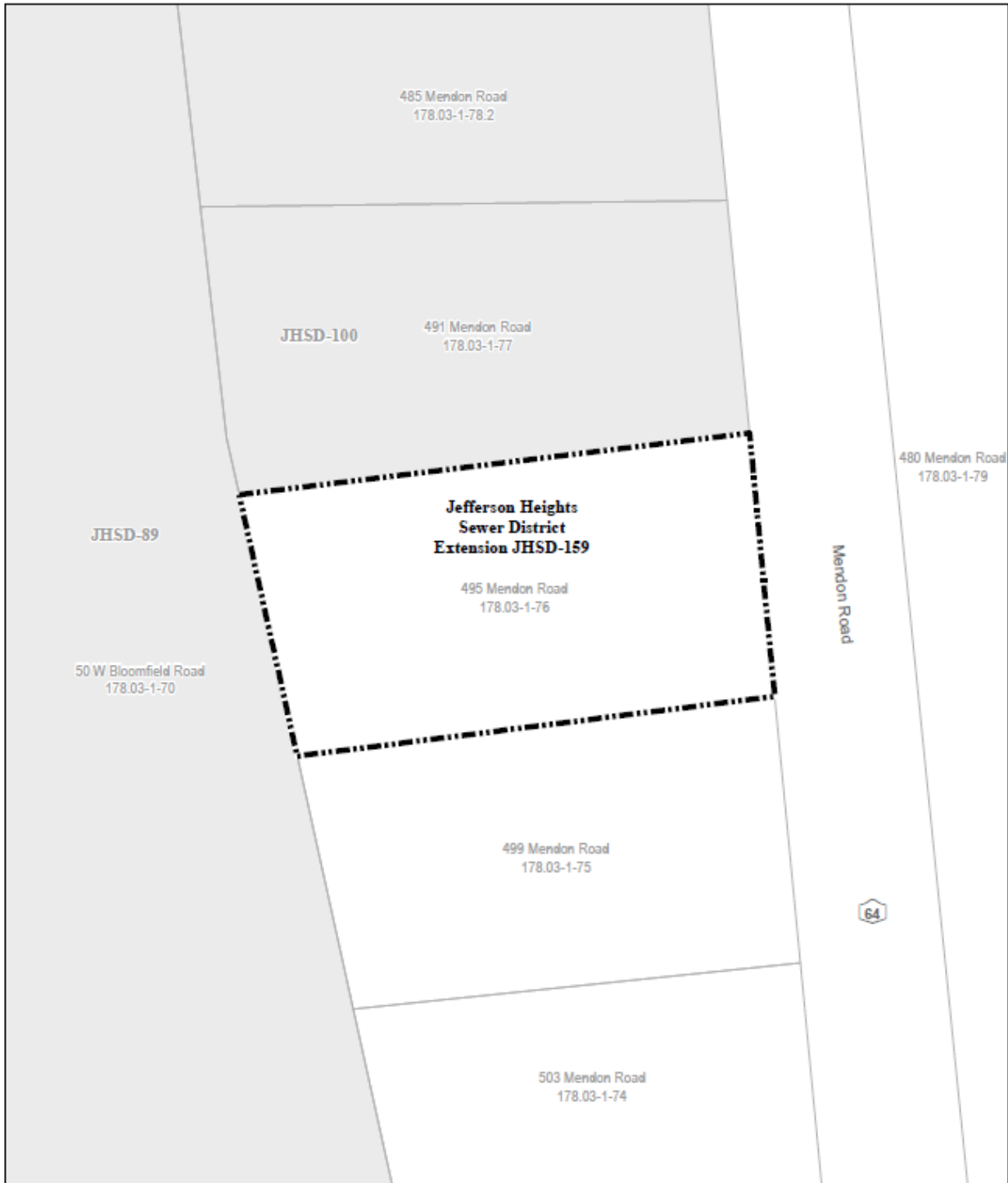
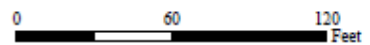


Exhibit 1
Extension JHSD-159
Jefferson Heights Sewer District
495 Mendon Road



Source: Town of Pittsford GIS, September 2023
District Extension JHSD-159 Petition, September 2023
Monroe County Real Property Tax Service, July 2022

Town of Pittsford GIS | September 14, 2023

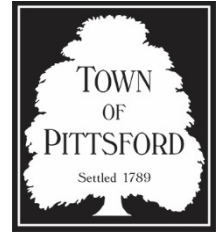
TOWN CLERK CERTIFICATION

I, Renee M. McQuillen, Town Clerk of the Town of Pittsford, New York, DO HEREBY CERTIFY that I have compared a copy of the Resolution as herein specified with the original in the minutes of the meeting of the Town Board of the Town of Pittsford, and that the same is a correct transcript thereof and the whole of the said original.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of November, 2023.

Renee M. McQuillen, Town Clerk

MEMORANDUM



To: Town Board Members
From: Paul Schenkel - Commissioner of Public Works
Date: November 17, 2023
Regarding: Sewer District Extension SWBC-52
For Meeting On: November 21, 2023

Ladies and Gentlemen:

The Town Board received a Petition to establish an Extension to the Pittsford Sewer District, to be known as "Extension SWBC-52". A Public Hearing on the Petition has been scheduled for the evening of November 21, 2023.

Attached is the proposed "Resolution and Order" approving the establishment of this Extension to the Sewer District.

Recommendation is hereby made that the Town Board approve the proposed Extension. In the event that the Board determines that action should take place on the proposed Sewer District Extension, I suggest the following Resolution motion:

RESOLUTION FOR ORDER

I move that Extension SWBC-52 to the Pittsford Sewer District, on lands located on:

N Wilmarth Road	191.02-1-1.12	Mark J. Frohm & Celeste S. Frohm,
126 N Wilmarth Road	191.02-1-1.2	Mark J. Frohm & Celeste S. Frohm

be approved, as set forth in the proposed written Resolution and Order.

At a regular Meeting of the Town Board of the Town of Pittsford, New York held at the Town Hall, 11 South Main Street, in the Town of Pittsford, New York, on the 21st day of November, 2023.

PRESENT: William A. Smith, Jr., Supervisor
Katherine Bohne Munzinger, Deputy Supervisor
Cathleen A. Koshykar, Councilperson
Kim Taylor, Councilperson
Stephanie M. Townsend, Councilperson

ABSENT: None

TOWN BOARD
TOWN OF PITTSFORD

STATE OF NEW YORK
COUNTY OF MONROE

In the Matter of Extension SWBC-52
to the PITTSFORD SEWER DISTRICT,
to include:

RESOLUTION AND ORDER
EXTENSION OF DISTRICT

N Wilmarth Road	191.02-1-1.12	Mark J. Frohm & Celeste S. Frohm,
126 N Wilmarth Road	191.02-1-1.2	Mark J. Frohm & Celeste S. Frohm

WHEREAS, a Petition having been duly presented to the Town Board of the Town of Pittsford, Monroe County, New York, together with the necessary map and information which requests an Extension to the Pittsford Sewer District, to be known as "Extension SWBC-52"; and

WHEREAS, the aforesaid Petition was signed by owners of the properties within the proposed Extension to the District; and

WHEREAS, an Order was duly adopted by the Town Board on the 6th day of November, 2023, for the hearing of all persons interested in the matter to be held on the 21st day of November, 2023, at 6:00 o'clock P.M., Local Time, at the Pittsford Town Hall, 11 South Main Street, Town of Pittsford, New York; and

WHEREAS, due proof of publication and posting of the said Order has been duly filed with the Clerk of the said Town Board; and

WHEREAS, the hearing required by the said Order has been duly held, and it appears from the said Petition that the proposed Extension to the District does not require any expenditure of money for the construction or acquisition of the improvement therein, and does not require the financing of the cost thereof by the issuance of any bonds, notes, certificates of any indebtedness of said Town; and

WHEREAS, the within action is a Type II action, pursuant to the SEQRA regulations published at 6 NYCRR § 617.5(c)(13), requiring no further environmental review by the Town Board; and

WHEREAS, the permission of the Comptroller of the State of New York is not required for the Extension to the District;

NOW, ON MOTION duly made and seconded, it is unanimously

RESOLVED AND ORDERED, that

- (a) The Petition is signed and acknowledged or approved as required by law and is otherwise sufficient;
- (b) All the properties and the sole property owners within the Extension to the District are benefited thereby;
- (c) All the properties and the sole property owners benefited are included within the limits of the Extension to the District;
- (d) The expenses of Maintenance of the Extension to the District are to be paid by the property owners annually on a benefit basis; and
- (e) It is in the public interest to grant in whole the relief sought; and it is further

RESOLVED AND ORDERED, that Extension “SWBC-52” to the Pittsford Sewer District, be and the same hereby is created, and that the boundaries of the Extension, as hereby created, are as set forth in “Exhibit 1” annexed hereto, and it is further

RESOLVED AND ORDERED, that all improvements to the sewer system required for the Extension will be constructed or caused to be constructed by the Petitioners, at the expense of the Petitioners; and it is further

RESOLVED AND ORDERED, that the Town Clerk is hereby directed to record in the Monroe County Clerk’s Office and file with the New York state Office of Audit and Control certified copies of the within Resolution, as required by law.

Said matter having been put to a vote, the following votes were recorded:

William A. Smith, Jr.	VOTING
Katherine Bohn Munzinger	VOTING
Cathleen A. Koshykar	VOTING
Kim Taylor	VOTING
Stephanie Townsend	VOTING

The Resolution was thereupon declared duly adopted.

Dated: November 21, 2023

EXHIBIT 1

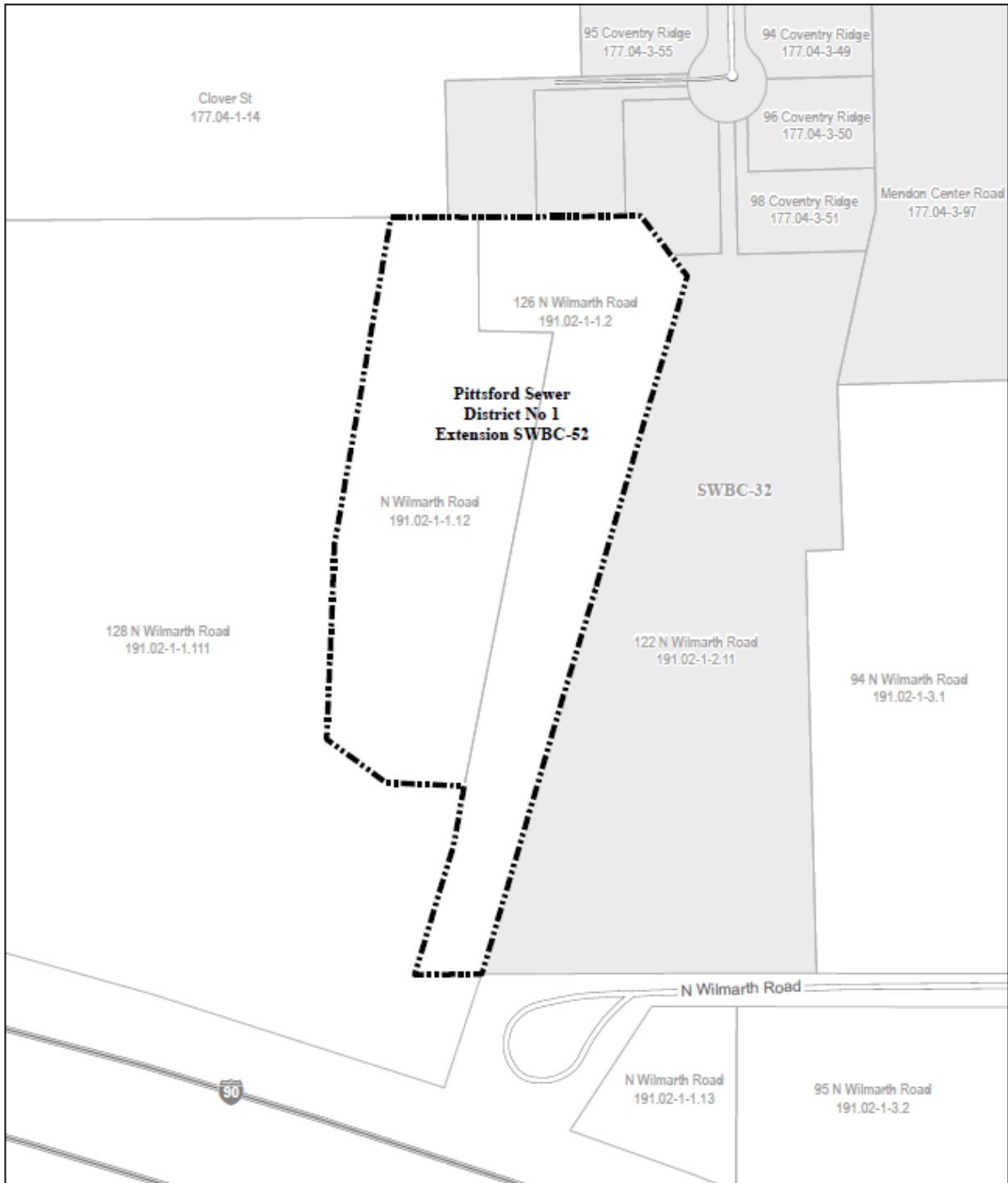
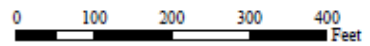


Exhibit 1
Extension SWBC-52
Pittsford Sewer District No 1
126 N Wilmarth Road



Source: Town of Pittsford GIS, September 2023
District Extension SWBC-52 Petition, September 2023
Mourne County Real Property Tax Service, July 2022

Town of Pittsford GIS | September 14, 2023

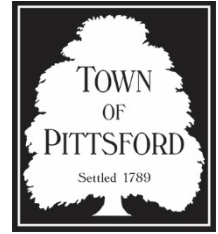
TOWN CLERK CERTIFICATION

I, Renee M. McQuillen, Town Clerk of the Town of Pittsford, New York, DO HEREBY CERTIFY that I have compared a copy of the Resolution as herein specified with the original in the minutes of the meeting of the Town Board of the Town of Pittsford, and that the same is a correct transcript thereof and the whole of the said original.

IN WITNESS WHEREOF, I have hereunto set my hand this _____ day of November, 2023.

Renee M. McQuillen, Town Clerk

MEMORANDUM



To: Town Board

From: Robert B. Koegel

Date: November 16, 2023

Regarding: Pittsford Oaks, Tobey PUD Parcels 8 & 12

For Meeting On: November 21, 2023

You will recall that during 2018 and 2019, Friendly Senior Living, the owner and operator of a senior living community facility known as “Cloverwood” on Parcel 7 of the Tobey Planned Unit Development (PUD) at the intersection of Clover Street and West Jefferson Road, secured approvals from the Town Board, the Planning Board, and the Design Review and Historic Preservation Board to construct an independent living senior housing community of 106 residential units on nearby Tobey PUD Parcels 8 & 12.

Unfortunately, due to the COVID pandemic, increased cost of construction, and other considerations, Friendly Senior Living did not proceed with its construction plans and put the property under contract with 2851 Clover, LLC, which now proposes to construct approximately 191 high-quality apartment units on essentially the same building footprint, to be called “Pittsford Oaks.”

While these two projects are substantially similar in design, Pittsford Oaks would not be restricted to senior citizens, the number of apartments would expand from 106 units to 191 units, and the parking area would increase from 158 spaces to 282 spaces.

The first step in bringing Pittsford Oaks into fruition would be for the Town Board to amend the zoning covering the allowable uses of Tobey PUD Parcels 8 & 12 to accommodate the new proposed project. You should know that the general rule is that an amendment to a zoning ordinance is purely a legislative function, and you are free to act upon this application or ignore it indefinitely. If you choose to act upon this application, you should follow the PUD procedure set forth in Town Code § 185-75, which requires you to submit the application to the Planning Board for its nonbinding advisory report before you set a date for and conduct a public hearing upon a local law amending the zoning to accommodate the project. Subsequent steps in the Pittsford Oaks project would be the same as for the abandoned Friendly Senior Living project; namely, site plan approval by the Planning Board and design review by the Design Review and Historic Preservation Board.

Submitted herewith for your consideration are an application letter received on November 8, 2023 from the applicant’s counsel describing the project and the action requested from the Town Board, a completed full environmental assessment form, Part 1, for the project, a traffic study (less appendices), and engineering site plans.

If the Town Board wishes to proceed with its consideration of this project, the following resolution may be adopted:

RESOLUTION

It is hereby resolved that the Town Board (1) accepts for processing the application of 2851 Clover, LLC for municipal approvals to construct approximately 191 high-quality residential apartment units on Tobey PUD Parcels 8 & 12 (the "Project"), (2) declares its intent to act as lead agency for a coordinated environmental review of the Project under the State Environmental Quality Review Act (SEQRA), (3) refers the application to the Planning Board for an advisory report, (4) refers the application to the Design Review and Historic Preservation Board for review and comment, and (5) refers the application to the Commissioner of Public Works for his report on the feasibility and adequacy of the design elements of the application.

1900 Bausch and Lomb Place
Rochester, New York 14604
P 585-987-2800 F 585.454.3968



1900 Main Place Tower
Buffalo, New York 14202
P 716.248.3200 F 716-854-5100

www.woodsoviatt.com

Writer's Direct Dial Number: 585.987.2901
Writer's Direct Fax Number: 585.362.4602
Email: jgoldman@woodsoviatt.com

Town Board of the Town of Pittsford
11 South Main Street
Pittsford, NY 14534

**Re: Tobey Planned Unit Development (PUD)
Parcel 8 (Barn Bazaar) and Parcel 12
REQUEST FOR AMENDMENT OF PUD**

Dear Board Members,

This office has been retained by 2851 Clover, LLC ("2851 Clover"), the contract vendee of the former Barn Bazaar property ("subject property"), to assist in obtaining Town Board approval to modify the existing Tobey Planned Unit Development (PUD) to permit upscale apartments in lieu of the Senior Housing Community previously approved for subject property as set forth below.

The subject property is within the Tobey Planned Unit Development (Tobey PUD), which PUD encompasses the properties at the Clover Street and Jefferson Road intersection. The proposed development area contains 6.49 +/- acres; specifically, Parcel 8/Barn Bazaar of the PUD (5.333 +/- acres) and Parcel 12 of the PUD (1.157 +/- acres), as well as parking previously approved on the south side of Tobey Village Road, east of Kittredge Drive.

Friendly Senior Living went through an entire approval process with the Town in 2018 and 2019, to construct an Independent Living Senior Housing Community, including a Town Board PUD Amendment, Planning Board site plan approval and Design Review and Historic Preservation Board design approval. Unfortunately, due to the COVID pandemic, increased cost of construction and other considerations, Friendly Senior Living was unable to proceed with its original plans and has put the property under contract with 2851 Clover, LLC, which now seeks approval for a modified multi-family development, utilizing essentially the same building as previously approved (with minor tweaks) as depicted on the concept plans submitted with this letter. One of the most important elements of this development is compatibility with the Cloverwood community, without being competitive.

Reverting back to heavy traffic commercial development at this important gateway to the Pittsford residential core south on Clover Street and east on Tobey Road toward Mendon Road is not desirable. Also, given all the work which was done by Friendly Senior Living and the various review Boards at the Town, the fundamental design of the building (with a slightly smaller footprint) has been kept intact.

The overall proposed residential development contemplates approximately 191 high-quality dwelling units. One of the key features of the development is enclosed parking underneath the residential units, which not only provides enhanced security and protection for residents and their vehicles, but also minimizes external surface parking with the net effect of maximizing green space on the site. The development site will maintain landscaping similar to that previously approved and will be framed by that existing and enhanced landscaping providing an attractive viewshed from the Clover Street and Jefferson Road intersection.

Not unexpectedly, the redevelopment of this portion of the Tobey PUD has not been specifically addressed by the Town of Pittsford 1995, 2009 and 2019 Comprehensive Plan updates, since the property was already developed and specifically analyzed through the PUD process. Nonetheless, the Town, in its 2009 Comprehensive Plan has reinforced "the need to ensure that a diversity of housing is possible in the Town of Pittsford", which this plan accomplishes. The 2019 Comprehensive Plan further states as one of its Policies in furtherance of Goal #1 (Community character) of the Plan is to allow "for diversification of housing stock within the Town to accommodate shifting preferences".

Pittsford Oaks (as the community is branded) is designed to be environmentally sensitive. It only uses a minimal amount of undeveloped land. The distinctive "H" shape creates uniquely different spaces, which include two courtyard areas (in the north and the south). The project includes resident parking below the living units providing a greater sense of security for the residents. Parking will be ample but limited to what is needed, thus resulting in decreased pavement and reduced impervious area. The existing site has its challenges related to elevation change across the site. The plan addresses this situation by eliminating units from certain wings or lowering the wing in its entirety. Common open space is to be owned and maintained by the development in accordance with traditional high standards.

Friendly Senior Living's Cloverwood community is located immediately south of this project and is wonderfully successful in meeting the housing and service needs of our seniors. While Friendly Senior Living has "affordable housing" at its Linden Knoll community, the Cloverwood campus (and this site) may not readily accommodate a true affordable housing component, which in our current marketplace is only attainable and sustainable through tax credit financing approved at the state level. Friendly Senior Living looks to have a compatible (and not directly competitive) project as its northerly neighbor.

APPROVAL PROCESS

On May 11, we presented this proposal generally and informally at the Town Board's regular meeting. Since that time, we have refined the proposal addressing comments received from the Town Board at that meeting, from Town staff and from the public at a neighborhood information meeting earlier in the Spring. After receiving community and Town Board comments we feel that we are now ready to embark on the formal approval process.

The formal process begins with the filing of this letter along with the sketch plan prepared by Passero Associates. In addition, we are filing Part 1 of the Full Environmental Assessment Form (prepared by Passero) for the mandated environmental review under the

State Environmental Quality Review Act, together with additional engineering supplements. Finally, conceptual architectural plans are included in this package.

We look forward to making a short presentation to the Town Board at its November 21 meeting and are hopeful that the Town Board will (1) accept the application and (2) declare the Town's Board's intent to act as lead agency for review under the State Environmental Review Act (SEQR) and (3) refer the application to the Planning Board (mandated under Town Code) for an advisory report. Upon receipt of the Planning Board's report, a public hearing will be scheduled on the application.

If any Board member has questions at any time, please do not hesitate to contact me.

As always, thank you very much for your courtesy.

Very truly yours,

WOODS OVIATT GILMAN LLP



Jerry A. Goldman

Please direct responses to Rochester Office

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres Includes Cloverwood

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____

- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
See Traffic Study

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n.. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ _____ _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe: _____ _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No	
j. Is the project site in the 100 year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
k. Is the project site in the 500 year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Name of aquifer: _____	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____</p>	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

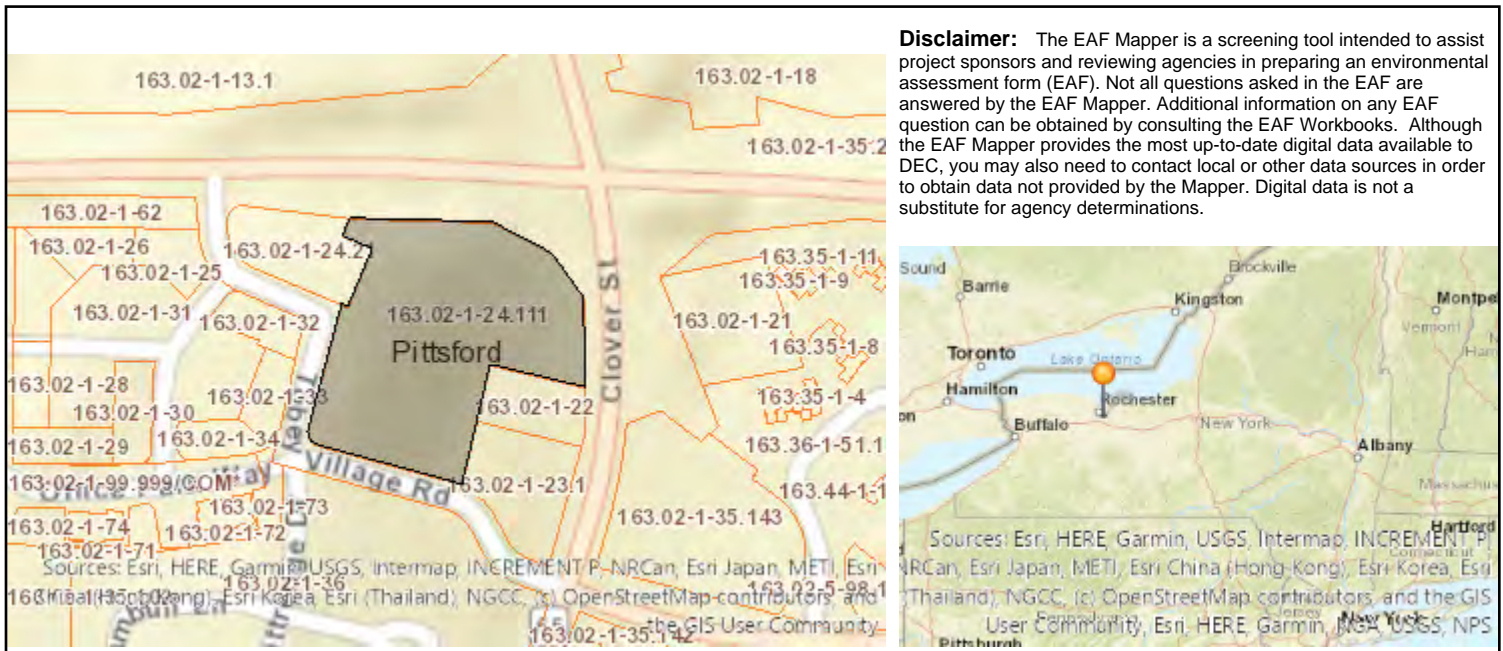
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature  _____ Title _____



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:2867 Clover Street No nearby structures listed on National Register
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

Authorization

We hereby authorize 2851 Clover, LLC, their attorneys, Woods Oviatt Gilman, LLP (Jerry A. Goldman, Esq.) and their design professionals, Passero Associates, to file applications for governmental approvals for a residential community on our property located at the southwest corner of Jefferson Road and Clover Street.

Friendly Senior Living Commons, LLC

By: Glen Cooper
Glen Cooper, President and CEO

Date: 10/31/23

MEMORANDUM

TO: Town of Pittsford

FROM: David Cox, PE

DATE: NOVEMBER 8, 2023

RE: Pittsford Oaks PUD Comparison

The 300 Tobey Village Road property received approval for a senior living apartment building (Terraces at Cloverwood). This received approval under a PUD. The proposed project (Pittsford Oaks) is very similar to the last plan except for being a market rate apartment project. The following compares the differences between the two plans.

Project components	Terraces at Cloverwood	Pittsford Oaks
Total project area	8 acres	8 acres
Use	Senior apartments	Residential apartments
Jefferson Rd Setback	65'	65'
Clover St. Setback	110'	110'
Tobey Village Road Setback	20'	20'
2864 Clover St Setback	30'	30'
Max Building Height	3 stories over parking	3 stories over parking
Building footprint sf	70,209 sf	69,812 sf
Apartment units allowed	115	191
Parking spaces	158 (1.37 Sp/Unit)	282 (1.48 Sp/Unit)
Impervious area	2.8 ac	2.8 ac
Project disturbance	5.93 ac	5.91 ac

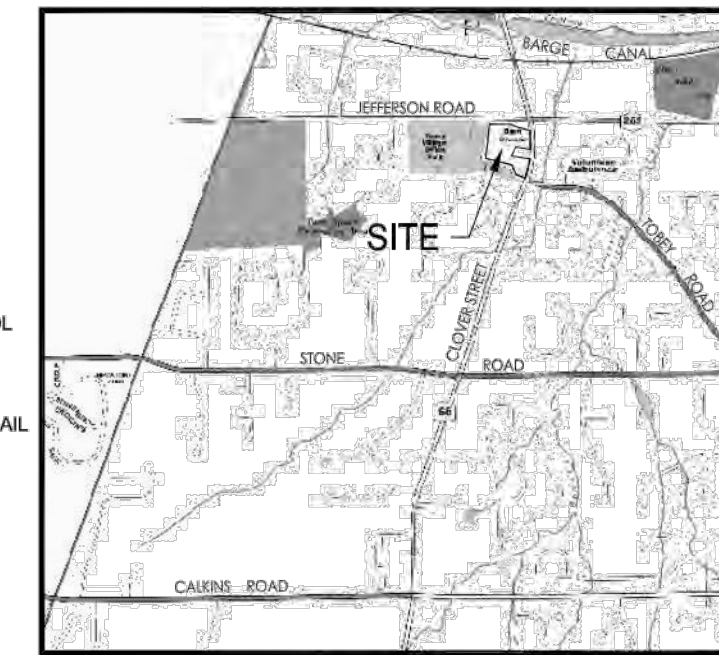
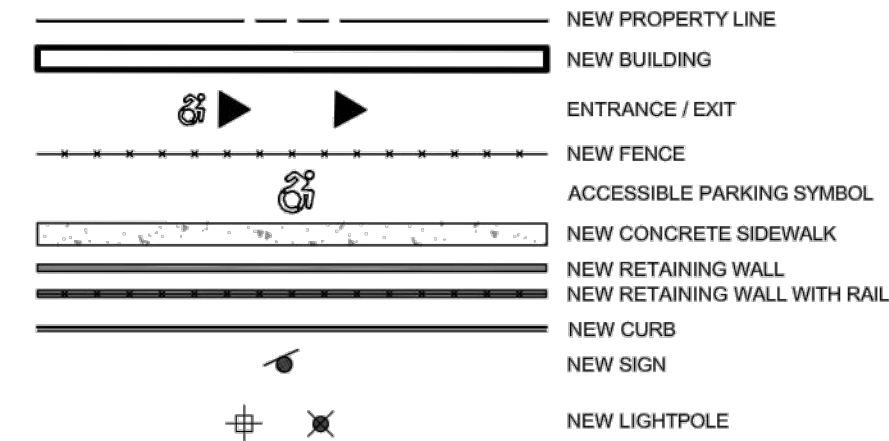
Both plans are substantially similar with building size, geometry, height. Access roads and fire lanes are also substantially similar. Stormwater management areas are in the same locations. Given all the information listed the two projects are in substantial conformance with each other.

STATE ROUTE 252

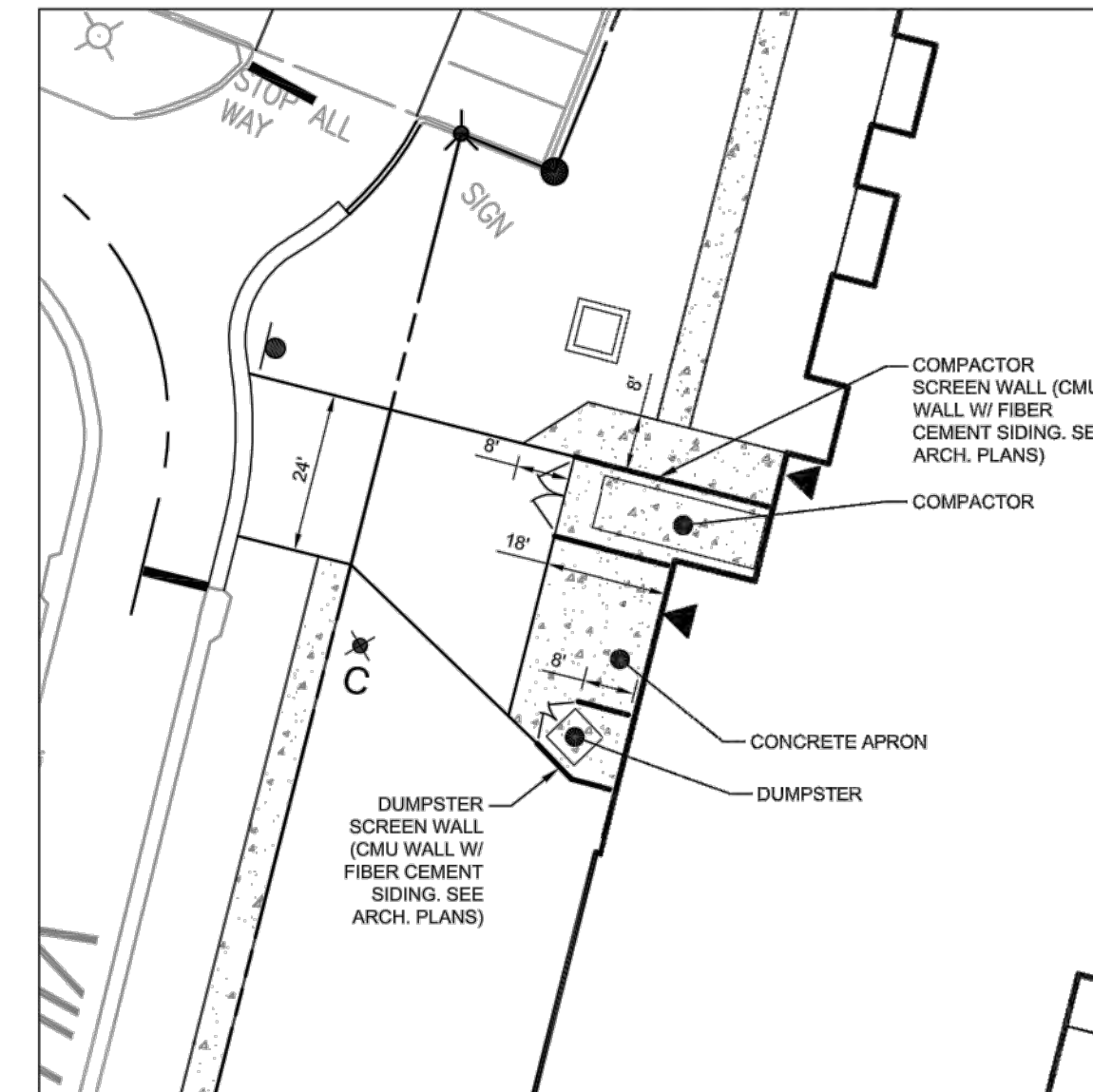
(WIDTH VARIES)

WEST JEFFERSON ROAD

LEGEND



LOCATION SKETCH N.T.S.



SERVICE AREA ENLARGEMENT SCALE: 1"=20'

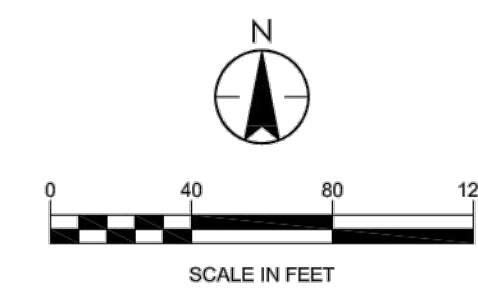
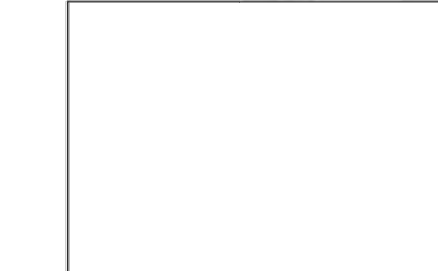
SITE DATA:

- 1. PROJECT AREA: PARCEL 8 (B): +/- 5.333 ACRES; PARCEL 12 (CLOVER @ TOBEY VILLAGE ROAD): +/- 1.157 ACRES; SOUTH PARCEL: +/- 1.5 ACRES; TOTAL PROJECT AREA: +/- 8 ACRES. 2. TAX PARCEL ID NUMBERS: PARCEL 8 (B): 183.02-1-24.111; PARCEL 12 (CLOVER @ TOBEY VILLAGE ROAD): 183.02-1-23.1; SOUTH PARCEL: 183.02-1-38. 3. ZONING: TOBEY PLANNED UNIT DEVELOPMENT (TOBEY PUD). 4. REQUIRED BUILDING SETBACKS: FRONT YARD: JEFFERSON ROAD ROW: = 65 FT.; CLOVER STREET (ROW TRANSITION): = 110 FT.; TOBEY VILLAGE ROAD ROW: = 30 FT.; (REAR PROPERTY LINE OF 2864 CLOVER ST.): = 30 FT. 5. MAXIMUM BUILDING HEIGHT: 3 STORIES OVER PARKING. 6. PROPOSED PARKING: INDEPENDENT LIVING USE: 1.0 SPACE / UNIT = 106 SPACES; RESIDENTS: = 52 SPACES; VISITORS/STAFF: = 58 SPACES; TOTAL = 158 SPACES. 7. PROJECT IMPERVIOUS AREA: PARCEL 8 (B): EXISTING +/- 2.8 ACRES, PROPOSED +/- 2.4 ACRES; PARCEL 12 (CLOVER @ TOBEY VILLAGE ROAD): EXISTING +/- 0.0 ACRES, PROPOSED +/- 0.03 ACRES; SOUTH PARCEL: EXISTING +/- 0.1 ACRES, PROPOSED +/- 0.35 ACRES. 8. PROJECT DISTURBANCE AREA: PARCEL 8 AND 12: +/- 4.92 ACRES; SOUTH PARCEL: +/- 1.01 ACRES; TOTAL PROJECT AREA: +/- 5.93 ACRES.

SITE NOTES:

- 1. SEE LANDSCAPE PLAN FOR LIMITS OF SPECIALTY PAVEMENTS & SURFACE FEATURES. 2. TOWN OF PITTSFORD CODE ENFORCEMENT OFFICERS CAN REQUIRE SHIELDING OF LIGHT FIXTURES WHERE THE GLARE OF THE LIGHT SOURCE IS VISIBLE FROM PRIVATE PROPERTY OR PUBLIC WAYS. 3. SEE DRAWING CS 101 FOR SIGNAGE AND STRIPING INFORMATION.

TOWN PLANNING BOARD



BY: TOWN ENGINEER DATE: BY: TOWN OF PITTSFORD COMMISSIONER OF PUBLIC WORKS DATE:

SWBR

387 East Main Street Rochester NY 14604 585.232.8301 | info@swbr.com

Stantec

41 Commercial Street, Suite 100 Rochester, New York 14614 585.476.1440 www.stantec.com

Drawn By: AS Checked By: MDM Project Manager: TMP

These documents and all the files, arrangements, groups and items indicated therein or attached hereto are owned by and remain the property of SWBR and no part thereof shall be released to any person, firm or corporation for any purpose whatsoever without the specific written permission of SWBR. All rights reserved. ©

Revisions

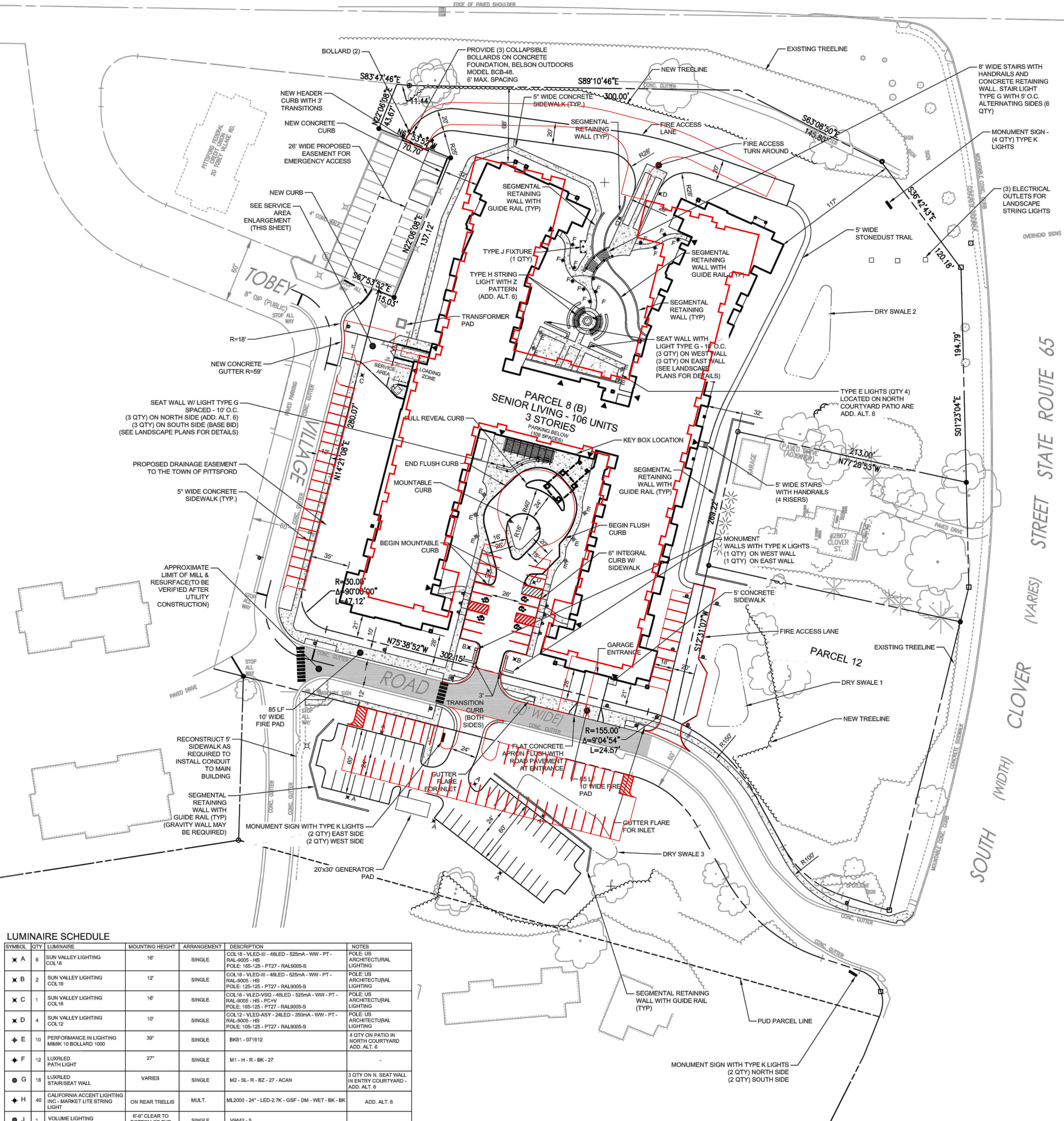
REV. PER TOWN COMMENTS 2018.10.23

Terraces at Cloverwood 300 Tobey Village Road Pittsford, NY SWBR Project Number 17585.00

Friendly Senior Living 3155 East Avenue Rochester, NY 14614

CS 100 Site Plan

10/31/19 100% Construction Documents



LUMINAIRE SCHEDULE table with columns: SYMBOL, QTY, LUMINAIRE, MOUNTING HEIGHT, ARRANGEMENT, DESCRIPTION, NOTES. Includes items like SUN VALLEY LIGHTING COL18, PERFORMANCE IN LIGHTING, LUXRIED PATH LIGHT, LUXRIED STAIR/SEAT WALL, CALIFORNIA ACCENT LIGHTING, VOLUME LIGHTING PENDANT LAMP, and LUMENPULSE SIGN SPOT LIGHT.

LIGHTING NOTES: 1. ALL LIGHTS LED 3000K MAX 2. ALL LIGHTS (EXCEPT TYPE C) WILL BE TIMER CONTROLLED

ABBREVIATION TABLE	
BLDG.	BUILDING
CL.F.	CHAIN LINK FENCE
CONC.	CONCRETE
E.O.P.	EDGE OF PAVEMENT
MEAS.	MEASURES
R.O.W.	RIGHT OF WAY
STK.	STOCKADE FENCE

LEGEND	
⊠	CATCH BASIN
⊞	CLEANOUT (UNKNOWN TYPE)
⊞	CLEANOUT DRAINAGE SEWER
⊞	CLEANOUT SANITARY SEWER
⊞	END SECTION DRAINAGE PIPE
⊞	GAS VALVE
⊞	HYDRANT
⊞	LIGHT POLE
⊞	MANHOLE (UNKNOWN TYPE)
⊞	MANHOLE ELECTRIC
⊞	MANHOLE DRAINAGE INLET
⊞	MANHOLE DRAINAGE SEWER
⊞	MANHOLE SANITARY SEWER
⊞	SIGN POST (SINGLE)
⊞	TRAFFIC LIGHT SPAN POLE
⊞	TREE CONIFEROUS
⊞	TREE DECIDUOUS
⊞	UTILITY POLE
⊞	UTILITY POLE ANCHOR WIRE
⊞	UTILITY POLE WITH LIGHT
⊞	WATER SERVICE
⊞	WATER VALVE

- REFERENCE:
- NEW YORK STATE DEPARTMENT OF PUBLIC WORKS PLAN AS-BUILT FOR RECONSTRUCTING A PORTION OF THE PITTSFORD-NORTH HENRIETTA COUNTY HIGHWAY NO. 497, RECONSTRUCTION CONTRACT NO. 1982, DATED 1930
 - MAP PREPARED BY STANTEC ENTITLED "RE-SUBDIVISION OF THE CLOVERWOOD SUBDIVISION" FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 354 OF MAPS, PAGE 51.
 - MAP PREPARED BY SEAR BROWN ENTITLED "CLOVERWOOD SENIOR LIVING FACILITY, FINAL SUBDIVISION PLAN" FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 317 OF MAPS, PAGE 45.
 - MAP PREPARED BY STANTEC ENTITLED "RYAN-CLOVER STREET PROPERTY SUBDIVISION MAP" FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 330 OF MAPS, PAGE 96.
 - MAP PREPARED BY STANTEC ENTITLED "RYAN-CLOVER STREET PROPERTY RESUBDIVISION MAP" FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 354 OF MAPS, PAGE 92.
 - MAP PREPARED BY SEAR BROWN ENTITLED "PARK SQUARE SECTION 1" FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 225 OF MAPS, PAGE 17.
 - MAP PREPARED BY DENLUCK-HYDE ENGINEERING AND SURVEYING ENTITLED "MAP OF A RESUBDIVISION OF LOT R71 OF THE STONEY CLOVER SUBD" FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 230 OF MAPS, PAGE 31.
 - MAP PREPARED BY THOMAS B SEAR L.S. ENTITLED MAP SHOWING A RESUBDIVISION OF THE STONEY CLOVER LANE SUBDIVISION" FILE IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 135 OF MAPS, PAGE 92
 - MAP PREPARED BY SEAR BROWN ASSOCIATES PC ENTITLED "PHASE II TOBEY VILLAGE OFFICE PARK EASEMENT AND MORTGAGE PLAN" ON FILE WITH THE MONROE COUNTY CLERK AT NR MAP 1983-19.

SURVEY NOTES:

- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM N.A.D. 27 (ADJ. 1938), TRANSVERSE MERCATOR PROJECTION, WESTERN ZONE.
- DISTANCES SHOWN HEREON ARE GROUND DISTANCES. BEARINGS AND COORDINATES ARE REFERENCED TO GRID.
- SURVEY FIELD WORK ON THIS SURVEY WAS DONE TO AN ACCURACY GREATER THAN ONE PART IN 20,000, (1:20,000), USING MONUMENTS REFERENCED HEREON.

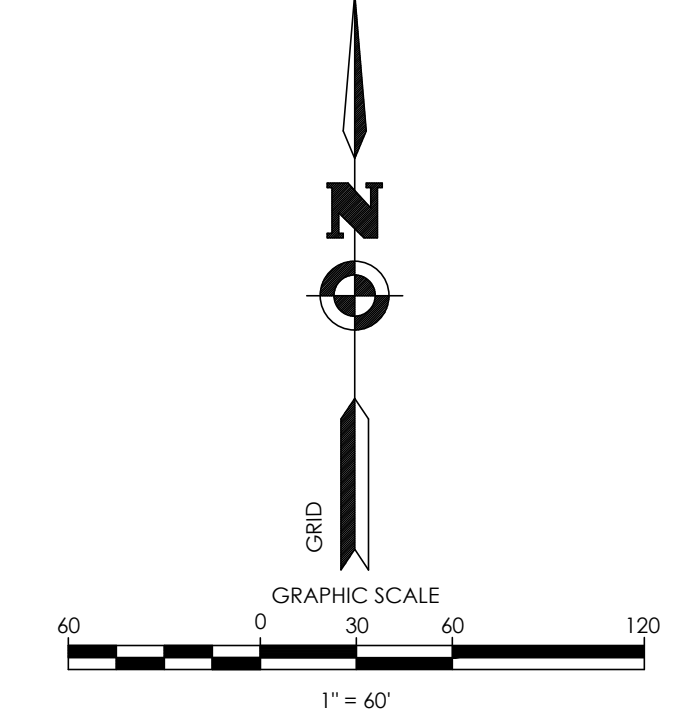
NYCS MONUMENT 048-7R (1938)
 NORTHING 1,123,840.92 (RECORD NAD 27)
 EASTING 777,247.34 (RECORD NAD 27)

NYCS MONUMENT 124 (NOT RECOVERED, ASSUMED DESTROYED DUE TO RECENT CONSTRUCTION)

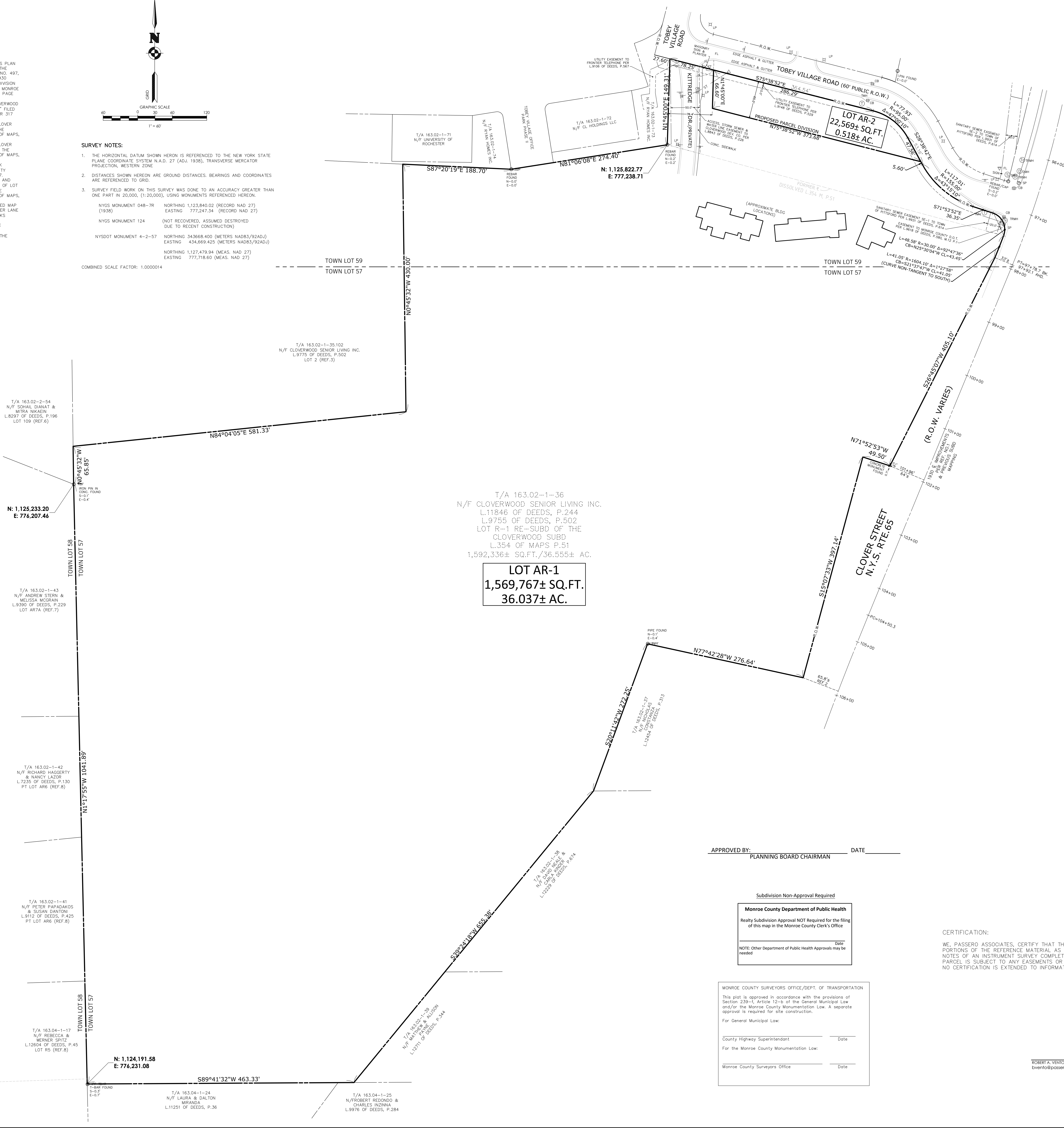
NYSDOT MONUMENT 4-2-57
 NORTHING 34,366.400 (METERS NA083/92ADJ.)
 EASTING 434,669.425 (METERS NA083/92ADJ.)

NORTHING 1,127,479.94 (MEAS. NAD 27)
 EASTING 777,718.60 (MEAS. NAD 27)

COMBINED SCALE FACTOR: 1.0000014



ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL INKED OR EMBOSSED SEAL AND INKED SIGNATURE SHALL BE CONSIDERED A TRUE AND VALID COPY. CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE AGENCIES LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



T/A 163.02-1-36
 N/F CLOVERWOOD SENIOR LIVING INC.
 L.11846 OF DEEDS, P.244
 L.9755 OF DEEDS, P.502
 LOT R-1 RE-SUBD OF THE
 CLOVERWOOD SUBD
 L.354 OF MAPS P.51
 1,592,336± SQ.FT./36.555± AC.

APPROVED BY: _____ DATE: _____
 PLANNING BOARD CHAIRMAN

Subdivision Non-Approval Required

Monroe County Department of Public Health
 Realty Subdivision Approval NOT Required for the filing of this map in the Monroe County Clerk's Office

NOTE: Other Department of Public Health Approvals may be needed

MONROE COUNTY SURVEYORS OFFICE/DEPT. OF TRANSPORTATION

This plat is approved in accordance with the provisions of Section 239-1, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For General Municipal Law:

County Highway Superintendent _____ Date _____
 For the Monroe County Monumentation Law:

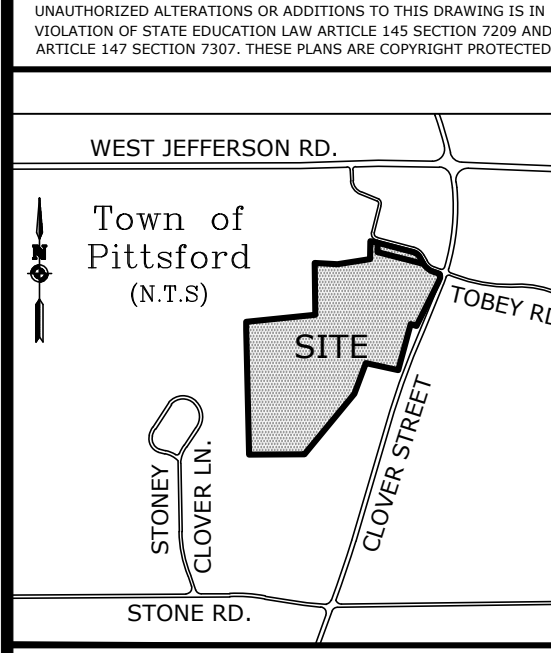
Monroe County Surveyors Office _____ Date _____

CERTIFICATION:

WE, PASSERO ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED USING PORTIONS OF THE REFERENCE MATERIAL AS LISTED HEREON AND FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED OCTOBER 3, 2023. THIS PARCEL IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES OF RECORD. NO CERTIFICATION IS EXTENDED TO INFORMATION NOT REFERENCED.

ROBERT A. VENTO N.Y.S.P.L.S. NO. 049701
 rventol@passero.com

Revisions		
No.	Date	Description



Passero Associates
 281 MONROE AVE.
 ROCHESTER, NY 14618
 (518) 255-1000
 Fax: (518) 760-8500
 Principal-in-Charge: Daniel L. Gora, PE
 Project Manager: Robert A. Vento, PLS
 Drafted by: Alan J. Snyder, PLS

Client: DANIELE FAMILY COMPANIES
 2851 MONROE AVE.
 ROCHESTER, NY, 14618

RESUBDIVISION OF
 LOT R-1 OF THE
 CLOVERWOOD
 RESUBDIVISION OF
 LOT 1

PT. TOWN LOTS 57 & 59, TWP. 12, RANGE 5
 OF THE PHILES & GORHAM PURCHASE
 TOWN OF PITTSFORD, MONROE COUNTY,
 NEW YORK STATE

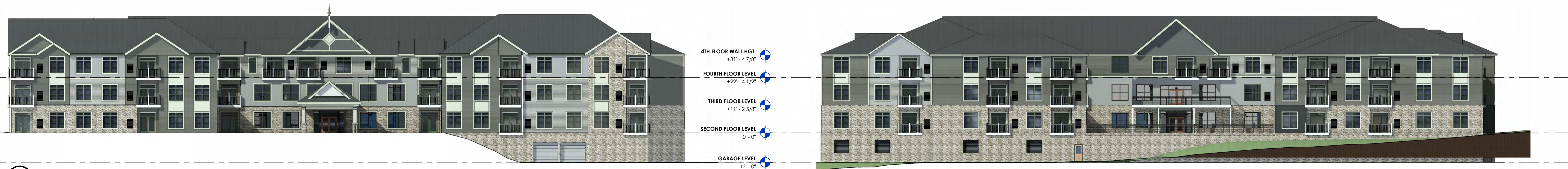
Project No: 20233554.0001

Drawing No: SUB-1 Sheet No: 1 of 1

Scale: 1" = 60'
 Date: OCTOBER 2023



1 EAST ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



2 SOUTH ELEVATION
 0' 4' 8' 16' 32'
 1/16" = 1'-0"

3 NORTH ELEVATION
 0' 1' 2' 4' 8'
 1/16" = 1'-0"



4 SOUTH ELEVATION WEST WING
 0' 4' 8' 16' 32'
 1/16" = 1'-0"



5 COURTYARD SOUTH ELEVATION
 0' 4' 8' 16' 32'
 1/16" = 1'-0"



6 SOUTH ELEVATION EAST WING
 0' 4' 8' 16' 32'
 1/16" = 1'-0"

October 31, 2023

20233554.0001

PITTSFORD OAKS DEVELOPMENT

TOWN OF PITTSFORD, NY

PREPARED FOR:
Daniele Family Companies
2851 Monroe Ave
Rochester, NY 14618

Please note that SRF Associates has moved, and we are now with Passero Associates

October 31, 2023

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October 31, 2023

1.0 EXECUTIVE SUMMARY

The purpose of this report is to evaluate the potential traffic impacts related to the proposed Pittsford Oaks development located on the former Barn Bazaar site in the Town of Pittsford, NY. Within this report, the operating characteristics of the proposed access points and impacts to the adjacent roadway network are evaluated and mitigating measures are identified (if needed) to minimize operational concerns.

To define traffic impact, this analysis establishes existing baseline traffic conditions, projects background traffic flow including area growth, and determines the traffic operations that would result from the proposed project.

Project Location and Description

The project site is located on the site of the former Barn Bazaar within the Tobey Village Office Park near the southwest corner of the Jefferson Rd/Clover St intersection in the Town of Pittsford, Monroe County, NY. The project site is bounded by the Jefferson Rd to the north, a residential single family home and Clover St to the east, Tobey Village Rd to the south and west. The project site is currently occupied by the vacant Barn Bazaar building. The land uses in the vicinity of the project site include primarily commercial and residential uses.

The proposed Pittsford Oaks development consists of razing the existing Barn Bazaar building and related surface parking to construct a 3-story residential building with associated underground and surface lot parking. The ±289,673 SF building will provide 191 apartment units and 213 underground parking spaces. An additional 99 surface parking spaces will also be provided.

Access to the site will continue to be provided via the existing Jefferson Rd/Tobey Village Rd and Clover St/Tobey Village Rd intersection.

Study Area

To ensure a comprehensive analysis of potential traffic impacts, a study area was determined consisting of the following intersections:

- Jefferson Rd/Tobey Village Rd-YMCA Driveway
- Jefferson Rd/Clover St
- Clover St/Tobey Village Rd-Tobey Rd

The project site location and study area are illustrated in **Figure 1** (all figures are included at the end of this report).

Existing and Background Conditions

Turning movement traffic counts were collected by Passero Associates on Tuesday, May 2, 2023 and Thursday May 4, 2023 at the three study intersections. Traffic counts were conducted between 7:00-9:00 AM for the weekday AM peak period and 4:00-6:00 PM for the weekday PM peak period. The peak hour traffic periods generally occurred from 7:45-8:45 AM and 4:45-5:45 PM.

Construction of the proposed project is anticipated to reach full build-out within approximately two years. Widely accepted methodology for preparing traffic impact studies requires that any projects in the study area that are currently approved and/or under construction must be considered in the traffic analysis. Projects that are contemplated but not yet approved are not included in a traffic analysis. Local municipal personnel were contacted to discuss any other specific projects that are currently approved or under construction that would generate additional traffic in the study area. A continuing housing development along Clover St was identified. Anticipated traffic volumes generated by this land use are included in the growth rate.

October 31, 2023

A review of available historical NYSDOT traffic volume data in the vicinity of the site indicates that traffic has decreased between 2010 and 2019. To account for normal increases in background traffic growth, including the continuing housing development and any unforeseen developments in the study area, a growth rate of 0.75% was applied to the existing traffic volumes.

Conclusions and Recommendations

This Traffic Impact Study identified and evaluated the potential traffic impacts that can be expected from the proposed Pittsford Oaks development located on the former Barn Bazaar site in the Town of Pittsford, NY. The results of this study determined that the existing transportation network can adequately accommodate the projected traffic volumes and resulting minor impacts to study area intersections. The following sets forth the conclusions and recommendations based upon the results of the analyses:

Conclusions

1. Based on the results of crash analysis, there are no inherent safety deficiencies at any of the study intersections.
2. The proposed project is expected to generate approximately 20 entering/62 exiting vehicle trips during the AM peak hour and 65 entering/38 exiting vehicle trips during the PM peak hour.
3. The existing Barn Bazaar building, when fully occupied, generated more traffic than the proposed development is projected to generate during the AM and PM peak hours.
4. The detailed analysis contained in this Traffic Impact Study demonstrates the proposed project will not result in any potentially significant adverse environmental impacts for the purpose of the environmental review of the project pursuant to the State Environmental Quality Review Act ("SEQRA").

Recommendation

5. In order to mitigate the left turn crash patterns at the Jefferson Rd (NY-252)/Clover St (NY-65) intersection in the northbound and eastbound direction, it is recommended that NYSDOT considers installing flashing yellow arrows for the permitted left turn phases for at least those approaches.

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2.0 INTRODUCTION

2.1 Study Purpose and Objectives

The purpose of this report is to evaluate the potential traffic impacts related to the proposed Pittsford Oaks development located on the former Barn Bazaar site in the Town of Pittsford, NY. Within this report, the operating characteristics of the proposed access points and impacts to the adjacent roadway network are evaluated and mitigating measures are identified (if needed) to minimize operational concerns.

To define traffic impact, this analysis establishes existing baseline traffic conditions, projects background traffic flow including area growth, and determines the traffic operations that would result from the proposed project.

2.2 Project Location

The project site is located on the site of the former Barn Bazaar within the Tobey Village Office Park near the southwest corner of the Jefferson Rd/Clover St intersection in the Town of Pittsford, Monroe County, NY. The project site is bounded by the Jefferson Rd to the north, a residential single family home and Clover St to the east, Tobey Village Rd to the south and west. The project site is currently occupied by the vacant Barn Bazaar building. The land uses in the vicinity of the project site include primarily commercial and residential uses.

2.3 Study Area

To ensure a comprehensive analysis of potential traffic impacts, a study area was determined consisting of the following intersections:

- Jefferson Rd/Tobey Village Rd-YMCA Driveway
- Jefferson Rd/Clover St
- Clover St/Tobey Village Rd-Tobey Rd

The project site location and study area are illustrated in **Figure 1** (all figures are included at the end of this report).

3.0 TRANSPORTATION SETTING

3.1 Description of Study Area Roadways

The information outlined in **Table 1** provides a description of the existing roadway network within the study area. **Figure 2** illustrates the lane geometry and traffic control at each of the study intersections and the Annual Average Daily Traffic (AADT) volumes on the study roadways. The AADTs reflect the most recently collected data obtained from the NYSDOT.

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Table 1: Existing Highway System

ROADWAY	CLASS ¹	AGENCY ²	SPEED LIMIT ³	TRAVEL LANES ⁴	ORIENTATION OF TRAVEL	AADT ⁵
Jefferson Rd (NY-252)	16	NYSDOT	45	2	Two-way/ East-West	17,803 NYSDOT (2019)
Clover St (NY-65)	16	NYSDOT	50	2	Two-way/ North-South	20,957 NYSDOT (2019)

Notes:

1. State functional classification of roadway
2. Jurisdictional agency of roadway.
3. Posted or statewide limit in miles per hour (mph).
4. Number of travel lanes. Excludes turning/auxiliary lanes developed at intersections.
5. Estimated AADT in vehicles per day (vpd). AADT source (Year).

The Highway Functional Classification System defines the role a roadway plays in the overall road network. Functional classification of highways within the study area is determined by the NYSDOT and the Federal Highway Administration (FHWA).

Urban Minor Arterial (Class 16)

An urban minor arterial provides service for trips of moderate length, serve geographic areas that are smaller than higher arterial roadways, and offer connectivity to higher arterial systems. These roadways distribute traffic to smaller geographic areas, provide more land access without disrupting neighborhood access, and provide urban connections for rural collectors.

3.2 Description of Multimodal Network

Table 2 summarizes the traffic controls, pedestrian, bicycle, and transit accommodations within the study area.

Table 2: Multimodal Network

ROADWAY/ INTERSECTION	TRAFFIC CONTROL	PEDESTRIAN	BICYCLE	TRANSIT
Jefferson Rd (NY-252)/ Tobey Village Rd-YMCA Driveway	Signalized	There are sidewalks along the north side of Jefferson Rd on both sides of the intersection. There is sidewalk along the east side of the YMCA driveway. There are no pedestrian facilities along Tobey Village Rd. There are marked crosswalks on all four approaches and the signal provides pedestrian indications and push buttons on all four legs of the intersection.	There are no bicycle facilities at this intersection, but cyclists are permitted to share the road on all approaches.	There are no transit routes through this intersection.
Jefferson Rd (NY-252)/ Clover St (NY-65)	Signalized	There are sidewalks along the north side of Jefferson Rd on both sides of the	There are no bicycle facilities at this intersection, but cyclists are permitted to	There are no transit routes through this intersection.

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ROADWAY/ INTERSECTION	TRAFFIC CONTROL	PEDESTRIAN	BICYCLE	TRANSIT
		intersection. North of Jefferson Rd there is sidewalk along the west side of Clover St; south of Jefferson Rd there is sidewalk on both sides of Clover St. There are marked crosswalks on all four approaches and the signal provides pedestrian indications and push buttons on all four legs of the intersection.	share the road on all approaches.	
Clover St (NY-65)/ Tobey Rd-Tobey Village Rd	Signalized	There is sidewalk along the west side of Clover St between Jefferson Rd and ending at the north side of Tobey Village Rd. The signal provides pedestrian indications and push buttons on the north, east, and west legs of the intersection however only the north leg has a marked crosswalk.	There are no bicycle facilities at this intersection, but cyclists are permitted to share the road on all approaches.	There are no transit routes through this intersection.

3.3 Planned/Programmed Highway Improvements

There are no planned highway improvement projects in the study area.

4.0 EXISTING CONDITIONS ANALYSIS

4.1 Peak Intervals for Analysis

Given the functional characteristics of the corridors, adjacent land uses, and the proposed land use for the project site, the peak hours selected for analysis are the weekday commuter AM and PM peak periods. The combination of site traffic and adjacent street traffic produces the greatest demand during these time periods.

4.2 Existing Traffic Volume Data

Turning movement traffic counts were collected by Passero Associates on Tuesday, May 2, 2023 and Thursday May 4, 2023 at the three study intersections. Traffic counts were conducted between 7:00-9:00 AM for the weekday AM peak period and 4:00-6:00 PM for the weekday PM peak period. The peak hour traffic periods generally occurred from 7:45-8:45 AM and 4:45-5:45 PM. The peak hour traffic periods generally occurred from 7:15-8:15 AM and 4:30-5:30 PM. The existing peak hour traffic volumes are shown in **Figure 3A**.

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All turning movement count data was collected on a typical weekday while local schools were in session. No adverse weather conditions impacted the traffic counts. The traffic volumes were reviewed for seasonality and to confirm the accuracy and relative balance of the collective traffic counts. The actual differences in traffic volumes can be attributed to temporal variations in traffic volumes as well as activity related to driveways located in the segments between the study intersections. Traffic volumes were adjusted where necessary to achieve an appropriate balance between intersections where no driveways are present. The balanced peak hour traffic volumes are shown in **Figure 3B**.

4.3 Field Observations

The study intersections were observed during peak intervals to assess current traffic operations. Signal timing and phasing information was obtained from the NYSDOT to determine peak hour phasing plans and phase durations during each interval at the signalized intersections within the study area. This information was used to support and/or calibrate the capacity analysis models described in detail later in this report.

4.4 Existing Crash Analysis

The purpose of this crash analysis is to identify inherent safety issues by studying and quantifying historical crashes at the study intersections and identifying potential crash patterns and clusters.

A crash cluster is defined as an abnormal occurrence of similar crash types occurring at approximately the same location or involving the same geometric features. The severity of the crashes should also be considered. A history of crashes is an indication that further analysis is required to determine the cause(s) of the crash(es) and to identify what actions, if any, could be taken to mitigate the crashes.

A crash investigation within the study area was conducted to assess the safety history from January 1, 2018, through December 31, 2022. The data was provided by the New York State Department of Motor Vehicles through a Freedom of Information (FOIL) request. It should be noted that a signal was installed in 2019 at the Jefferson Rd/Tobey Village Rd-YMCA Driveway intersection and any crashes prior to that are excluded from this analysis. Also, that crash rate calculation for this intersection was adjusted for a two year timeframe instead of five years.

Reportable (non-injury, injury, and fatal injury) type crashes are defined as damage to one person’s property in the amount of \$1,001 or more. The Non-Reportable type crashes result in property damage of \$1,000 or less. Crash rates were computed for the study intersections and compared with NYSDOT average crash rates for similar intersections, as summarized in **Table 3**. Intersection rates are listed as crashes per million entering vehicle (CR/MEV). Pertinent crash data is provided in the Appendices.

Table 3: Existing Crash Rates

INTERSECTION	TOTAL CRASHES	NUMBER OF ENTERING VEHICLES	ACTUAL CRASH RATE	STATEWIDE AVERAGE CRASH RATE
Jefferson Rd (NY-252)/Tobey Village Rd-YMCA Driveway	3	21,611	0.19	0.26
Jefferson Rd (NY-252)/Clover St (NY-65)	81	35,758	1.24	0.26
Clover St (NY-65)/Tobey Rd-Tobey Village Rd	20	21,211	0.52	0.56

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Notable crash clusters are approaches with three or greater identifiable consistent crash types.

1. Jefferson Rd (NY-252)/Tobey Village Rd-YMCA Driveway

As shown in Table 3, the study intersection has a crash rate that is lower than the statewide average crash rate for similar intersections. No discernible crash patterns exist; thus, no geometric improvements are recommended.

2. Jefferson Rd (NY-252)/Clover St (NY-65)

As shown in Table 3, the intersection has a crash rate that is approximately 4.77 times higher than the statewide average crash rate for similar intersections. The following crashes occurred: rear end (52), left turn (11), right angle (7), right turn (2), head on (1), sideswipe (5), backing (1), pedestrian/bicycle (1), and animal (1). The following crash patterns were reported:

- Left Turn
 - Northbound (four crashes)
 - Eastbound (four crashes)
- Rear End
 - Northbound (five crashes)
 - Southbound (three crashes)
 - Westbound (six crashes)

The reported rear end crashes (64%) are characteristic of moderate to heavily trafficked signalized intersections. The causes of the rear end crashes were generally due to driver inattention, driver error, unsafe speeds, or following too closely. The causes of the left turn crashes were generally due to failure to yield the right of way. In order to mitigate the left turn crash patterns in the northbound and eastbound direction, it is recommended that NYSDOT considers installing flashing yellow arrows for the permitted left turn phases for at least those approaches.

3. Clover St (NY-65)/Tobey Rd-Tobey Village Rd

As shown in Table 3, the study intersection has a crash rate that is lower than the statewide average crash rate for similar intersections. The following crash patterns were reported:

- Rear End
 - Northbound (five crashes)
 - Southbound (three crashes)
 - Westbound (six crashes)

The reported rear end crashes (70%) are characteristic of moderate to heavily trafficked signalized intersections. The causes of the rear end crashes were generally due to driver error or following too closely. Despite the number of crashes, no inherent safety deficiencies exist related to the geometric conditions of the intersection. No other discernible crash patterns exist; thus, no geometric improvements are recommended.

5.0 BACKGROUND (NO BUILD) CONDITIONS

Construction of the proposed project is anticipated to reach full build-out within approximately two years. Widely accepted methodology for preparing traffic impact studies requires that any projects in the study area that are currently approved and/or under construction must be considered in the traffic analysis. Projects that are contemplated but not yet approved are not included in a traffic analysis. Local municipal personnel were contacted to discuss any other specific projects that are currently approved or under construction that would generate additional traffic in the study

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area. A continuing housing development along Clover St was identified. Anticipated traffic volumes generated by this land use are included in the growth rate.

A review of available historical NYSDOT traffic volume data in the vicinity of the site indicates that traffic has decreased between 2010 and 2019. To account for normal increases in background traffic growth, including the continuing housing development and any unforeseen developments in the study area, a growth rate of 0.75% was applied to the existing traffic volumes. The background traffic volumes are depicted in **Figure 4**.

6.0 PROPOSED DEVELOPMENT CONDITIONS

6.1 Project Description

The proposed Pittsford Oaks development consists of razing the existing Barn Bazaar building and related surface parking to construct a 3-story residential building with associated underground and surface lot parking. The ±289,673 SF building will provide 191 apartment units and 213 underground parking spaces. An additional 99 surface parking spaces will also be provided.

Access to the site will continue to be provided via the existing Jefferson Rd/Tobey Village Rd and Clover St/Tobey Village Rd intersection. **Figure 5** illustrates the proposed site plan.

6.2 On-site Circulation and Parking

The project will construct three new surface parking lots and will also utilize an existing surface parking area. The southernmost parking lot will have two driveways along Tobey Village Rd and will provide 44 surface parking spaces opposite the main building entrance. Adjacent to the main building entrance there will be 10 surface parking spaces, including five ADA spaces, which will be accessed via one driveway along Tobey Village Rd that also includes a drop-off loop in front of the building. The second surface parking lot will be located adjacent to the west side of building and along the east side of Tobey Village Rd; this parking area will provide 16 spaces and will be accessed by two driveways along Tobey Village Rd. An existing surface lot containing 29 spaces will remain at the northwest corner of the site. The underground parking will be accessed via one driveway at the southeast corner of the building.

The proposed site development will include a new sidewalk along the north side of Tobey Village Rd beginning at Clover St (NY-65) and continuing west to the internal intersection at Kittredge Dr where there is sidewalk along the east side of Kittredge Dr ending at Tobey Village Rd. The new sidewalk will continue around the corner and along the east side of Tobey Village Rd along the property frontage where it will terminate at the northernmost surface parking driveway. Additionally a new sidewalk will be constructed along the south side of Tobey Village Rd connecting Kittredge Dr and the eastern parking lot driveway.

Two new crosswalks will be installed: one on the east leg of Tobey Village Rd at the Kittredge Dr intersection and one at the west side of the driveway to main building entrance to provide a crossing from the building to the southernmost surface parking lot.

6.3 Proposed Traffic Generation

The volume of traffic generated by a site is dependent on the intended land use and size of the development. Trip generation is an estimate of the number of trips generated by a specific building or land use. These trips represent the volume of traffic entering and exiting the development. The *Trip Generation Manual* (11th Edition) published by the Institute of Transportation Engineers (ITE) is used as a reference for this information. The trip rate for the peak hour of

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the generator may or may not coincide in time or volume with the trip rate for the peak hour of adjacent street traffic. Volumes generated during the peak hour of the adjacent street traffic and proposed land uses, in this case, the weekday commuter AM and PM peaks, represent a more critical volume when analyzing the capacity of the system; those intervals will provide the basis of this analysis.

Table 4 shows the total site generated trips that are added to the existing highway system for full development of the project. All trip generation information has been included in the Appendices.

Table 4: Site Generated Trips

DESCRIPTION	ITE LUC ¹	SIZE	AM PEAK HOUR		PM PEAK HOUR	
			ENTER	EXIT	ENTER	EXIT
Multifamily Housing (Low-Rise)	220	191 Units	20	62	65	38

Note:
1. LUC = Land Use Code.

The proposed project is expected to generate approximately 20 entering/62 exiting vehicle trips during the AM peak hour and 65 entering/38 exiting vehicle trips during the PM peak hour.

6.4 Trip Distribution

The cumulative effect of site-generated traffic on the transportation network is dependent on the origins and destinations of that traffic and the location of the access drives serving the site. The proposed arrival/departure distribution of traffic generated by the proposed project is considered a function of several parameters, including:

- Residential and Employment centers using U.S. Census Data
- Site layout and access locations
- Proximity and access to expressways and other main roadways
- Existing traffic patterns
- Existing traffic conditions and controls

Figure 6 shows the anticipated trip distribution pattern percentage for the project site. **Figure 7** illustrates the peak hour project site-generated traffic based on those percentages.

6.5 Full Development Volumes

Proposed design hour traffic volumes are developed for the peak hours by combining the background traffic conditions (**Figure 4**) and the new site-generated traffic volumes (**Figure 7**) to yield the traffic volumes under full development conditions. **Figure 8** illustrates the total peak hour volumes anticipated for the proposed project under full build-out conditions.

6.6 Comparison to Existing Building (Former Uses)

The Pittsford Oaks development will replace the existing Barn Bazaar building that formerly housed a variety of uses. For trip generation comparison purposes, the following uses were assumed: approximately ±16,000 SF of office space, ±19,000 SF of variety store, and an ±8,000 SF fine dining restaurant. **Table 5** provides a comparison of the former trip generation to the proposed trip generation. The existing Barn Bazaar building, when fully occupied, generated more traffic than the proposed development is projected to generate during the AM and PM peak hours.

Table 5: Site Generated Trip Comparison

DESCRIPTION	ITE LUC ¹	SIZE	AM PEAK HOUR		PM PEAK HOUR	
			ENTER	EXIT	ENTER	EXIT
General Office Building	710	16,000 SF	30	4	6	30
Variety Store	814	19,000 SF	32	26	65	62
Fine Dining Restaurant	931	8,000 SF	3	3	42	21
Total Former Site Generated Trips			65	33	113	113
Multifamily Housing (Low-Rise)	220	191 Units	20	62	65	38

Note:

2. LUC = Land Use Code.

7.0 TRAFFIC OPERATIONS AND ANALYSIS

7.1 Description of Capacity Analysis

Capacity analysis is a technique used for determining a measure of effectiveness for a section of roadway and/or intersection based on the number of vehicles during a specific time period. The measure of effectiveness used for the capacity analysis is referred to as a Level of Service (LOS). Levels of service are calculated to provide an indication of the amount of delay that a motorist experiences while traveling along a roadway or through an intersection. Since the most amount of delay to motorists usually occurs at intersections, capacity analysis focuses on intersections, as opposed to highway segments.

Six levels of service are defined for analysis purposes. They are assigned letter designations, from "A" to "F", with LOS "A" representing the conditions with little to no delay, and LOS "F" conditions with very long delays. Suggested ranges of service capacity and an explanation of levels of service are included in the Appendices. LOS "C" or better is desirable, but LOS "D" for signalized locations and LOS "E" for unsignalized locations are generally thresholds of acceptable operation during peak periods so long as the volume to capacity ratio (v/c) is below 1.0.

The standard procedure for capacity analysis of signalized and unsignalized intersections is outlined in the 2016 *Highway Capacity Manual* (HCM) published by the Transportation Research Board (TRB). Traffic analysis software, Synchro 11, which is based on procedures and methodologies contained in the HCM, was used to analyze operating conditions at study area intersections. The procedure yields a level of service based on the HCM as an indicator of how well intersections operate.

7.2 Capacity Analysis Results

Existing and background operating conditions during the peak study periods are evaluated to determine a basis for comparison with the projected future conditions. The future traffic conditions generated by the project were analyzed to assess the operation of the study area intersections. Capacity results for existing, background, and full development conditions are listed in **Table 6**. The discussion following the table summarizes capacity conditions. The detailed Synchro capacity analysis worksheets are contained in the Appendices.

INTERSECTION	2023				2025					
	EXISTING BASE CONDITIONS				BACKGROUND CONDITIONS				2025 FULL BUILD CONDITIONS	
		AM	PM		AM	PM		AM	PM	
1. Jefferson Rd/YMCA Dwy/Tobey Village Rd (S)										
EB Left - Jefferson Rd	A	5.4	A	6.7	A	5.6	A	6.8	A	6.8
EB Thru/Right - Jefferson Rd	A	3.6	A	7.0	A	3.6	A	7.1	A	7.2
WB Left - Jefferson Rd	A	8.1	A	7.2	A	8.3	A	7.1	A	8.1
WB Thru/Right - Jefferson Rd	A	9.4	B	10.6	A	9.8	B	10.6	B	10.6
NB Left - Tobey Village Rd	D	45.7	D	47.0	D	45.5	D	47.3	D	50.4
NB Thru/Right - Tobey Village Rd	C	22.7	B	14.2	C	22.6	B	14.1	B	10.4
SB Left/Thru - YMCA Dwy	E	66.9	F	83.2	E	66.9	F	83.9	E	85.9
SB Right - YMCA Dwy	B	13.6	B	10.3	B	13.3	B	10.3	B	10.3
Overall LOS	B	12.0	B	17.4	B	12.3	B	17.5	B	17.8
Volume-to-Capacity (v/c) Ratio		0.85		0.90		0.66		0.90		0.67
2. Jefferson Rd/Clover St (S)										
EB Left - Jefferson Rd	C	26.2	C	27.8	C	26.6	C	28.4	C	28.9
EB Thru/Right - Jefferson Rd	C	32.0	D	39.8	C	32.2	D	40.6	C	40.9
WB Left - Jefferson Rd	B	18.1	C	27.5	B	18.2	C	29.0	B	30.8
WB Thru/Right - Jefferson Rd	C	32.4	C	29.7	C	32.8	C	30.1	C	30.3
NB Left - Clover St	F	82.4	D	49.9	F	86.2	D	50.2	F	49.6
NB Thru/Right - Clover St	D	46.9	D	48.7	D	47.5	D	49.1	D	48.5
SB Left - Clover St	C	23.8	C	24.3	C	23.9	C	24.3	C	24.4
SB Thru/Right - Clover St	D	49.4	D	53.9	D	49.4	D	54.6	D	56.0
Overall LOS	D	44.3	D	42.0	D	45.1	D	42.6	D	43.0
Volume-to-Capacity (v/c) Ratio		1.01		0.85		1.03		0.86		1.03
3. Clover St/Tobey Rd/Tobey Village Rd (S)										
EB Left/Thru - Tobey Village Rd	D	40.8	D	50.8	D	40.2	D	50.6	D	53.2
EB Right - Tobey Village Rd	A	0.0	A	0.5	A	0.0	A	0.5	A	0.8
WB Left/Thru - Tobey Rd	D	42.4	D	47.8	D	41.8	D	47.6	D	48.8
WB Right - Tobey Rd	C	26.9	B	18.2	C	28.3	B	18.1	C	17.9
NB Left - Clover St	B	15.9	B	19.7	B	16.7	B	20.0	B	19.5
NB Thru/Right - Clover St	B	19.8	C	20.7	C	21.3	C	21.6	C	21.8
SB Left - Clover St	B	11.1	C	21.5	B	11.8	C	23.2	B	23.2
SB Thru/Right - Clover St	A	1.4	A	3.5	A	1.5	A	3.5	A	3.6
Overall LOS	B	17.9	B	16.1	B	18.9	B	16.7	B	16.9
Volume-to-Capacity (v/c) Ratio		0.92		0.82		0.93		0.82		0.93

Notes:

1. A(2.8) = Level of Service (Delay in seconds per vehicle)
2. NB = Northbound, SB = Southbound, EB = Eastbound, WB = Westbound
3. (S) = Signalized; (U) = Unsignalized
4. N/A = Approach does not exist and/or was not analyzed during this condition
5. Green shaded cells indicate low delays, yellow shaded cells indicate moderate delays, red shaded cells indicate long delays.

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1. Jefferson Rd (NY-252)/Tobey Village Rd-YMCA Driveway

All approaches operate at LOS "D" or better under all conditions during all peak hours with the exception of the southbound left/thru approach which operates at a LOS "E" and "F" during the AM and PM peak hours, respectively. In between background and full build conditions, the westbound thru/right approach is projected to change from LOS "A" to "B" during the AM peak hour period, however, this is considered a borderline condition as the threshold between LOS "A" and "B" is 10.0 seconds per vehicle and the actual increase in delay projected is 0.4 seconds per vehicle. No other changes in levels of service are anticipated and no improvements are warranted nor recommended at this location.

2. Jefferson Rd (NY-252)/Clover St (NY-65)

All movements operate at acceptable LOS "D" or better under existing and background during all peak hours with the exception of the northbound left approach which operates at a LOD "F" during the AM peak hour. In between background and full build conditions, the southbound thru/right approach is projected to change from LOS "D" to "E" during the PM peak hour period, however, this is considered a borderline condition as the threshold between LOS "D" and "E" is 55.0 seconds per vehicle and the actual increase in delay projected is 1.4 seconds per vehicle. No other changes in levels of service are anticipated and no improvements are warranted nor recommended at this location.

3. Clover St (NY-65)/Tobey Rd-Tobey Village Rd

All approaches operate at LOS "D" or better under all conditions during all peak hours. No changes in levels of service are anticipated and no improvements are warranted nor recommended at this location.

8.0 CONCLUSIONS AND RECOMMENDATIONS

This Traffic Impact Study identified and evaluated the potential traffic impacts that can be expected from the proposed Pittsford Oaks development located on the former Barn Bazaar site in the Town of Pittsford, NY. The results of this study determined that the existing transportation network can adequately accommodate the projected traffic volumes and resulting minor impacts to study area intersections. The following sets forth the conclusions and recommendations based upon the results of the analyses:

Conclusions

1. Based on the results of crash analysis, there are no inherent safety deficiencies at any of the study intersections.
2. The proposed project is expected to generate approximately 20 entering/62 exiting vehicle trips during the AM peak hour and 65 entering/38 exiting vehicle trips during the PM peak hour.
3. The existing Barn Bazaar building, when fully occupied, generated more traffic than the proposed development is projected to generate during the AM and PM peak hours.
4. The detailed analysis contained in this Traffic Impact Study demonstrates the proposed project will not result in any potentially significant adverse environmental impacts for the purpose of the environmental review of the project pursuant to the State Environmental Quality Review Act ("SEQRA").

Recommendation

5. In order to mitigate the left turn crash patterns at the Jefferson Rd (NY-252)/Clover St (NY-65) intersection in the northbound and eastbound direction, it is recommended that NYSDOT considers installing flashing yellow arrows for the permitted left turn phases for at least those approaches.

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9.0 REFERENCES

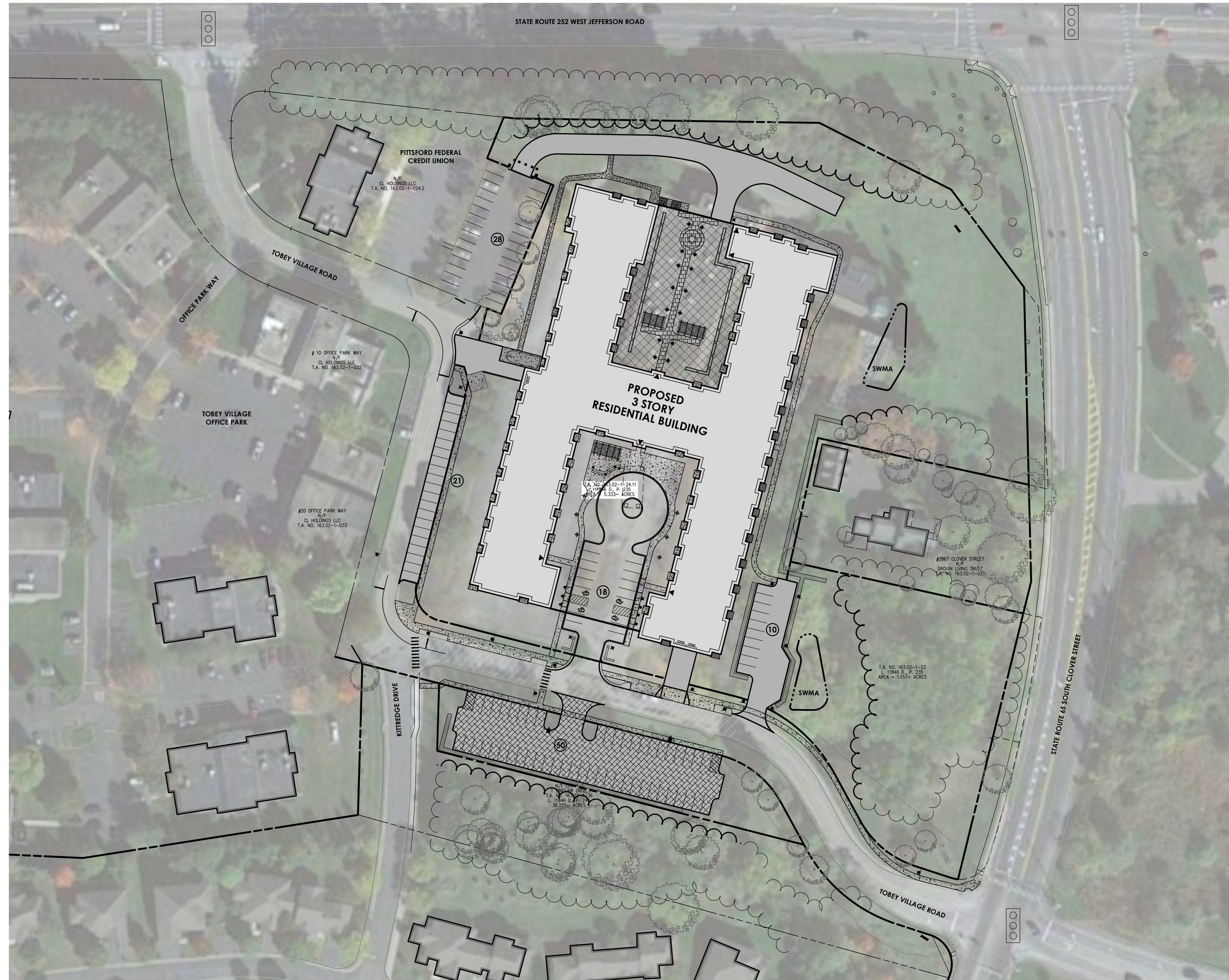
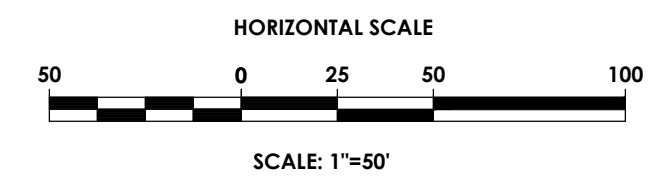
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- Traffic Data Viewer. New York State Department of Transportation (NYSDOT). 2023.

10.0 FIGURES

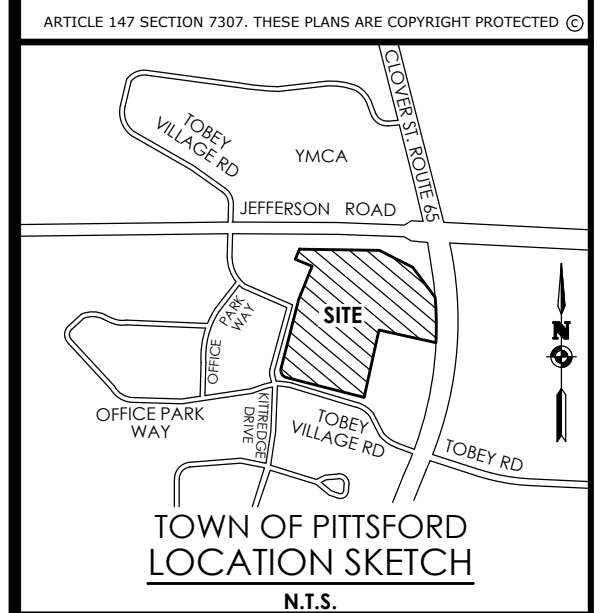
Figures 1 through 8 are included on the following pages.

SITE PLANS FOR PITTSFORD OAKS

TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK P.N. 20233554.0001



PA
PASSERO ASSOCIATES
engineering architecture



Client:
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PASSERO ASSOCIATES
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Principal-in-Charge: Jess Sudol, P.E.
Project Manager: David Cox, P.E.
Designed by: James Ritzenthaler



Revisions			
No.	Date	By	Description
1			

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COVER

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

Project No.
20233554.0001

Drawing No.
C 101

Scale:
1" = 60'

Date
NOVEMBER 2023

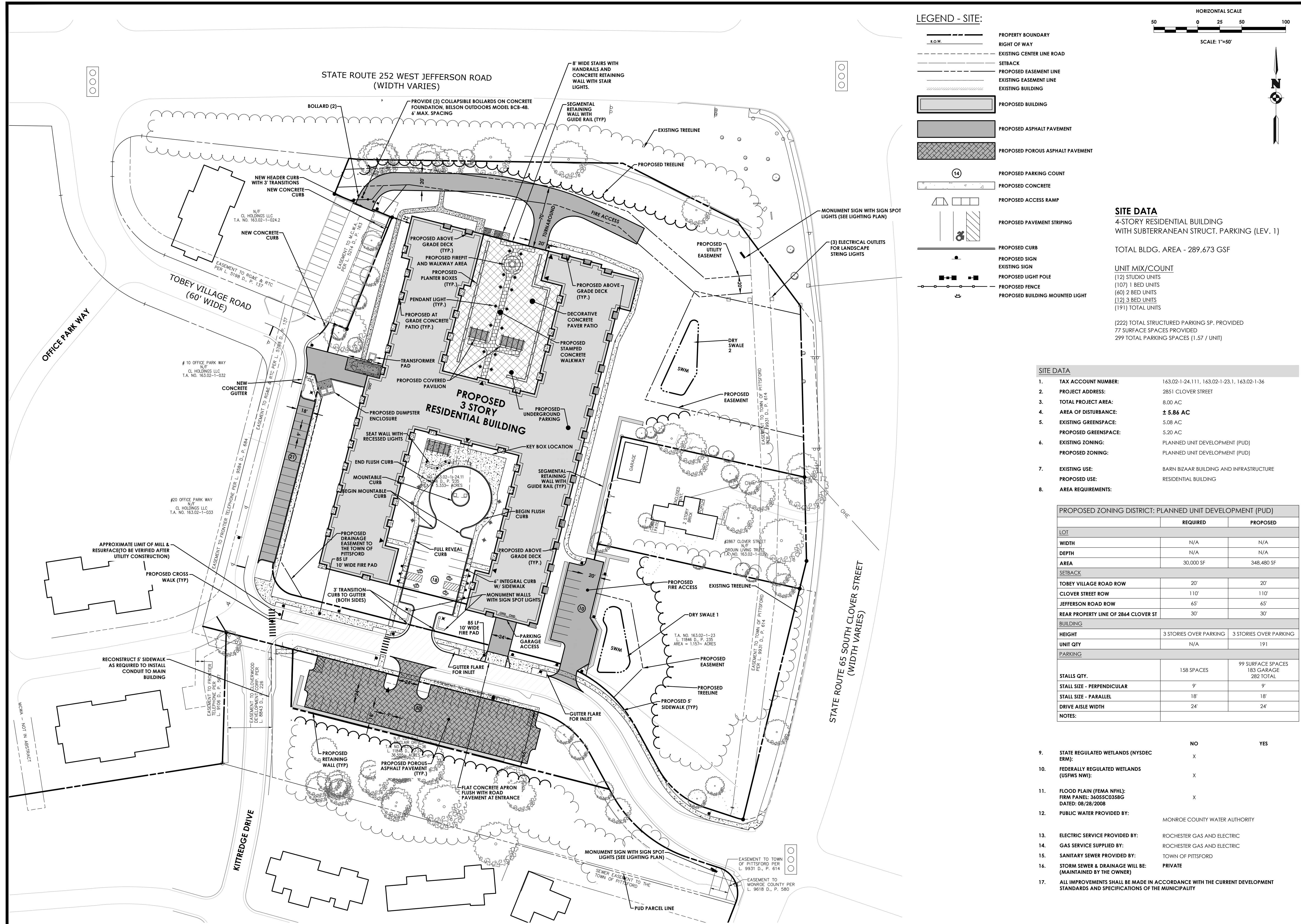
DRAWING INDEX

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- C 103 EXISTING CONDITIONS/DEMOLITION PLAN
- C 104 UTILITY PLAN
- C 105 GRADING & EROSION CONTROL PLAN
- C 106 LANDSCAPING PLAN
- C 107 LIGHTING PLAN
- C 201-207 NOTES & DETAILS

NOT FOR CONSTRUCTION

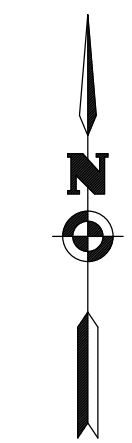
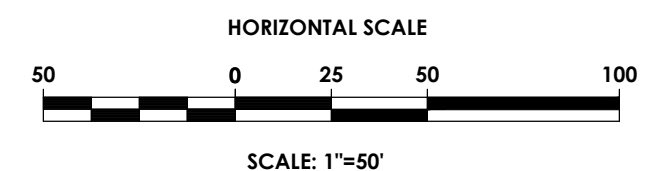
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LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED POROUS ASPHALT PAVEMENT
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT



SITE DATA

4-STORY RESIDENTIAL BUILDING
 WITH SUBTERRANEAN STRUCT. PARKING (LEV. 1)

TOTAL BLDG. AREA - 289,673 GSF

UNIT MIX/COUNT
 (12) STUDIO UNITS
 (107) 1 BED UNITS
 (60) 2 BED UNITS
 (12) 3 BED UNITS
 (191) TOTAL UNITS

(222) TOTAL STRUCTURED PARKING SP. PROVIDED
 77 SURFACE SPACES PROVIDED
 299 TOTAL PARKING SPACES (1.57 / UNIT)

SITE DATA

1. TAX ACCOUNT NUMBER:	163.02-1-24.111, 163.02-1-23.1, 163.02-1-36
2. PROJECT ADDRESS:	2851 CLOVER STREET
3. TOTAL PROJECT AREA:	8.00 AC
4. AREA OF DISTURBANCE:	± 5.86 AC
5. EXISTING GREENSPACE:	5.08 AC
6. PROPOSED GREENSPACE:	5.20 AC
7. EXISTING ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
8. PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
9. EXISTING USE:	BARN BAZAAR BUILDING AND INFRASTRUCTURE
10. PROPOSED USE:	RESIDENTIAL BUILDING
11. AREA REQUIREMENTS:	

PROPOSED ZONING DISTRICT: PLANNED UNIT DEVELOPMENT (PUD)

LOT	REQUIRED	PROPOSED
WIDTH	N/A	N/A
DEPTH	N/A	N/A
AREA	30,000 SF	348,480 SF
SETBACK		
TOBEY VILLAGE ROAD ROW	20'	20'
CLOVER STREET ROW	110'	110'
JEFFERSON ROAD ROW	65'	65'
REAR PROPERTY LINE OF 2864 CLOVER ST	30'	30'
BUILDING		
HEIGHT	3 STORIES OVER PARKING	3 STORIES OVER PARKING
UNIT QTY	N/A	191
PARKING		
STALLS QTY.	158 SPACES	99 SURFACE SPACES 183 GARAGE 282 TOTAL
STALL SIZE - PERPENDICULAR	9'	9'
STALL SIZE - PARALLEL	18'	18'
DRIVE AISLE WIDTH	24'	24'

NOTES:

9. STATE REGULATED WETLANDS (NYSDEC ERM):	NO	YES
10. FEDERALLY REGULATED WETLANDS (USFWS NWI):	X	
11. FLOOD PLAIN (FEMA NFHI): FIRM PANEL: 36055C0358G DATED: 08/28/2008	X	
12. PUBLIC WATER PROVIDED BY:	MONROE COUNTY WATER AUTHORITY	
13. ELECTRIC SERVICE PROVIDED BY:	ROCHESTER GAS AND ELECTRIC	
14. GAS SERVICE PROVIDED BY:	ROCHESTER GAS AND ELECTRIC	
15. SANITARY SEWER PROVIDED BY:	TOWN OF PITTSFORD	
16. STORM SEWER & DRAINAGE WILL BE: (MAINTAINED BY THE OWNER)	PRIVATE	
17. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY		

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TOWN OF PITTSFORD
 LOCATION SKETCH
 N.T.S.

Client:
 Friendly Senior Living Commons, LLC
 c/o Rochester Friendly Home
 3156 East Avenue
 Rochester, NY 14618

PASSERO ASSOCIATES

242 West Main Street Suite 100
 Rochester, New York 14614
 (585) 325-1000
 Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, P.E.
 Project Manager: David Cox, P.E.
 Designed by: James Ritzenhaller



Revisions

No.	Date	By	Description
1			

SITE PLAN

PITTSFORD OAKS

Town/City: PITTSFORD
 County: MONROE State: NEW YORK

Project No.
20233554.0001

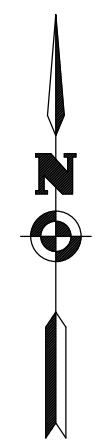
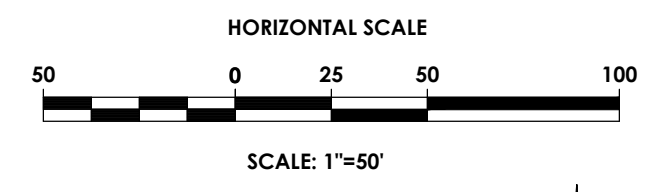
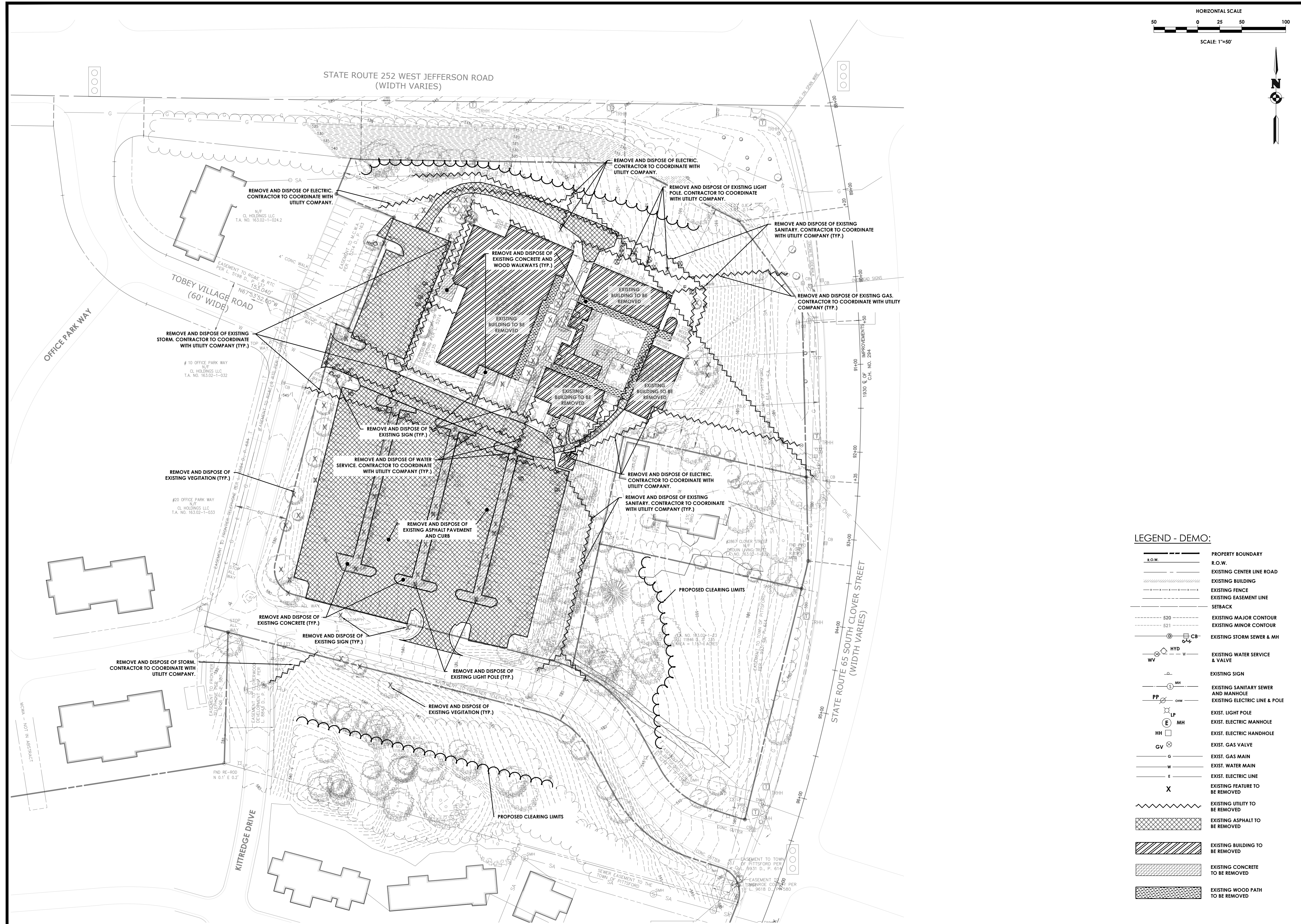
Drawing No.
C 102

Scale:
1" = 50'

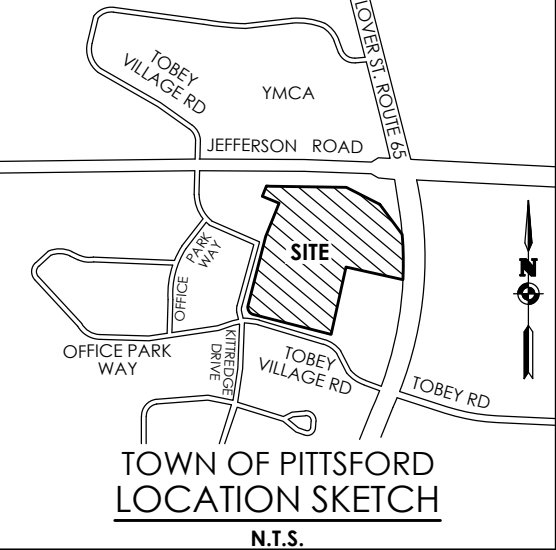
Date
NOVEMBER 2023

NOT FOR CONSTRUCTION

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Client:
Friendly Senior Living Commons, LLC
c/o Rochester Friendly Home
3156 East Avenue
Rochester, NY 14618

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: Jess Sudol, P.E.
Project Manager: David Cox, P.E.
Designed by: James Ritzenhaller



LEGEND - DEMO:

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING EASEMENT LINE
	SETBACK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING STORM SEWER & MH
	EXISTING WATER SERVICE & VALVE
	EXISTING SIGN
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	EXIST. GAS MAIN
	EXIST. WATER MAIN
	EXIST. ELECTRIC LINE
	EXISTING FEATURE TO BE REMOVED
	EXISTING UTILITY TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING BUILDING TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING WOOD PATH TO BE REMOVED

Revisions

No.	Date	By	Description
1			

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EXISTING CONDITIONS & DEMOLITION PLAN

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

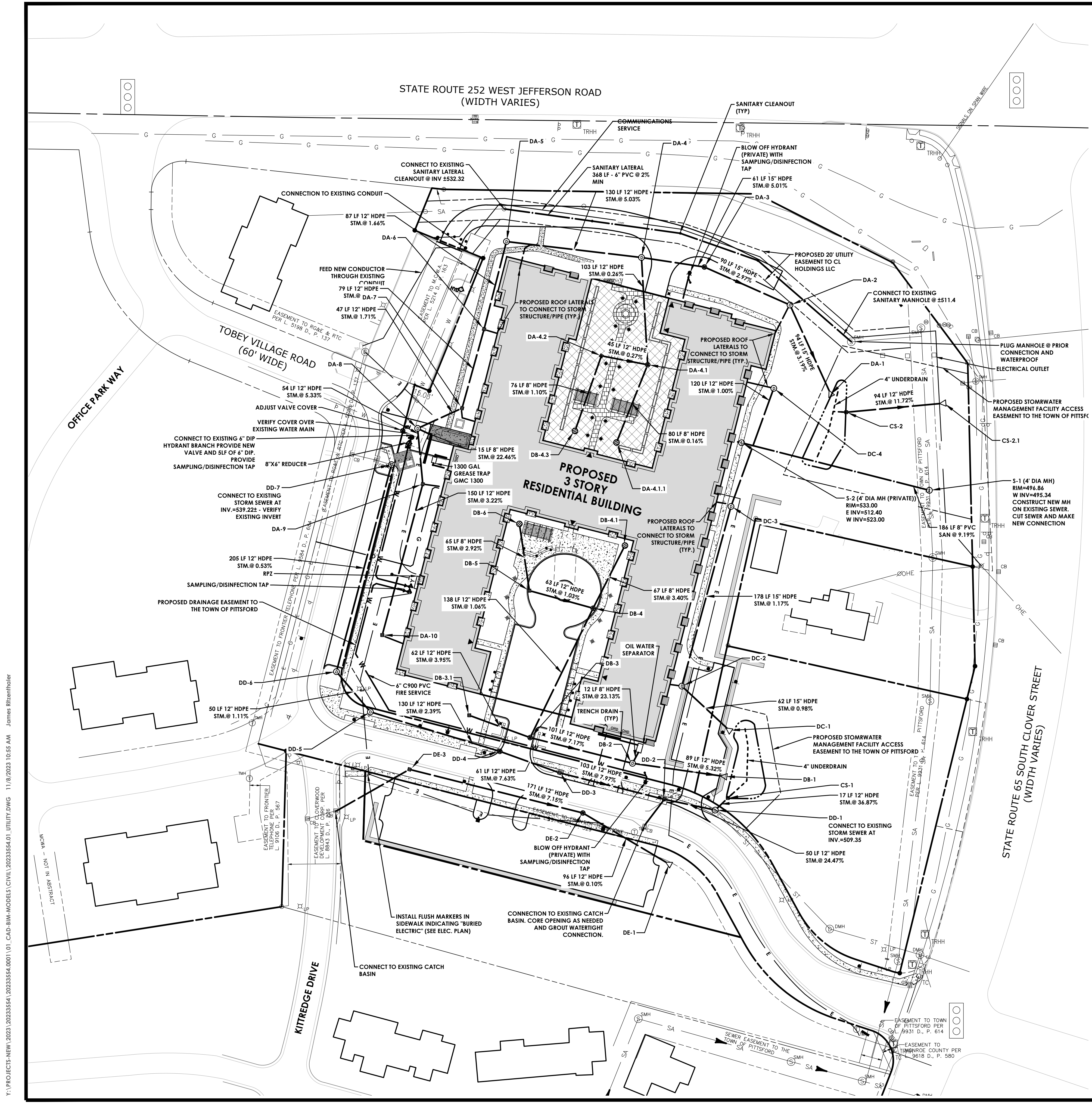
Project No.
20233554.0001

Drawing No.
C 103

Scale:
1" = 50'

Date
NOVEMBER 2023

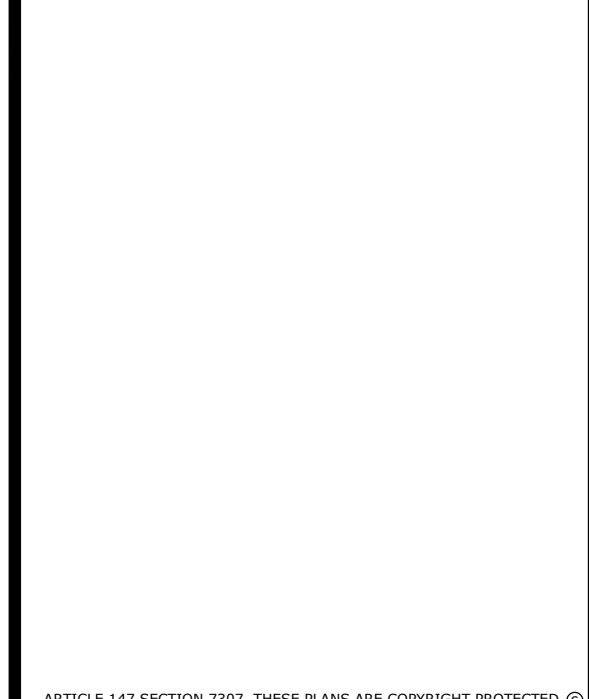
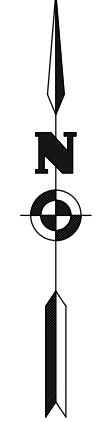
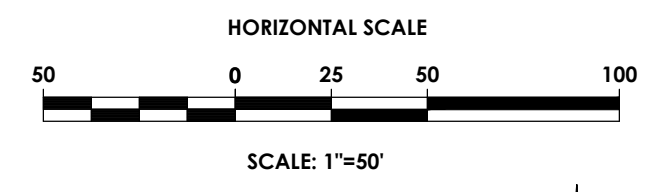
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LEGEND - UTILITIES:

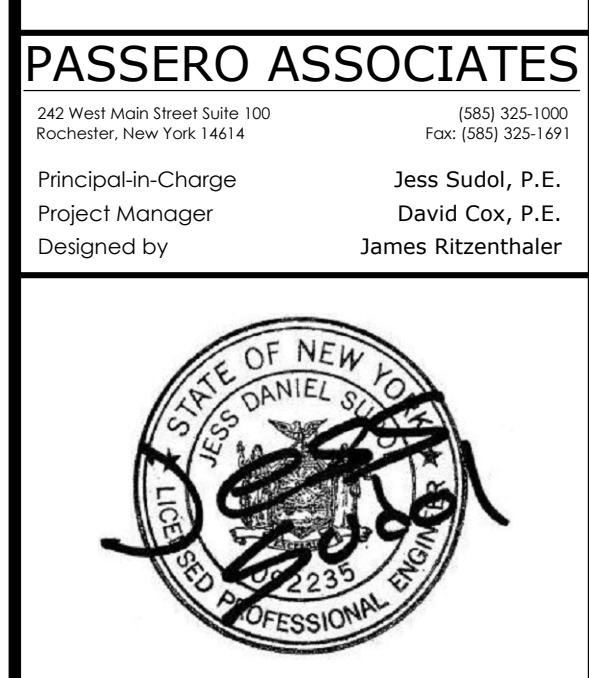
- R.O.W.
- PROPERTY BOUNDARY
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED STORM SEWER, INLET MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER FORCEMAIN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC

If you excavate anywhere in New York State, except NYC or Long Island, call **Dig Safely. New York** 1-800-962-7962 i-Notice = www.DigSafelyNewYork.com



Client: Friendly Senior Living Commons, LLC
 c/o Rochester Friendly Home
 3156 East Avenue
 Rochester, NY 14618

PASSERO ASSOCIATES
 242 West Main Street Suite 100
 Rochester, New York 14614
 Principal-in-Charge: Jess Sudol, P.E.
 Project Manager: David Cox, P.E.
 Designed by: James Ritzenhaler



Revisions

No.	Date	By	Description
1			

UTILITY PLAN

PITTSFORD OAKS

Town/City: PITTSFORD
 County: MONROE State: NEW YORK

Project No: **20233554.0001**

Drawing No: **C 104**

Scale: **1" = 50'**

Date: **NOVEMBER 2023**

STRUCTURE TABLE

STRUCTURE	RIM & INV
DE-3 (2'X2' CB)	RIM = 544.7 SW INV IN = 542.50 E INV OUT = 542.50
DE-2 (4' DIA INLET MH)	RIM = 533.0 W INV IN = 530.25 SE INV OUT = 527.50
DE-1 (12' END SECTION)	RIM = 528.9 NW INV IN = 527.40
DD-7 (4' DIA MH)	RIM = 545.2 S INV OUT = 539.22
DD-6 (4' DIA MH)	RIM = 549.0 N INV IN = 538.14 SE INV OUT = 538.14
DD-5 (4' DIA MH)	RIM = 547.5 NW INV IN = 537.58 E INV OUT = 537.58
DD-4 (4' DIA INLET MH)	RIM = 540.0 W INV IN = 534.48 E INV OUT = 534.48
DD-3 (2'X2' CB)	RIM = 534.6 W INV IN = 529.84 E INV OUT = 529.84
DD-2 (2'X2' CB)	RIM = 526.5 W INV IN = 521.60 E INV IN = 521.60
DD-1 (4' DIA MH)	RIM = 540.9 NE INV IN = 509.35 W INV OUT = 509.35
DC-4 (4' DIA MH)	RIM = 531.0 S INV OUT = 523.89
DC-3 (4' DIA MH)	RIM = 533.0 N INV IN = 522.69 S INV OUT = 522.69
DC-2 (4' DIA MH)	RIM = 533.0 N INV IN = 520.61 SE INV OUT = 520.61
DC-1 (12' END SECTION)	RIM = 521.5 NW INV IN = 520.00
DB-6 (12' YARD INLET)	RIM = 545.0 S INV OUT = 536.10
DB-5 (2'X2' CB)	RIM = 544.5 N INV IN = 534.21 E INV OUT = 534.21
DB-4.3 (12' YARD INLET)	RIM = 545.0 N INV OUT = 535.64
DB-4.1 (12' YARD INLET)	RIM = 545.0 SW INV OUT = 535.75

STRUCTURE TABLE

STRUCTURE	RIM & INV
DB-4 (4' DIA INLET MH)	RIM = 544.5 W INV IN = 533.56 NE INV IN = 533.46 SW INV OUT = 533.46
DB-3.1 (2'X2' CB)	RIM = 542.0 E INV OUT = 534.45
DB-3 (4' DIA INLET MH)	RIM = 539.5 NE INV IN = 532.00 W INV IN = 532.00 E INV OUT = 532.00
DB-2 (4' DIA MH)	RIM = 531.0 W INV IN = 524.75 E INV OUT = 524.75 NE INV IN = 524.75
DB-1 (12' END SECTION)	RIM = 521.5 W INV IN = 520.00
DA-10 (2'X2' CB)	RIM = 544.0 N INV OUT = 541.00
DA-9 (2'X2' CB)	RIM = 544.0 S INV IN = 536.18 N INV OUT = 536.18
DA-8 (4' DIA MH)	RIM = 545.0 S INV IN = 533.33 NE INV OUT = 533.33 SE INV OUT = 533.33
DA-7 (2'X2' CB)	RIM = 544.0 SW INV IN = 532.53 N INV OUT = 532.53
DA-6 (2'X2' CB)	RIM = 542.0 S INV IN = 530.71 N INV OUT = 530.71
DA-5 (4' DIA MH)	RIM = 541.0 S INV IN = 529.27 E INV OUT = 529.27
DA-4.2 (2'X2' CB)	RIM = 545.0 E INV OUT = 532.62
DA-4.1.1 (12' YARD INLET)	RIM = 545.0 N INV OUT = -2.69
DA-4.1 (4' DIA INLET MH)	RIM = 545.0 W INV IN = 532.50 S INV IN = -2.82 N INV OUT = 522.98
DA-4 (4' DIA MH)	RIM = 533.0 W INV IN = 522.72 S INV IN = 522.72 E INV OUT = 522.72
DA-3 (4' DIA INLET MH)	RIM = 529.5 W INV IN = 519.67 SE INV OUT = 519.67
DA-2 (4' DIA MH)	RIM = 524.0 NW INV IN = 517.00 SE INV OUT = 517.00
DA-1	RIM = 515.5

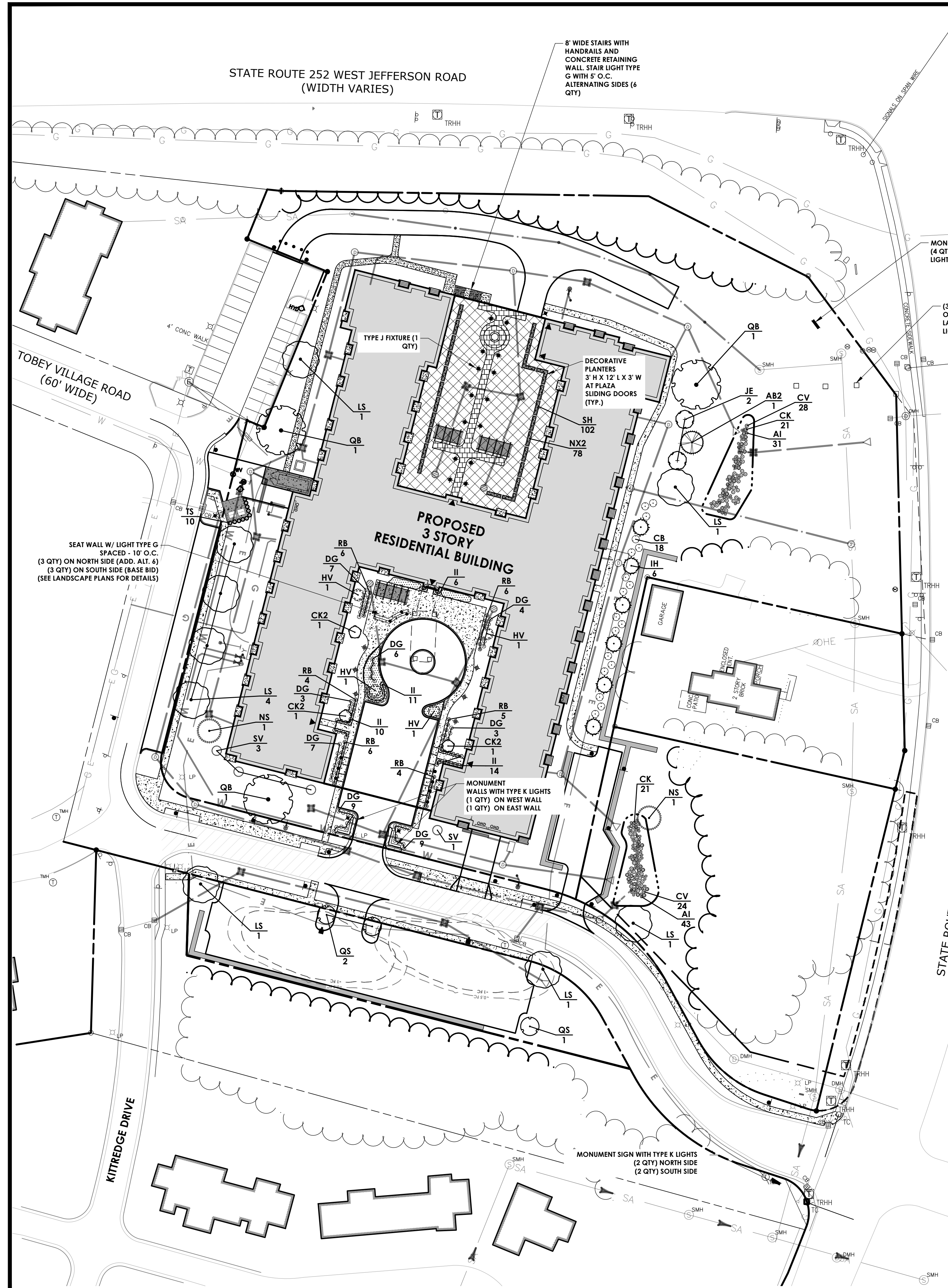
STRUCTURE TABLE

STRUCTURE	RIM & INV
CS-2.1 (12' END SECTION)	RIM = 499.5 W INV IN = 498.00
CS-2 (2'X2' CB)	RIM = 515.6 W INV IN = 509.00 E INV OUT = 509.00
CS-1 (2'X2' CB)	RIM = 520.8 NE INV IN = 515.90 SW INV OUT = 515.50

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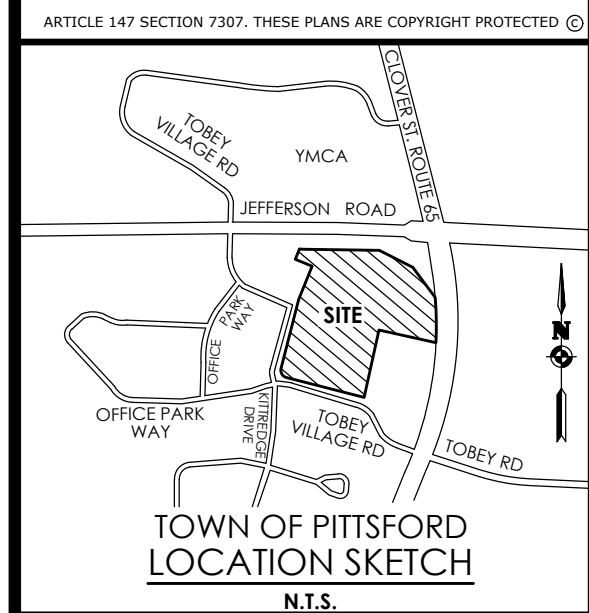
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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CALLIPER/HEIGHT	CONTAINER	MATURE HEIGHT
TREES							
	CK2	3	CORNUS KOUSA	KOUSA DOGWOOD	2.5-3" H	B.R.	15-25' H
	IH	6	ILEX OPACA 'AIKEN RED'	AIKEN RED AMERICAN HOLLY	7-8' H	B&B	35' H
	LS	9	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2.5-3" H	B&B	60' H
	NS	2	NYSSA SYLVATICA FALL PLANTING HAZARD	TUPELO	2.5-3" H	B&B	35' H
	QB	3	QUERCUS BICOLOR FALL PLANTING HAZARD	SWAMP WHITE OAK	2.5-3" H	B&B	50-60' H
	QS	3	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	2.5-3" H	B&B	50-60' H
EVERGREEN TREES							
	AB2	1	ABIES BALSAMEA	BALSAM FIR	7-8' H	B&B	50-75' H
	JE	2	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	7-8' H	B&B	30-35' H
	TS	10	THUJA OCCIDENTALIS 'SMARAGD' FOR SCREENING	EMERALD GREEN ARBORVITAE	4-5' H	B&B	12-14' H
SYMBOL SHRUBS							
	CB	18	CEPHALANTHUS OCCIDENTALIS 'BAILOPTICS'	FIBER OPTICS® BUTTONBUSH	24"-30"	#3	5-6'
	HV	4	HAMAMELIS VIRGINIANA MULTI-STEM	COMMON WITCH HAZEL	30"-36"	B&B	10-20'
	II	41	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	30"-36"	#2	3-4'
	SV	4	SYRINGA VULGARIS 'AGINCOURT BEAUTY'	AGINCOURT BEAUTY COMMON LILAC	3-4'	#5	10-12'
ORNAMENTAL GRASSES							
	CK	42	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	15-18" H	#2 CONT.	4-6' H
	CV	52	CAREX VULPINOIDEA	FOX SEDGE	12-15" H	#3 CONT.	2-4' H
	DG	48	DESCHAMPSIA CESPITOSA 'GOLDTAU'	GOLD DEW TUFTED HAIR GRASS	12-15" H	#1 CONT.	2' H
	SH	102	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	12-15" H	#1 CONT.	2-3' H
PERENNIALS							
	AI	74	AMSONIA ILLUSTRIS	OZARK BLUESTAR	12-15" H	#1 CONT.	2-3' H
	NX2	78	NEPETA X 'CAT'S PAJAMAS'	CAT'S PAJAMAS CATMINT	8-12" H	#1 CONT.	12-14" H
	RB	31	RUDBECKIA FULGIDA 'EVOLUTION COLORIFIC'	EVOLUTION COLORIFIC CONEFLOWER	15-18" H	#1 CONT.	3-4' H

PA
PASSERO ASSOCIATES
engineering architecture



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c/o Rochester Friendly Home
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Revisions

No.	Date	By	Description
1			

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LANDSCAPE & LIGHTING PLAN

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

Project No.
20233554.0001

Drawing No.
C 106

Scale:
1" = 50'

Date
NOVEMBER 2023

NOT FOR CONSTRUCTION

DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
- WITHIN LIMIT LINES. ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
- PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
- CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXISTING FEATURES TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
- CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 4 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
- ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
- ALL UTILITIES NOT SLATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL UPON COMPLETION OF DEMOLITION. THIS INCLUDES BYPASS PUMPING, IF NECESSARY.
- EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
- AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.
- IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDDEC BEFORE CONTINUING THE DEMOLITION PROCESS.
- ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.
- THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.
- ALL SOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE.
- ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE, (MEETING NYSDOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.

PAVMENT DEMOLITION NOTES

- MILL ASPHALT PER PLAN AND STOCKPILE FOR RE-USE.
- FOR FULL DEPTH PAVEMENT EXCAVATION, THE TOP OF THE EXISTING CURB IS TO REMAIN AND SHALL HAVE A RISE OF 4" AT THE COMPLETION OF CONSTRUCTION. EXISTING SURFACE SUB-BASE ENCOUNTERED DURING EXCAVATION SHALL BE STOCKPILED FOR RE-USE. EXCESS MATERIALS OR UNSUITABLE MATERIALS SHALL BE HAULLED OFF-SITE.
- PREPARE AND PLACE A SUB-BASE COURSE COMPOSED OF A BLEND OF THE EXISTING SUB-BASE FROM STOCKPILE, ASPHALT MILLINGS FROM STOCKPILE AND IF NEEDED, ADDITIONAL STONE AGGREGATE TO OBTAIN THE SPECIFIC DEPTH OF AND THE PLACEMENT OF 1" OF CRUSHED STONE FOR FINE GRADING PURPOSES.
- PAVE ENTIRE PARKING AREA WITH TYPE 77 TOP COURSE ASPHALT.
- UPON COMPLETION, ALL PAVEMENT AREAS SHALL BE SMOOTH. ALL CURB SHALL HAVE 4" REVEL. WATER SHALL DRAIN WELL INTO EXISTING CATCH BASINS (NO POHONGS) ALL HANDICAP RAMPS SHALL BE FURSH WITH NEW PAVEMENT AND SHALL MEET ALL ADA REGULATIONS.

FIELD TILE NOTE

IN THE EVENT FIELD TILE IS ENCOUNTERED, IT SHALL BE REMOVED IN ITS ENTIRETY OR OTHERWISE SECURED AT THE DIRECTION OF THE TOWN ENGINEER. UNDER NO CIRCUMSTANCES SHALL FIELD TILE BE PERMITTED TO EXIST NEAR BUILDING FOUNDATIONS. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH BOTH INTERIOR AND EXTERIOR FOOTER DRAINS TO MINIMIZE THE IMPACTS ASSOCIATED WITH HIGH GROUND WATER LEVELS.

CONSTRUCTION SEQUENCE FOR GRADING AND EROSION CONTROL:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CONSTRUCT STORMWATER MANAGEMENT AREA AND EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
- CONSTRUCT SWALES ALONG WITH SLOPES AS SHOWN.
- CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS.
- STRIP TOPSOIL AND STOCKPILE FOR LATER USE.
- GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
- CONSTRUCT SEDIMENTATION BARRIERS AS SHOWN ON THIS PLAN.
- REPLACE TOPSOIL AND FINE GRADE.
- HYDRO-SEED ALL DISTURBED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
- UPON APPROVAL OF THE TOWN, REMOVE ALL TEMPORARY SILTATION CONTROLS.
- SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
- MINIMUM OF 6" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE.
- CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SILTATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER REVEGETATION HAS BEEN ESTABLISHED.
- ALL END SECTIONS WILL BE PROVIDED WITH RIP-RAP APPROX.
- ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THIS PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEEMED NECESSARY BY THE TOWN OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN THE STORM SEWER SYSTEM UNTIL THE PROJECT IS DEVELOPED AND APPROVED BY THE TOWN AND OWNER.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STONE FILL. CORRECTIVE ACTIONS, AS IDENTIFIED BY THE DEVELOPER'S QUALIFIED SWPPP MONITOR OR A TOWN REPRESENTATIVE, SHALL BE INITIATED WITHIN 24 HOURS OF BEING REPORTED. THE TOWN MAY REVIEW THE PROJECT SITE AT ANY TIME. REVIEW OF EROSION CONTROL MEASURES BY THE TOWN DOES NOT RELIEVE THE DEVELOPER OF HIS OBLIGATIONS UNDER THE NYSDDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITY. (GP-0-20-001).

CONSTRUCTION SEQUENCE FOR STEEP SLOPE STABILIZATION / JUTE MESH INSTALLATION FOR SLOPES OF 1:3 OR GREATER:

- STRIP TOPSOIL ON SLOPE.
- GRADE SLOPE PER PLAN. CONTRACTOR SHALL TAKE CARE TO NOT OVER EXCAVATE EMBANKMENT.
- REPLACE TOPSOIL.
- TRACK TOPSOIL WITH A BULLDOZER IN A DIRECTION PERPENDICULAR TO THE PROPOSED CONTOUR LINES.
- IMMEDIATELY SEED AND FERTILIZE TOPSOIL PER PLAN.
- IMMEDIATELY APPLY JUTE MESH BY UNROLLING THE PRODUCT DOWN THE SLOPE. DO NOT STRIKE THE MESH, ALLOWING IT TO FULLY CONTACT THE SOIL.
- SECURE THE JUTE MESH WITH STAPLES (1" GAUGE "8"x13"x8") 24" APART THROUGH OUT THE MATTING (APPROXIMATELY 200 STAPLES PER 100 SQ.) STAPLES SHOULD BE DRIVEN FLUSH WITH THE GROUND.
- SECURE BEGINNING AND END OF ROLL BY ANCHORING THE MATTING INTO 6" DEEP SLOTS CUT INTO THE SOIL, THEN STAPLE MATTING AT CHECK SLOTS.

STABILIZATION STANDARDS AND SPECIFICATIONS:

A TEMPORARY OR PERMANENT PROTECTIVE COVERING PLACED ON A PREPARED, SEEDED PLANTING AREA IS ANCHORED IN PLACE BY STAPLES OR OTHER MEANS TO AID IN CONTROLLING EROSION BY ABSORBING RAIN SPLASH ENERGY AND WITHSTAND OVERLAND FLOW AS WELL AS PROVIDE A MICROCLIMATE TO PROTECT AND PROMOTE SEED ESTABLISHMENT.

CONDITIONS WHERE PRACTICE APPLIES

ANCHORED STABILIZATION MATS ARE REQUIRED FOR SEEDED EARTHEN SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. IN VEGETATED CHANNELS WHERE THE VELOCITY OF THE DESIGN FLOW EXCEEDS THE ALLOWABLE VELOCITY FOR VEGETATION ALONE (USUALLY GREATER THAN 6 FEET PER SECOND); ON STREAMBANKS AND SHORELINES WHERE MOVING WATER IS LIKELY TO ERODE NEWLY SEEDD OR PLANTED AREAS; AND IN AREAS WHERE WIND PREVENTS STANDARD MULCHING WITH STRAW. THIS STANDARD DOES NOT APPLY TO SLOPES STABILIZED WITH SOD, ROCK RIPRAP OR HARD ARMOR MATERIAL.

DESIGN CRITERIA

SLOPE APPLICATIONS - ANCHORED STABILIZATION MATS FOR USE ON SLOPES ARE PRIMARILY USED AS MULCH BLANKETS WHERE THERE IS WITHIN THE BLANKET OR AS A NETTING COVER PREVIOUSLY PLACED MULCH. THESE STABILIZATION MATS ARE NOT EFFECTIVE IN PREVENTING SLOPE FAILURES.

- REQUIRED ON ALL SLOPES STEEPER THAN 3:1
- MATting WILL BE DESIGNED FOR PROPER LONGEVITY AND STRENGTH BASED ON INTENDED USE.
- ALL INSTALLATION DETAILS AND DIRECTIONS WILL BE INCLUDED ON THE SITE EROSION AND SEDIMENT CONTROL PLAN AND WILL FOLLOW MANUFACTURERS SPECIFICATIONS.

CHANNEL APPLICATIONS - ANCHORED STABILIZATION MATS, FOR USE IN SUPPORTING VEGETATION IN FLOW CHANNELS, ARE GENERALLY A NON-DEGRADABLE, THREE DIMENSIONAL PLASTIC STRUCTURE WHICH CAN BE FILLED WITH SOIL PRIOR TO PLANTING. THIS STRUCTURE PROVIDES A MEDIUM FOR ROOT GROWTH WHERE THE MATTING AND ROOTS BECOME INTERTWINED FORMING A CONTINUOUS ANCHOR FOR THE VEGETATED LINING.

- CHANNEL STABILIZATION SHALL BE BASED ON THE TRACTIVE FORCE METHOD.
 - FOR MAXIMUM DESIGN SHEAR STRESSES LESS THAN 2 POUNDS PER SQUARE FOOT, A TEMPORARY OR BIO-DEGRADABLE MAT MAY BE USED.
 - THE DESIGN OF THE FINAL MATTING SHALL BE BASED ON THE MATS ABILITY TO RESIST THE TRACTIVE SHEAR STRESS AT BANK FULL FLOW.
 - THE INSTALLATION DETAILS AND PROCEDURES SHALL BE INCLUDED ON THE SITE EROSION AND SEDIMENT CONTROL PLAN AND WILL FOLLOW MANUFACTURERS SPECIFICATIONS.
- STANDARD AND SPECIFICATIONS FOR ANCHORED STABILIZATION MATTING

CONSTRUCTION SPECIFICATIONS

- PREPARE SOIL BEFORE INSTALLING MATTING BY SMOOTHING THE SURFACE, REMOVING DEBRIS AND LARGE STONE, AND APPLYING LIME, FERTILIZER AND SEED. REFER TO MANUFACTURERS INSTALLATION DETAILS.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MAT IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- IN CHANNELS OR SWALES, BEGIN AT THE DOWNSLOPE END, ANCHORING THE MAT AT THE BOTTOM AND TOP ENDS OF THE BLANKET. WHEN ANOTHER ROLL IS NEEDED, THE UPSLOPE ROLL SHOULD OVERLAY THE LOWER LAYER, SHINGLE STYLE, SO THAT CHANNEL FLOWS DO NOT PEE BACK THE MATERIAL.
- ROLL THE MATS DOWN A SLOPE WITH A MINIMUM 4" OVERLAP. ROLL CENTER MAT IN A CHANNEL IN DIRECTION OF WATER FLOW ON BOTTOM OF THE CHANNEL. DO NOT STRETCH BLANKETS. BLANKETS SHALL HAVE GOOD CONTINUOUS CONTACT WITH THE UNDERLYING SOIL THROUGHOUT ITS ENTIRE LENGTH.
- PLACE MATS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE MATS.
- FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH; BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- MATS ON SIDE SLOPES OF A CHANNEL MUST BE OVERLAPPED 4" OVER THE CENTER MAT AND STAPLED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
- THE TERMINAL END OF THE MATS MUST BE ANCHORED IN A 6"x6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- STAPLING AND ANCHORING OF BLANKET SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS.

MAINTENANCE

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 80% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 2 CALENDAR DAYS

SOIL RESTORATION NOTES:

- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE CLEARED OFF SITE.
- APPLY TOPSOIL TO A DEPTH OF 6 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
- VEGETATE AS REQUIRED BY APPROVED PLAN.

TEMPORARY CONSTRUCTION AREA SEEDING NOTES:

- THE AREA MUST BE ROUGH GRADED AND SLOPES PHYSICALLY STABLE.
- SEEDING MUST TAKE PLACE WITHIN 24 HOURS OF DISTURBANCE OR SCARIFICATION OF THE SOIL WILL BE NEEDED PRIOR TO SEEDING.
- TYPICALLY FERTILIZER OR LIME IS NOT USED FOR TEMPORARY SEEDINGS.
- ANY SEEDING METHOD MAY BE USED THAT PROVIDES UNIFORM APPLICATION OF SEED TO THE AREA.

PLANTING SEASON	SPECIES	RATE IN LBS./ACRE
SPRING, SUMMER, OR EARLY FALL	RYEGRASS (ANNUAL OR PERENNIAL)	30
LATE FALL OR EARLY WINTER	WINTER RYE (CEREAL RYE)	100

*MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL MAY BE USED IF APPLIED ACCORDING TO SPECIFICATIONS.

COMPACTION NOTES

- THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
- THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES:

(OCTOBER 2021)

- IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTOR'S INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTOR'S MODIFIED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.
- IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN "EROSION AND SEDIMENT CONTROL SUPERVISOR" FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING EARTHWORK.
- THE DESIGNATED "EROSION AND SEDIMENT CONTROL SUPERVISOR" SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.
- UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NEEDED TO ESTABLISH A SATISFACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.

NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND. NOR SHALL CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER A WATER BODY OR WETLAND, ANY MATERIAL OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED AND DEPOSITED IN AN UPLAND AREA.

- THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FILL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. ANY POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILED MATERIAL.
- DUST CONTROL MEASURES SHALL BE APPLIED AS NEEDED. SWEEP ROADWAYS WHEN THEY BECOME SEDIMENT LADEN. MINIMIZE DISTURBED AREAS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING WATER. WATER SHALL BE SPRAYED AS NEEDED BUT AVOID EXTRA SPRAYING WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

UTILITY CONTRACTOR COORDINATION NOTES:

- PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR INCLUDING BUT NOT LIMITED TO VERTICAL AND HORIZONTAL LOCATION, PENETRATIONS, AND SIZES. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION OF COORDINATION WITH CONTRACTORS, AND PLANS.
- THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
- PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY AND COORDINATE WITH EXISTING UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION EXISTING UTILITY VERIFICATION.
- THE CONTRACTOR IS REQUIRED TO COORDINATE WITH SITE CONTRACTOR/PLUMBER & SEWER CONTRACTOR TO DETERMINE THE NECESSARY WYE & CLEANOUT LOCATION ON THE STORM SEWER SYSTEM. THE STORM SEWER SYSTEM IS RECOMMENDED AND MAY BE MODIFIED TO PROVIDE ADEQUATE ROOF DRAINAGE CONNECTIONS.
- THRUST BLOCKS ON THE WATERMAIN ARE REQUIRED AT BENDS, TEES OR PLUGS. SEE DETAIL SHEETS FOR THRUST BLOCK DETAILS.

STORM NOTES

- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY
- PROPOSED STORM SEWER LATERAL MATERIAL:
PVC SDR-35 6" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FT.
STORM SEWER MATERIAL:
ADS HDPE 12" MIN.
- FOUNDATION DRAINS SHALL BE CONNECTED TO STORM WATER SYSTEM VIA SUMP PUMPS. DOWNSPOUTS SHALL BE CONNECTED TO STORM SEWER WHERE APPLICABLE, WHERE NOTED ON THE PLANS DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS.
- UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED OR MANDREL TESTED TO THE SATISFACTION OF THE MUNICIPALITY.

SANITARY NOTES

- SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND LOCAL MUNICIPALITY
- MATERIALS
 - MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
ASTM D-3034 (4" THRU 15")
ASTM F-579 (18" THRU 48")
 - LATERALS - 4" MIN. INSTALLED AT 2" PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241
 - JOINING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212
 - MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
- INFILTRATION AND EXFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS.
- IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM C-828-80, ENTITLED STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPELINES; SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
- VACUUM TESTING OF MANHOLES IS ALLOWED. THE CONTRACTOR IS CAUTIONED TO SPEAK TO THE SUPERINTENDENT OF SEWERS PRIOR TO COMMENCING WITH PLANS TO VACUUM TEST.
- DEFLECTION TEST - TEN STATE STANDARDS.
 - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
- ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE PENFIELD SEWER DISTRICT.
- ALL HOUSE LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
- FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- SEWER USE LAW: FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

SEWER USE LAW:

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

GENERAL NOTES

- THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE AND MONROE COUNTY HEALTH DEPARTMENT.
- WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY.
- THE MINIMUM GRADE AT THE HOUSE SHALL BE 1" ABOVE THE EDGE OF THE PAVEMENT.
- THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
- ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF UTILITY.
- ANY AND ALL CULVERT LOCATIONS, SIZES OR TYPES, TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
- ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
- THE SUBDIVISION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE COUNTY MONUMENTATION LAW.
- THE SUBDIVISION IS LESS THAN 1500 FEET FROM THE NEAREST CONTROL MONUMENT AND IS THEREFORE TIED INTO THE MONUMENTATION NETWORK.
- THIS SUBDIVISION SHALL COMPLY WITH ANY COUNTY OR STATE AGENCIES HAVING JURISDICTION.
- ALL SITE WORK TO BE IN COMPLIANCE WITH THE STANDARDS OF CHAPTER 29 - ARTICLE V OF THE TOWN OF PENFIELD.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF PITTSFORD DATED THE MOST CURRENT REVISION.
- THIS PROJECT WILL BE IN ACCORDANCE WITH THE TOWN OF PITTSFORD HIGHWAY FRONTAGE POLICY.

STANDARD SANITARY SEWER EXTENSION NOTES:

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-84 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

STANDARD WATER MAIN EXTENSION NOTES:

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL CHLORINE, ESCHERICHIA COLI (E. COLI) AND TURBIDITY. THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C500, C502, C504, OR C505 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

PUBLIC WATER SYSTEM NOTES

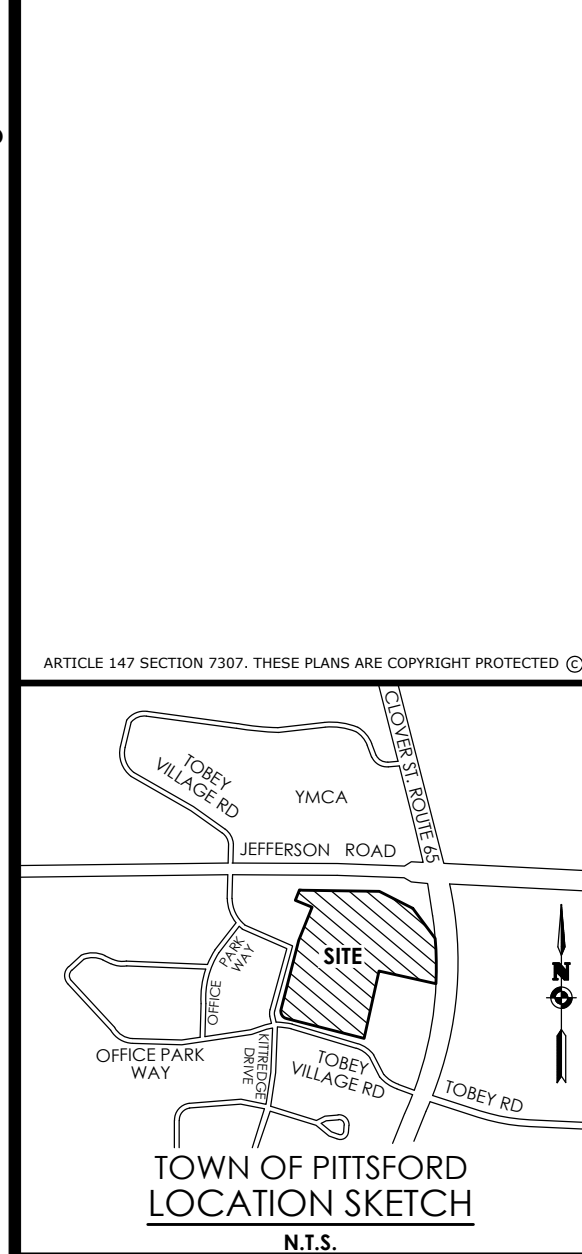
WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY:

MATERIAL:

- WATER MAIN(S) SHALL BE 8 INCH DUCTILE IRON CEMENT-LINED CLASS 51.
- WATER SERVICE(S) SHALL BE 1 INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1 INCH (TYPE K SOFT COPPER OR FE #3048) FROM THE CURB BOX TO THE METER.
- WATER METER(S) SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). ON METERED SERVICES REQUIRING A 1 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
- ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.
TESTS:
 - SOIL TEST: THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT PER ANSI/AWS C 885/ASTM 5-82 PRIOR TO WATER MAIN INSTALLATION. SOIL TESTING SHALL BE CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.
 - PRESSURE TEST: WATER MAINS TO BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATIONS. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
 - HEALTH SAMPLE: THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-651, BY USING THE CONTINUOUS FEEF METHOD. AFTER FLUSHING AND DISINFECTING THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.
- INSTALLATION:
 - WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
 - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER MAINS SHALL BE 18" MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE TEN FEET MEASURED FROM THE OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATER MAINS.
 - FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.
 - ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS



ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©



Client: Friendly Senior Living Commons, LLC
c/o Rochester Friendly Home
3156 East Avenue
Rochester, NY 14618

PASSERO ASSOCIATES

242 West Main Street Suite 100
Rochester, New York 14614

(585) 325-1000
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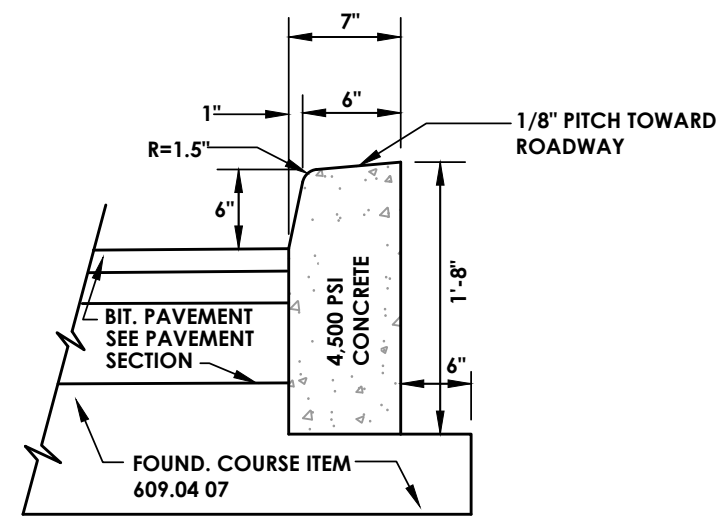
Principal-in-Charge: Jess Sudol, P.E.
Project Manager: David Cox, P.E.
Designed by: James Ritzenthaler



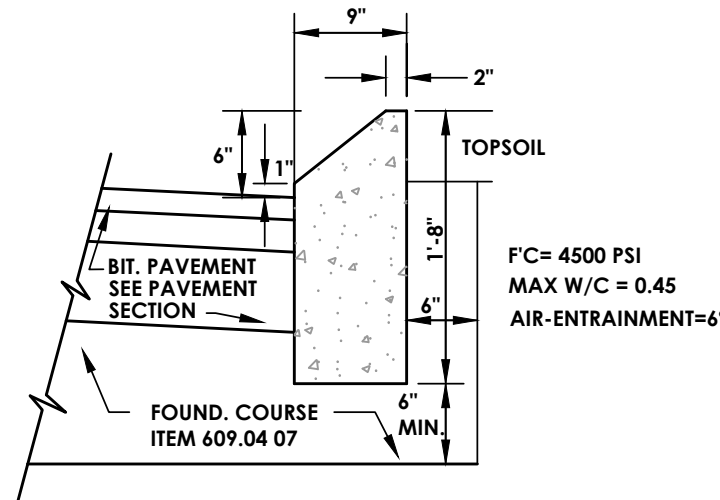
Revisions

No.	Date	By	Description
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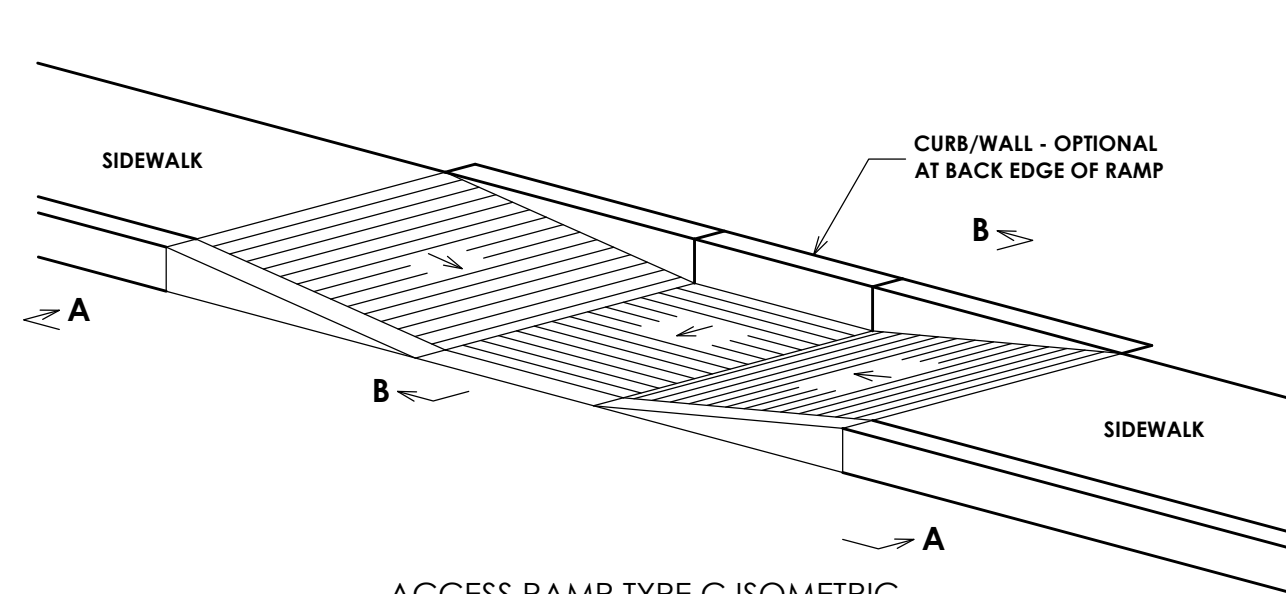
SITE



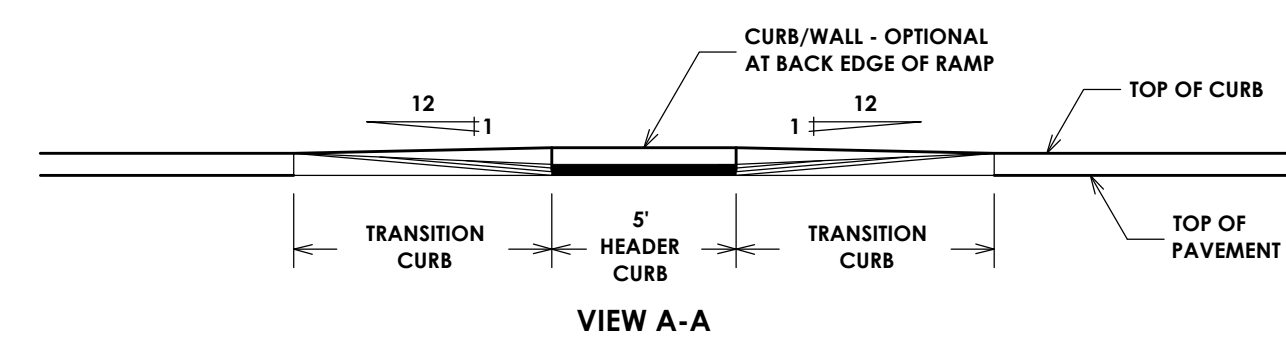
CONCRETE CURB DETAIL
N.T.S.



MOUNTABLE CONCRETE CURB DETAIL
N.T.S.



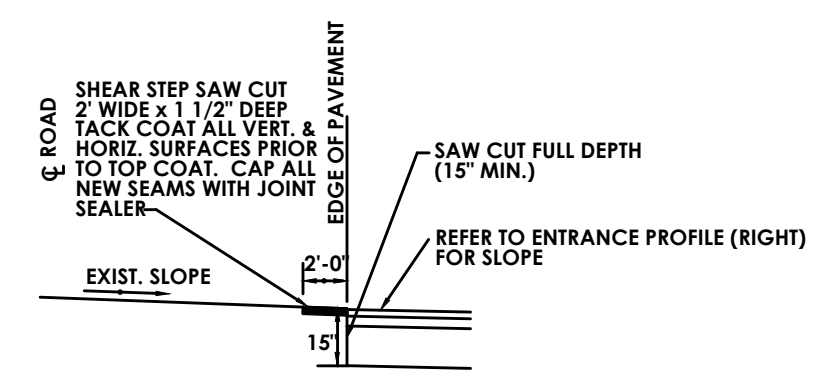
ACCESS RAMP TYPE C ISOMETRIC



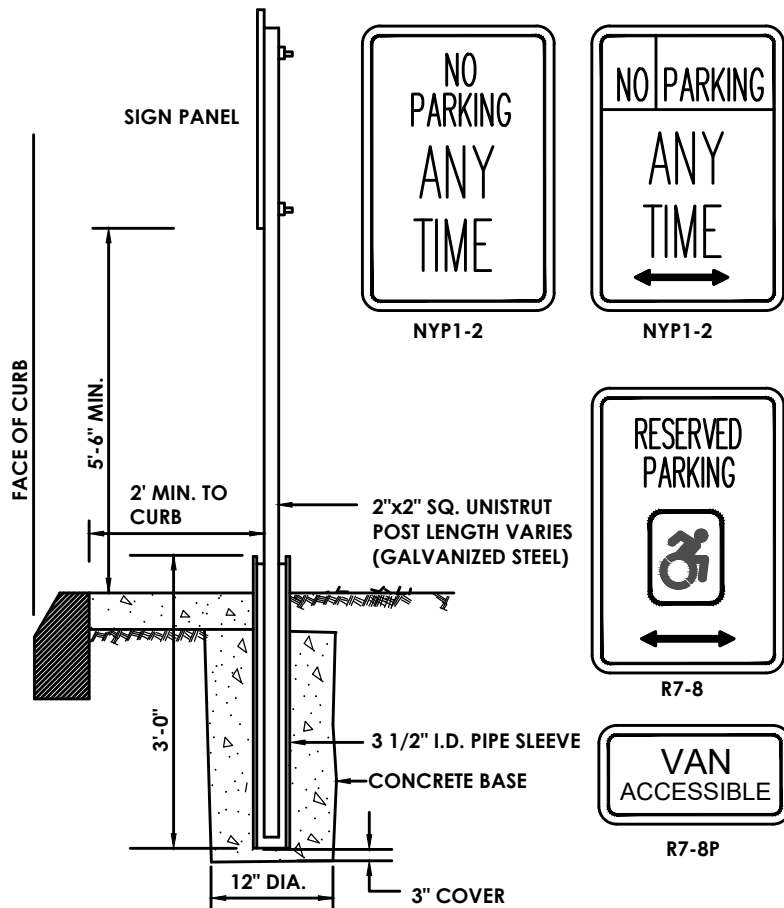
VIEW A-A

- NOTES:**
- 1:12 IS MAXIMUM SLOPE OF ACCESS RAMP AND SIDE FLARES.
 - SURFACE OF ACCESS RAMP IS TO BE STABLE, FIRM AND SLIP-RESISTANT. TEXTURE SURFACE WITH COARSE BROOM RUNNING TRANSVERSE TO SLOPE OF ACCESS RAMP.

SIDEWALK ACCESS RAMP
N.T.S.



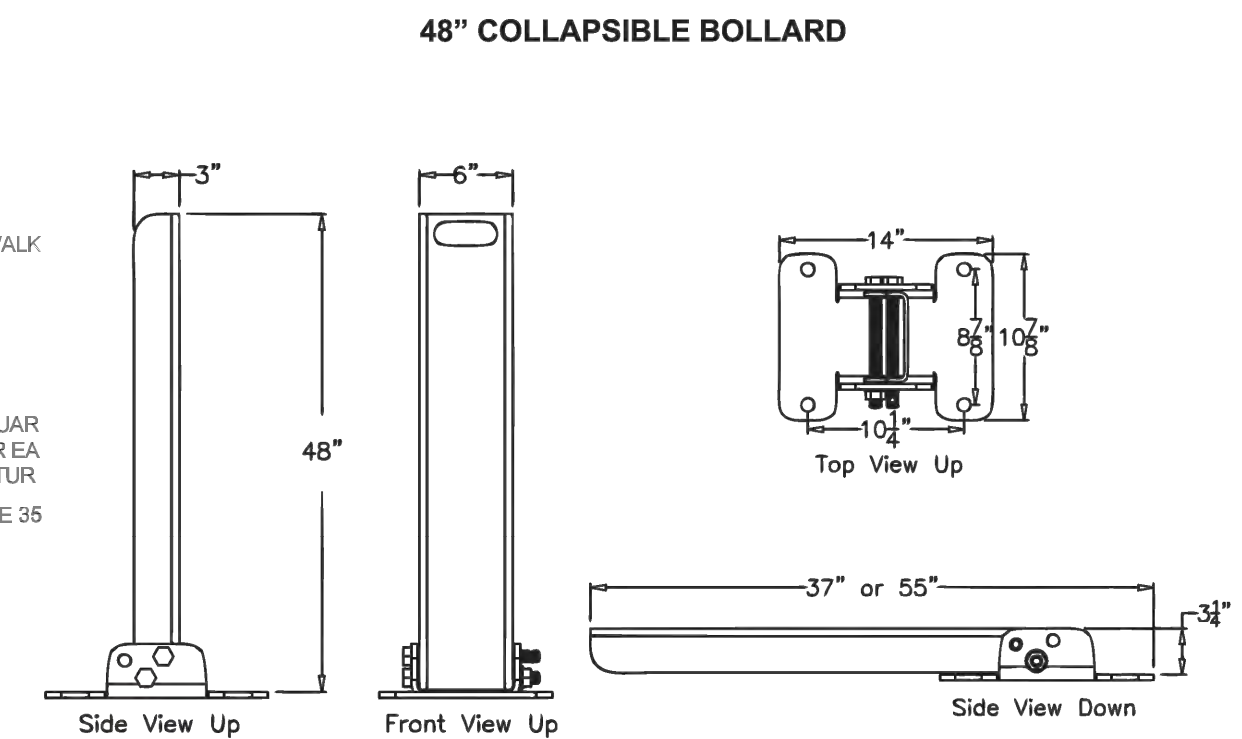
PAVEMENT KEY DETAIL
(FOR CONNECTION TO EXISTING PAVEMENT)
N.T.S.



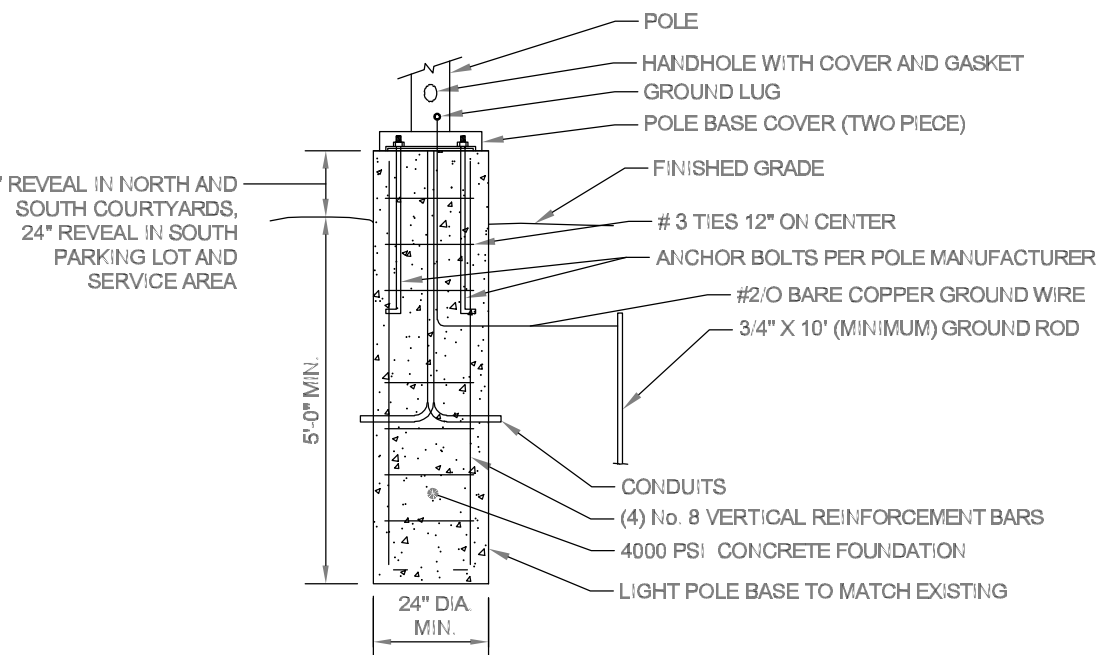
TYPICAL POST MOUNT HANDICAP SIGN INSTALLATION
(SIGN IN LANDSCAPE AREA OR SIDEWALK)
N.T.S.

BELSON OUTDOORS
627 Amersale Drive
Naperville, IL 60563
Phone: (800) 323-5664
Fax: (830) 887-9374
sales@belson.com

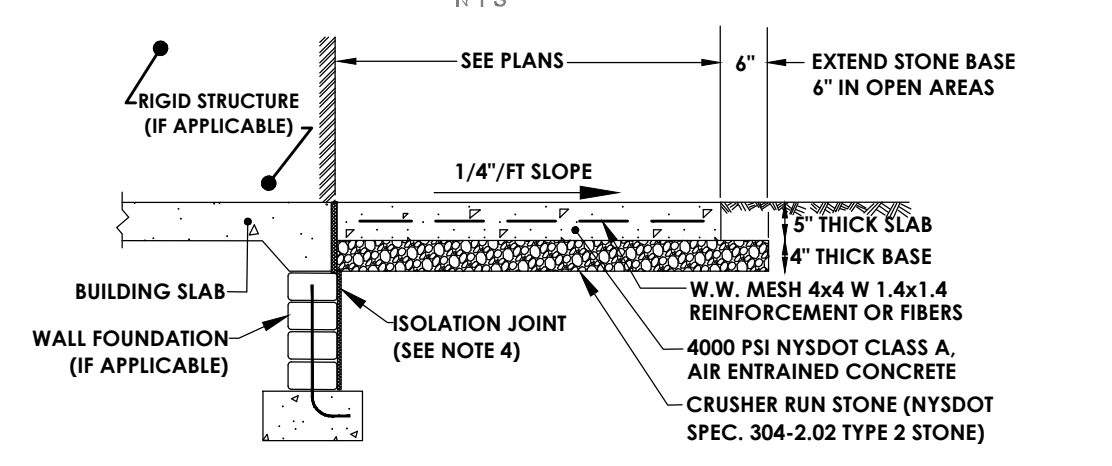
Model # BCB-48 **Dimension Sheet**



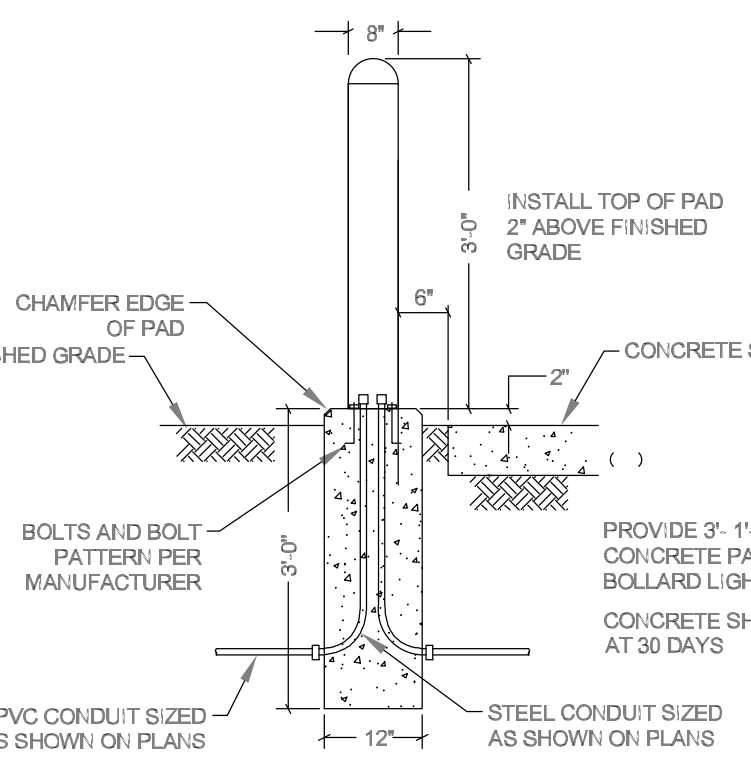
48" COLLAPSIBLE BOLLARD



LIGHT POLE BASE DETAIL FOR 10'-16' POLES
N.T.S.

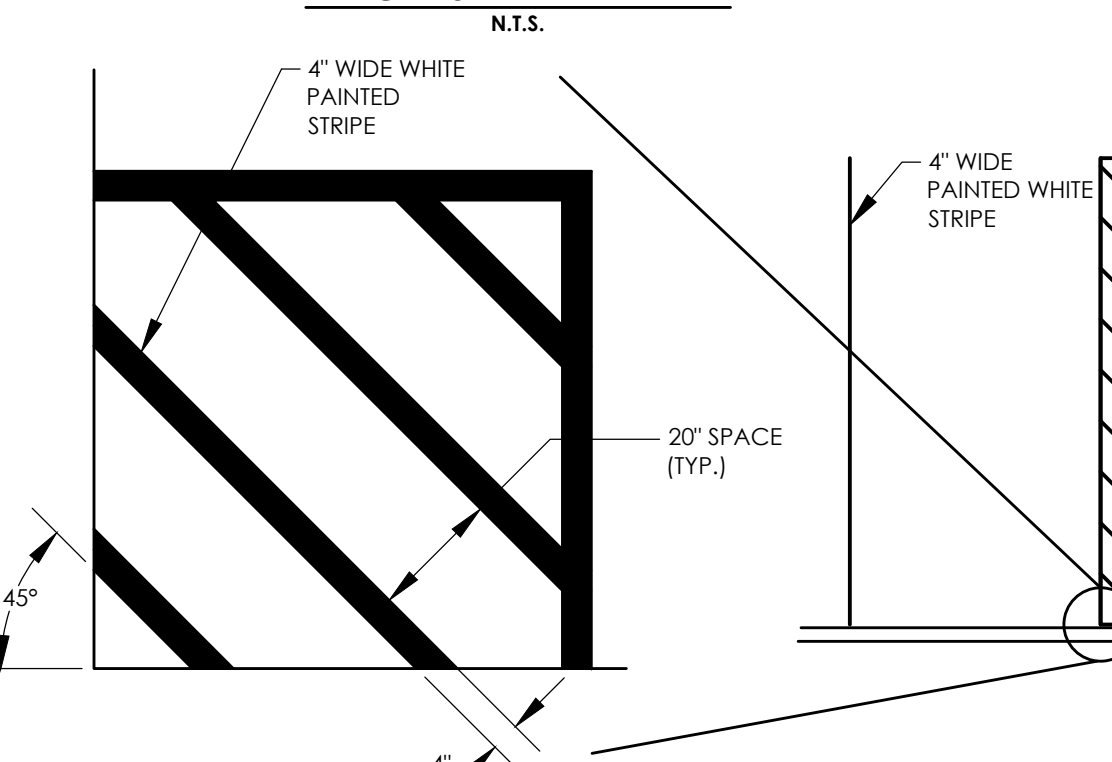


TYPICAL SIDEWALK DETAIL
N.T.S.

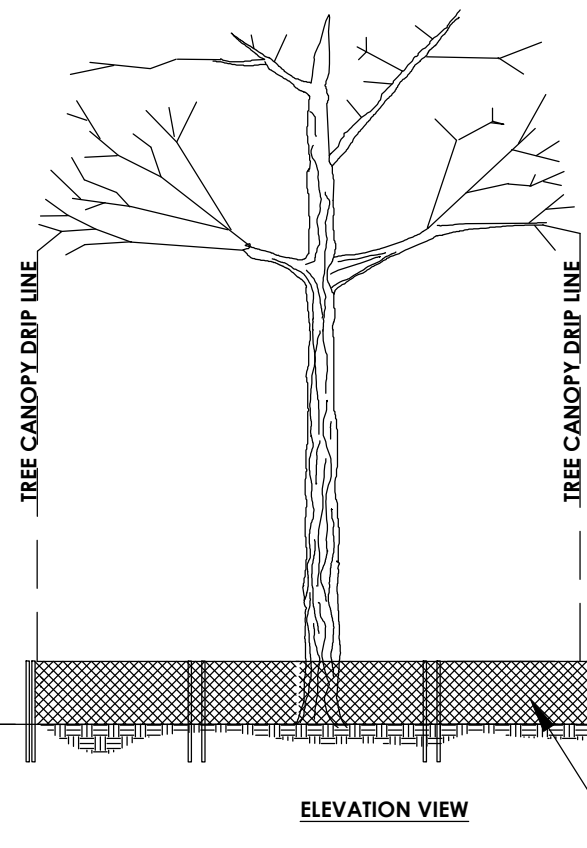


LIGHTED BOLLARD BASE DETAIL
N.T.S.

- NOTES:**
- SIDEWALK WILL BE SEALED WITH TWO (2) COATS OF CURING AND SEALING COMPOUND. COMPOUND TO BE SUBMITTED TO ENGINEER.
 - APPROVED CONCRETE FINISH WILL BE PERPENDICULAR TO SLOPE.
 - CONCRETE SIDEWALKS THROUGH DRIVEWAYS SHALL BE INCREASED TO A 6" THICKNESS WHERE APPLICABLE.
 - CONCRETE SIDEWALKS ABUTTING STRUCTURE WALLS ARE TO INCLUDE A 1/2" CLOSED-CELL POLYETHYLENE ISOLATION JOINT FILLED WITH SEALANT.
 - CONCRETE SIDEWALKS ABUTTING STRUCTURE DOORS ARE TO BE CONSTRUCTED ACCORDING TO ARCHITECTURAL / STRUCTURAL DESIGN PLANS.

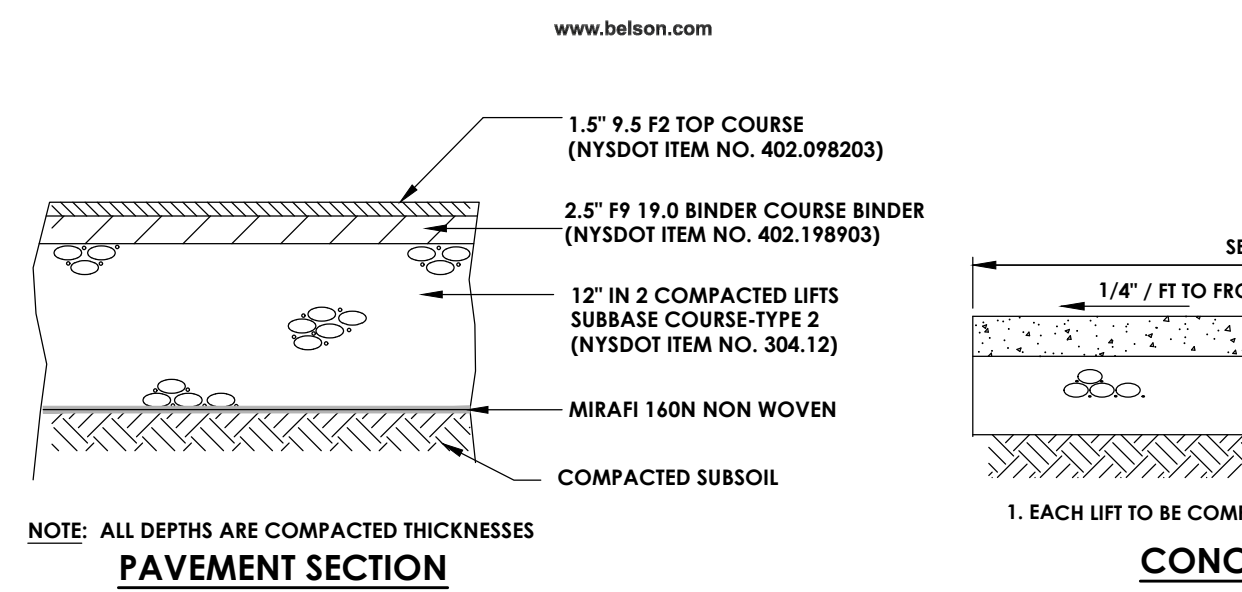
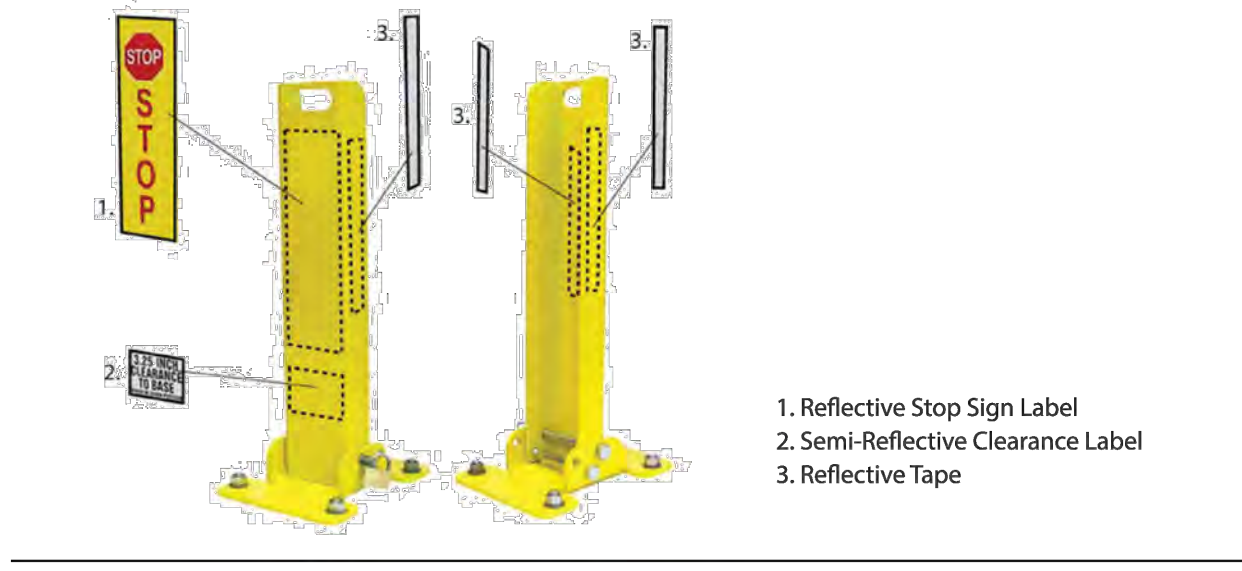


TYPICAL PARKING PAVEMENT MARKING LAYOUT
N.T.S.

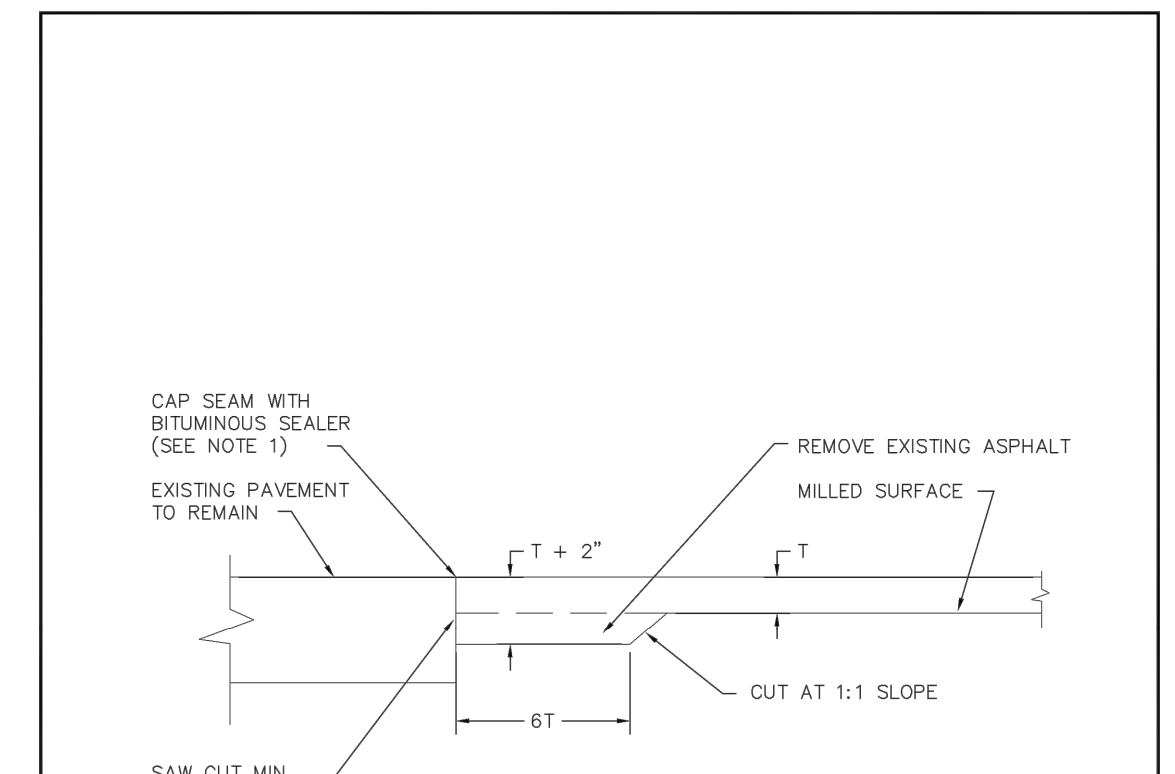


TREE PROTECTION DETAIL
N.T.S.

- NOTE:** THE BARRIER SHALL BE LOCATED AT THE DRIP LINE OF THE CANOPY OF THE TREE AND A MIN. OF 2' FROM THE TRUNK OF THE TREE TO BE PROTECTED, AND SHALL BE ROUND AND CENTERED ON THE TREE.
- NOTE:** ACCESS FOR WATERING SHALL BE LOCATED AWAY FROM CONSTRUCTION



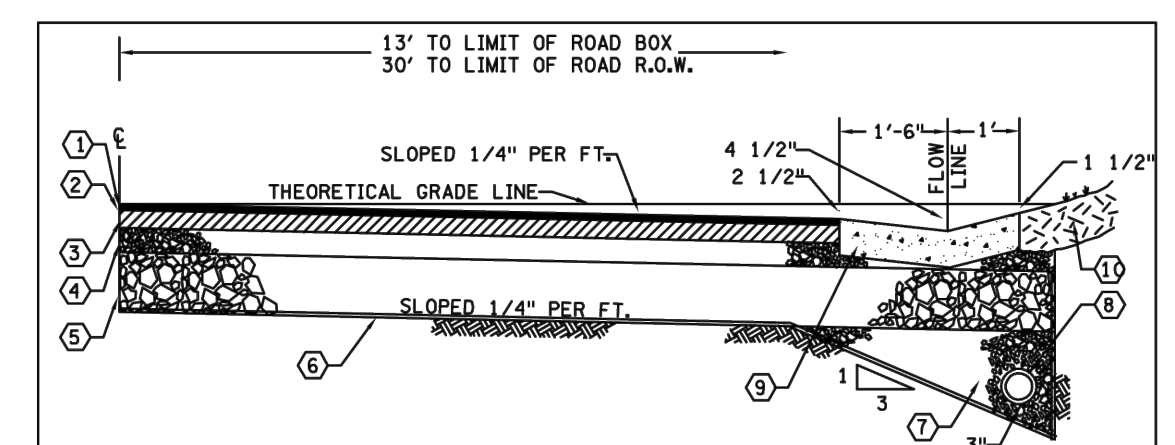
CONCRETE PAD
N.T.S.



PAVEMENT KEY
N.T.S.

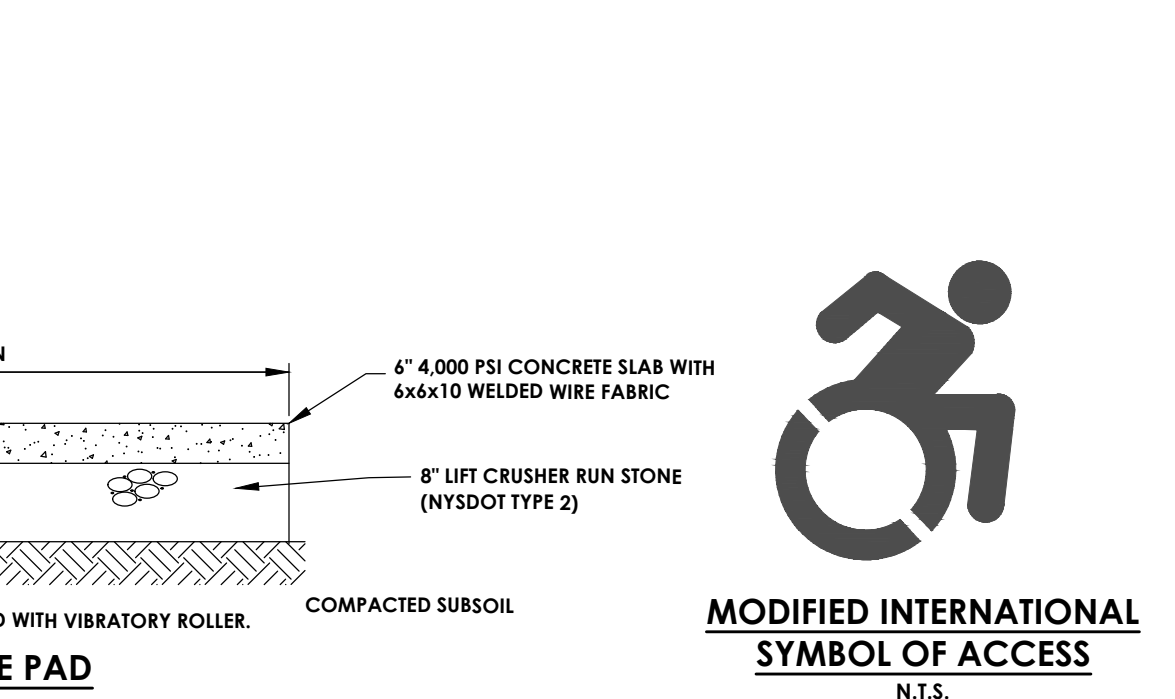
- NOTES:**
- EMERGENCY UTILITY REPAIRS WILL BE ALLOWED UPON APPROVAL OF COMMISSIONER OF PUBLIC WORKS.
 - ALL CONSTRUCTION AND EXCAVATION ACTIVITIES WITHIN TOWN RIGHT-OF-WAY ARE SUBJECT TO APPROVAL BY D.P.W. ISSUANCE OF A SEC. 149 PERMIT, AND SUCH CONDITIONS AS MAY BE PLACED UPON IT.
 - UPON COMPLETION OF WORK, DISTURBED AREAS SHALL BE LEFT IN AS GOOD CONDITION AS PRIOR TO WORK.
 - THE CONTRACTOR SHALL PROVIDE ONE TRAFFIC LANE OPEN AT ALL TIMES, LIMIT THE HOURS OF WORK FROM 8:00 A.M. TO 4:00 P.M. AND NOTIFY THE DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO EXCAVATION.
 - FLAGMEN, SIGNS, LIGHTS, BARRICADES AND OTHER DEVICES SHALL BE REQUIRED BY PITTSFORD D.P.W. FOR SAFETY PURPOSES IN ACCORDANCE TO NYS DOT UNIFORM TRAFFIC CONTROL DEVICES.

DETAIL No.	H-9
REVISIONS	

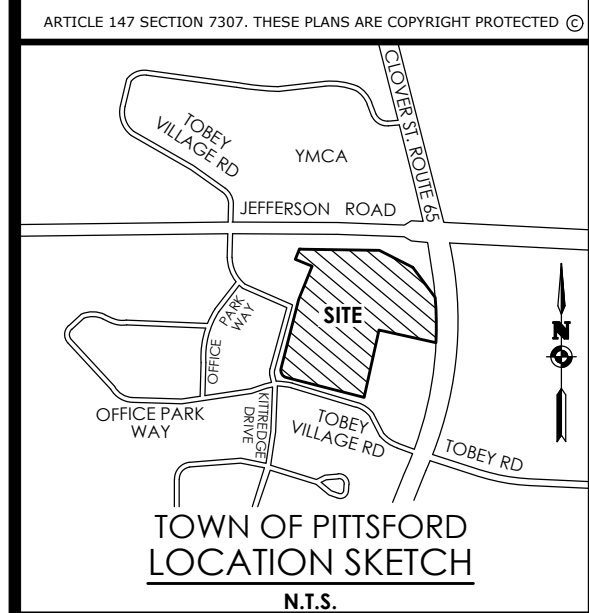


- NOTES:**
- 1" MIN. COMPACTED THICKNESS BITUMINOUS ASPHALT CONCRETE ITEM #403.18 TYPE 7 TOP COURSE TO BE PREPARED AND PLACED IN ACCORDANCE WITH NYS DOT STD. SPECS. SEC. 400.
 - BITUMINOUS TACK COAT ACCORDING TO NYS DOT STD. SPECS. SEC. 407. MINIMUM 0.55 GALS. PER SQ. YD. OR AS CONDITIONS DICTATE. USE OF THIS MATERIAL SHALL BE BASED ON CONDITION OF BINDER SURFACE PRIOR TO DICTATE. USE OF THIS MATERIAL SHALL BE REQUIRED WHEN REQUESTED BY THE PITTSFORD HWY. SUPERINTENDENT.
 - 3" MIN. COMPACTED THICKNESS BITUMINOUS ASPHALT CONCRETE ITEM #403.13 TYPE 3 BINDER COURSE TO BE PREPARED AND PLACED IN ACCORDANCE WITH NYS DOT STD. SPECS. SEC. 400.
 - 4" LIFT (MIN. COMPACTED THICKNESS) ITEM #304.03 TYPE 2 CRUISER RUN SUBBASE MATERIAL TO BE PREPARED AND PLACED IN ACCORDANCE WITH NYS DOT STD. SPECS. SEC. 304.
 - 8" COMPACTED THICKNESS NYS DOT ITEM #703-0201 CRUSHED STONE (PG. 7-14) PRIMARY SIZE 3" AND 4". TO BE FURNISHED AND PLACED IN ACCORDANCE WITH NYS DOT STD. SPECS. SEC. 304.
 - SUBGRADE AND/OR EMBANKMENT AREAS SHALL MEET 95% OPTIMUM DENSITY ACCORDING TO MODIFIED PROCTOR METHOD DETERMINED BY TOWN APPROVED FIELD SAMPLES. ALL OTHER ASPECTS OF PREPARATION AND PLACEMENT SHALL BE IN ACCORDANCE WITH NYS DOT STD. SPECS. SEC. 203. GEOTEXTILE GROUND STABILIZATION FABRIC SHALL BE REQUIRED, WHEN REQUESTED BY PITTSFORD HWY. SUPERINTENDENT WHEN SUBGRADE CONDITIONS WARRANT.
 - COMPACTED CRUSHED STONE WEEP OF #2 STONE AND/OR #1 STONE AS PER NYS DOT SEC 703 AND TABLE 703-4.
 - 6" DIA. PERFORATED POLYETHYLENE UNDERDRAIN PIPE HANCOR HEAVY DUTY OR APPROVED ASTM F-406 EQUAL. ELIMINATION OF 6" WEEP PIPE AND ACCEPTANCE OF ALTERNATE WEEP DESIGN WILL BE CONSIDERED APPROPRIATE AND MAY BE APPROVED OR REJECTED BY HWY. SUPERINTENDENT WHEN THE FOLLOWING CONDITIONS ARE ENCOUNTERED:
 - SOIL TYPE IS LISTED AS AASHO, A-1, OR A-2 IN MONROE CO. SOIL SURVEY.
 - INDEPENDENT SOIL TEST RESULTS TAKEN AT 500' INTERVALS 5' BELOW FINISHED GRADE INDICATE LESS THAN 35% OF MATERIAL BY WEIGHT PASSES A #200 SIEVE AND GROUNDWATER TABLE IS DEEPER THAN 5' BELOW SUBGRADE SURFACE.
 - 6" MIN. THICKNESS PORTLAND CEMENT AIR ENTRAINED CONCRETE GUTTER. 4000 PSI MIN. 28 DAY COMPRESSIVE STRENGTH. CONCRETE SHALL BE PREPARED, SUPPLIED, AND PLACED IN ACCORDANCE WITH ALL APPLICABLE PORTIONS OF NYS DOT STD. SPECS. SECS. 501 AND 605. DESIGN MIX SUBJECT TO APPROVAL BY DPW. ALL CONCRETE TO BE SPRAYED WITH 2 COATS OF APPROVED SEALER.
 - 6" TOPSOIL FURNISHED AND PLACED IN ACCORDANCE WITH NYS DOT STD. SPEC. SEC. 613. IF TESTED, MATERIAL SHALL CONFORM WITH SEC. 713-01.

DETAIL No.	H-1
REVISIONS	



MODIFIED INTERNATIONAL SYMBOL OF ACCESS
N.T.S.



Client:
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c/o Rochester Friendly Home
3156 East Avenue
Rochester, NY 14618

PASSERO ASSOCIATES
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Principal-in-Charge: Jess Sudol, P.E.
Project Manager: David Cox, P.E.
Designed by: James Ritzenhaller



Revisions			
No.	Date	By	Description
1			

DETAILS

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

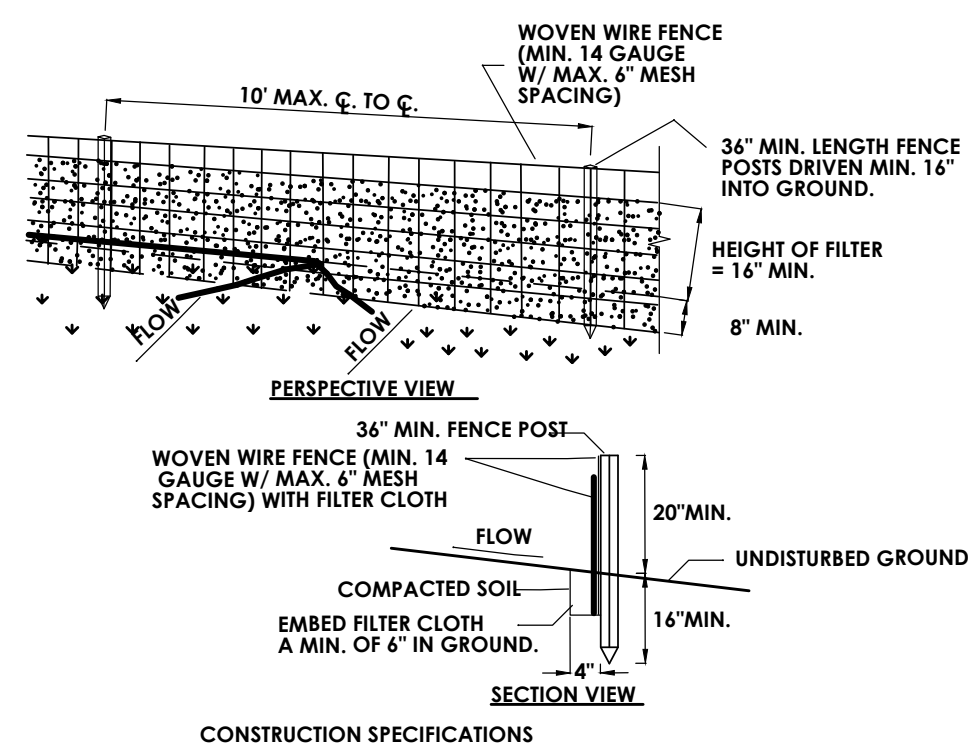
Project No. 20233554.0001

Drawing No. C 202

Scale: N.T.S.

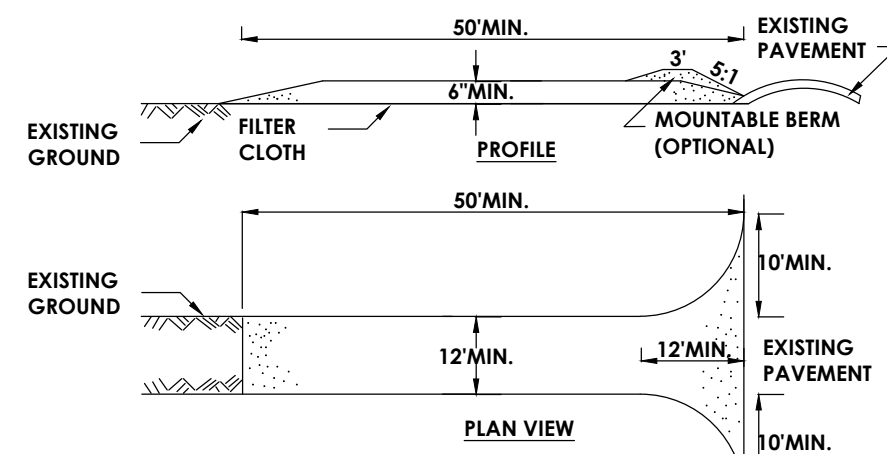
Date: NOVEMBER 2023

GRADING AND EROSION CONTROL



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "U" OR "I" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 14 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - REFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

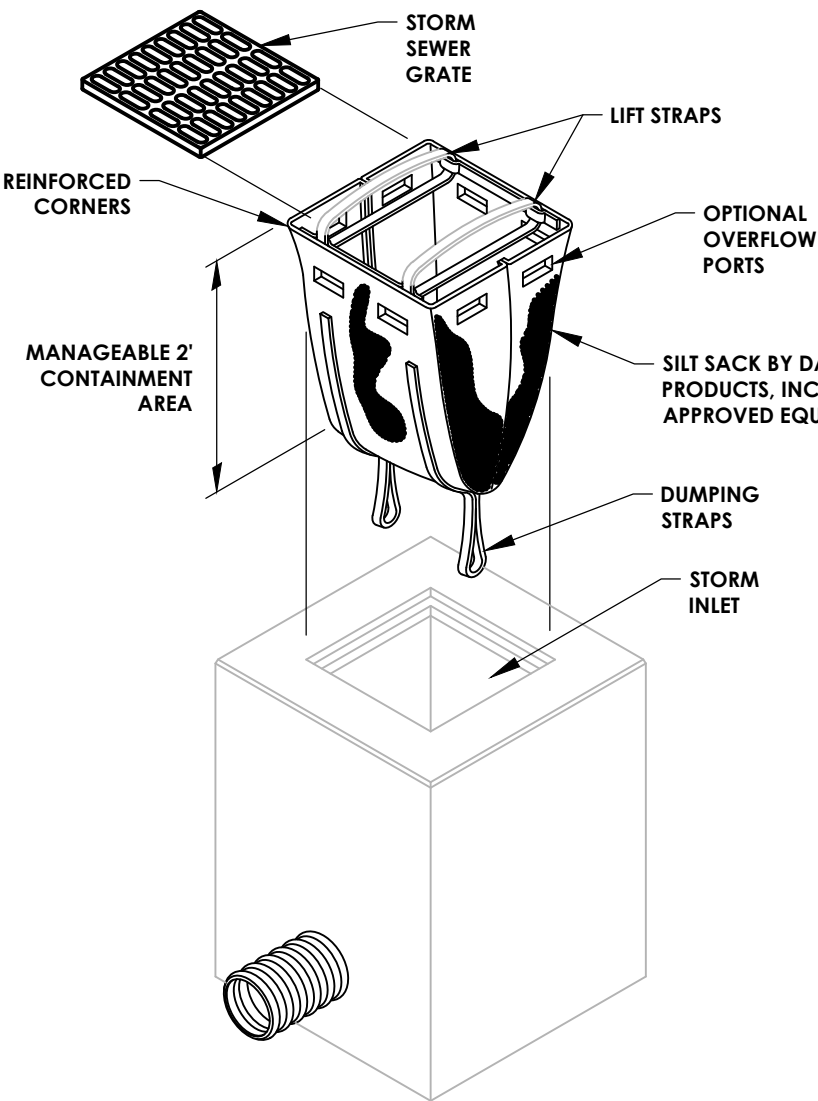
SILT FENCE DETAIL
N.T.S.



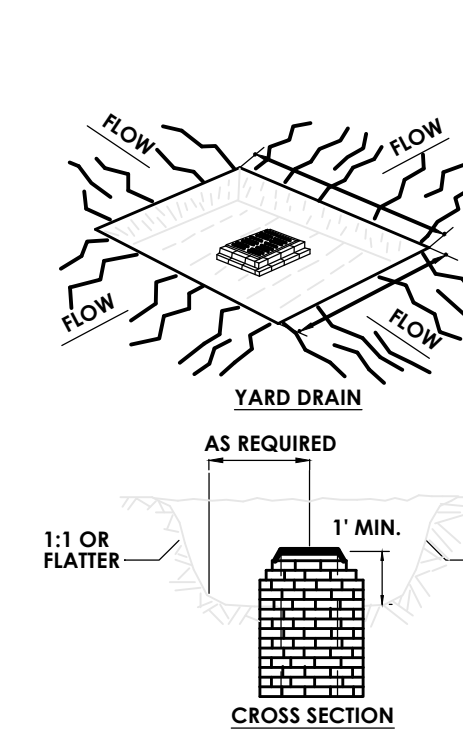
CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



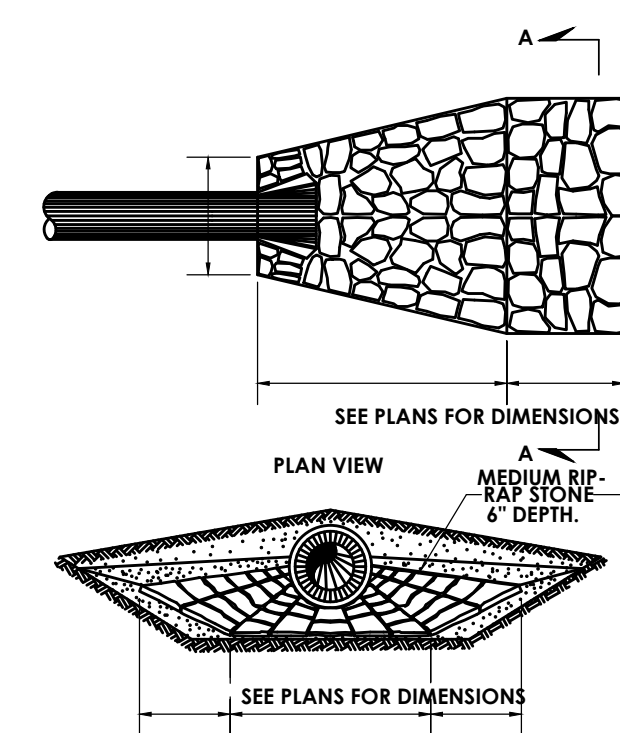
SILT SACK DETAIL
N.T.S.



CONSTRUCTION SPECIFICATIONS

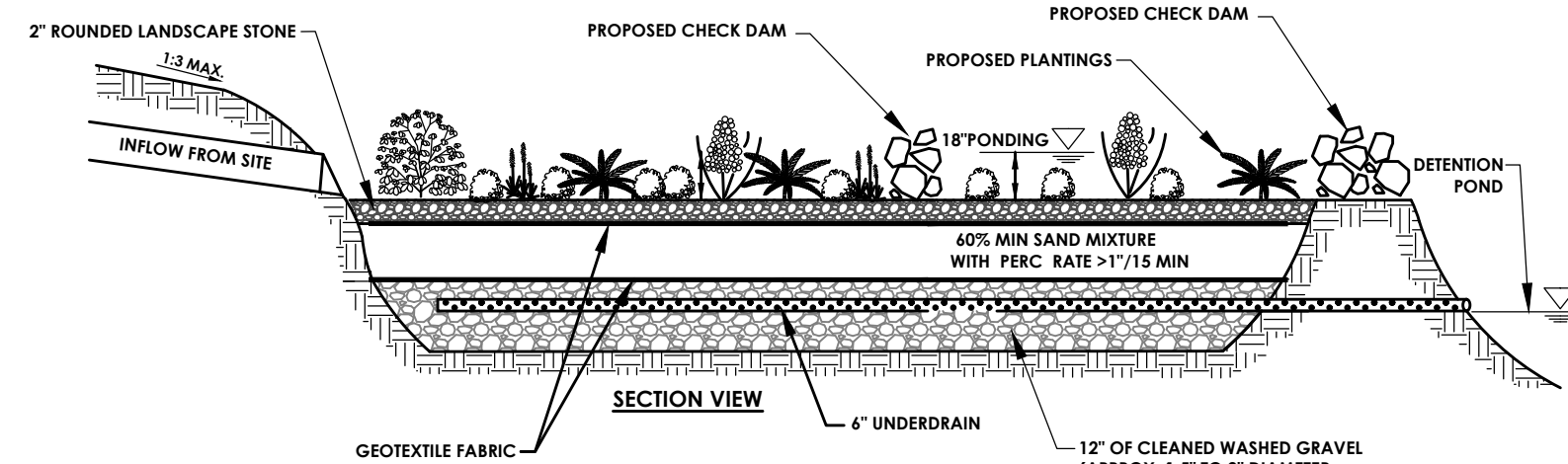
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

CATCH BASIN SEDIMENT TRAP
N.T.S.



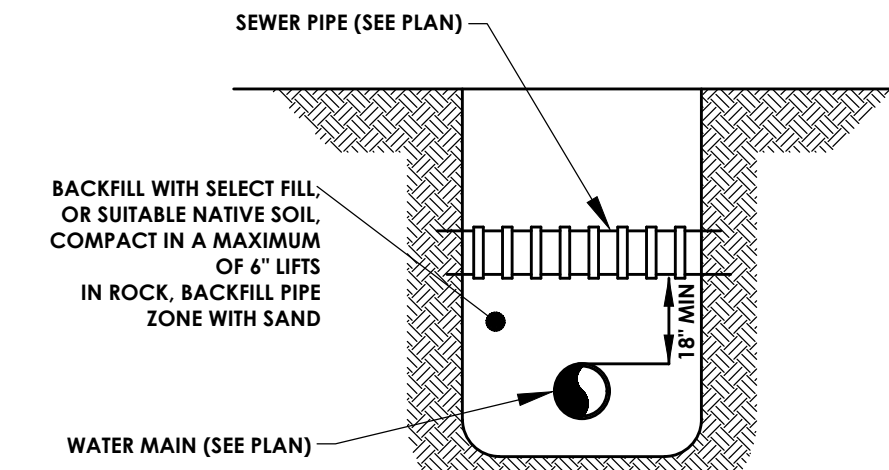
STONE RIP-RAP DETAIL
N.T.S.

UTILITIES

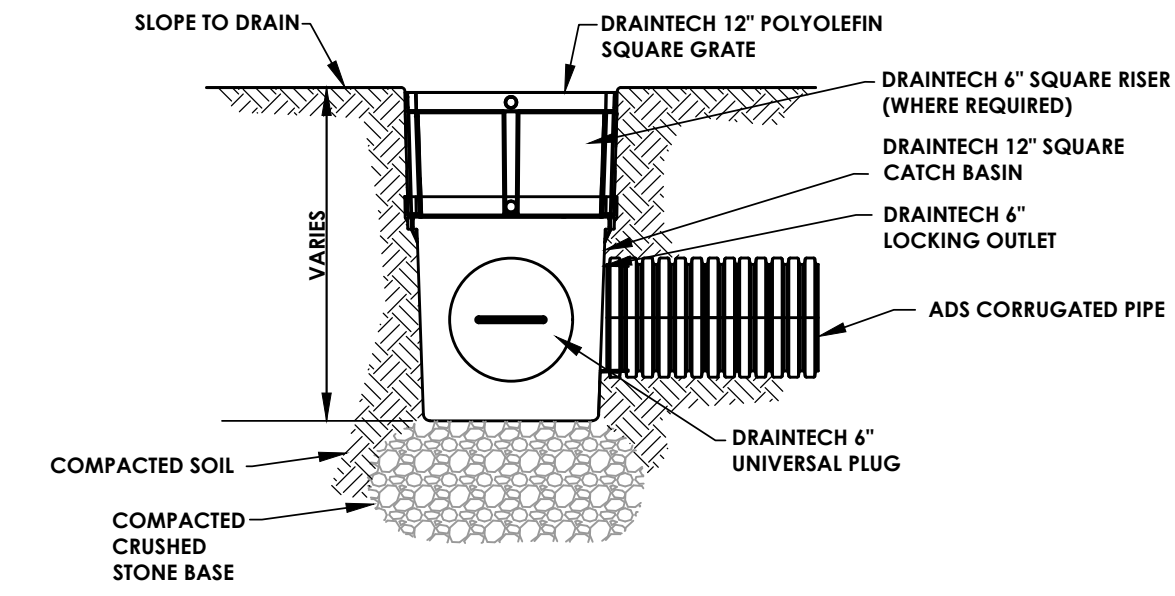


- NOTE:**
- FOR ALL SEEDING & STABILIZATION MEASURES IT IS THE RESPONSIBILITY OF THE OWNER & DEVELOPER TO ENSURE THAT FINAL STABILIZATION OCCURS AS REQUIRED BY THE NYSDEC.
 - SAND SHALL NOT BE PLACED IN BIO RETENTION AREA UNTIL SITE HAS REACHED 50% STABILIZATION. SILT FENCE TO BE PROVIDE AROUND ENTIRE BIO RETENTION AREA AT ALL TIMES.

WET/DRY SWALE

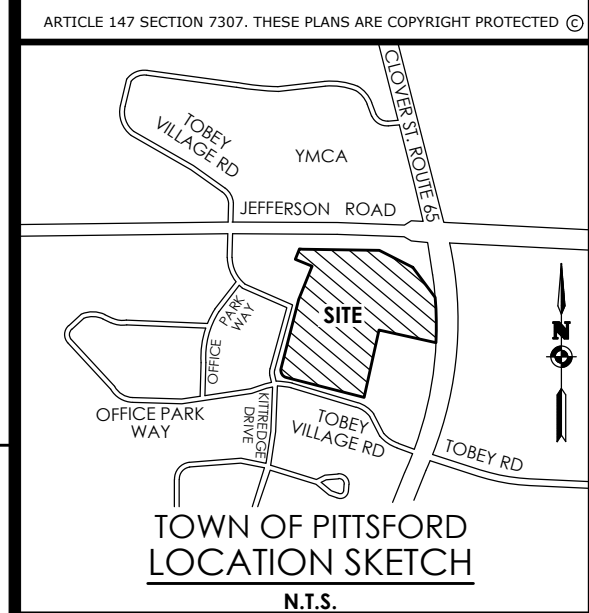


WATER/SEWER MAIN CROSSING
N.T.S.



- NOTES:**
- MAX. COVER OVER TOP OF PIPE IS 4FT. CONTACT ADS IF OTHERWISE GREATER.
 - GRATE OR LID MUST BE INSTALLED PRIOR TO POURING CONCRETE OR BACKFILLING

ADS DRAINTECH 12" SQUARE CATCH BASIN W/ CORRUGATED PIPE AND SQUARE GRATE
N.T.S.



TOWN OF PITTSFORD
LOCATION SKETCH
N.T.S.

Client:
Friendly Senior Living Commons, LLC
c/o Rochester Friendly Home
3156 East Avenue
Rochester, NY 14618

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, P.E.
Project Manager: David Cox, P.E.
Designed by: James Ritzenhaller



Revisions			
No.	Date	By	Description
1			

DETAILS

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

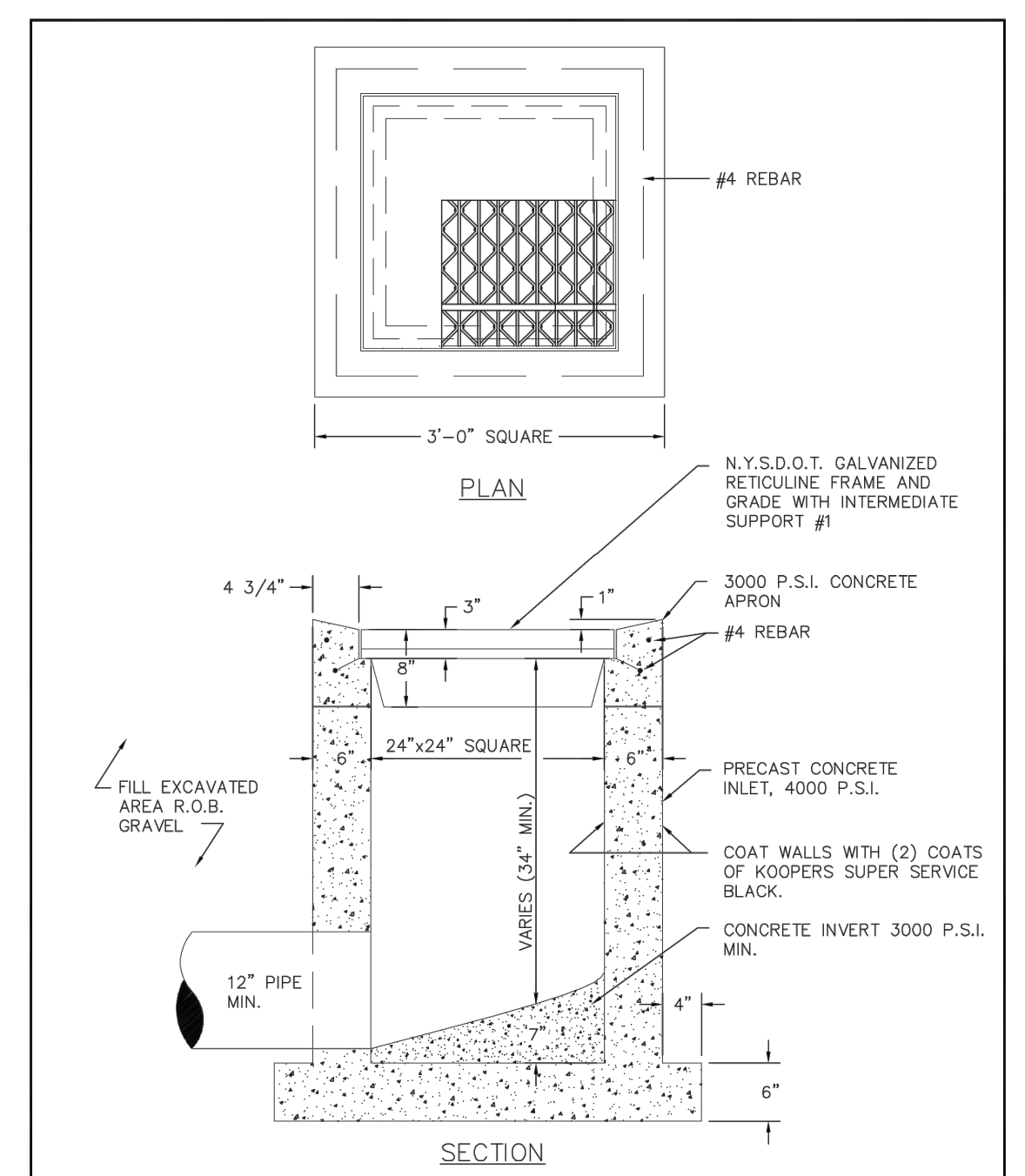
Project No.
20233554.0001

Drawing No.
C 203

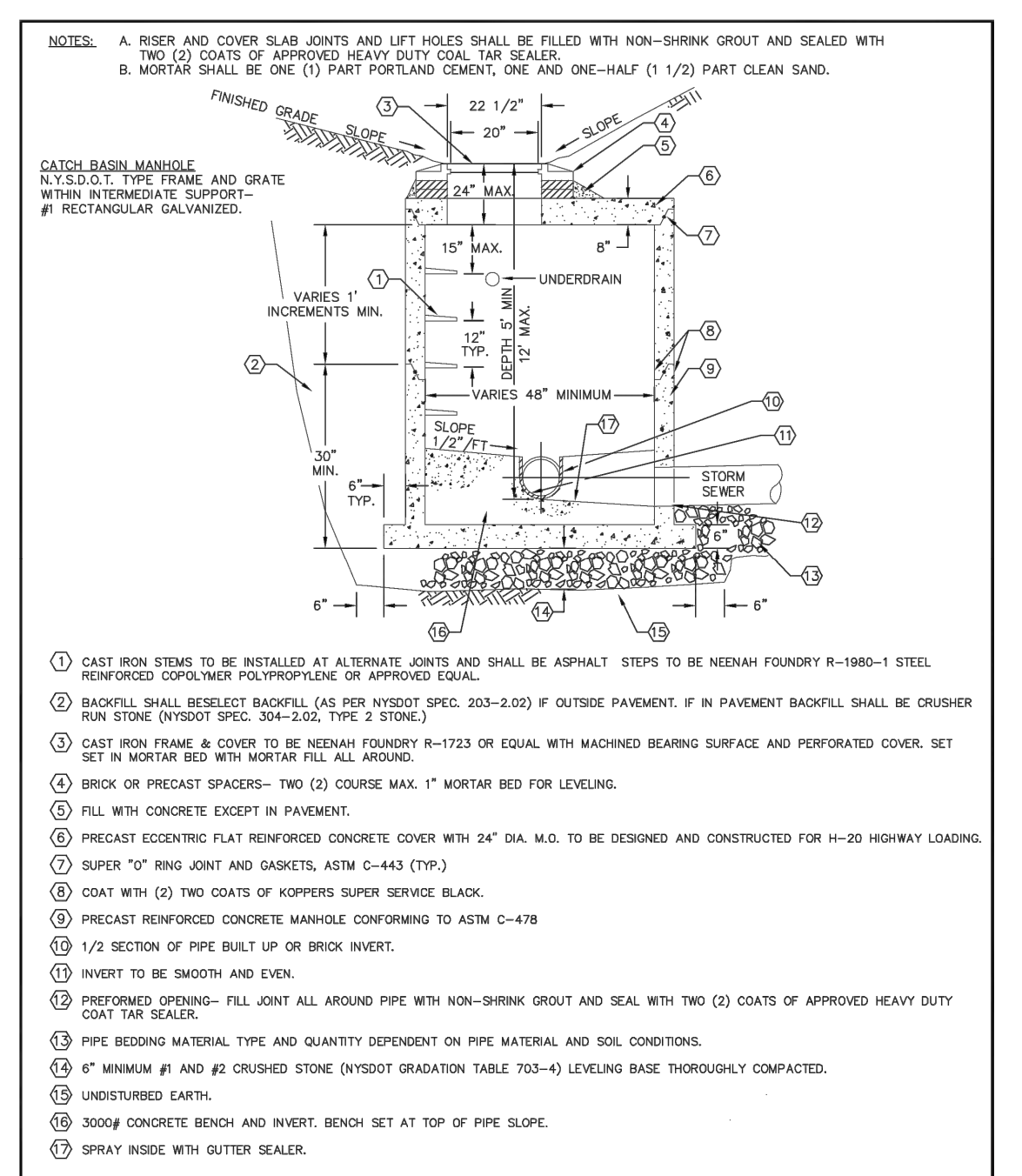
Scale:
N.T.S.

Date
NOVEMBER 2023

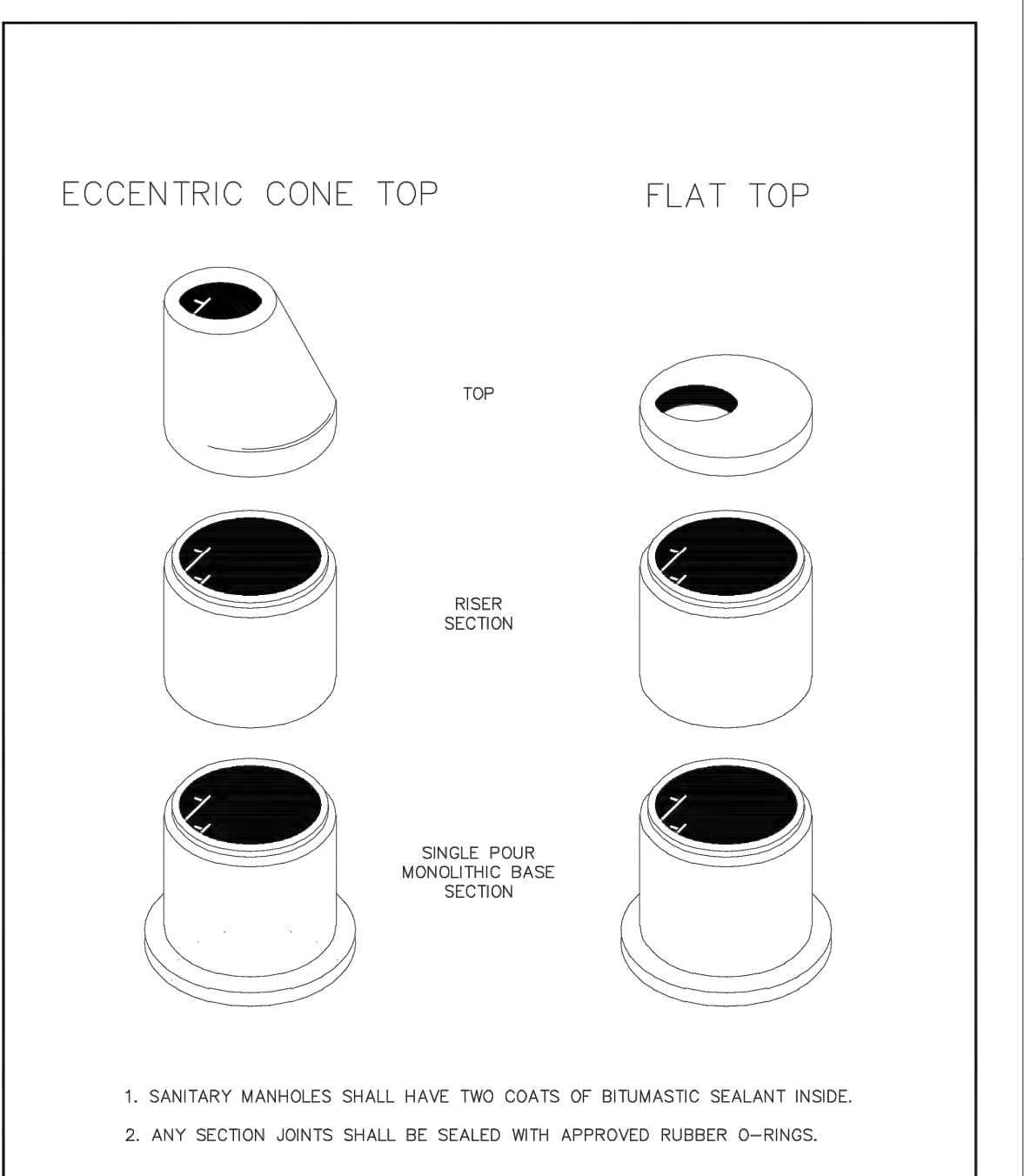
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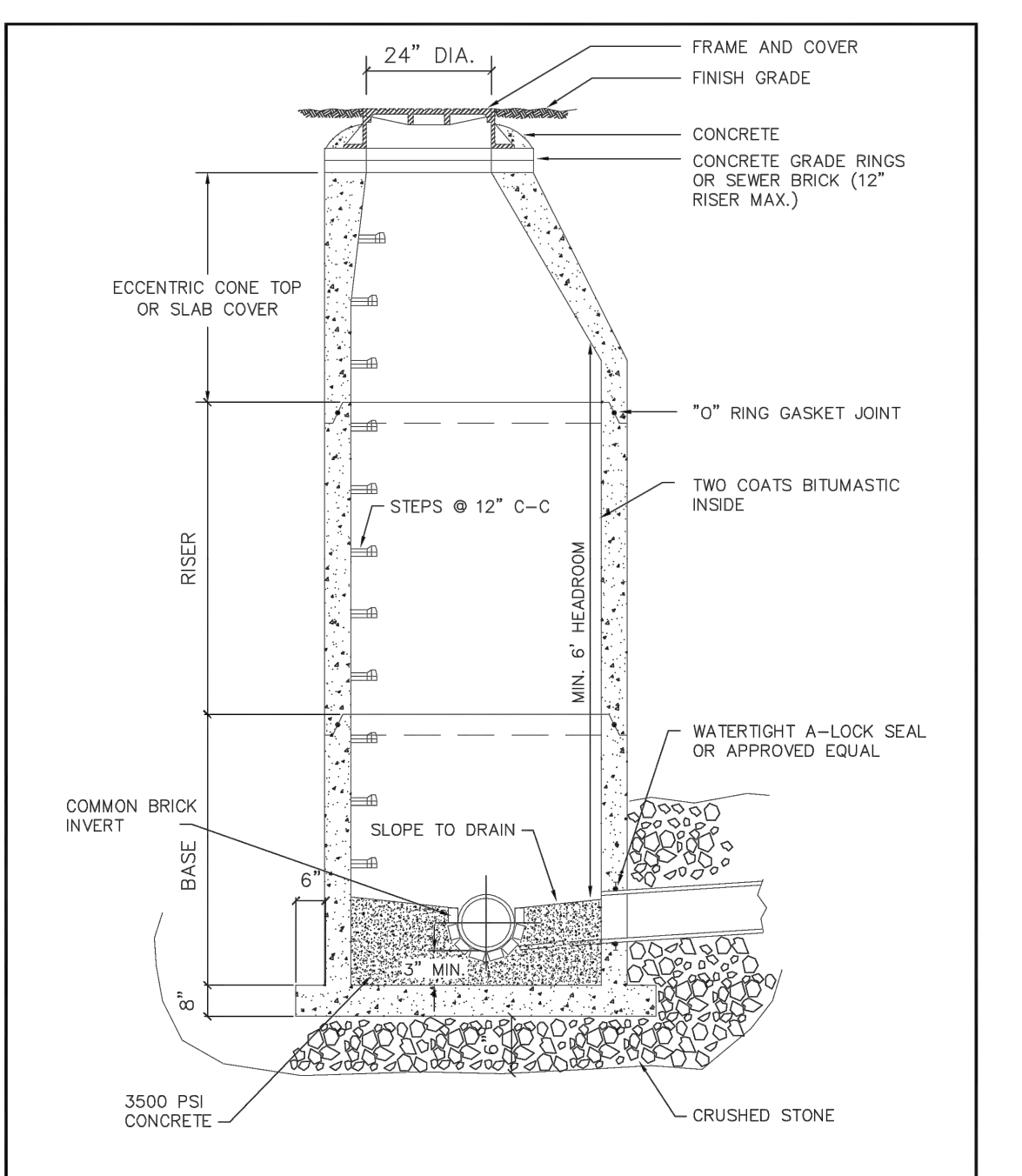
ST-3
STANDARD FIELD INLET
N.T.S.



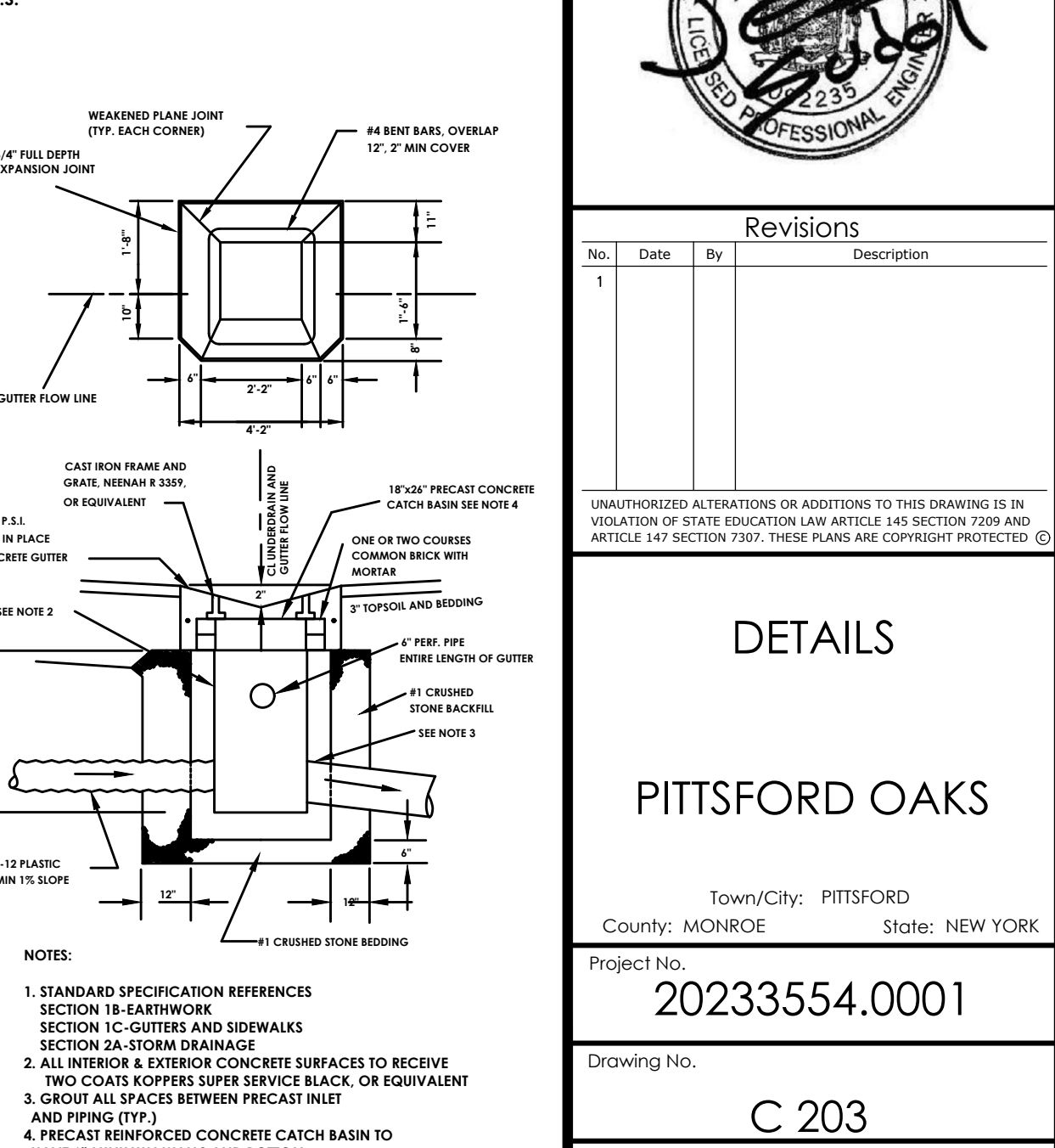
ST-1
STANDARD STORM AND CATCH BASIN MANHOLE
N.T.S.



S-1
STANDARD 4' DIA. MANHOLES
N.T.S.

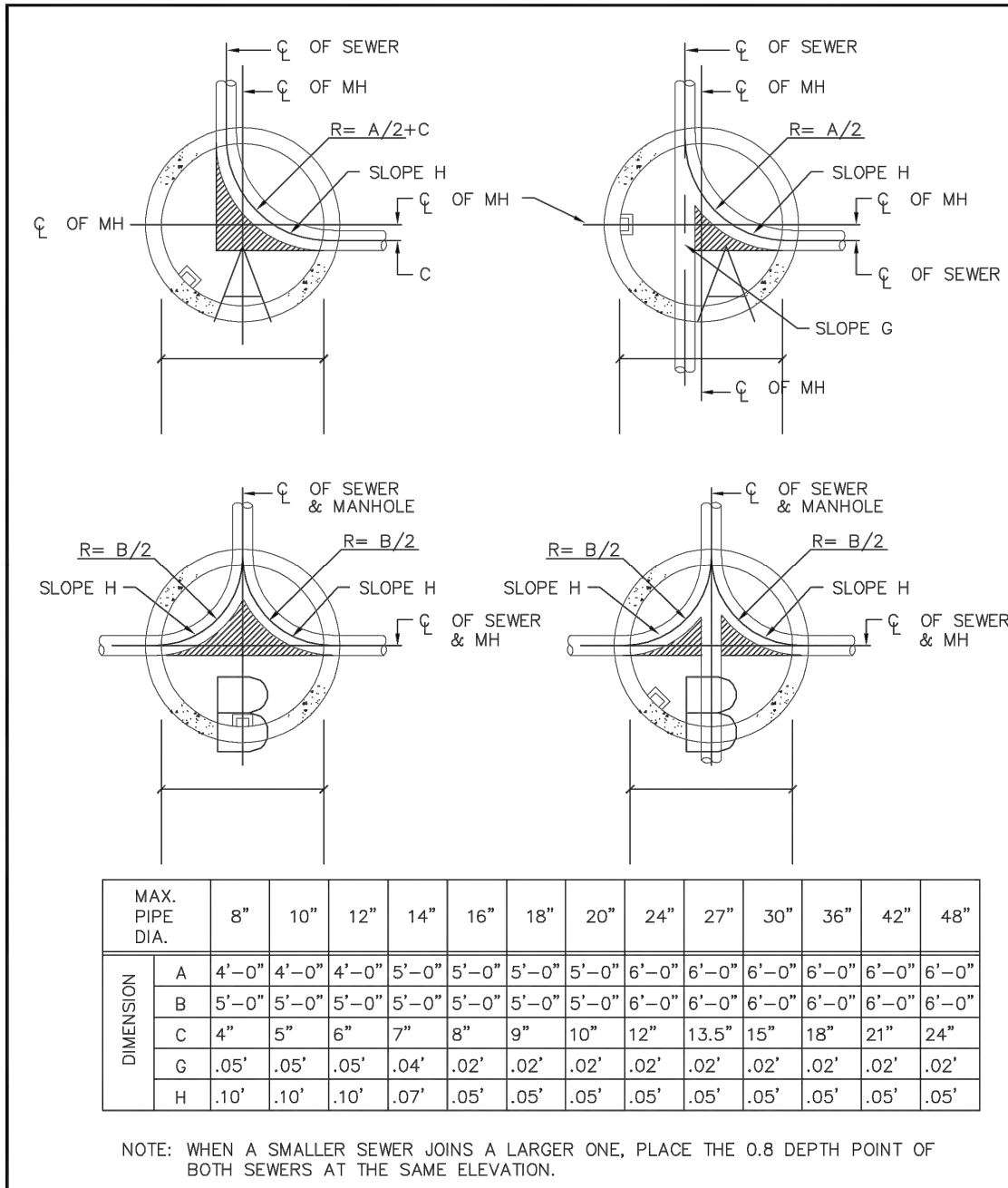


S-2
4' DIA. REINFORCED PRECAST CONCRETE MANHOLE
N.T.S.



GUTTER INLET
N.T.S.

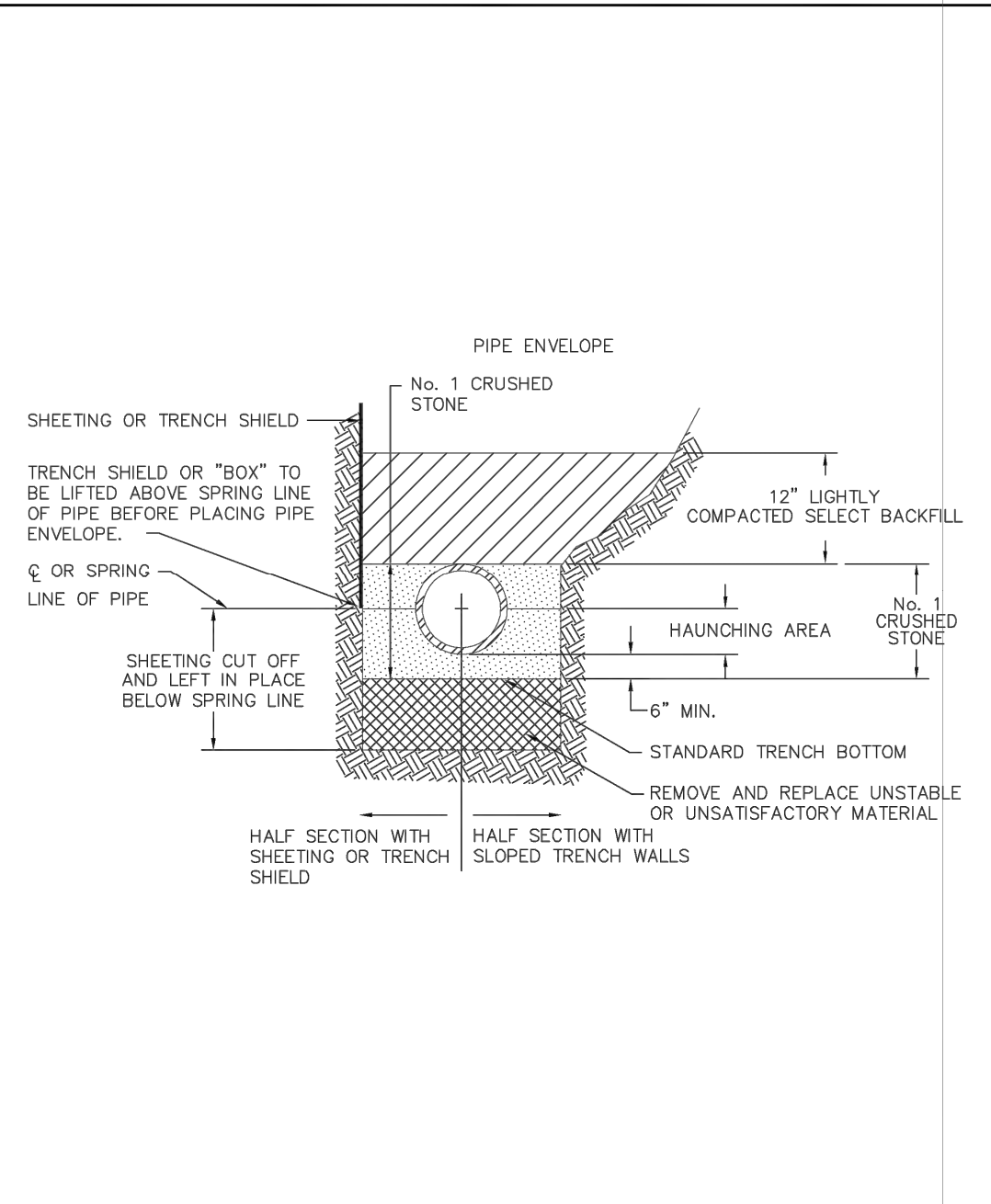
UTILITIES



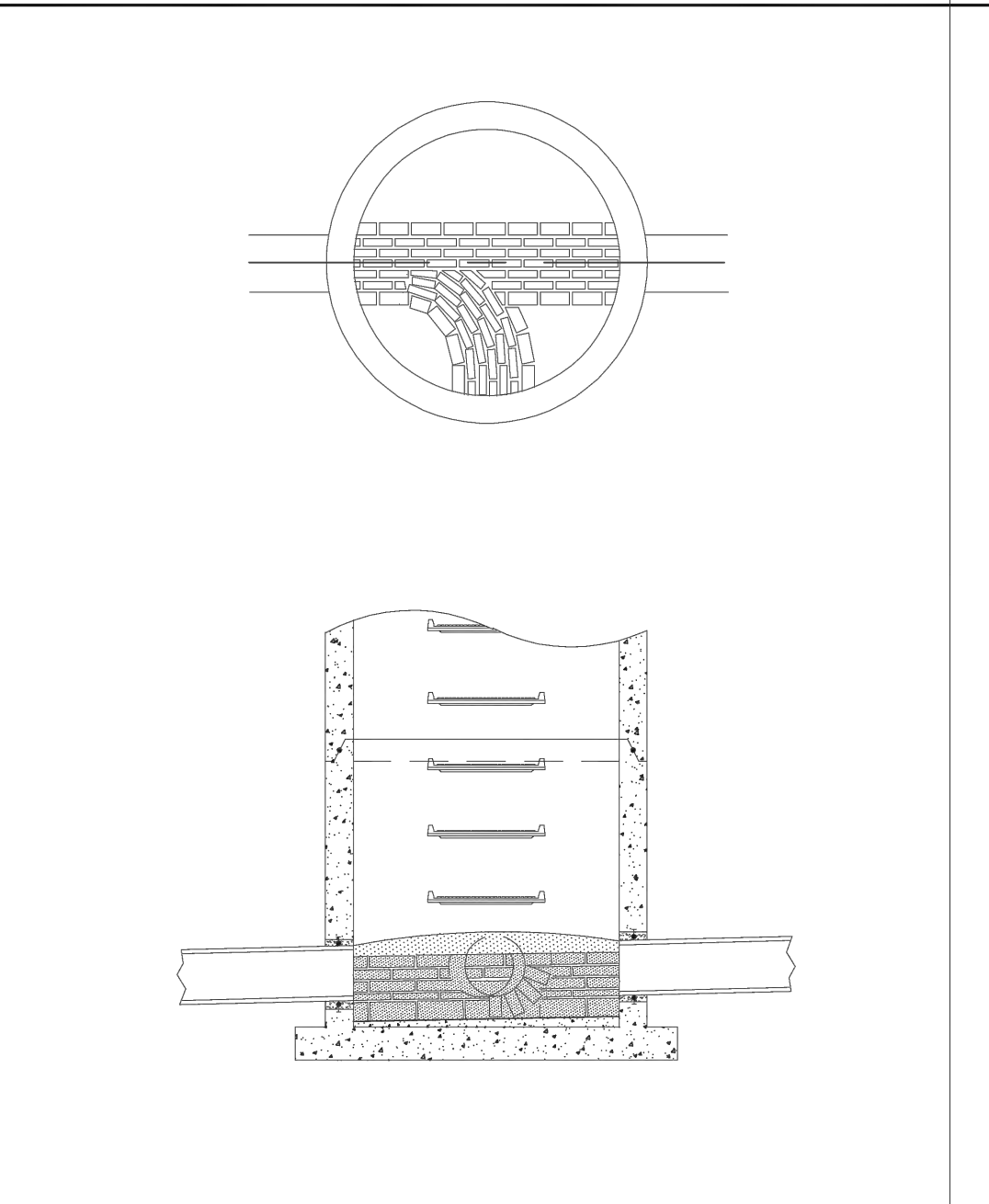
MAX. PIPE DIA.	8"	10"	12"	14"	16"	18"	20"	24"	27"	30"	36"	42"	48"
A	4'-0"	4'-0"	4'-0"	5'-0"	5'-0"	5'-0"	5'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"
B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"
C	4"	5"	6"	7"	8"	9"	10"	12"	13.5"	15"	18"	21"	24"
G	.05'	.05'	.04'	.02'	.02'	.02'	.02'	.02'	.02'	.02'	.02'	.02'	.02'
H	.10'	.10'	.10'	.07'	.05'	.05'	.05'	.05'	.05'	.05'	.05'	.05'	.05'

NOTE: WHEN A SMALLER SEWER JOINS A LARGER ONE, PLACE THE 0.8 DEPTH POINT OF BOTH SEWERS AT THE SAME ELEVATION.

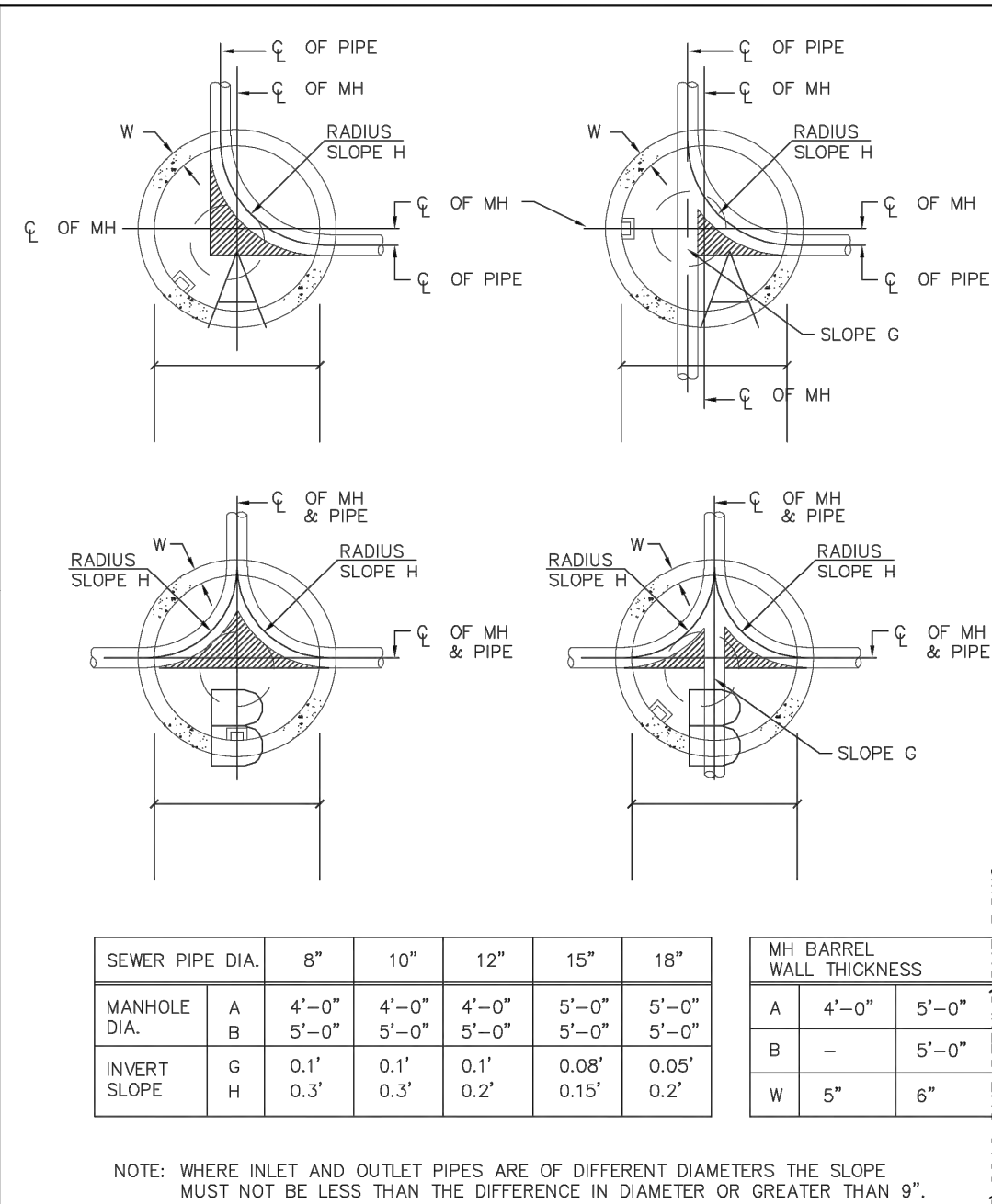
DETAIL No. **ST-5**
STANDARD MANHOLE DIMENSIONS
N.T.S.



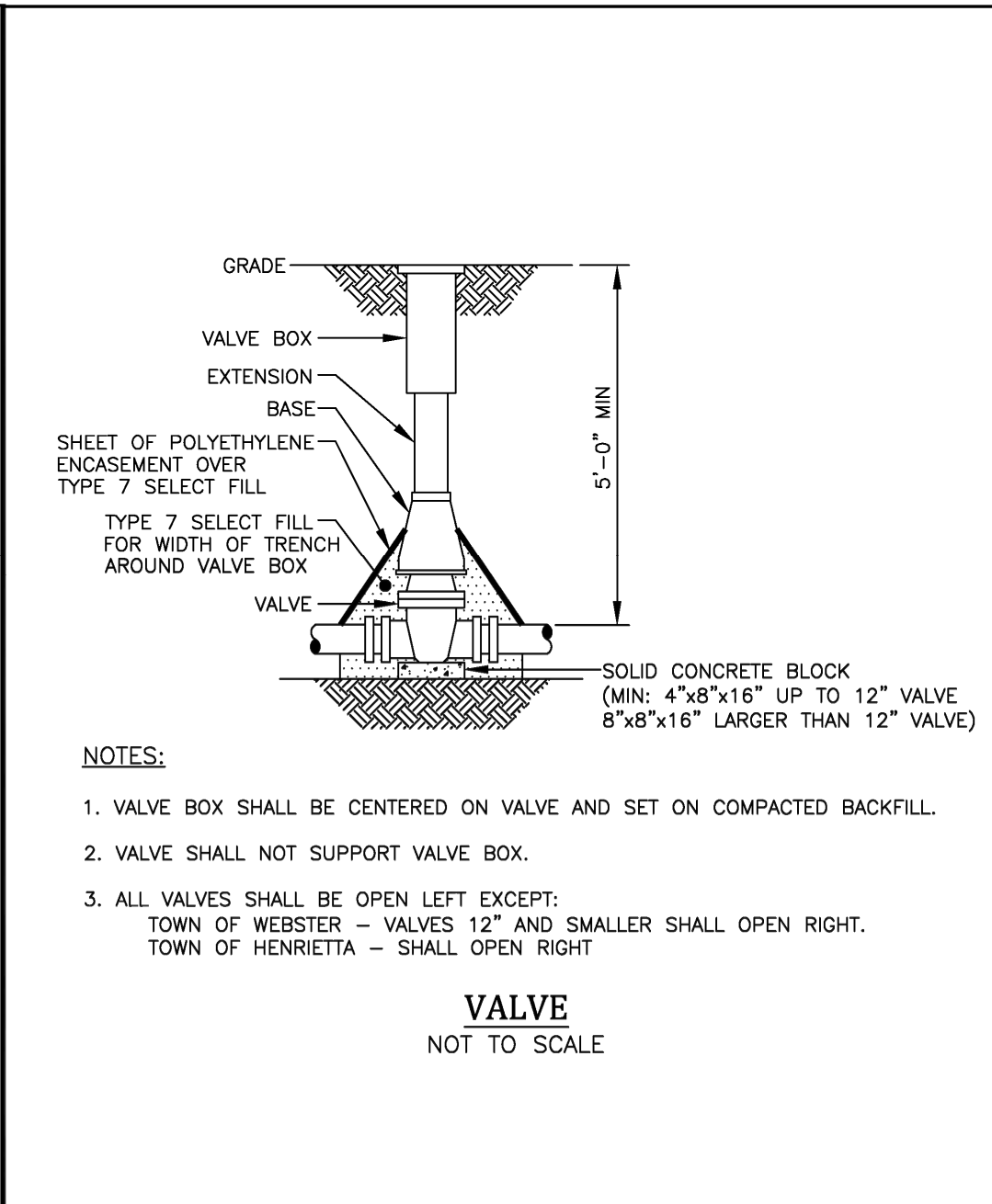
DETAIL No. **S-12**
TYPICAL PIPE TRENCH SECTION
N.T.S.



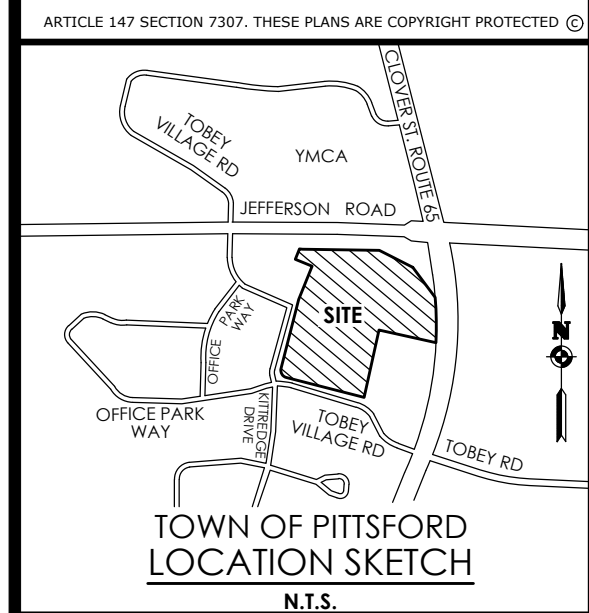
DETAIL No. **S-5**
STANDARD MANHOLE BRICK INVERT (TYPICAL)
N.T.S.



DETAIL No. **S-10**
STANDARD MANHOLE DIMENSIONS
N.T.S.

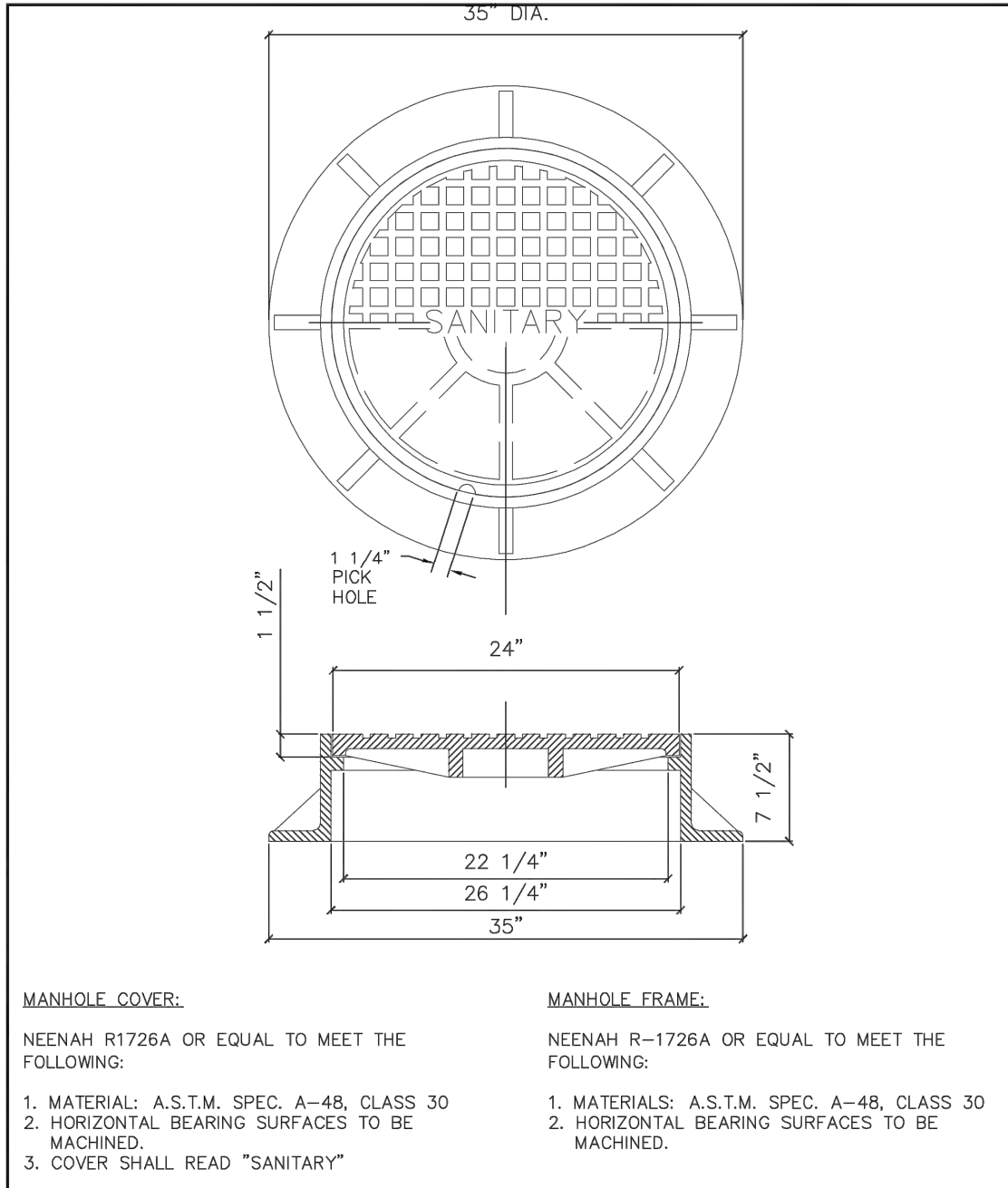


VALVE
NOT TO SCALE

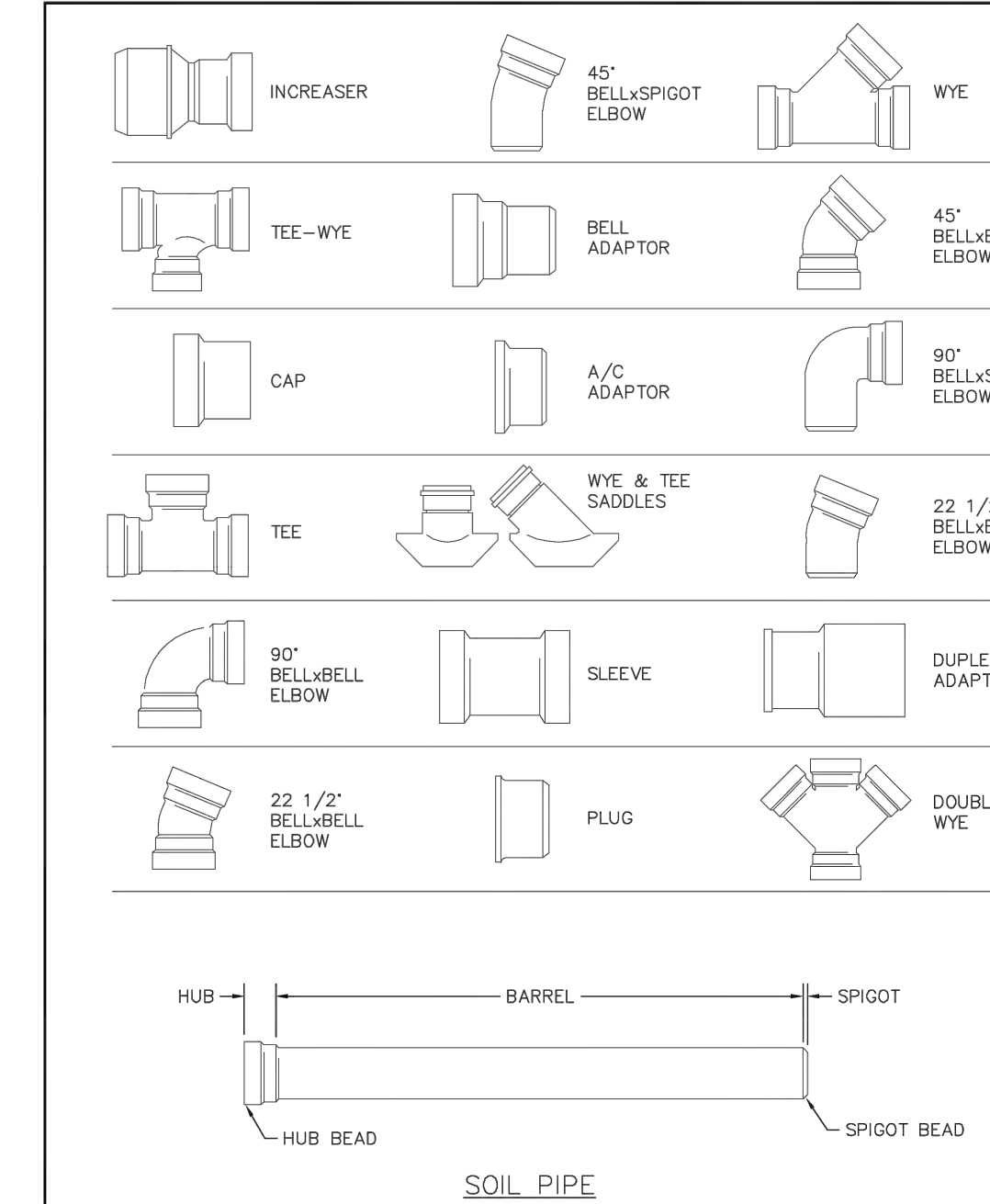


Client:
First Senior Living Commons, LLC
c/o Rochester Friendly Home
3156 East Avenue
Rochester, NY 14618

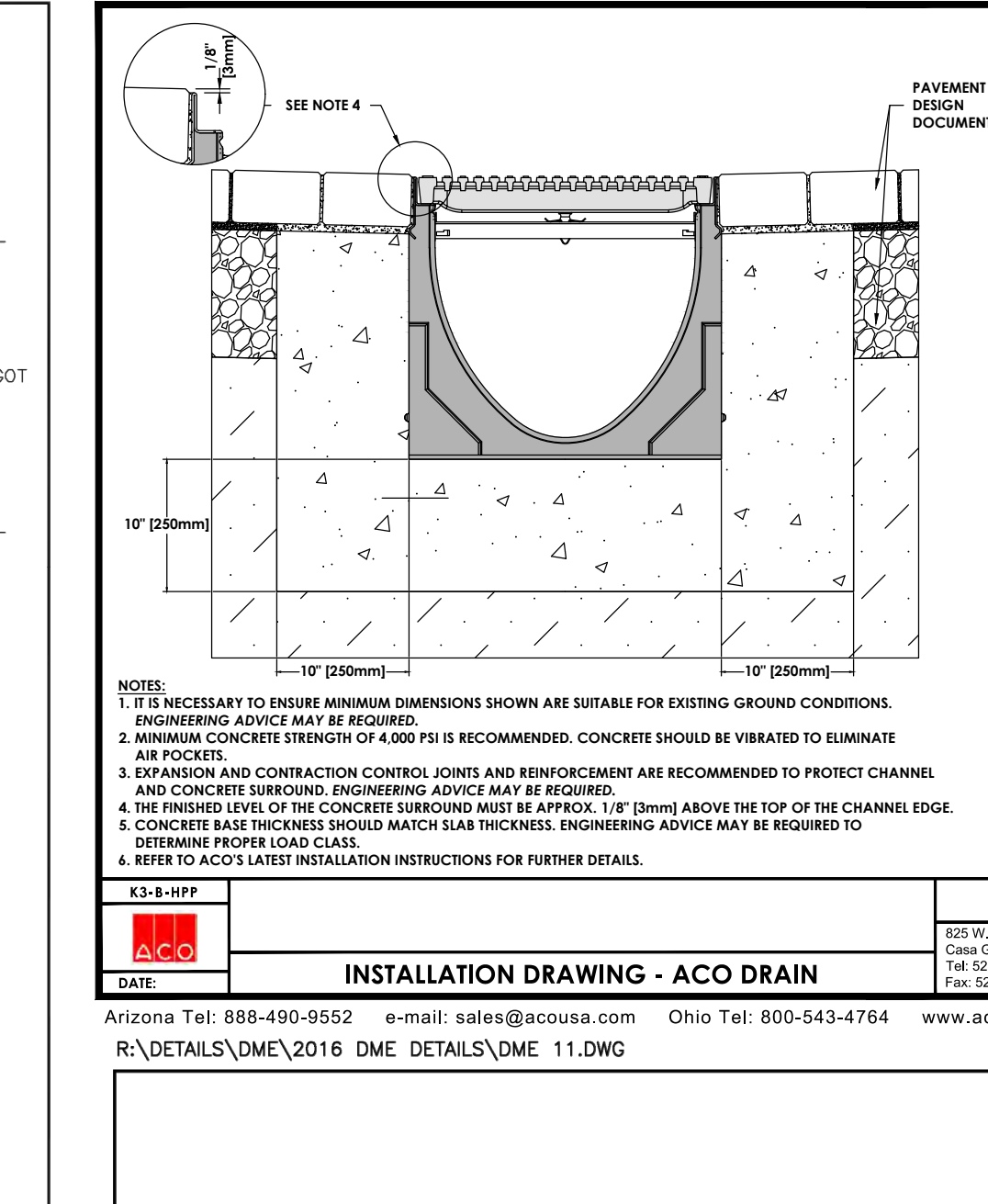
PASSERO ASSOCIATES
242 West Main Street Suite 100
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Principal-in-Charge: Jess Sudol, P.E.
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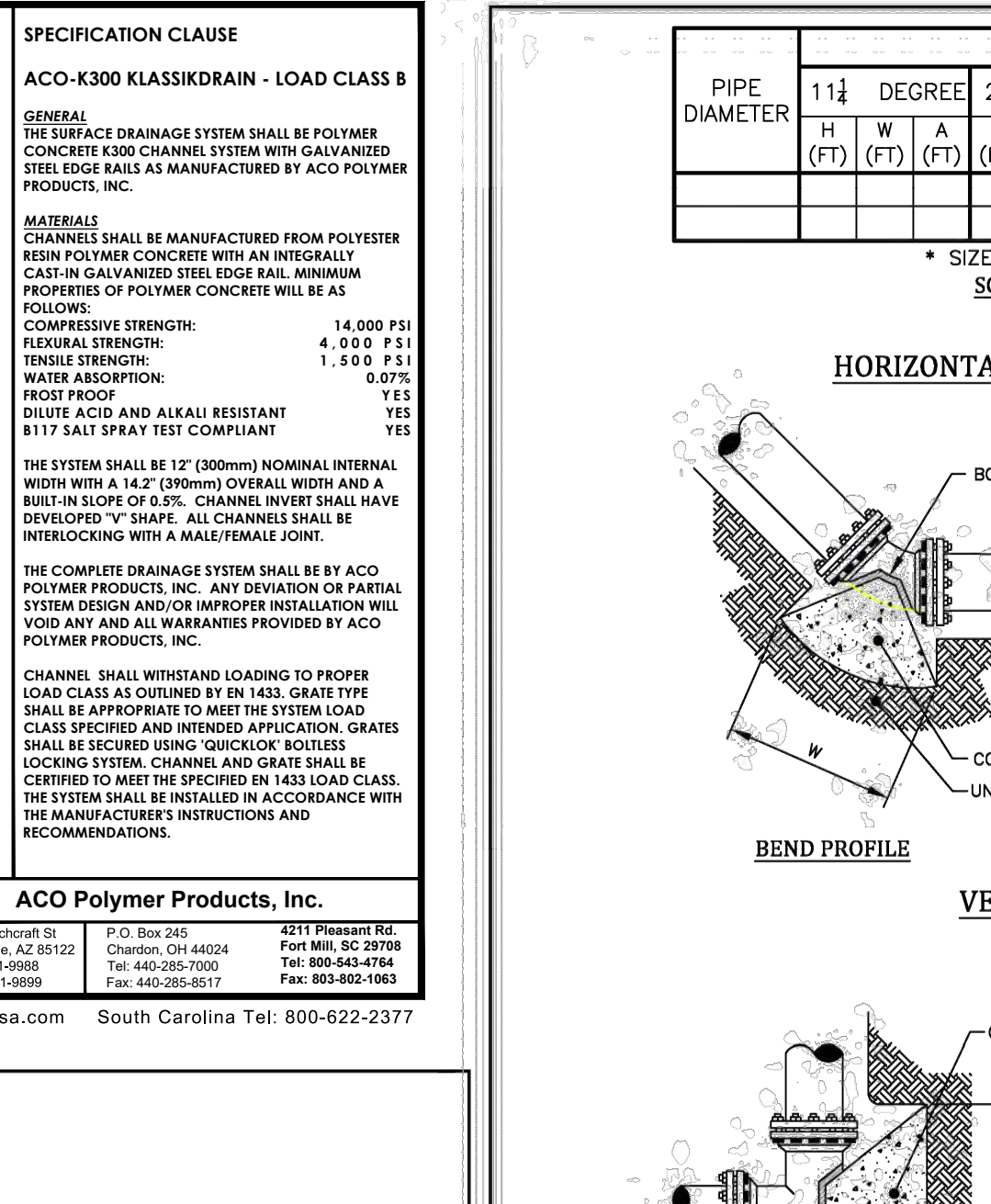
DETAIL No. **S-9**
SANITARY SEWER MANHOLE COVER AND FRAME
N.T.S.



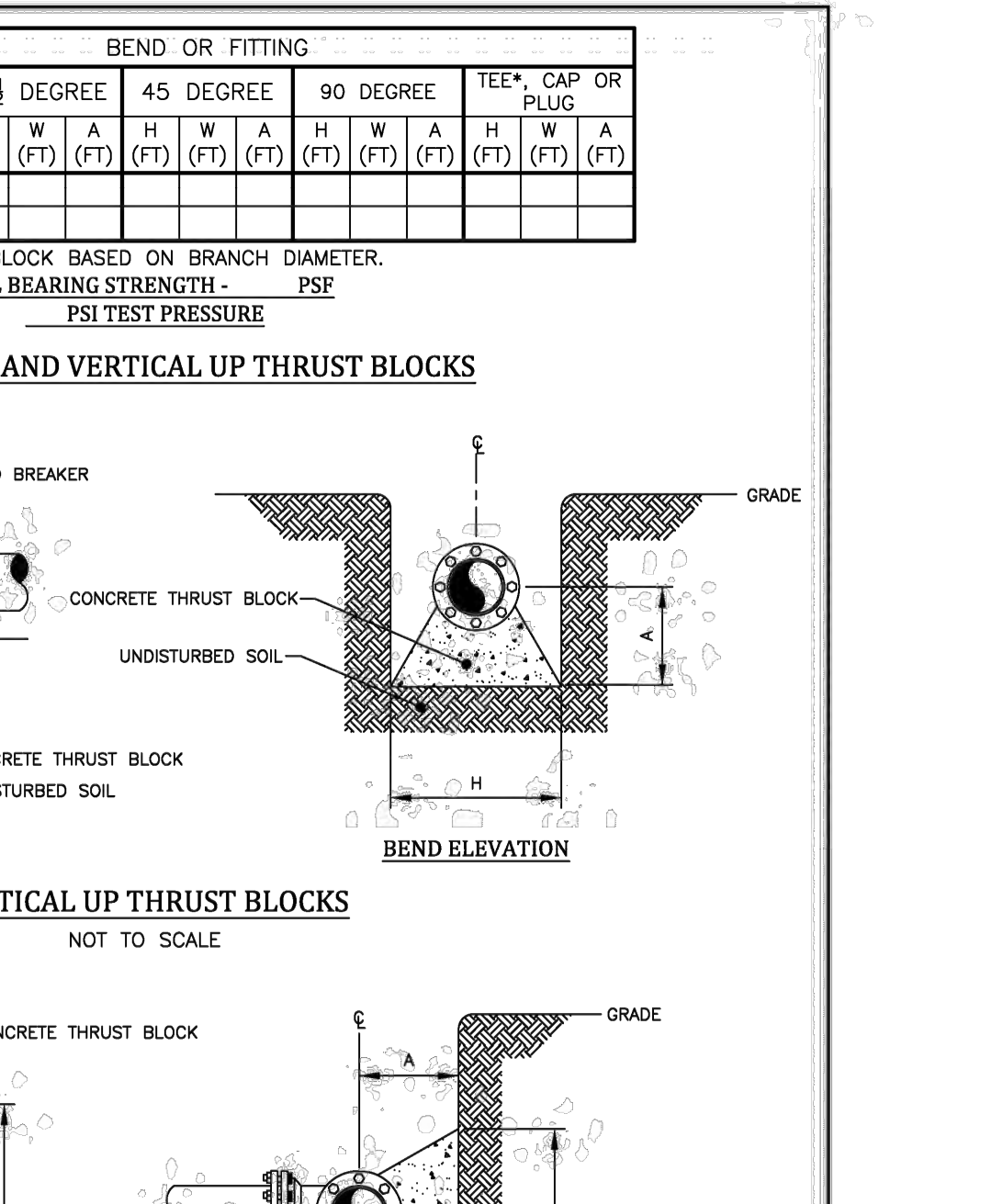
DETAIL No. **S-14**
STANDARD PVC PIPE FITTINGS
N.T.S.



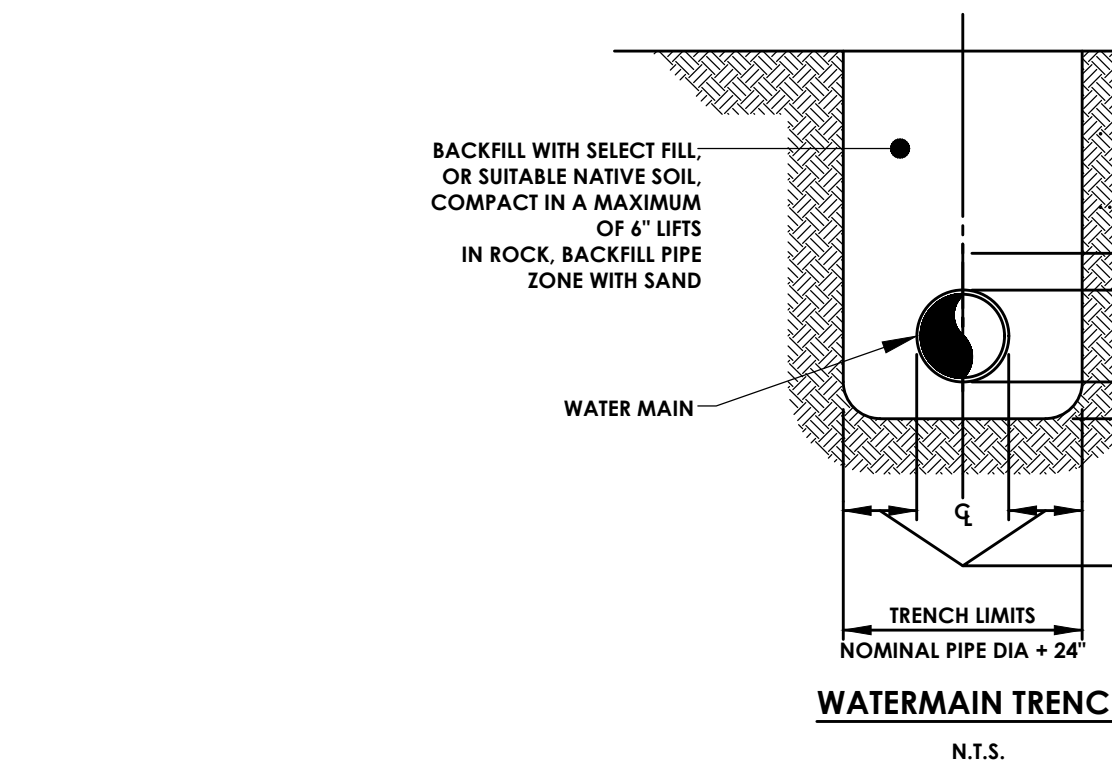
INSTALLATION DRAWING - ACO DRAIN
ACO Polymer Products, Inc.
Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4764 www.acousa.com South Carolina Tel: 800-622-2377



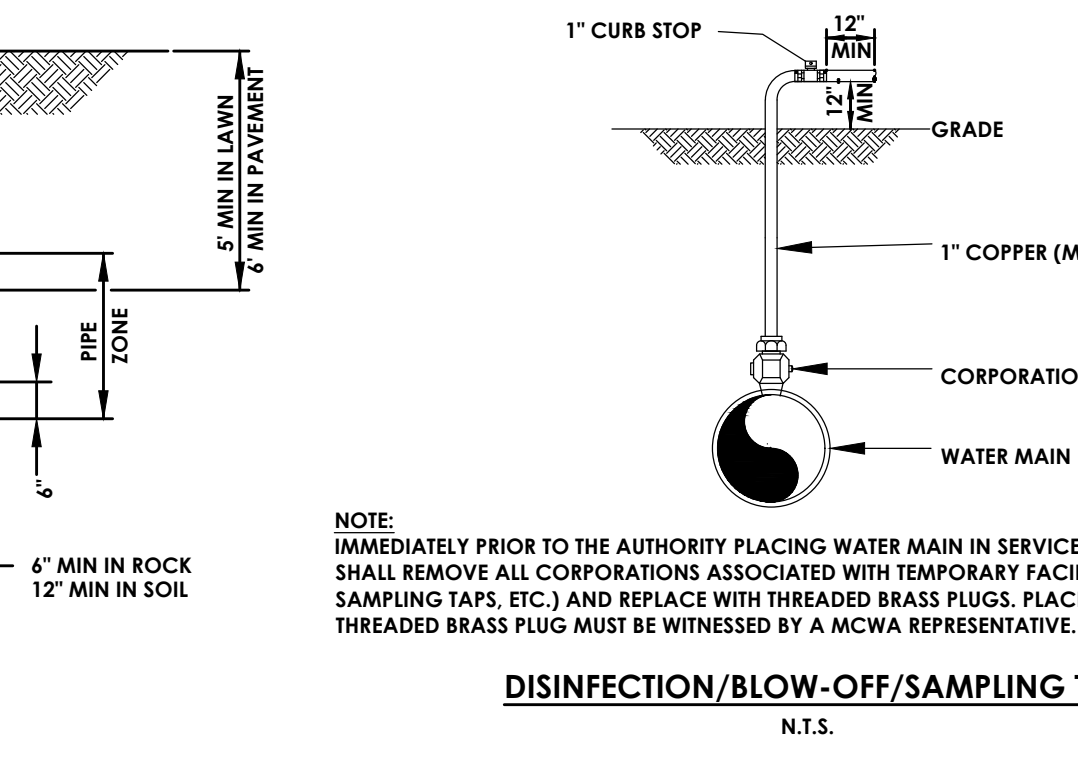
DEAD END PERPENDICULAR HYDRANT ASSEMBLY
NOT TO SCALE



HORIZONTAL AND VERTICAL UP THRUST BLOCKS
NOT TO SCALE



WATERMAIN TRENCH
N.T.S.



DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.

Revisions

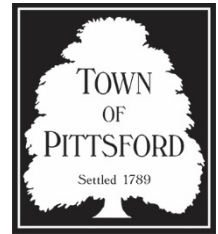
No.	Date	By	Description
1			

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7309 AND ARTICLE 149 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

DETAILS

PITTSFORD OAKS
Town/City: PITTSFORD
County: MONROE State: NEW YORK
Project No. **20233554.0001**
Drawing No. **C 204**
Scale: **N.T.S.**
Date **NOVEMBER 2023**

MEMORANDUM



To: Town Board Members

From: Robert B. Koegel

Date: November 16, 2023

Regarding: Coventry Ridge Subdivision, Open Space E Dedication

For Meeting On: November 21, 2023

Ladies and Gentleman:

We have received an Offer of Dedication from Theodore F. Spall, Jr. and Suzanne A. Spall ("Owner") for Dedication of one (1) parcel of land totaling approximately 12.322 acres in the Coventry Ridge Subdivision, Section 4, designated Open Space "E," to be used as open space. Attached is a copy of the Offer of Dedication, together with a map showing the location of the proposed land dedication.

This Memo will confirm that I have received and reviewed the Offer of Dedication submitted by the Owner, relative to the one (1) parcel of land, designated Open Space "E," to be used as open space, relating to the above subdivision. I have also reviewed the proposed Deed and related documents. I believe that all of the above documents are in good order.

Further, this will confirm that I have received and reviewed the Environmental Assessment, and it does not present any issues or concerns.

It is recommended that the Town Board adopt a Resolution accepting the proposed dedication, following which I will record the Deed of Dedication in the County Clerk's Office.

In the event the Board determines to take action on this matter, I suggest the following Resolution:

I move that the Offer of Dedication of one (1) parcel of land totaling approximately 12.322 acres of land in the Coventry Ridge Subdivision, Section 4, designated Open Space "E," to be used as open space, be accepted.

OFFER OF DEDICATION OF PUBLIC LAND

This Offer of Dedication of Public Land, made the 7th day of November, 2023, between Theodore F. Spall, Jr. and Suzanne A. Spall, residing at 1935 Windward Way, Vero Beach, Florida ("Owner"), and the Town of Pittsford, a municipal corporation, having its principal office at 11 South Main Street, Pittsford, New York, ("Town").

WITNESSETH:

WHEREAS, the Owner is the owner of the land described in Schedule "A" and depicted in Schedule "B" annexed hereto, consisting of approximately 12.322 acres of land and known as "Open Space Parcel E", and is offering to dedicate the same to the Town, pursuant to the provisions of Section 64 of the Town Law of the State of New York, and subject to the terms and conditions prescribed by the Town Board;

NOW, THEREFORE, the Owner does hereby offer to dedicate to the Town and its successors forever for public purposes all land described in Schedule "A" and depicted in Schedule "B" annexed hereto.

TO HAVE AND TO HOLD the above granted premises unto the Town and its successors forever as fully as if the same had been acquired in fee by condemnation proceedings.

FURTHER, the Owner releases the Town, its officers or agents, from any and all claims by reason of the use of the foregoing lands for public purposes; and

FURTHER, the Owner agrees to arrange for and provide to the Town, a full Instrument Survey, Phase I Environmental Audit, Deed with boundary descriptions and a current Abstract of Title for lands offered for dedication. The foregoing will be provided at the expense of the Owner; and

FURTHER, the Owner agrees to pay to the Town any taxes that are currently due or will become due on the offered property as a result of the assessment roll in effect immediately prior to the acceptance of the offered property by the Town's Town Board.


IN WITNESS WHEREOF the Owner has duly executed this Offer of Dedication the day and year first above written.


Theodore F. Spall, Jr.

STATE OF NEW YORK)
COUNTY OF MONROE) ss.:

On the 11th day of November in the year 2023 before me, the undersigned, a Notary Public in and for said State, personally appeared Theodore F. Spall, Jr. personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

SUSAN SCHEPISI
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SC0006934
Qualified in Monroe County
Commission Expires May 04, 2027


Notary Public
Suzanne A. Spall
Suzanne A. Spall

STATE OF NEW YORK)
COUNTY OF MONROE) ss.:

On the 11th day of November in the year 2023 before me, the undersigned, a Notary Public in and for said State, personally appeared Suzanne A. Spall. personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

SUSAN SCHEPISI
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SC0006934
Qualified in Monroe County
Commission Expires May 04, 2027


Notary Public

Property Address: Open Space E, Coventry Ridge Subdivision, Section 4, Pittsford, NY
14534

Tax Account Numbers: (part of) 177.04-1-3.112 and 177.04-1-15.111

"Schedule A"
an Open Space 'E'
to the Town of Pittsford

ALL THAT TRACT OR PARCEL OF LAND containing 12.322 acres more or less, situate in the Phelps and Gorham Purchase, Township 12, Range 5, Town Lot 46, Town of Pittsford, County of Monroe, and State of New York, as shown on the drawing entitled "Coventry Ridge Subdivision, Section 4, Open Space 'E' Subdivision Plat," prepared by BME Associates, having drawing number 9502G-02, last revised September 29, 2023, being more particularly bounded and described as follows:

Beginning at the intersection of the southerly boundary line of Lot 88 with the easterly boundary line of lands now or formally of Cory Petinella (T.A. No. 177.03-5-35), also being Lot 90 of the Coventry Ridge Section 2 Subdivision; thence

1. N 65°55'31" E, along said southerly boundary line of Lot 88 and Lots 47 through Lot 41, a distance of 1,183.30 feet to a point; thence
2. N 01°26'17" W, along the easterly boundary line of said Lot 41, a distance of 115.01 feet to a point; thence
3. S 88°28'19" W, along the northerly boundary line of said Lot 41, a distance of 353.42 feet to a point; thence
4. S 58°50'38" W, continuing along said northerly boundary line of Lot 41, a distance of 86.20 feet to a point; thence
5. Westerly, along the northerly right-of-way line of Bellingham Creek (60' Right-of-Way), along a non-tangent curve to the left, having a radius of 60.00 feet, and a chord bearing of N 86°00'45" W, a distance of 97.26 feet to a point; thence
6. N 42°26'54" W, along the easterly boundary line of Lot 40, a distance of 29.23 feet to a point; thence
7. N 80°10'35" W, continuing along said easterly boundary line of Lot 40, a distance of 144.02 feet to a point; thence
8. S 65°55'31" W, along the northerly boundary line of Lots 40 through Lot 35, a distance of 700.13 feet to a point; thence
9. N 00°53'48" E, along the easterly boundary line of lands now or formally of the Town of Pittsford (T.A. No. 177.03-5-46), a distance of 254.27 feet to a point; thence
10. S 89°06'12" E, along the southerly boundary line of lands now or formally of Ting Chung Wang (T.A. No. 177.04-1-3.111), a distance of 279.81 feet to a point; thence
11. N 00°15'48" E, along the easterly boundary line of said Ting Chung Wang, a distance of 577.85 feet to a point; thence

12. S 89°44'12" E, along the southerly boundary line of lands now or formally of Alice D. & Robert E. Wilson (T.A. No. 177.03-2-16), a distance of 375.57 feet to a point; thence
13. S 00°15'48" W, along the westerly boundary line of lands now or formally of Mark C. Greene (T.A. No. 177.04-1-13), a distance of 516.00 feet to a point; thence
14. N 88°28'19" E, along the southerly boundary line of said Mark C. Green and along the southerly boundary line of lands now or formally of Larry W. Knickerbocker (T.A. No. 177.01-1-15.11), a distance of 1,146.91 feet to a point; thence
15. S 00°51'34" E, along the westerly boundary line of said Larry W. Knickerbocker, a distance of 156.44 feet to a point; thence
16. S 80°04'02" W, along the northerly boundary line of lands now or formally of the Town of Pittsford (T.A. No. 177.04-1-18), a distance of 498.06 feet to a point; thence
17. S 61°49'01" W, continuing along said northerly boundary line of the Town of Pittsford, a distance of 494.14 feet to a point; thence
18. S 71°31'37" W, continuing along said northerly boundary line of the Town of Pittsford, a distance of 487.79 feet to a point; thence
19. S 01°10'18" W, along the westerly boundary line of said the Town of Pittsford, a distance of 133.36 feet to a point; thence
20. S 32°10'46" W, along the westerly boundary line of lands now or formally of Clover Street Development Corp. (T.A. No. 177.04-1-21), a distance of 150.00 feet to a point; thence
21. Northerly, along the easterly boundary line of lands now or formally of Town of Pittsford (T.A. No. 177.03-5-36), a non-tangent curve to the right, having a radius of 120.00 feet, and a chord bearing of N 51°02'31" W, a distance of 28.39 feet to a point; thence
22. N 44°15'49" W, continuing along said easterly boundary line of said the Town of Pittsford, a distance of 210.57 feet to a point; thence
23. N 44°10'47" E, along the southerly boundary line of the aforementioned Lot 90, a distance of 99.23 feet to the point of beginning.

Schedule B Coventry Ridge Section 4 Open Space "E" Subdivision Plat
Project No. 9502G

SUBDIVISION NOTES:

1. EXISTING ZONING IS R - RESIDENTIAL MEDIUM-DENSITY.
2. TOTAL PROJECT AREA IS 13.22 ACRES CONTAINING 17 LOTS.
3. PROPOSED LOT SIZES RANGE FROM 10,000 TO 15,000 SQUARE FEET.
4. THE SUBDIVISION IS PROPOSED TO BE OPEN SPACE 'E' ZONING.
5. APPROXIMATE STRIPED STAIRWAYS ARE AS FOLLOWS:
 LOT 10: 15.00' FRONT YARD
 LOT 11: 30' BEIT (LOT 11-10)
 LOT 12: 40' BEIT (LOT 12-11)
 LOT 13: 40' BEIT (LOT 13-12)
 LOT 14: 40' BEIT (LOT 14-13)
 LOT 15: 40' BEIT (LOT 15-14)
 LOT 16: 40' BEIT (LOT 16-15)
 LOT 17: 40' BEIT (LOT 17-16)
6. TOTAL OPEN SPACE AREAS PROVIDED:
 PROPOSED SECTION 4:
 OPEN SPACE AREAS 'E' 12.22 ACRES
7. TOTAL IMPAVED AREA = 1.22 ACRES (BASED ON SIX VEHICULAR LANEWAYS LOT AREA)
8. THE STRIPED LANEWAYS ARE PROPOSED TO BE OPEN SPACE 'E' ZONING.
9. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARD AND SPECIFICATIONS OF THE TOWN OF PITTSFORD, THE APPROPRIATE AGENCIES (E.G. WATER AND SEWER DEPARTMENT), AND THE MONROE COUNTY HEALTH DEPARTMENT (WELLNESS DIVISION).
10. THE CONTRACTOR SHALL LOCATE MARK, STAKE, AND PRESERVE ALL STRIPED CORNERS AND RIGHT-OF-WAY BOUNDARIES IN THE AREAS OF CONSTRUCTION FOR GEODETIC SURVEY DATA ON THE CORNER MARKERS, CALL THE MONROE COUNTY SURVEY DEPARTMENT.
11. THE DEVELOPER AND CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF PITTSFORD AND THE MONROE COUNTY HEALTH DEPARTMENT.
12. REVIEW OF THE FINAL MAPS DOES NOT IMPLY THIS PROPERTY TO BE WITHIN A RECORDED 100-YEAR EASEMENT.
13. METEORIC DATA WAS OBTAINED BY BME ASSOCIATES AND IS PROVIDED FOR INFORMATION ONLY. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THIS DATA.

SUBDIVISION NOTES CONTINUED:

14. THE PROPERTY MAY BE SUBJECT TO LOCAL LAW NO. 4-1992 RESORTS SHOULD BE REVIEWED FOR ANY RESTRICTIONS THAT MAY APPLY TO THIS PROPERTY.
15. ALL UTILITIES SHALL BE PROTECTED AND PRESERVED TO REMAIN IN PLACE. ANY NECESSARY CROSSINGS SHALL BE PROTECTED AND PRESERVED TO REMAIN IN PLACE.
16. DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND PROVIDE FOR PROTECTION OF ALL UTILITIES.
17. THE DEVELOPER SHALL MAINTAIN THE PROPOSED OPEN SPACE ALONG THE NORTH LINE OF LOT 10 AND 11 AND THE SOUTH LINE OF LOT 12 AND 13 AND THE WEST LINE OF LOT 14 AND 15 AND THE EAST LINE OF LOT 16 AND 17.
18. DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND PROVIDE FOR PROTECTION OF ALL UTILITIES.

LEGEND

BOUNDARY LINE	PROPOSED LOT LINE
EXISTING LOT LINE	EXISTING CURVE
EXISTING CURVE	PROPOSED WATER BOUNDARY
PROPOSED WATER BOUNDARY	PROPOSED EASEMENT LINE
PROPOSED EASEMENT LINE	

MOORE CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS:

1. THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWER TREATMENT ARE INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCH).
2. AN ORIGINAL REALTY SUBDIVISION MAP APPROVED BY THE TOWN OF PITTSFORD IS ON FILE WITH THE OFFICE OF THE CLERK OF MONROE COUNTY.
3. THE OWNER OF THE REALTY SUBDIVISION SHALL MAINTAIN EXISTING UTILITIES AND PROVIDE FOR PROTECTION OF ALL UTILITIES.
4. ASSOCIATE ENGINEER/ARCHITECT/PLANNER SHALL BE EMPLOYED TO PREPARE AND OBTAIN CONSTRUCTION OF THE PROJECT AND WATER SUPPLY.
5. THE PROJECT SHALL BE SUBJECT TO THE SUPERVISOR'S INSPECTION AND APPROVAL.
6. THE PROJECT SHALL BE SUBJECT TO THE SUPERVISOR'S INSPECTION AND APPROVAL.
7. PRIVATE WELLS AND PRIVATE WATER TREATMENT FACILITIES SHALL NOT BE CONSIDERED FOR USE.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION APPROVAL

IT IS TO BE CERTAIN THAT APPROVED PLANS FOR WATER SUPPLY AND SEWER TREATMENT ARE INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCH).

DIRECTOR OF PUBLIC HEALTH

STAMP: STATE OF NEW YORK, MONROE COUNTY, DEPARTMENT OF PUBLIC HEALTH, REALTY SUBDIVISION APPROVAL, 1989, 1/16/2023, 1/17/2023, 1/18/2023, 1/19/2023, 1/20/2023, 1/21/2023, 1/22/2023, 1/23/2023, 1/24/2023, 1/25/2023, 1/26/2023, 1/27/2023, 1/28/2023, 1/29/2023, 1/30/2023, 1/31/2023, 2/1/2023, 2/2/2023, 2/3/2023, 2/4/2023, 2/5/2023, 2/6/2023, 2/7/2023, 2/8/2023, 2/9/2023, 2/10/2023, 2/11/2023, 2/12/2023, 2/13/2023, 2/14/2023, 2/15/2023, 2/16/2023, 2/17/2023, 2/18/2023, 2/19/2023, 2/20/2023, 2/21/2023, 2/22/2023, 2/23/2023, 2/24/2023, 2/25/2023, 2/26/2023, 2/27/2023, 2/28/2023, 2/29/2023, 2/30/2023, 3/1/2023, 3/2/2023, 3/3/2023, 3/4/2023, 3/5/2023, 3/6/2023, 3/7/2023, 3/8/2023, 3/9/2023, 3/10/2023, 3/11/2023, 3/12/2023, 3/13/2023, 3/14/2023, 3/15/2023, 3/16/2023, 3/17/2023, 3/18/2023, 3/19/2023, 3/20/2023, 3/21/2023, 3/22/2023, 3/23/2023, 3/24/2023, 3/25/2023, 3/26/2023, 3/27/2023, 3/28/2023, 3/29/2023, 3/30/2023, 3/31/2023, 4/1/2023, 4/2/2023, 4/3/2023, 4/4/2023, 4/5/2023, 4/6/2023, 4/7/2023, 4/8/2023, 4/9/2023, 4/10/2023, 4/11/2023, 4/12/2023, 4/13/2023, 4/14/2023, 4/15/2023, 4/16/2023, 4/17/2023, 4/18/2023, 4/19/2023, 4/20/2023, 4/21/2023, 4/22/2023, 4/23/2023, 4/24/2023, 4/25/2023, 4/26/2023, 4/27/2023, 4/28/2023, 4/29/2023, 4/30/2023, 5/1/2023, 5/2/2023, 5/3/2023, 5/4/2023, 5/5/2023, 5/6/2023, 5/7/2023, 5/8/2023, 5/9/2023, 5/10/2023, 5/11/2023, 5/12/2023, 5/13/2023, 5/14/2023, 5/15/2023, 5/16/2023, 5/17/2023, 5/18/2023, 5/19/2023, 5/20/2023, 5/21/2023, 5/22/2023, 5/23/2023, 5/24/2023, 5/25/2023, 5/26/2023, 5/27/2023, 5/28/2023, 5/29/2023, 5/30/2023, 5/31/2023, 6/1/2023, 6/2/2023, 6/3/2023, 6/4/2023, 6/5/2023, 6/6/2023, 6/7/2023, 6/8/2023, 6/9/2023, 6/10/2023, 6/11/2023, 6/12/2023, 6/13/2023, 6/14/2023, 6/15/2023, 6/16/2023, 6/17/2023, 6/18/2023, 6/19/2023, 6/20/2023, 6/21/2023, 6/22/2023, 6/23/2023, 6/24/2023, 6/25/2023, 6/26/2023, 6/27/2023, 6/28/2023, 6/29/2023, 6/30/2023, 7/1/2023, 7/2/2023, 7/3/2023, 7/4/2023, 7/5/2023, 7/6/2023, 7/7/2023, 7/8/2023, 7/9/2023, 7/10/2023, 7/11/2023, 7/12/2023, 7/13/2023, 7/14/2023, 7/15/2023, 7/16/2023, 7/17/2023, 7/18/2023, 7/19/2023, 7/20/2023, 7/21/2023, 7/22/2023, 7/23/2023, 7/24/2023, 7/25/2023, 7/26/2023, 7/27/2023, 7/28/2023, 7/29/2023, 7/30/2023, 7/31/2023, 8/1/2023, 8/2/2023, 8/3/2023, 8/4/2023, 8/5/2023, 8/6/2023, 8/7/2023, 8/8/2023, 8/9/2023, 8/10/2023, 8/11/2023, 8/12/2023, 8/13/2023, 8/14/2023, 8/15/2023, 8/16/2023, 8/17/2023, 8/18/2023, 8/19/2023, 8/20/2023, 8/21/2023, 8/22/2023, 8/23/2023, 8/24/2023, 8/25/2023, 8/26/2023, 8/27/2023, 8/28/2023, 8/29/2023, 8/30/2023, 8/31/2023, 9/1/2023, 9/2/2023, 9/3/2023, 9/4/2023, 9/5/2023, 9/6/2023, 9/7/2023, 9/8/2023, 9/9/2023, 9/10/2023, 9/11/2023, 9/12/2023, 9/13/2023, 9/14/2023, 9/15/2023, 9/16/2023, 9/17/2023, 9/18/2023, 9/19/2023, 9/20/2023, 9/21/2023, 9/22/2023, 9/23/2023, 9/24/2023, 9/25/2023, 9/26/2023, 9/27/2023, 9/28/2023, 9/29/2023, 9/30/2023, 10/1/2023, 10/2/2023, 10/3/2023, 10/4/2023, 10/5/2023, 10/6/2023, 10/7/2023, 10/8/2023, 10/9/2023, 10/10/2023, 10/11/2023, 10/12/2023, 10/13/2023, 10/14/2023, 10/15/2023, 10/16/2023, 10/17/2023, 10/18/2023, 10/19/2023, 10/20/2023, 10/21/2023, 10/22/2023, 10/23/2023, 10/24/2023, 10/25/2023, 10/26/2023, 10/27/2023, 10/28/2023, 10/29/2023, 10/30/2023, 10/31/2023, 11/1/2023, 11/2/2023, 11/3/2023, 11/4/2023, 11/5/2023, 11/6/2023, 11/7/2023, 11/8/2023, 11/9/2023, 11/10/2023, 11/11/2023, 11/12/2023, 11/13/2023, 11/14/2023, 11/15/2023, 11/16/2023, 11/17/2023, 11/18/2023, 11/19/2023, 11/20/2023, 11/21/2023, 11/22/2023, 11/23/2023, 11/24/2023, 11/25/2023, 11/26/2023, 11/27/2023, 11/28/2023, 11/29/2023, 11/30/2023, 12/1/2023, 12/2/2023, 12/3/2023, 12/4/2023, 12/5/2023, 12/6/2023, 12/7/2023, 12/8/2023, 12/9/2023, 12/10/2023, 12/11/2023, 12/12/2023, 12/13/2023, 12/14/2023, 12/15/2023, 12/16/2023, 12/17/2023, 12/18/2023, 12/19/2023, 12/20/2023, 12/21/2023, 12/22/2023, 12/23/2023, 12/24/2023, 12/25/2023, 12/26/2023, 12/27/2023, 12/28/2023, 12/29/2023, 12/30/2023, 12/31/2023.

REFERENCES:

1. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 10, PAGE 24.
2. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 11, PAGE 24.
3. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 12, PAGE 24.
4. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 13, PAGE 24.
5. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 14, PAGE 24.
6. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 15, PAGE 24.
7. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 16, PAGE 24.
8. A PLAN DATED 11/15/2023 FOR REALTY SUBDIVISION, PREPARED BY BME ASSOCIATES, IS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LOT 17, PAGE 24.

NOT APPROVED

This plan is subject to review and approval by the appropriate agencies. The plan is not to be used for construction purposes.

GRAPHIC SCALE

(IN FEET)

1 inch = 100 ft.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION APPROVAL

IT IS TO BE CERTAIN THAT APPROVED PLANS FOR WATER SUPPLY AND SEWER TREATMENT ARE INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCH).

DIRECTOR OF PUBLIC HEALTH

LOCATION MAP

NOT TO SCALE

TOWN OF PITTSFORD

DEVELOPER: PHILIPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46 & 48, TAX MAP NUMBER 177.04-1-3.112 & 177.04-1-15.111

PROPOSED SECTION 4:

OPEN SPACE 'E' 12.22 ACRES

PROPOSED SECTION 4:

OPEN SPACE 'E' 12.22 ACRES

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OPEN SPACE 'E' 12.22 ACRES

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OPEN SPACE 'E' 12.22 ACRES

PROPOSED SECTION 4:

OPEN SPACE 'E' 12.22 ACRES

<p>PROJECT: COVENTRY RIDGE SUBDIVISION SECTION 4</p> <p>LOCATION: TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE</p> <p>CLIENT: CLOVER STREET DEVELOPMENT CORPORATION</p> <p>ADDRESS: PITTSFORD, NY 14534</p> <p>DRAWING TITLE: OPEN SPACE 'E' SUBDIVISION PLAT</p>	<p>PROJECT MANAGER: DATE:</p> <p>DESIGNER: DATE:</p> <p>CHECKER: DATE:</p> <p>DATE:</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>REVISED PER TOWN DRC COMMENTS</td> <td>4/14/23</td> </tr> <tr> <td>2</td> <td>REVISED PER PRELIMINARY APPROVAL</td> <td>8/7/23</td> </tr> <tr> <td>3</td> <td>REVISED REFERENCE NUMBERING PER TE COMMENTS</td> <td>9/7/23</td> </tr> <tr> <td>4</td> <td>REVISED PER MCO COMMENTS</td> <td>9/26/23</td> </tr> </table>	NO.	DESCRIPTION	DATE	1	REVISED PER TOWN DRC COMMENTS	4/14/23	2	REVISED PER PRELIMINARY APPROVAL	8/7/23	3	REVISED REFERENCE NUMBERING PER TE COMMENTS	9/7/23	4	REVISED PER MCO COMMENTS	9/26/23	<p>DATE:</p>
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3	REVISED REFERENCE NUMBERING PER TE COMMENTS	9/7/23																
4	REVISED PER MCO COMMENTS	9/26/23																

At a Regular Meeting of the Town Board
of the Town of Pittsford, New York, held at Pittsford
Town Hall, 11 S. Main Street, in the Town of Pittsford,
New York, on the 21st day of November, 2023.

PRESENT:

William A. Smith, Jr., Supervisor
Kate Bohne Munzinger, Deputy Supervisor
Cathleen A. Koshykar, Councilperson
Kim Taylor, Councilperson
Stephanie M. Townsend, Councilperson

ABSENT: NONE

**TOWN BOARD
TOWN OF PITTSFORD**

**STATE OF NEW YORK
COUNTY OF MONROE**

In the Matter of THE DEDICATION OF
ONE (1) PARCEL OF LAND,
OF THE COVENTRY RIDGE SUBDIVISION, SECTION 4
IN THE TOWN OF PITTSFORD, COUNTY OF MONROE
AND STATE OF NEW YORK.

RESOLUTION OF
TOWN BOARD ACCEPTING
DEDICATION

WHEREAS, Theodore F. Spall, Jr. and Suzanne A. Spall, by “Offer of Dedication of Public Land”, dated November 7, 2023, (“Offer”), have offered to dedicate one (1) parcel of land in the Town of Pittsford, Monroe County, New York, consisting of approximately 12.322 acres of open space in Section 4 of the Coventry Ridge Subdivision, designated Open Space “E,” has been presented to the Town Board of the Town of Pittsford, and it appearing therefrom to the satisfaction of the Town Board that the lands so offered for dedication have been and are properly surveyed and mapped and should be accepted as Lands of said Town, and that all claims for damage have been properly released;

NOW, on Motion duly made and seconded, it was

RESOLVED, that the Town Board of the Town of Pittsford does hereby consent that the aforesaid land, located in the Town of Pittsford, Monroe County, New York, and as more particularly described as set forth on Schedule A and depicted on Schedule B of the Offer, be accepted in dedication for use as “Rural Conservation Land” pursuant to Section 185-31 of the Town of Pittsford Code; and be it further

RESOLVED, that any taxes that are currently due or will become due on said parcels of land, as a result of the assessment roll in effect at the time of this acceptance, shall be the responsibility of the grantor dedicating the parcel of land to the Town.

Said matter having been put to a vote, the following votes were recorded:

William A. Smith, Jr.

VOTING

Katherine Bohne Munzinger	VOTING
Cathleen A. Koshykar	VOTING
Kim Taylor	VOTING
Stephanie M. Townsend	VOTING

The Order was thereupon declared duly adopted.

DATED: November 21, 2023.

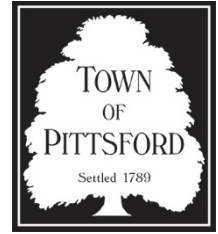
TOWN CLERK CERTIFICATION

I, Renee M. McQuillen, Town Clerk of the Town of Pittsford, New York, DO HEREBY CERTIFY that I have compared a copy of the Resolution as herein specified with the original in the minutes of the meeting of the Town Board of the Town of Pittsford, and that the same is a correct transcript thereof and the whole of the said original.

IN WITNESS WHEREOF, I have hereunto set my hand this ____ day of November, 2023.

Renee M. McQuillen, Town Clerk

MEMORANDUM



To: Town Board Members

From: Robert B. Koegel

Date: November 16, 2023

Regarding: Coventry Ridge Subdivision Road Dedication, “Bellingham Creek”

For Meeting On: November 21, 2023

Ladies and Gentleman:

We have received an Offer of Dedication of Public Highway from Theodore F. Spall, Jr. and Suzanne A. Spall (“Owner”) for a road to be known as “Bellingham Creek” in the Coventry Ridge Subdivision, Section 4, which is located off of Clover Street. Attached is a copy of the Offer of Dedication, together with a map showing the location of the proposed road.

This Memo will confirm that I have received and reviewed the Offer of Dedication submitted by the Owner, relative to the above highway dedication. I have also received and reviewed the proposed deed and related conveyance documents.

I believe that all of the above documents are in good order and support the submission of this matter to the Town Board for consideration.

Once the anticipated Town Board Resolution accepting the dedication has been signed and filed, I will then record the deed conveying the parcel to the Town and will forward the deed to the Town Clerk’s Office, once the recording process is complete.

It is recommended that the Town Board adopt a Resolution accepting the proposed Dedication and consenting to the issuance of an Order to Lay Out the road.

In the event that the Board determines that action should be taken on this matter, I suggest the following Resolution motion:

I move that the Offer of Dedication for “Bellingham Creek” in the Coventry Ridge Subdivision, Section 4, be accepted and consent be given to the Highway Superintendent to issue an Order to Lay Out the road.

RECORD & RETURN TO:
APRIL ZUROWSKI
11 S MAIN STREET
PITTSFORD, NY 14534

OFFER OF DEDICATION OF PUBLIC HIGHWAY

This Offer of Dedication of Public Highway, made the 10 day of November, 2023, between Theodore F. Spall, Jr. and Suzanne A. Spall, property owners, having a principal place of business at 30 Grove Street, Pittsford, NY, ("Owner"), to the Town of Pittsford, a municipal corporation, having its principal office at 11 South Main Street, Pittsford, New York, ("Town").

WITNESSETH:

WHEREAS the Owner is the owner of the land described in Schedule A and shown on Exhibit 1 annexed hereto and is offering to dedicate the same to the Town, pursuant to the provisions of Section 171 of the Highway Law of the State of New York, and subject to the terms and conditions prescribed by the Superintendent of Highways and the Town Board of the Town, pursuant to said Section.

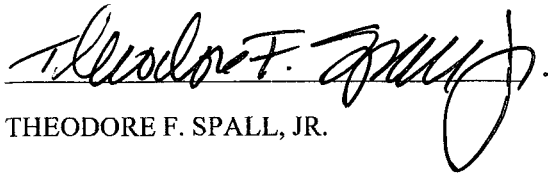
NOW, THEREFORE, the Owner does hereby dedicate unto the Town and its successors forever for highway purposes all land described in Schedule A and shown on Exhibit 1, annexed hereto, to be known as Bellingham Creek.

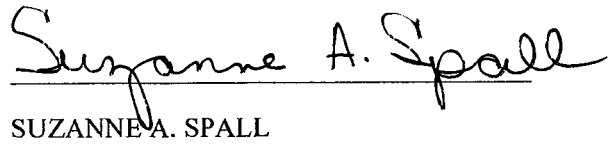
TO HAVE AND TO HOLD the above granted premises unto the Town and its successors forever as fully as if the same had been acquired in fee by condemnation proceedings.

FURTHER, the Owner hereby releases the Town, its officers or agents, from any and all claims by reason of the use of the foregoing lands for the construction and/or maintenance of a highway on said lands.

IN WITNESS WHEREOF the Owner has duly executed this Offer of Dedication the day and year first above written.

Property Address: Bellingham Creek
Tax Account Number: 177.04-1-15.111

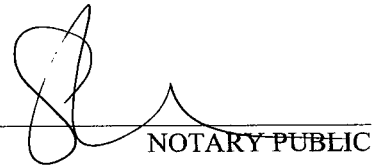

THEODORE F. SPALL, JR.


SUZANNE A. SPALL

STATE OF NEW YORK)
COUNTY OF MONROE) ss.

On the 10th day of November, 2023 before me, the undersigned, a Notary Public in and for said State, personally appeared THEODORE F. SPALL, JR., personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

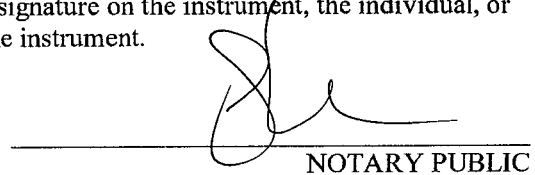
SUSAN SCHEPISI
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SC0006934
Qualified in Monroe County
Commission Expires May 04, 2027


NOTARY PUBLIC

STATE OF NEW YORK)
COUNTY OF MONROE) ss.

On the 10th day of November, 2023 before me, the undersigned, a Notary Public in and for said State, personally appeared SUZANNE A. SPALL, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

SUSAN SCHEPISI
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SC0006934
Qualified in Monroe County
Commission Expires May 04, 2027


NOTARY PUBLIC

SCHEDULE A

Proposed Description of
a 60' Right-of-Way
(Bellingham Creek)

ALL THAT TRACT OR PARCEL OF LAND containing 1.360 acres more or less, situate in the Phelps and Gorham Purchase, Township 12, Range 5, Town Lot 46, Town of Pittsford, County of Monroe, and State of New York, as shown on the drawing entitled "Coventry Ridge Subdivision, Section 4," prepared by BME Associates, having drawing number 9502G-03, last revised September 29, 2023, being more particularly bounded and described as follows:

Beginning at a point at the southwest corner of Bellingham Creek (60' Right-of-Way), said point having Centerline Station 1+62.81; thence

1. N 24°04'29" W, along the westerly right-of-way line of said Bellingham Creek, a distance of 60.00 feet to a point; thence
2. N 65°55'31" E, a distance of 764.88 feet to a point; thence
3. Northeasterly, along a tangent curve to the left, having a radius of 30.00 feet, a distance of 35.14 feet to a point; thence
4. Southeasterly, along a reverse curve to the right, having a radius of 60.00 feet, a distance of 278.87 feet to a point; thence
5. Southwesterly, along the southerly right-of-way line, a non-tangent curve to the left, having a radius of 30.00 feet, a distance of 10.04 feet to a point; thence
6. S 65°55'31" W, a distance of 818.22 feet to the Point of Beginning.

EXHIBIT 1

At a Regular Meeting of the Town Board
of the Town of Pittsford, New York, held at Pittsford
Town Hall, 11 S. Main Street, in the Town of Pittsford,
New York, on the 21st day of November, 2023.

PRESENT:

William A. Smith, Jr., Supervisor
Kate Bohne Munzinger, Deputy Supervisor
Cathleen A. Koshykar, Councilperson
Kim Taylor, Councilperson
Stephanie M. Townsend, Councilperson

ABSENT: NONE

TOWN BOARD
TOWN OF PITTSFORD

STATE OF NEW YORK
COUNTY OF MONROE

In the Matter of THE DEDICATION OF BELLINGHAM CREEK,
IN THE TOWN OF PITTSFORD, COUNTY OF MONROE
AND STATE OF NEW YORK.

RESOLUTION OF TOWN
BOARD ACCEPTING
DEDICATION

WHEREAS, a properly executed written offer to dedicate certain land in the Town of Pittsford, Monroe County, New York, dated November 10, 2023, for the purpose of establishing a public highway, to be known as "Bellingham Creek," in the Coventry Ridge Subdivision, Section 4, has been presented to the Town Board of the Town of Pittsford, together with a map thereof, and it appearing therefrom to the satisfaction to the Town Board that the lands so offered for dedication as a public highway have been and are properly offered and mapped and should be accepted as a public highway of said Town;

NOW, on Motion duly made and seconded, it is

RESOLVED, that the Town Board does hereby consent that a public highway, to be known as "Bellingham Creek," in the Coventry Ridge Subdivision, Section 4, in the Town of Pittsford, Monroe County, New York be laid out in said Town of Pittsford, more particularly described as set forth on Schedule A and shown on Exhibit 1 annexed to said written offer, and the Town Superintendent of Highways is authorized to make an order laying out the lands described in said dedication; and it is further

RESOLVED, that the Town Board does hereby consent that the land comprising the aforesaid public highways be accepted in dedication.

Said matter having been put to a vote, the following votes were recorded:

William A. Smith, Jr.	VOTING
Katherine Bohne Munzinger	VOTING
Cathleen A. Koshykar	VOTING

Kim Taylor
Stephanie M. Townsend

VOTING
VOTING

The Order was thereupon declared duly adopted.

DATED: November 21, 2023.

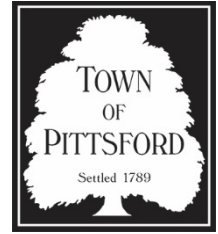
TOWN CLERK CERTIFICATION

I, Renee M. McQuillen, Town Clerk of the Town of Pittsford, New York, DO HEREBY CERTIFY that I have compared a copy of the Resolution as herein specified with the original in the minutes of the meeting of the Town Board of the Town of Pittsford, and that the same is a correct transcript thereof and the whole of the said original.

IN WITNESS WHEREOF, I have hereunto set my hand this ____ day of November, 2023.

Renee M. McQuillen, Town Clerk

MEMORANDUM



To: Town Board Members

From: Robert B. Koegel

Date: November 16, 2023

Regarding: Pittsford Youth Services Agreement

For Meeting On: November 21, 2023

Ladies and Gentleman:

Attached please find a copy of a proposed Agreement with Pittsford Youth Services. This is a renewal of the Town's annual Agreement with the agency, which provides counseling and referral services for residents of the Town, and includes an annual fee to the agency, payable by the Town, for the agency's services.

The proposed Agreement is the same as the Agreement for 2023, except for the dates, the PYS signatory, and the support of PYS for 2024, which will increase from \$66,000.00 to \$67,980.00.

In the event the Board decides to take action on this matter, I suggest the following Resolution:

I move that the Town Supervisor be authorized to enter into and sign the proposed Agreement with Pittsford Youth Services for calendar year 2024.

SERVICE AGREEMENT

THIS AGREEMENT, made as of the 1st day of January, 2024 by and between the TOWN OF PITTSFORD, NEW YORK, a municipal corporation having its offices at 11 South Main Street, Pittsford, New York 14534 (hereinafter referred to as “Town”), and PITTSFORD YOUTH SERVICES, INC., a domestic not-for-profit corporation, with offices at 4 South Main Street, Pittsford, New York 14534 (hereinafter referred to as “Agency”).

WHEREAS, the Agency has offered to perform certain counseling and referral services for residents of the Town of Pittsford; and

WHEREAS, the Town is desirous of using Agency’s services and to compensate the Agency therefor,

NOW, THEREFORE, it is mutually agreed by and between the Town and Agency as follows:

A. Town’s Responsibilities

1. The Town will pay the Agency the annual sum of Sixty-Six Thousand Dollars (\$67,980.00) for the year 2024, payable in twelve (12) consecutive monthly installments, beginning January 2024, for the Agency’s said services.

B. Agency’s Responsibilities

1. The Agency will provide Town residents individual and family counseling and support; information about, and referrals to, outside service agencies; counseling and emergency housing referral for runaways and homeless youths; and group activities, workshops and training for youths, parents and professionals.
2. The Agency will complete forms requested by Monroe County in order for the Town to secure grant funds.
3. In the event the Agency replaces its Executive Director of Administration and/or Executive Clinical Director, the Agency shall involve the Town Board’s Liaison to the Agency in the selection process.
4. Any other employees of the Agency shall be subject to the Director’s approval and not Town approval, except that, to further preserve the confidentiality of the persons served, the parties agree that Agency employees shall not also be Town employees unless both parties have given advance approval of such employment.
5. The Agency shall supply to the Town Supervisor monthly reports showing the services rendered by the Agency for the preceding month. The identification of persons served and any other confidential material shall not appear in said reports. The reports shall be due within two (2) weeks after the end of the month.
6. The Agency agrees to maintain adequate financial records, to be audited annually by a certified public accountant to the extent required by law, and the report of such audit shall be submitted to the Town’s Director of Finance upon completion.
7. The Agency agrees to defend, indemnify and hold the Town harmless from any and all claims based in whole or part on the Agency’s provision of services under this agreement. The Agency

shall maintain a general liability insurance policy in the amount of at least \$1,000,000.00, which shall include the Town as an additional insured and shall provide to the Director of Finance a Certificate of such insurance.

- 8. The Agency will maintain Workers' Compensation and Unemployment Insurance as required by New York State law.
- 9. The Agency may receive funding from any other legitimate sources, including contributions from those who avail themselves of its services.
- 10. The Agency agrees that its services will be rendered without regard to color, race, creed, gender, national origin, sex or disability.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date set forth below.

PITTSFORD YOUTH SERVICES, INC.

TOWN OF PITTSFORD, NEW YORK

By: _____

By: _____

Graig Roberts
Executive Director of Administration

William A. Smith, Jr.
Town Supervisor

STATE OF NEW YORK)
COUNTY OF MONROE) ss.:

On the ____ day of _____, 2023 before me, the undersigned, a Notary Public in and for said State, personally appeared William A. Smith, Jr., personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public

STATE OF NEW YORK)
COUNTY OF MONROE) ss.:

On the ____ day of _____, 2023 before me, the undersigned, a Notary Public in and for said State, personally appeared Graig Roberts, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
NOVEMBER 2023**

VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
3M	PJS	163695	9425262346	SIDEWALK TAPE	306.57
				VENDOR TOTAL	306.57
585 FITNESS	JRH	163805	112023TISA	2023 NOVEMBER INSTRUCTOR PAYMENT	420.00
				VENDOR TOTAL	420.00
ACTION TELEPHONE EXCHANGE	PJS	163671	198011072023	AFTER HRS ANSWER SVC	169.47
				VENDOR TOTAL	169.47
ADMAR SUPPLY COMPANY, INC	PJS	163459	RO2046004	GEO FABRIC	379.00
	PJS	163460	RO2045525	ELECTRIC CORE MACHINE RENTAL	181.80
	PJS	163693	RO2047314	POLYETHELENE MATS	1,792.00
	PJS	163696	RO2046855	PICKET POUNDER RENTAL	328.25
	PJS	163812	RO2047262	OUTDOOR LIGHTS FOR VOTING	277.75
				VENDOR TOTAL	2,958.80
ADVANCED SAFE & LOCK, INC	PJS	163530	GWECQ6JT98WCM	KEY CYLINDER PARTS	15.00
				VENDOR TOTAL	15.00
ALLIANCE DOOR & HARDWARE	PJS	163709	74853	LOCK CHASSIS (LIBRARY)	2,228.00
				VENDOR TOTAL	2,228.00
ANDERSON	JRH	163765	112023ANDERSON	2023 NOVEMBER INSTRUCTOR PAYMENT	962.50
				VENDOR TOTAL	962.50
AP PLUMBING	PJS	163524	299291	GREASTRAP CLEANING	524.95

ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
NOVEMBER 2023

VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	524.95
ARMSTRONG	JRH	163759	112023ARMSTRONG	2023 NOVEMBER INSTRUCTOR PAYMENT	577.50
				VENDOR TOTAL	577.50
AUTO VALUE PARTS STORES	PJS	163755	668178/L	HUBS AND BALL JOINTS 336-1	990.08
	PJS	163472	667204/L	SEALENT RTV/BULBS	18.86
	PJS	163472	667200/L	SEALENT RTV/BULBS	20.55
	PJS	163682	668001/L	BALL JOINTS 337-2	117.92
	PJS	163734	669199/L	SILICONE SPRING 520	10.52
	PJS	163533	667599/L	BALL JOINTS 401	117.92
				VENDOR TOTAL	1,275.85
AVILA - SMITH	BWL	163446	20231023	INTERPRETER SERVICES FOR TOWN BOARD MEET	450.00
				VENDOR TOTAL	450.00
B.R. JOHNSON, LLC	PJS	163575	772964	RE-KEY LOCK CYLINDERS - LIBRARY	75.88
				VENDOR TOTAL	75.88
BACKUPIFY INC	AMM	163437	INV01070270	O365 ANNUAL BACKUPIFY USER PLAN	2,689.40
				VENDOR TOTAL	2,689.40
BARMAKIRAD	JRH	163785	112023BARMAKIRAD	2023 NOVEMBER INSTRUCTOR PAYMENT	147.00
				VENDOR TOTAL	147.00
BEAM MACK SALES & SERVICE	PJS	163484	380596R	REAR BRAKES 457	339.04
	PJS	163733	381774R	COOLENT PIPE/HOSE 467	304.11

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
BEAM MACK SALES & SERVICE	PJS	163731	381775R	FUEL WATER SEPERATOR	391.00
				VENDOR TOTAL	1,034.15
BEE RELENTLESS BOXING LLC	JRH	163777	112023CASTRO	2023 NOVEMBER INSTRUCTOR PAYMENT	84.00
				VENDOR TOTAL	84.00
BEEMAN	JRH	163767	112023BEEMAN	2023 NOVEMBER INSTRUCTOR CONTRACT	680.40
				VENDOR TOTAL	680.40
BENEFIT RESOURCE, LLC	BWL	163563	989583	PRE-TAX MONTHLY ADMINISTRATION OCTOBER 2	150.00
				VENDOR TOTAL	150.00
BONADIO & CO., LLP	AMM	163649	BN357013	TECHNOLOGY AUDITS/PCI COMPLIANCE AUDIT/P	2,500.00
				VENDOR TOTAL	2,500.00
BRANCATO	JRH	163634	11012023BRANCATO	2023 NOVEMBER SENIORS ARMCHAIR TRAVEL PR	100.00
	JRH	163633	10312023BRANCATO	2023 OCTOBER SENIORS PROGRAM ARMCHAIR TR	100.00
				VENDOR TOTAL	200.00
BRIDGE TOWER OP CO, LLC	RMN	163708	745650936	LEGAL NOTICE FOR DRHPB HEARING ON 11/9/2	51.92
	RMN	163506	745648519	LEGAL NOTICE- PLANNING BRD HRG ON 10/23	46.68
	RMN	163517	745648528	LEGAL NOTICE-DRHPB PUBLIG HRG ON 10-25-2	45.37
				VENDOR TOTAL	143.97
BRIGHTON MOWER SERV., INC	PJS	163683	110939	TORO DECK PIN 340-1	23.85

ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	23.85
BSN SPORTS LLC	JRH	163487	307602120	EQUIPMENT FOR PARENT/CHILD PLAYTIME	263.16
				VENDOR TOTAL	263.16
CASTLE BRANCH INC	BWL	163478	0904018-IN	EMPLOYMENT SCREENING	415.00
				VENDOR TOTAL	415.00
CAVALLARO	JRH	163761	112023CAVALLARO	2023 NOVEMBER INSTRUCTOR PAYMENT	30.10
				VENDOR TOTAL	30.10
CHASE CARD SERVICES	AMM	163426	900699483	AUTOMATIC EMAIL MANAGER FOR SEWER DPT	269.00
	AMM	163566	03956-52357620	CANVA PRO SUBSCRIPTION - ONE EXTRA PERSO	44.95
	AMM	163567	2780139	GREENLIGHT: BUSINES BASIC	633.87
	BWL	163503	10302023	WELLNESS FAIR PRIZES	693.34
	JRH	163725	111-7001961-2567433	KITCHEN SUPPLIES FOR SENIORS LUNCHES	59.98
	JRH	163726	111-9321337-5210647	RECREATION COMPUTER SUPPLIES	169.11
	AMM	163779	43695426-61279652	FOXTON BROWSER HISTORY EXAMINER-ANNUAL L	249.00
	BWL	163783	11152023	ANSALDI MAGISTRATES CONFERENCE HOTEL FEE	791.01
	JRH	163428	111-3863238-3836267	SUPPLIES FOR HALLOWEEN FEST	181.58
	JRH	163428	111-3525016-0973807	SUPPLIES FOR HALLOWEEN FEST	54.96
	BWL	163711	11102023	VETERANS DAY CEREMONY REFRESHMENTS	76.92
	BWL	163591	15204280	CREDIT CARD MACHINES	1,321.46
				VENDOR TOTAL	4,545.18
CINTAS CORPORATION #411	PJS	163435	4170565669	RUG & MOP SERVICE	396.77
	PJS	163738	4171981068	RUG AND MOP SVC , ALL BLDGS	396.77
	PJS	163738	4173411097	RUG AND MOP SVC, ALL BLDGS	396.77

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	1,190.31
CLARK EQUIPMENT COMPANY	PJS	163590	3531383	WHEEL SAW ET AL	22,972.00
	PJS	163590	3537711	COMPACT TRACK LOADER AFTER TRADE IN	20,484.00
				VENDOR TOTAL	43,456.00
COLLEGE ASSISTANCE PLUS	JRH	163795	112023CELUCH	2023 NOVEMBER INSTRUCTOR PAYMENT	63.00
				VENDOR TOTAL	63.00
COLONY HARDWARE CORP.	PJS	163482	1781872	RAKES, TAMPER	71.34
	PJS	163482	1783349	RAKES, TAMPER	559.89
	PJS	163694	1881477	RAGS	144.05
	PJS	163588	INV-1898235	RAKE, TAMPING BAR	125.65
	PJS	163713	INV-1904059	FIRST AID SUPPLIES	84.00
				VENDOR TOTAL	984.93
CONCORD ELECTRIC CORPORATION	PJS	163724	TP0928	BREAKER BOARD	930.50
				VENDOR TOTAL	930.50
CONSTELLATION NEW ENERGY, INC.	PJS	163676	66769774301	PARK ROAD	89.88
	PJS	163676	66791978301	CANDLEWOOD DR	8.93
	PJS	163676	66792254601	GREYTHORNE HILL	42.34
	PJS	163676	66784293401	BRICKSTON DR	3.76
	PJS	163676	66784295601	POINCIANA	0.69
	PJS	163676	66769775001	3950 EAST AVE KNOWLTON	0.00
	PJS	163676	66791970501	4358 EAST AVE	0.00
	PJS	163625	66769760001	KINGS BEND PARK	55.39
	PJS	163625	66769760501	PARKS	88.37
	PJS	163743	66807142101	PORT OF PITTSFORD	36.81
	PJS	163743	66807147901	HIGHWAY	412.07
	PJS	163743	66807148601	PSD	137.52

ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
NOVEMBER 2023

VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
CONSTELLATION NEW ENERGY, INC.	PJS	163743	66784284501	MILE POST	6.30
	PJS	163743	66791950601	TOWN HALL	692.73
	PJS	163569	66734710901	529 MARSH ROAD	34.41
	PJS	163569	66734715501	DOWNING DRIVE	0.97
VENDOR TOTAL					1,610.17
COPPOLA	JRH	163770	112023COPPOLA	2023 NOVEMBER INSTRUCTOR PAYMENT	2,690.46
VENDOR TOTAL					2,690.46
CORNELL LOCAL ROADS PROGRAM	PJS	163715	231108	SNOW AND ICE WORKSHOP	50.00
	PJS	163715	231101	SNOW AND ICE WORKSHOP	50.00
VENDOR TOTAL					100.00
COUNTRYMAN	PJS	163464	10252023	MILEAGE REIMBURSEMENT	6.96
VENDOR TOTAL					6.96
CREIGHTON SELF-DEFENSE INC	JRH	163800	112023CREIGHTON	2023 NOVEMBER INSTRUCTOR PAYMENT	4,383.75
VENDOR TOTAL					4,383.75
CROSMAN SEED CORP	PJS	163510	11879	GRASS SEED	1,070.00
	PJS	163537	11893	GRASS SEED	125.00
VENDOR TOTAL					1,195.00
CROWN CASTLE INTERNATIONAL CORP.	AMM	163597	1445444	FIBER SERVICE #S269684 - 170 W. JEFFERSO	968.52
VENDOR TOTAL					968.52
D.J.M. EQUIPMENT, INC. BOBCAT OF THE FINGER LAKE	PJS	163716	01-195575	MILLING HEAD BOBCAT	464.54

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	464.54
DE LA COLINADOLORES	JRH	163773	112023SCOFIELD	2023 NOVEMBER INSTRUCTOR PAYMENT	1,218.42
				VENDOR TOTAL	1,218.42
DEBBIE SUPPLY INC	PJS	163470	668452	PAINT FOR LEAF BOXES	16.18
	PJS	163603	668626	PLUMBING FITTINGS	11.12
	PJS	163603	668635	FASTENERS, LIGHT BULBS	44.37
				VENDOR TOTAL	71.67
DEL 3750 MONROE AVENUE ASSOCIATES LLC	BWL	163774	11152023	COURT RENT NOVEMBER 2023	8,952.45
				VENDOR TOTAL	8,952.45
DELL MARKETING L.P.	AMM	163501	10707004329	DELL WORKSTATIONS	2,640.00
	AMM	163554	10705312267	POWEREDGE R750XS LBM SERVER	6,641.80
				VENDOR TOTAL	9,281.80
DEMOCRAT & CHRONICLE	BWL	163712	DC1187406	DECEMBER NEWSPAPER	35.00
				VENDOR TOTAL	35.00
DIRECT ENERGY BUSINESS	BWL	163719	233100052980926	3-6 POLES LIGHTING	208.95
	BWL	163719	233100052980927	7 OR MORE POLES LIGHTING	357.15
	BWL	163719	233100052980928	POLE MAINT. LIGHTING	40.76
	BWL	163719	233100052980929	STONETN LIGHTING	55.49
	BWL	163719	233100052980925	1-2 POLES LIGHTING	195.35
	BWL	163719	233070052964963	TOWN AT LARGE LIGHTING	257.29

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	1,114.99
DOLOMITE PRODUCTS CO INC	PJS	163474	1140293	CR-1	1,158.57
	PJS	163474	1143370	CR-1	2,764.16
	PJS	163474	1140470	CR-1	2,324.52
				VENDOR TOTAL	6,247.25
DOWARD	JRH	163791	112023DOWARD	2023 NOVEMBER INSTRUCTOR PAYMENT	637.00
				VENDOR TOTAL	637.00
DOX ELECTRONICS INC.	AMM	163555	52399	BARRACUDA BACKUP SERVER 490 1 YEAR MAINT	6,682.20
				VENDOR TOTAL	6,682.20
EDP, KGS, LLC	JRH	163775	112023SOCCERSHOTS	2023 NOVEMBER INSTRUCTOR PAYMENT	4,343.50
				VENDOR TOTAL	4,343.50
ELDERLEE, INC.	PJS	163573	99464	GUARD RAIL FOR REEVES RD PUMP STATION	2,381.46
				VENDOR TOTAL	2,381.46
ENVIRONMENTAL PRODUCTS & ACCESSORIES, LLC	PJS	163639	268249	HOSE REEL FOR FLUSH TRUCK	703.67
				VENDOR TOTAL	703.67
ESTATE OF GWENDOLYN DIXON	BWL	163687	11072023	RE-ISSUANCE OF CHECK 1426	195.00
				VENDOR TOTAL	195.00

ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
EVEVSKY	JRH	163581	5115	2023 OCTOBER SENIORS TAI CHI, SUN AND GE	465.00
				VENDOR TOTAL	465.00
EWASTE+	PJS	163465	202307736	LIGHT BULB RECYCLING	275.93
				VENDOR TOTAL	275.93
EXODUS EXTERMINATING INC	PJS	163550	416735	MOUSE CONTROL JULY	50.00
	PJS	163550	438150	MOUSE CONTROL OCTOBER	50.00
	PJS	163751	444481	WASP TREATMENT - LIBRARY	100.00
	PJS	163540	438062		50.00
	PJS	163540	416655	MONTHLY SERVICE OCTOBER AND JULY	50.00
				VENDOR TOTAL	300.00
FAIRPORT CHILDREN'S THEATER	JRH	163768	112023ROCHA	2023 NOVEMBER INSTRUCTOR PAYMENT	422.10
				VENDOR TOTAL	422.10
FINGER LAKES CASTLE	PJS	163681	890911	LUBES	90.00
	PJS	163546	890934	SHOP SOLVE, FLOOR CLEANER, 40 BELOW	224.65
				VENDOR TOTAL	314.65
FISH WINDOW CLEANING	PJS	163700	2875-159506	WINDOW CLEANING - LIBRARY, SCC	874.50
				VENDOR TOTAL	874.50
FISHER ASSOCIATES, P.E., L.S., L.A., D.P.C.	PJS	163548	FISHER220604INV1	MENDON THORNELL SIDEWALK	603.08
	PJS	163549	FISHER220604103123	MENDON THORNELL SIDEWALK	3,557.61
				VENDOR TOTAL	4,160.69

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
FITZSIMMONSBETH	JRH	163787	112023FITZSIMMONS	2023 NOVEMBER INSTRUCTOR PAYMENT	162.40
				VENDOR TOTAL	162.40
FIVE STAR EQUIPMENT INC	PJS	163730	P75404	LEAF MACHINE ELECTRIC	88.08
				VENDOR TOTAL	88.08
FJ1, LLC	JRH	163790	112023JOYNER	2023 NOVEMBER INSTRUCTOR PAYMENT	70.00
				VENDOR TOTAL	70.00
FLEET PRIDE	PJS	163476	92428441	USED CREDIT	350.70
	PJS	163820	112664544	453 BRAKES	939.96
	PJS	163673	112446448	CARRIER BEARING #459	92.16
				VENDOR TOTAL	1,382.82
FLOWER CITY COMMUNICATIONS INC	PJS	163551	INV4190	RADIO SWAP 332-3	617.31
				VENDOR TOTAL	617.31
FORBES COURT REPORTING SERVICES, LLC	VN	163499	10	OCTOBER 2023 STENO	480.00
				VENDOR TOTAL	480.00
FOULKELIZABETH	JRH	163760	112023FOULK	2023 NOVEMBER INSTRUCTOR PAYMENT	448.00
				VENDOR TOTAL	448.00
FRANK	BWL	163750	11142023	SECURITY GUARD TRAINING	75.00

ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
NOVEMBER 2023

VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	75.00
FREEDOM FLAG CO.	PJS	163641	TPPK110123	FLAG POLE CRANKS	170.00
				VENDOR TOTAL	170.00
FRONTIER COMMUNICATIONS	JRH	163557	112023RECDEPT	REC TELEPHONE SERVICES 10/22/23-11/21/23	65.70
	JRH	163556	112023SRS	SENIORS TELEPHONE SERVICE 10/22/23-11/21	64.76
	PJS	163568	585-100-1313-010717-6	PUMP STATIONS PHONE LINES	639.56
	AMM	163598	1101/6430-092614-6	6430 KBP NORTH PHONE SERVICE 11/01/23 -	76.30
	BWL	163596	585-100-2618-050219-6	MONTHLY PHONE PYMT	1,250.75
				VENDOR TOTAL	2,097.07
FULMORE	JRH	163784	112023FULMORE	2023 NOVEMBER INSTRUCTOR PAYMENT	1,856.40
				VENDOR TOTAL	1,856.40
FUN EXPRESS LLC	JRH	163670	72628602601	AFTER SCHOOL CRAFT SUPPLIES	25.90
	JRH	163670	72618996601	AFTER SCHOOL CRAFT SUPPLIES	103.57
				VENDOR TOTAL	129.47
FUSION DIGITAL LLC	AMM	163536	19754	INDUSTRY WEAPON SOFTWARE LIC RENEWAL REC	550.00
	AMM	163538	19755	INDUSTRY WEAPON SOFTWARE LIC RENEWAL LBM	650.00
				VENDOR TOTAL	1,200.00
GENESEE FINGER LAKES	PJS	163564	1214	NOV 9TH CONF GFLPRC (STUDENT REP)	75.00
				VENDOR TOTAL	75.00
GOTTA III	JRH	163810	GC231111	DECEMBER SQUARE DANCE CALLING	75.00

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
GOTTA III	JRH	163810	GC231110	NOVEMBER SQUARE DANCE CALLING	50.00
	JRH	163514	GC231027	2023 OCTOBER SENIORS SQUARE DANCE CALLIN	75.00
VENDOR TOTAL					200.00
GRAINGER, INC.	PJS	163462	9875665821	PIPE CUTTING DIES	82.61
	PJS	163527	9881924642	EMERGENCY LIGHT FIXTURE	120.45
	PJS	163529	9883718679	EXTINGUISHER SIGNS	122.58
	PJS	163528	9881415468	HAND TRUCK, TAPE	588.12
VENDOR TOTAL					913.76
GRASSLAND EQUIPMENT AND IRRIGATION CORPORATION	PJS	163679	1352555	AIR FILTER COVER ASS'Y	170.68
VENDOR TOTAL					170.68
GRAYBAR ELECTRIC CO INC.	PJS	163522	9334352697	BOLLARD PARTS AND SHIPPING	469.12
	PJS	163522	CR9332862943	REFUND FOR PO 103103 BLDG MAINT	-283.62
VENDOR TOTAL					185.50
GRUPO CULTURAL LATINOS EN ROCHESTER, INC	JRH	163788	112023GCLER	2023 NOVEMBER INSTRUCTOR PAYMENT	154.77
VENDOR TOTAL					154.77
HADLOCK'S ACE HARDWARE	PJS	163456	003077	PAPER TOWEL HOLDER	26.99
	PJS	163457	003076	PLUMBING PARTS	143.44
	PJS	163461	003050	PLUMBING FITTINGS	19.57
	PJS	163461	003066	PLUMBING FITTINGS, PESTICIDES	112.50
	PJS	163485	003078	GLUE, BIT SET, TAPE	79.55
	PJS	163454	003052	ANTIFREEZE	14.00
	PJS	163454	003054	ANTIFREEZE	7.00
	PJS	163454	003053	ANTIFREEZE	7.00
	PJS	163481	003046	PAINT FOR 458	40.47
	PJS	163736	003124	HOSE CLAMPS 461	23.92
	PJS	163558	3097	STAPLES FOR PERMIT SIGNAGE	13.98

**ACCOUNTS PAYABLE LISTING
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NOVEMBER 2023**

VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
HADLOCK'S ACE HARDWARE	PJS	163565	003094	THERMOSTAT	49.99
				VENDOR TOTAL	538.41
HANSON	JRH	163797	112023HANSON	2023 NOVEMBER INSTRUCTOR PAYMENT	3,188.32
				VENDOR TOTAL	3,188.32
HAUN WELDING SUPPLY, INC.	PJS	163754	3022928	RECERT PROPANE TANK	50.00
				VENDOR TOTAL	50.00
HAWK COLLISION & FRAME	PJS	163714	2852	PLOW FRAME REPAIR	1,900.72
				VENDOR TOTAL	1,900.72
HERZOG	JRH	163473	117	2023 OCTOBER SENIORS LINE DANCING	280.00
				VENDOR TOTAL	280.00
HILLYARD, INC.	PJS	163433	605276276	SOAP	330.42
	PJS	163577	605291401	PAPER PRODUCTS	1,564.94
	PJS	163577	CR00096141	CREDIT FOR OVERPAYMENT	-44.59
				VENDOR TOTAL	1,850.77
HOME DEPOT	PJS	163553	12470009713660	WATER HEATER AND PARTS	768.98
	PJS	163451	2023106	DAFFODIL BULBS	19.98
	PJS	163451	2023078	ZIP TIES, DISH DETERGENT	53.20
	PJS	163451	3023004	LUMBER	99.84
	PJS	163684	1034416	HOLE SAWS, BLADES, KNEELING PADS, MOUSE	254.24
	PJS	163728	12470009722695	GARBAGE CANS, AIR LINE	172.41
	PJS	163811	3015292	2X4	3.98
	PJS	163532	3013117	ANTI FREEZE, PLYWOOD FOR TABLE	84.72
	PJS	163532	9020042	ANTI FREEZE, PLYWOOD FOR TABLE	119.40

ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	1,576.75
INSIGHT PUBLIC SECTOR	AMM	163445	1101104146	KNOWBE4 SUBSCRIPTION PLATINUM 1 YEAR REN	1,822.04
				VENDOR TOTAL	1,822.04
INTIVITY, INC.	JRH	163495	1874041-0	CALCULATORS FOR SENIORS OFFICE	22.18
	JRH	163704	1876383-0	RECREATION OFFICE EQUIPMENT	37.29
	JRH	163429	1872288-0	RECREATION AND SENIORS OFFICE SUPPLIES	75.05
	JRH	163585	1875473-0	RECREATION OFFICE SUPPLIES	48.13
				VENDOR TOTAL	182.65
IRON MOUNTAIN, INC	RMN	163526	HXZJ683	RECORD RETENTION-11/01/2023 - 11/30/2023	919.48
				VENDOR TOTAL	919.48
IROQUOIS ROCK PRODUCTS	PJS	163468	1132103	ASPHALT BARRINGTON HILLS, ROXBURY	127,311.96
				VENDOR TOTAL	127,311.96
JACOB	JRH	163707	6	2023 OCTOBER INSTRUCTOR PAYMENT ZUMBA SE	210.00
				VENDOR TOTAL	210.00
JAMES JACOBS MASONRY CONT., LLC	PJS	163449	10242023	MASONRY REPAIR	750.00
	PJS	163745	10272023	MASONRY REPAIR	600.00
				VENDOR TOTAL	1,350.00
JESSIE HOLLENBECK - PETTY CASH	JRH	163443	10192023B	DECOR FOR HALLOWEEN FEST	23.75
	JRH	163443	10192023A	DECOR FOR HALLOWEEN FEST	26.25
	JRH	163703	11092023PETTYCASHREC	RECREATION OFFICE SUPPLIES	15.73

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	65.73
JONES	BWL	163420	10122023	COURT SECURITY BLAZER UNIFORM	236.52
				VENDOR TOTAL	236.52
JUST CLOWNING AROUND	JRH	163441	102023JUSTCLOWNING	BALLOON ARTISTS FOR HALLOWEEN FEST	900.00
				VENDOR TOTAL	900.00
KAWCZYNSKI	JRH	163502	102023KAWCZYNSKI	2023 OCTOBER SENIORS YOGA CLASSES	270.00
				VENDOR TOTAL	270.00
KENWORTH NORTHEAST GROUP, INC	PJS	163739	R67156	INSPECTIONS 458	117.68
	PJS	163542	R67048	457 NYSI	143.65
	PJS	163542	R66941	457 NYSI	20.00
				VENDOR TOTAL	281.33
KEYSTONE RIDGE DESIGNS, INC.	PJS	163756	0000026918	MEMORIAL BENCH	2,124.00
				VENDOR TOTAL	2,124.00
KONA ICE OF GENESEE VALLEY	BWL	163562	000599	WELLNESS FAIR DRINKS	308.70
				VENDOR TOTAL	308.70
LEFKOWITZ	JRH	163763	112023LEFKOWITZ	2023 NOVEMBER INSTRUCTOR PAYMENT	140.00
				VENDOR TOTAL	140.00

ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
LEWIS GENERAL TIRES, INC.	PJS	163691	175072	FRONT STEER TIRE	1,848.28
				VENDOR TOTAL	1,848.28
LOWES CREDIT SERVICES	PJS	163547	85695	CIRCUT BREAKER, OUTLET COVERS, SAFETY	315.85
				VENDOR TOTAL	315.85
M R B GROUP	BWL	163438	51767		820.00
	BWL	163438	52018		410.00
	BWL	163438	51195		102.50
	BWL	163593	52019	PROFESSIONAL SERVICES 8/27-9/23/23	307.50
	BWL	163593	51769	PROFESSIONAL SERVICES 7/30-8/26/23	717.50
	BWL	163593	50551	PROFESSIONAL SERVICES 6/7-7/1/23	512.50
	BWL	163593	50257	PROFESSIONAL SERVICES 5/7-6/3/23	205.00
				VENDOR TOTAL	3,075.00
MAGGIO	JRH	163782	112023MAGGIO	2023 NOVEMBER INSTRUCTOR PAYMENT	102.02
				VENDOR TOTAL	102.02
MAGLIATO	JRH	163762	112023MAGLIATO	2023 NOVEMBER INSTRUCTOR PAYMENT	702.10
				VENDOR TOTAL	702.10
MCVEAN	JRH	163796	112023MCVEAN	2023 NOVEMBER INSTRUCTOR PAYMENT	1,203.27
				VENDOR TOTAL	1,203.27
MEMMOTTORIA	BWL	163627	10262023	EXPENSE REIMBURSEMENT - MILEAGE TO MEETI	15.85
				VENDOR TOTAL	15.85

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
MIALE	JRH	163706	11092023MIALE	EMPLOYEE REIMBURSEMENT SENIOR BUS DRIVER	15.09
				VENDOR TOTAL	15.09
MILLER	JRH	163794	112023PMILLER	2023 NOVEMBER INSTRUCTOR PAYMENT	49.00
				VENDOR TOTAL	49.00
MILTON RENTS INC	PJS	163814	001563287	EXPANSION JOINT	7.00
	PJS	163589	001561762	EXCAVATOR BUCKET RENTAL	405.00
	PJS	163749	001562855	EXCAVATOR AND BUCKET RENTAL	1,852.00
	PJS	163749	001562857	BUCKET RENTAL	175.00
	PJS	163574	001561084	EXCAVATOR RENTAL	2,177.00
				VENDOR TOTAL	4,616.00
MIS OF AMERICA INC	PJS	163458	79386	WATER TOWER LEGIONELLA TESTING	460.00
				VENDOR TOTAL	460.00
MITCHELL1	PJS	163689	1B30045933	NOV BILLING	410.51
				VENDOR TOTAL	410.51
MODULAR COMFORT SYSTEMS, INC	PJS	163595	IN R420759	REPLACE HEAT PUMP CONSOLES	109.00
	PJS	163631	INR402675	REPLACE HEAT PUMP CONSOLES	4,545.00
				VENDOR TOTAL	4,654.00
MOFFETT TURF EQUIPMENT, INC.	PJS	163680	01-405905	VENTRAC BELTS	178.28
	PJS	163680	02-380556	VENTRAC BELTS	45.20
				VENDOR TOTAL	223.48

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
MONROE COUNTY DIRECTOR OF FINANCE	PJS	163504	1800160468	2023 MC STORMWATER COALITION	8,927.00
	PJS	163578	11022023	SCAVENGER WASTE HAULER PERMIT	30.00
VENDOR TOTAL					8,957.00
MONROE COUNTY LIBRARY SYSTEM	BWL	163635	12822	UMS CHARGES MAY - OCT 2023	142.99
VENDOR TOTAL					142.99
MONROE COUNTY WATER	PJS	163467	8142955	SETTLERS GREEN	68.66
	PJS	163467	4138141	FOUNDERS GREEN	64.60
	PJS	163467	3097651	3688 EAST AVE	92.65
	PJS	163723	161736	KINGS BEND PARK	194.70
	PJS	163723	73161	HIGHWAY	441.10
	PJS	163723	62330	MILE POST	25.90
	PJS	163723	60025	PARKS	48.70
	PJS	163723	90132	PORT OF PITTSFORD	74.25
	PJS	163723	183587	THORNELL FARM PARK	2,339.00
	PJS	163723	90249	LIBRARY	577.90
	PJS	163723	183815	BARKER RD / HOPKINS PARK	404.80
	PJS	163723	183588	WILLARD PARK	560.60
	PJS	163723	183589	GEP PARK	152.30
	PJS	163723	90633	SCC	416.20
	PJS	163723	90517	TOWN HALL	180.65
	PJS	163723	83938	COPPER BEECH PK	22.10
PJS	163744	82288	WATER - ALL YR ROUND FACILITIES	366.80	
VENDOR TOTAL					6,030.91
MORRISON EXCAVATING, INC.	PJS	163466	44359	TOPSOIL	224.00
VENDOR TOTAL					224.00
MURRAY	JRH	163804	112023MURRAY	2023 NOVEMBER INSTRUCTOR PAYMENT	507.50

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	507.50
NAPA AUTO PARTS	PJS	163450	6917-066917	HITCH	22.24
	PJS	163480	6917-067006	BULBS FOR 458	28.70
				VENDOR TOTAL	50.94
NAZARIAN	JRH	163799	112023NAZARIAN	2023 NOVEMBER INSTRUCTOR PAYMENT	113.75
				VENDOR TOTAL	113.75
NEW YORK STATE TURFGRASS ASSOCIATION	PJS	163509	10302023	MEMBERSHIP DUES	500.00
				VENDOR TOTAL	500.00
NEWCOMB	PJS	163494	102623NEWCOMB	POND DRAINAGE IMPROVEMENT	530.00
				VENDOR TOTAL	530.00
NEWMAN TRAFFIC SIGNS	PJS	163697	050427	SIGN BLANKS	307.01
				VENDOR TOTAL	307.01
NOCO ENERGY CORP.	PJS	163486	SP12677153	180.6 GALLONS	599.64
	PJS	163486	SP12674680	250.10 GAL	830.42
	PJS	163486	SP12672630	3003.10 GAL	1,063.22
	PJS	163737	SP12688338	260.GAL	854.75
	PJS	163737	SP12686380	415.GAL	1,431.30
	PJS	163816	SP12644386	162.7 GAL	557.63
	PJS	163816	SP12691281	600.GAL	1,972.50
	PJS	163543	SP12678723	100.2 GALLONS	330.66
	PJS	163672	SP12683332	385.30	1,328.86
	PJS	163672	SP12681509	140.30	462.99

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	9,431.97
NORTHEAST SWEEPERS AND RENTALS, INC.	PJS	163818	10663	RAVO	1,180.26
				VENDOR TOTAL	1,180.26
NORTHERN STAR MEDICAL HEALTH, PLLC	BWL	163623	8609	EMPLOYEE DRUG SCREENINGS	405.00
				VENDOR TOTAL	405.00
NRG BUSINESS MARKETING, LLC	PJS	163570	HS33900325	DIRECT ENERGY TOWN WIDE AND PUMP STATION	274.40
				VENDOR TOTAL	274.40
NYS CANAL CORPORATION	PJS	163419	101823GEPBENCHES	BENCH PERMIT - GEP	25.00
	PJS	163757	111523NYSCANAL	ANNUAL CANAL PLOWING/DUMPING 23-24	75.00
				VENDOR TOTAL	100.00
OIL FILTER SERVICE, INC.	PJS	163541	63120	AIR CABIN FILTERS437-1,441-1	166.54
	PJS	163572	63283	OIL FILTERS	157.88
				VENDOR TOTAL	324.42
OTIS ELEVATOR CO.	PJS	163580	100401333031	QUARTERLY ELEVATOR MAINTENANCE	2,656.14
				VENDOR TOTAL	2,656.14
PARK PLACE FARMS LLC	JRH	163792	112023PARKPLACEFARMS	2023 NOVEMBER INSTRUCTOR PAYMENT	112.00
				VENDOR TOTAL	112.00

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
PAYCHEX, INC.	BWL	163493	2023102600	PAYROLL PROCESSING OCTOBER 2023	4,781.45
	BWL	163786	4265848	TIME & ATTENDANCE SERVICES NOVEMBER 2023	160.00
	BWL	163686	28050874	ANALYSIS AND MONITORING SERVICE	415.35
	BWL	163644	4213043	ONBOARDING HR/RECRUITER USER NOVEMBER 20	100.00
VENDOR TOTAL					5,456.80
PAZRAL	JRH	163769	112023PAZRAL	2023 NOVEMBER INSTRUCTOR PAYMENT	1,396.50
VENDOR TOTAL					1,396.50
PDQ.COM	AMM	163741	PDQ57534	PDQ DEPLOY & INVENTORY - 1 YEAR	1,500.00
VENDOR TOTAL					1,500.00
PENNY LANE PRINTING	JRH	163815	232062	2024 WINTER BROCHURE PRINTING & POSTAGE	10,455.40
VENDOR TOTAL					10,455.40
PERINTON YOUTH HOCKEY	JRH	163798	112023PYH	2023 NOVEMBER INSTRUCTOR PAYMENT	168.00
VENDOR TOTAL					168.00
PHOENIX GRAPHICS, INC.	BWL	163492	73475	MESSENGER FALL 2023 DESIGN, PRINTING & P	13,364.10
VENDOR TOTAL					13,364.10
PITNEY BOWES GLOBAL FINANCIAL SERVICES, LLC	JRH	163647	3318237730	RECREATION POSTAGE METER BILLING 8/28/23	104.49
VENDOR TOTAL					104.49
PITNEY BOWES INC	RMN	163525	1024144452	POSTAGE METER RENTAL	135.00

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT	
				VENDOR TOTAL	135.00	
PITTSFORD CENTRAL SCHOOLS	PJS	163678	2773-24A	PARKS FUEL SEPT 2023	4,248.42	
	PJS	163678	2779-24A	PARKS FUEL OCT 2023	3,803.79	
	JRH	163629	2780-24A	2023 OCTOBER RECREATION GASOLINE	44.84	
	JRH	163630	2776-24A	2023 OCTOBER SENIORS GASOLINE	205.30	
	PJS	163636	2781-24A	PSD DIESEL AND UNLEAD FUEL	1,763.35	
	PJS	163587	2770-24A	PSD DIESEL AND UNLEAD FUEL	1,247.56	
	JRH	163583	2768-24A	2023 SEPTEMBER SENIORS GASOLINE	194.59	
	PJS	163579	2771-24A	DPW MONTHLY FUEL CHARGES	1,084.31	
	JRH	163584	2769-24A	2023 SEPTEMBER RECREATION GASOLINE	56.78	
	PJS	163632	2782-24A	DPW MONTHLY FUEL CHARGES	1,019.97	
	PJS	163674	2778-24A	OCT FUEL	10,063.37	
	PJS	163674	2774-24A	SEPT FUEL	9,893.51	
					VENDOR TOTAL	33,625.79
	PITTSFORD FLORIST	BWL	163490	1098030685	ARRANGEMENT FOR VOLUNTEER DINNER	1,032.00
				VENDOR TOTAL	1,032.00	
PITTSFORD TRAFFIC AND RADAR, LLC	PJS	163701	12023-014	TRAFFIC SIGN	1,900.00	
	PJS	163701	12023-013	TRAFFIC SIGN	525.00	
				VENDOR TOTAL	2,425.00	
PITTSFORD YOUTH SERVICES INCORPORATED	BWL	163592	4541	NOVEMBER 2023 COUNSELING SERVICES	5,500.00	
				VENDOR TOTAL	5,500.00	
PLANT CONCEPTS, INC	PJS	163642	4311	WEEDING	1,000.00	
	PJS	163642	4339	MOWING	10,251.00	
	PJS	163440	4306	2023 CONTRACTED MAINTENANCE	3,866.00	

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	15,117.00
PLUG & PAY TECHNOLOGIES	JRH	163628	102023PLUG&PAY	2023 OCTOBER PLUG & PAY BILLING	30.00
				VENDOR TOTAL	30.00
POWER DRIVES, INC.	PJS	163740	RRS957009	FITTINGS AND FUEL HOSE	208.09
				VENDOR TOTAL	208.09
PRAZAR	JRH	163766	112023PRAZAR	2023 NOVEMBER INSTRUCTOR PAYMENT	315.00
				VENDOR TOTAL	315.00
PUBLIC RELATIONS SOCIETY OF AMERICA, INC.	BWL	163477	1855298	PRSA ANNUAL DUES	377.00
				VENDOR TOTAL	377.00
RADIOMAX COMMUNICATIONS INC.	PJS	163442	104022-4	QTRLY PAGER CHARGES	41.15
				VENDOR TOTAL	41.15
RAY KERHAERT'S TOWING, INC	PJS	163729	026138	TOW 441	300.00
	PJS	163727	020353	TOW 460	300.00
	PJS	163813	026155	TOW 439 TO KENWORTH	310.00
				VENDOR TOTAL	910.00
RAY SANDS GLASS	PJS	163544	1-8995	REPLACE WINDSHIELD 332-3	310.69
				VENDOR TOTAL	310.69

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
REGIONAL INTERNATIONAL CORPORATION	PJS	163479	011219026P	SENSOR	220.53
	PJS	163819	011220189P	FUEL LINE FILTER PUMP	1,211.58
	PJS	163819	011220353P	FUEL LINE FILTER PUMP	124.10
VENDOR TOTAL					1,556.21
RENT AN AED, LLC	PJS	163431	2023-070	AEDS (PARKS)	7,982.36
VENDOR TOTAL					7,982.36
ROBINSON	JRH	163772	112023ROBINSON	2023 NOVEMBER INSTRUCTOR PAYMENT	214.55
VENDOR TOTAL					214.55
ROCHESTER ASPHALT MATERIAL, INC.	PJS	163471	1142650	ASPHALT BARRINGTON HILLS, ROXBURY	2,129.62
	PJS	163469	1142687	GENERAL PATCH	325.99
	PJS	163475	1143876	GENERAL PATCH	1,092.63
	PJS	163545	1145084	GENERAL PATCH	821.55
VENDOR TOTAL					4,369.79
ROCHESTER FENCING CLUB	JRH	163801	112023ROCFENCING	2023 NOVEMBER INSTRUCTOR PAYMENT	36.40
VENDOR TOTAL					36.40
ROCHESTER GAS & ELECTRIC	PJS	163604	11611100013	295 FAIRPORT RD PUMP STATION	51.14
	PJS	163747	12210995931	BARKER RD ELECTRIC AND CONSTELLATION	129.62
	PJS	163747	12211001209	WILLARD ROAD ELECTRIC AND CONSTELLATION	43.23
	BWL	163688	0188930223000011	MONTHLY GAS LIGHTS	64.19
VENDOR TOTAL					288.18
ROCHESTER PAINT CENTERS	PJS	163453	00153999	MARKING PASTE	1,124.00

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	1,124.00
ROSE	JRH	163582	102023ROSE	2023 OCTOBER SENIORS FITNESS SESSION	200.00
				VENDOR TOTAL	200.00
S & S WORLDWIDE, INC	JRH	163496	IN101287525	CRAFT SUPPLIES FOR PANTHER PALS	187.51
	JRH	163809	IN101300013	BREAK CAMP CRAFT SUPPLIES	117.62
	JRH	163648	IN101294975	PANTHER PALS CRAFT SUPPLIES	8.34
	JRH	163648	IN101292940	BREAK CAMP CRAFT SUPPLIES	142.72
	JRH	163648	IN101292918	BREAK CAMP CRAFT SUPPLIES	16.70
				VENDOR TOTAL	472.89
SAFETY - KLEEN CORP.	PJS	163735	92926480	USED OIL	25.00
				VENDOR TOTAL	25.00
SENENIG'S LANDSCAPE SUPPLY	PJS	163552	T02-170761	MUSHROOM COMPOST	142.00
				VENDOR TOTAL	142.00
SEYREK SEALERS LLC	PJS	163559	OCT23ROLLOFF	OCT ROLL OFF	3,100.00
	PJS	163561	PITTSOCT23	2023 REFUSE DISTRICTS	30,780.89
	PJS	163560	OCTBRUSH23	BAGGED & BUNDLED BRUSH	41,900.00
	PJS	163586	PITTSTOWNOCT2023	MONTHLY DISPOSAL	2,058.90
				VENDOR TOTAL	77,839.79
SLAUGHTER	JRH	163793	112023SLAUGHTER	2023 NOVEMBER INSTRUCTOR PAYMENT	3,484.60
				VENDOR TOTAL	3,484.60

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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
SOCOLA	JRH	163781	112023SOCOLA	2023 NOVEMBER INSTRUCTOR PAYMENT	168.00
				VENDOR TOTAL	168.00
SOFTWARE HOUSE INTERNATIONAL, INC.	AMM	163685	B17591951	ADOBE ACROBAT PRO FOR TEAMS - SUBSCRIPTI	85.42
				VENDOR TOTAL	85.42
SOUTHERN TIER SECURITY	JRH	163500	TOP-049	SECURITY FOR HALLOWEEN FEST	224.00
				VENDOR TOTAL	224.00
STATE COMPROLLER	BWL	163645	2636690-2023-09-01	SEPTEMBER 2023 TOWN COURT FEES	6,127.25
				VENDOR TOTAL	6,127.25
STEIDLE	JRH	163705	11092023STEIDLE	EMPLOYEE REIMBURSEMENT SENIOR TRIP CHAPE	14.56
	JRH	163516	10262023STEIDLE	EMPLOYEE REIMBURSEMENT SENIOR TRIP CHAPE	28.00
				VENDOR TOTAL	42.56
STREET SKILLS, LLC	JRH	163803	112023DELVECCHIO	2023 NOVEMBER INSTRUCTOR PAYMENT	35.00
				VENDOR TOTAL	35.00
SUPER VACUUM STORE, INC.	PJS	163746	3327	VACUUM AND BAGS	737.97
	PJS	163746	3329	BRUSH STRIPS	29.96
				VENDOR TOTAL	767.93
T.Y. LIN INTERNATIONAL	BWL	163594	122310036	ST JOHN FISHER LAVERY LIBRARY	2,362.50
	BWL	163594	122308031	ST JOHN FISHER MURPHY HALL	1,890.00

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	4,252.50
TAYLORALLEN	JRH	163802	112023TAYLOR	2023 NOVEMBER INSTRUCTOR PAYMENT	218.75
				VENDOR TOTAL	218.75
THE DAILY RECORD	BWL	163778	6474777	ANNUAL NEWSPAPER	249.00
				VENDOR TOTAL	249.00
THE IDEA WORKS OF NY, INC	JRH	163668	38348	EMPLOYEE APPAREL	923.65
				VENDOR TOTAL	923.65
THOMSON REUTERS - WEST	BWL	163720	849191055	OCTOBER WEST LAW DATABASE	336.70
				VENDOR TOTAL	336.70
THRU-WAY SPRING, INC	PJS	163721	188019	SANDER CHAIN 423	681.11
				VENDOR TOTAL	681.11
TOLLS BY MAIL	PJS	163637	17994610224	THRUWAY TOLLS - FLEET VEHICLES	7.54
				VENDOR TOTAL	7.54
TOPS MARKETS LLC	JRH	163669	102023TOPSMARKETS	2023 OCTOBER SENIORS TOPS MARKETS BILLIN	228.78
				VENDOR TOTAL	228.78
TOSHIBA BUSINESS SOLUTIONS	RMN PJS	163638 163692	6144309 6149452	MAINTENANCE INVOICE 1ST FLOOR COPIER-10/ TOSHIBA MONTHLY COPIER MAINT - PSD	170.95 29.06

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
TOSHIBA BUSINESS SOLUTIONS	AMM	163718	6158190	MANAGED PRINT SERVICES-NETWORKED PRINTER	158.25
	VN	163643	6149453	COPIER BILL OCTOBER 2023	41.62
	JRH	163807	6149325	SENIORS COPIER BILLING 10/10/23-11/09/23	12.73
	JRH	163806	6143701	RECREATION COPIER BILLING 10/01/23-10/31	222.16
	AMM	163418	6128621	MANAGED PRINT SERVICES-STAND-ALONE PRINT	257.40
	PJS	163702	6149490	OCT BILLING	14.58
	AMM	163742	6143896	DOCUWARE-SOLUTIONS SOFTWARE SUPPORT 11/1	1,000.00
VENDOR TOTAL					1,906.75
TRACEY ROAD EQUIPMENT	PJS	163722	X105106179:01	439 REAR CHAMBER	99.07
VENDOR TOTAL					99.07
ULINE INC.	PJS	163432	169467393	TISSUE AND PAPER TOWEL	1,060.22
VENDOR TOTAL					1,060.22
URMC DEPARTMENT OF PSYCHIATRY	BWL	163571	TOP1123	EAP SERVICE NOVEMBER 2023	210.83
VENDOR TOTAL					210.83
VAN BORTEL FORD	PJS	163753	F0CS98481	REPLACE TURBO 335-2	5,004.19
	PJS	163539	437945	AXLE SEAL 401	116.14
	PJS	163640	438226	SEALS 337-2	135.46
VENDOR TOTAL					5,255.79
VERNICK	JRH	163780	112023VERNICK	2023 NOVEMBER INSTRUCTOR PAYMENT	358.40
VENDOR TOTAL					358.40
VICKI PROFITT - PETTY CASH	JRH	163430	10052023PETTYCASHSRS	SENIORS PETTY CASH REIMBURSEMENT SENIOR	23.99

ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	23.99
VICTOR POWER EQUIPMENT	PJS	163817	316528	BACKPACK BLOWER PARTS	57.66
	PJS	163817	316165	BACKPACK BLOWER PARTS	328.28
	PJS	163535	316061	KITS FOR BACKPACK BLOWERS AND BLADES FOR	311.70
	PJS	163677	316175	BACKPACK BLOWER PARTS	1.09
				VENDOR TOTAL	698.73
VILLAGE OF PITTSFORD	BWL	163646	2636690-2023-09-01	SEPTEMBER 2023 COURT FEES	90.00
				VENDOR TOTAL	90.00
VILLAGER CONSTRUCTON INC	PJS	163483	105375	MILL PAVE BARRINGTON HILLS	12,309.00
	PJS	163534	105442	MILL PAVE BARRINGTON HILLS	9,447.50
				VENDOR TOTAL	21,756.50
VP SUPPLY CORP.	PJS	163463	5472063	FLUSH HEAD	426.14
	PJS	163523	5473592	VALVE	31.50
	PJS	163690	5478522	FLUORESCENT LIGHTS	268.16
	PJS	163748	5488017	ELECTRICAL SUPPLIES FOR REITZ PARKWAY PS	701.07
	PJS	163748	5489225	ELECTRICAL SUPPLIES FOR REITZ PARKWAY PS	420.10
	PJS	163748	CR5490323	REFUND / RETURNED ITEMS	-228.50
	PJS	163576	5477201	SPOTLIGHTS AND ACCESSORIES	89.72
				VENDOR TOTAL	1,708.19
W. B. MASON CO., INC.	RMN	163626	242100239	HP 72 IN CARTRIDGES-3	213.21
	RMN	163626	242064726	2024 CALENDARS	89.00
	BWL	163752	242379147	GENERAL OFFICE SUPPLIES-2024 CALENDARS	125.50
	RMN	163447	241860875	GENERAL OFFICE SUPPLIES	432.81

**ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	860.52
WAGSTAFF	JRH	163758	112023WAGSTAFF	2023 NOVEMBER INSTRUCTOR PAYMENT	1,400.00
				VENDOR TOTAL	1,400.00
WARD	RMN	163717	11132023	COURIER REIMBURSEMENT FOR MILEAGE	36.42
				VENDOR TOTAL	36.42
WEGMANS FOOD MARKETS INC	BWL	163489	10252023	DECORATIONS FOR VOLUNTEER DINNER	71.88
	BWL	163732	102023WEGMANSREC	2023 OCTOBER WEGMANS RECREATION BILLING	2,081.37
	BWL	163776	11152023	ANNUAL CARD FEE	100.00
	JRH	163808	102023WEGMANSRS	2023 OCTOBER WEGMANS SENIORS BILLING	669.74
				VENDOR TOTAL	2,922.99
WILLIAMSON LAW BOOK	AMM	163424	198369	WLB TOWN CLERK PLUS SUPPORT CONTRACT FRO	1,326.00
				VENDOR TOTAL	1,326.00
WISSET	JRH	163789	112023WISSET	2023 NOVEMBER INSTRUCTOR PAYMENT	709.13
				VENDOR TOTAL	709.13
WRIGHT	JRH	163771	112023WRIGHT	2023 NOVEMBER INSTRUCTOR PAYMENT	525.00
WRIGHT	JRH	163710	1023	2023 OCTOBER SENIORS CHORUS AND NIA FITN	410.00
				VENDOR TOTAL	935.00
ZHANG	JRH	163764	112023ZHANG	2023 NOVEMBER INSTRUCTOR PAYMENT	886.20

**ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER	NO	INV #	DESCRIPTION	AMOUNT
						VENDOR TOTAL
						886.20
						REPORT TOTAL
						581,915.23

END OF REPORT

PREPAID ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
AETNA INC.	BWL	163436	57884876	NOVEMBER HEALTH BILL	16,715.46
VENDOR TOTAL					16,715.46
CHARTER COMMUNICATIONS	AMM	163444	142206901102123	FIBER INTERNET 50MBPS & 5 STATIC IPS - 1	198.00
VENDOR TOTAL					198.00
CONSTELLATION NEW ENERGY, INC.	PJS	163515	66759941101	PITTSFORD MANOR LANE	47.89
	PJS	163515	66760383801	DUNNEWOOD COURT	54.93
	PJS	163515	66541766001	2600 LEHIGH STATION ROAD	47.77
	PJS	163515	66522184001	CANDLEWOOD DR	8.57
	PJS	163515	66683070001	REITZ PARKWAY	0.00
	PJS	163515	66546642901	4358 EAST AVE	0.00
	PJS	163518	66425680202	LIBRARY	0.00
	PJS	163518	66760382301	KINGS BEND	7.68
	PJS	163518	66760423701	SCC	1,444.89
	PJS	163518	66759939501	PORT OF PITTSFORD	35.85
	PJS	163518	66747228301	625 MARSH RD	0.00
	PJS	163518	66760439401	631 MARSH RD	0.00
	PJS	163518	66638375001	LIBRARY	1,434.03
VENDOR TOTAL					3,081.61
CROZIER	BWL	163425	09182023	VIDEOTAPING AND EDITING FOR FOOD TRUCK A	400.00
VENDOR TOTAL					400.00
ELEVATED SIGN SOLUTIONS	BWL	163422	3338	BILLS TRAINING CAMP 4X8 SIGN PANEL	500.00
VENDOR TOTAL					500.00
EXCELLUS	BWL	163491	000036861127		55.80
	BWL	163491	000036861498		69.75
	BWL	163491	000036861020		51.15
	BWL	163491	000036862187		23.25

PREPAID ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT	
EXCELLUS	BWL	163491	000036861645		23.25	
	BWL	163491	000036861511		46.50	
	BWL	163491	000036861929		60.45	
	BWL	163491	000036861990		60.45	
	BWL	163491	000036861649		4.65	
	BWL	163491	000036861654		69.75	
	BWL	163491	000036861944		13.95	
	BWL	163491	000036862028		274.35	
	BWL	163491	000036861146		83.70	
	BWL	163491	000036860838		9.30	
	VENDOR TOTAL					846.30
	FIDELITY SECURITY LIFE COMPANY OF NY	BWL	163498	166017684	EYEMED VISION PREMIUM NOVEMBER 2023	474.11
VENDOR TOTAL					474.11	
FRONTIER COMMUNICATIONS	AMM	163505	10/22/6431-052517-6	IT DEPT EMERGENCY PHONE SERVICE 10/22/23	64.74	
	VN	163508	10222023	OCTOBER 2023 PHONE BILL	65.62	
	PJS	163512	DPWFAX102223	DPW - FAX	67.89	
	PJS	163513	HWYFIREALARM102223	HWY FIRE ALARM	67.47	
	PJS	163520	585-248-2520-052517-6	PARKS FIRE SECURITY	64.55	
	PJS	163520	585-248-3897-052517-6	PSD FIRE SECURITY	65.97	
	PJS	163520	585-385-3241-052517-6	LIBRARY	0.00	
	PJS	163521	585-248-6205-052517-6	HIGHWAY	64.55	
	PJS	163521	585-586-4739-052517-6	SCC ELEVATOR	97.85	
	PJS	163521	585-198-6080-060617-6	COURT	66.77	
	PJS	163521	585-248-6202-052517-6	TOWN HALL	442.22	
	PJS	163531	585-218-9325-061517-6	PUMP STATIONS PHONE LINES	58.76	
VENDOR TOTAL					1,126.39	
KUZNIAREK	BWL	163434	1151	2023 HALLOWEEN FESTIVAL POSTER	100.00	
VENDOR TOTAL					100.00	
MIGUEL CREATIVE INC.	BWL	163423	1679	FOOD TRUCK AND MUSIC FEST POSTER UPDATE	85.00	

**PREPAID ACCOUNTS PAYABLE LISTING
FOR TOWN BOARD APPROVAL
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VENDOR NAME	APPV BY	VOUCHER NO	INV #	DESCRIPTION	AMOUNT
				VENDOR TOTAL	85.00
MUTUAL OF OMAHA	BWL	163455	001600001860	LIFE & DISABILITY INSURANCE: NOVEMBER PR	3,164.53
				VENDOR TOTAL	3,164.53
MVP HEALTH CARE	BWL	163488	000000018742514	MONTHLY HEALTH CARE BILL: NOVEMBER 2023	176,376.20
				VENDOR TOTAL	176,376.20
OAK HILL COUNTRY CLUB, INC	BWL	163511	1696797	VOLUNTEER APPRECIATION DINNER 2023	8,727.50
				VENDOR TOTAL	8,727.50
PHOENIX GRAPHICS, INC.	BWL	163421	73191	SUSTAINABILITY TIMELINE UPDATE AND REDES	405.00
	BWL	163421	73165	PITTSFORD MESSENGER 2023	13,268.49
				VENDOR TOTAL	13,673.49
ROCHESTER GAS & ELECTRIC	BWL	163448	17900263549	MONTHLY STREET LIGHTING PYMT	6,920.06
	PJS	163507	17900263623	ELECT & GAS - TOWN WIDE	14,002.17
	PJS	163519	11311117457	ELECT & GAS - TOWN WIDE	63.29
				VENDOR TOTAL	20,985.52
THE IDEA WORKS OF NY, INC	BWL	163452	38325	GIFTS FOR VOLUNTEERS	1,814.80
				VENDOR TOTAL	1,814.80
UDN	BWL	163439	10202023	OVERPAYMENT OF BUILDING PERMIT	2,655.00

**PREPAID ACCOUNTS PAYABLE LISTING
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VENDOR NAME	APPV BY	VOUCHER		DESCRIPTION	AMOUNT
		NO	INV #		
				VENDOR TOTAL	2,655.00
VERIZON WIRELESS	PJS	163427	9946497257	MONTHLY CELL PHONE CHARGES	455.31
				VENDOR TOTAL	455.31
				REPORT TOTAL	251,379.22

END OF REPORT

TOWN OF PITTSFORD

Expense Control Report

Fiscal Year: 2023 Period From: 1 To: 12

		Curr. Month Total Expended	Original Budget	YTD Adjusted Budget	YTD Actual Expended	YTD Unexpended Balance	YTD Encumbered	YTD Available Balance	Percent Exp. Balance
Fund 0001	GENERAL FUND								
Dept 1010	TOWN BOARD								
0001	PERSONAL SERVICES	3,926.92	102,100.00	102,100.00	90,319.16	11,780.84	0.00	11,780.84	88.46
0004	CONTRACTUAL & MISC. EXPENSE	0.00	4,000.00	4,000.00	2,257.11	1,742.89	0.00	1,742.89	56.43
Total Dept 1010	TOWN BOARD	3,926.92	106,100.00	106,100.00	92,576.27	13,523.73	0.00	13,523.73	87.25
Dept 1110	TOWN JUSTICES								
0001	PERSONAL SERVICES	8,612.52	258,713.00	258,713.00	181,874.27	76,838.73	0.00	76,838.73	70.30
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	500.00	500.00	225.95	274.05	0.00	274.05	45.19
0004	CONTRACTUAL & MISC. EXPENSE	9,960.54	141,155.00	144,738.96	129,906.60	14,832.36	363.96	14,468.40	89.75
Total Dept 1110	TOWN JUSTICES	18,573.06	400,368.00	403,951.96	312,006.82	91,945.14	363.96	91,581.18	77.24
Dept 1220	TOWN SUPERVISOR								
0001	PERSONAL SERVICES	7,371.50	191,091.00	191,091.00	158,624.19	32,466.81	0.00	32,466.81	83.01
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	500.00	500.00	0.00	500.00	0.00	500.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	47.21	4,975.00	5,100.65	3,773.72	1,326.93	0.00	1,326.93	73.99
Total Dept 1220	TOWN SUPERVISOR	7,418.71	196,566.00	196,691.65	162,397.91	34,293.74	0.00	34,293.74	82.56
Dept 1230	COMMUNITY SERVICE								
0001	PERSONAL SERVICES	4,107.96	106,807.00	106,807.00	90,375.12	16,431.88	0.00	16,431.88	84.62
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	500.00	500.00	0.00	500.00	0.00	500.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	0.00	25,950.00	13,980.00	6,444.60	7,535.40	0.00	7,535.40	46.10
Total Dept 1230	COMMUNITY SERVICE	4,107.96	133,257.00	121,287.00	96,819.72	24,467.28	0.00	24,467.28	79.83
Dept 1310	DIRECTOR OF FINANCE								
0001	PERSONAL SERVICES	4,407.62	120,000.00	120,000.00	98,957.15	21,042.85	0.00	21,042.85	82.46
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	6.15	4,850.00	4,850.00	3,467.39	1,382.61	0.00	1,382.61	71.49
Total Dept 1310	DIRECTOR OF FINANCE	4,413.77	125,850.00	125,850.00	102,424.54	23,425.46	0.00	23,425.46	81.39
Dept 1320	INDEPENDENT AUDIT								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	47,000.00	48,900.00	46,646.00	2,254.00	0.00	2,254.00	95.39
Total Dept 1320	INDEPENDENT AUDIT	0.00	47,000.00	48,900.00	46,646.00	2,254.00	0.00	2,254.00	95.39
Dept 1330	TAX COLLECTION								
0001	PERSONAL SERVICES	2,068.24	48,900.00	48,900.00	41,564.20	7,335.80	0.00	7,335.80	85.00
0004	CONTRACTUAL & MISC. EXPENSE	18.19	9,000.00	9,000.00	1,977.18	7,022.82	0.00	7,022.82	21.97
Total Dept 1330	TAX COLLECTION	2,086.43	57,900.00	57,900.00	43,541.38	14,358.62	0.00	14,358.62	75.20

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		Curr. Month Total Expended	Original Budget	YTD Adjusted Budget	YTD Actual Expended	YTD Unexpended Balance	YTD Encumbered	YTD Available Balance	Percent Exp. Balance
Fund 0001	GENERAL FUND								
Dept 1355	ASSESSOR								
0001	PERSONAL SERVICES	6,757.12	189,485.00	189,485.00	126,518.70	62,966.30	0.00	62,966.30	66.77
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	500.00	500.00	0.00	500.00	0.00	500.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	133.00	13,530.00	13,680.00	9,060.88	4,619.12	0.00	4,619.12	66.23
Total Dept 1355	ASSESSOR	6,890.12	203,515.00	203,665.00	135,579.58	68,085.42	0.00	68,085.42	66.57
Dept 1375	CREDIT CARD FEES								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	35,000.00	35,000.00	27,384.04	7,615.96	0.00	7,615.96	78.24
Total Dept 1375	CREDIT CARD FEES	0.00	35,000.00	35,000.00	27,384.04	7,615.96	0.00	7,615.96	78.24
Dept 1410	TOWN CLERK								
0001	PERSONAL SERVICES	5,590.85	191,663.00	191,663.00	156,983.94	34,679.06	0.00	34,679.06	81.91
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	1,000.00	1,000.00	574.94	425.06	0.00	425.06	57.49
0004	CONTRACTUAL & MISC. EXPENSE	284.83	10,350.00	10,350.00	3,818.76	6,531.24	14.73	6,516.51	36.90
Total Dept 1410	TOWN CLERK	5,875.68	203,013.00	203,013.00	161,377.64	41,635.36	14.73	41,620.63	79.49
Dept 1420	ATTORNEY								
0001	PERSONAL SERVICES	1,892.46	49,204.00	49,204.00	44,567.01	4,636.99	0.00	4,636.99	90.58
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	250.00	250.00	0.00	250.00	0.00	250.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	342.76	15,600.00	18,982.00	15,229.15	3,752.85	2,282.00	1,470.85	80.23
Total Dept 1420	ATTORNEY	2,235.22	65,054.00	68,436.00	59,796.16	8,639.84	2,282.00	6,357.84	87.38
Dept 1430	PERSONNEL								
0001	PERSONAL SERVICES	3,310.65	111,600.00	111,600.00	70,468.40	41,131.60	0.00	41,131.60	63.14
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	2,000.00	2,000.00	0.00	2,000.00	0.00	2,000.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	697.83	134,800.00	131,879.70	93,690.58	38,189.12	79.70	38,109.42	71.04
Total Dept 1430	PERSONNEL	4,008.48	248,400.00	245,479.70	164,158.98	81,320.72	79.70	81,241.02	66.87
Dept 1440	ENGINEERING								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	20,000.00	25,439.00	16,849.61	8,589.39	0.00	8,589.39	66.24
Total Dept 1440	ENGINEERING	0.00	20,000.00	25,439.00	16,849.61	8,589.39	0.00	8,589.39	66.24
Dept 1450	ELECTIONS								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	500.00	500.00	0.00	500.00	0.00	500.00	0.00
Total Dept 1450	ELECTIONS	0.00	500.00	500.00	0.00	500.00	0.00	500.00	0.00
Dept 1460	RECORDS MANAGEMENT								
0004	CONTRACTUAL & MISC.	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00

TOWN OF PITTSFORD

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		Curr. Month Total Expended	Original Budget	YTD Adjusted Budget	YTD Actual Expended	YTD Unexpended Balance	YTD Encumbered	YTD Available Balance	Percent Exp. Balance
Fund 0001	GENERAL FUND								
Dept 1460	RECORDS MANAGEMENT EXPENSE								
Total Dept 1460	RECORDS MANAGEMENT	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00
Dept 1490	PUBLIC WORKS								
0001	PERSONAL SERVICES	11,211.49	247,250.00	247,250.00	209,450.75	37,799.25	0.00	37,799.25	84.71
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	1,000.00	1,000.00	500.00	500.00	0.00	500.00	50.00
0004	CONTRACTUAL & MISC. EXPENSE	625.23	19,060.00	19,073.89	10,806.24	8,267.65	4,315.10	3,952.55	56.65
Total Dept 1490	PUBLIC WORKS	11,836.72	267,310.00	267,323.89	220,756.99	46,566.90	4,315.10	42,251.80	82.58
Dept 1620	BUILDING								
0001	PERSONAL SERVICES	191.76	5,000.00	5,000.00	4,218.72	781.28	0.00	781.28	84.37
0004	CONTRACTUAL & MISC. EXPENSE	2,959.10	270,251.00	270,527.06	202,424.20	68,102.86	148.45	67,954.41	74.83
Total Dept 1620	BUILDING	3,150.86	275,251.00	275,527.06	206,642.92	68,884.14	148.45	68,735.69	75.00
Dept 1670	CENTRAL MAILING								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	60,000.00	60,000.00	52,199.53	7,800.47	0.00	7,800.47	87.00
Total Dept 1670	CENTRAL MAILING	0.00	60,000.00	60,000.00	52,199.53	7,800.47	0.00	7,800.47	87.00
Dept 1680	DATA PROCESSING								
0001	PERSONAL SERVICES	9,145.56	237,885.00	237,885.00	186,527.42	51,357.58	0.00	51,357.58	78.41
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	2,500.00	3,181.61	1,942.07	1,239.54	127.98	1,111.56	61.04
0004	CONTRACTUAL & MISC. EXPENSE	14,186.33	156,736.00	255,226.54	188,282.91	66,943.63	40,872.19	26,071.44	73.77
Total Dept 1680	DATA PROCESSING	23,331.89	397,121.00	496,293.15	376,752.40	119,540.75	41,000.17	78,540.58	75.91
Dept 1910	UNALLOCATED INSURANCE								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	235,000.00	241,780.00	239,625.46	2,154.54	0.00	2,154.54	99.11
Total Dept 1910	UNALLOCATED INSURANCE	0.00	235,000.00	241,780.00	239,625.46	2,154.54	0.00	2,154.54	99.11
Dept 1920	MUNICIPAL ASSOCIATION DUES								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	1,900.00	1,900.00	1,650.00	250.00	0.00	250.00	86.84
Total Dept 1920	MUNICIPAL ASSOCIATION DUES	0.00	1,900.00	1,900.00	1,650.00	250.00	0.00	250.00	86.84
Dept 1930	JUDGEMENTS/CLAIMS								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	4,000.00	7,637.00	7,636.17	0.83	0.00	0.83	99.99
Total Dept 1930	JUDGEMENTS/CLAIMS	0.00	4,000.00	7,637.00	7,636.17	0.83	0.00	0.83	99.99
Dept 1950	PROPERTY TAX								
0004	CONTRACTUAL & MISC.	0.00	7,500.00	7,500.00	6,052.08	1,447.92	0.00	1,447.92	80.69

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Fund 0001	GENERAL FUND								
Dept 1950	PROPERTY TAX EXPENSE								
Total Dept 1950	PROPERTY TAX	0.00	7,500.00	7,500.00	6,052.08	1,447.92	0.00	1,447.92	80.69
Dept 1989	UNCLASSIFIED								
0002	EQUIPMENT & CAPITAL OUTLAY	8,048.68	189,250.00	304,704.00	104,231.57	200,472.43	30,081.45	170,390.98	34.21
Total Dept 1989	UNCLASSIFIED	8,048.68	189,250.00	304,704.00	104,231.57	200,472.43	30,081.45	170,390.98	34.21
Dept 1990	CONTINGENCY								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	150,000.00	128,138.00	0.00	128,138.00	0.00	128,138.00	0.00
Total Dept 1990	CONTINGENCY	0.00	150,000.00	128,138.00	0.00	128,138.00	0.00	128,138.00	0.00
Dept 2620	CUSTODIAL								
0001	PERSONAL SERVICES	19,069.33	466,682.00	466,682.00	390,942.42	75,739.58	0.00	75,739.58	83.77
0002	EQUIPMENT & CAPITAL OUTLAY	6,882.00	4,600.00	154,925.97	118,236.94	36,689.03	18,927.00	17,762.03	76.32
0004	CONTRACTUAL & MISC. EXPENSE	8,722.11	185,029.00	206,011.95	177,676.37	28,335.58	27,621.67	713.91	86.25
Total Dept 2620	CUSTODIAL	34,673.44	656,311.00	827,619.92	686,855.73	140,764.19	46,548.67	94,215.52	82.99
Dept 3120	CROSSING GUARDS								
0001	PERSONAL SERVICES	7,142.75	192,090.00	192,090.00	150,165.28	41,924.72	0.00	41,924.72	78.17
0004	CONTRACTUAL & MISC. EXPENSE	824.25	1,450.00	1,450.00	824.25	625.75	450.00	175.75	56.84
Total Dept 3120	CROSSING GUARDS	7,967.00	193,540.00	193,540.00	150,989.53	42,550.47	450.00	42,100.47	78.01
Dept 3310	TRAFFIC								
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	9,000.00	9,500.00	8,183.00	1,317.00	0.00	1,317.00	86.14
0004	CONTRACTUAL & MISC. EXPENSE	613.58	8,000.00	19,391.60	17,449.86	1,941.74	106.00	1,835.74	89.99
Total Dept 3310	TRAFFIC	613.58	17,000.00	28,891.60	25,632.86	3,258.74	106.00	3,152.74	88.72
Dept 3510	CONTROL OF ANIMALS								
0001	PERSONAL SERVICES	2,454.16	64,000.00	64,000.00	53,991.52	10,008.48	0.00	10,008.48	84.36
0004	CONTRACTUAL & MISC. EXPENSE	160.53	6,000.00	6,000.00	1,678.81	4,321.19	0.00	4,321.19	27.98
Total Dept 3510	CONTROL OF ANIMALS	2,614.69	70,000.00	70,000.00	55,670.33	14,329.67	0.00	14,329.67	79.53
Dept 4210	YOUTH SERVICES								
0004	CONTRACTUAL & MISC. EXPENSE	5,500.00	66,000.00	66,000.00	60,500.00	5,500.00	0.00	5,500.00	91.67
Total Dept 4210	YOUTH SERVICES	5,500.00	66,000.00	66,000.00	60,500.00	5,500.00	0.00	5,500.00	91.67
Dept 4560	PHYSICIAN								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	1,400.00	1,400.00	1,400.00	0.00	0.00	0.00	100.00

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Fund 0001	GENERAL FUND								
Dept 4560	PHYSICIAN								
Total Dept 4560	PHYSICIAN	0.00	1,400.00	1,400.00	1,400.00	0.00	0.00	0.00	100.00
Dept 5010	SUPERINTENDENT OF HIGHWAYS								
0001	PERSONAL SERVICES	2,740.25	66,104.00	66,104.00	54,967.53	11,136.47	0.00	11,136.47	83.15
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	500.00	500.00	489.80	10.20	0.00	10.20	97.96
0004	CONTRACTUAL & MISC. EXPENSE	0.00	1,000.00	1,000.00	926.96	73.04	0.00	73.04	92.70
Total Dept 5010	SUPERINTENDENT OF HIGHWAYS	2,740.25	67,604.00	67,604.00	56,384.29	11,219.71	0.00	11,219.71	83.40
Dept 5132	HIGHWAY GARAGE								
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	26,000.00	43,797.00	23,956.50	19,840.50	0.00	19,840.50	54.70
0004	CONTRACTUAL & MISC. EXPENSE	3,949.75	54,128.00	55,928.00	40,793.17	15,134.83	0.00	15,134.83	72.94
Total Dept 5132	HIGHWAY GARAGE	3,949.75	80,128.00	99,725.00	64,749.67	34,975.33	0.00	34,975.33	64.93
Dept 5182	STREET LIGHTING								
0004	CONTRACTUAL & MISC. EXPENSE	257.29	40,000.00	40,000.00	19,995.51	20,004.49	0.00	20,004.49	49.99
Total Dept 5182	STREET LIGHTING	257.29	40,000.00	40,000.00	19,995.51	20,004.49	0.00	20,004.49	49.99
Dept 6410	PUBLICITY								
0001	PERSONAL SERVICES	4,503.34	108,423.00	108,423.00	73,021.53	35,401.47	0.00	35,401.47	67.35
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	500.00	500.00	0.00	500.00	0.00	500.00	0.00
0004	CONTRACTUAL & MISC. EXPENSE	30.78	52,370.00	52,370.00	34,565.95	17,804.05	0.00	17,804.05	66.00
Total Dept 6410	PUBLICITY	4,534.12	161,293.00	161,293.00	107,587.48	53,705.52	0.00	53,705.52	66.70
Dept 6510	VETERANS SERVICE								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	300.00	300.00	0.00	300.00	0.00	300.00	0.00
Total Dept 6510	VETERANS SERVICE	0.00	300.00	300.00	0.00	300.00	0.00	300.00	0.00
Dept 6772	PROGRAMS FOR AGING								
0001	PERSONAL SERVICES	5,523.90	172,000.00	172,000.00	140,384.77	31,615.23	0.00	31,615.23	81.62
0004	CONTRACTUAL & MISC. EXPENSE	6,892.29	104,490.00	104,490.00	71,979.62	32,510.38	0.00	32,510.38	68.89
Total Dept 6772	PROGRAMS FOR AGING	12,416.19	276,490.00	276,490.00	212,364.39	64,125.61	0.00	64,125.61	76.81
Dept 7020	RECREATION ADMINISTRATION								
0001	PERSONAL SERVICES	21,422.46	730,995.00	730,995.00	562,496.67	168,498.33	0.00	168,498.33	76.95
0002	EQUIPMENT & CAPITAL OUTLAY	37.29	5,000.00	5,000.00	2,672.57	2,327.43	0.00	2,327.43	53.45
0004	CONTRACTUAL & MISC.	48,274.39	423,200.00	423,200.00	421,690.93	1,509.07	0.00	1,509.07	99.64

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Fund 0001	GENERAL FUND								
Dept 9710	SERIAL BONDS								
Dept 9710	SERIAL BONDS	0.00	86,275.00	86,275.00	86,275.00	0.00	0.00	0.00	100.00
Dept 9901	INTERFUND TRANSFERS								
0009	INTERFUND TRANSFERS	0.00	2,056,750.00	2,201,750.00	2,199,036.58	2,713.42	0.00	2,713.42	99.88
Total Dept 9901	INTERFUND TRANSFERS	0.00	2,056,750.00	2,201,750.00	2,199,036.58	2,713.42	0.00	2,713.42	99.88
Dept 9950	TRANSFER TO CAPITAL PROJECTS								
0009	INTERFUND TRANSFERS	0.00	117,600.00	1,107,540.18	1,084,000.00	23,540.18	0.00	23,540.18	97.87
Total Dept 9950	TRANSFER TO CAPITAL PROJECTS	0.00	117,600.00	1,107,540.18	1,084,000.00	23,540.18	0.00	23,540.18	97.87
Total Fund 0001	GENERAL FUND	322,433.00	11,782,543.00	13,418,143.04	10,866,744.79	2,551,398.25	168,554.62	2,382,843.63	80.99

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Fund 0002	PART TOWN FUND								
Dept 9040	WORKERS COMPENSATION								
0008	EMPLOYEE BENEFITS	0.00	21,300.00	21,300.00	14,931.11	6,368.89	0.00	6,368.89	70.10
Total Dept 9040	WORKERS COMPENSATION	0.00	21,300.00	21,300.00	14,931.11	6,368.89	0.00	6,368.89	70.10
Dept 9045	LIFE INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	400.00	400.00	318.55	81.45	0.00	81.45	79.64
Total Dept 9045	LIFE INSURANCE	0.00	400.00	400.00	318.55	81.45	0.00	81.45	79.64
Dept 9050	UNEMPLOYMENT INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00
Total Dept 9050	UNEMPLOYMENT INSURANCE	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00
Dept 9055	DISABILITY INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	1,300.00	1,300.00	957.58	342.42	0.00	342.42	73.66
Total Dept 9055	DISABILITY INSURANCE	0.00	1,300.00	1,300.00	957.58	342.42	0.00	342.42	73.66
Dept 9060	HOSPITALIZATION								
0008	EMPLOYEE BENEFITS	0.00	195,000.00	195,000.00	174,632.09	20,367.91	0.00	20,367.91	89.55
Total Dept 9060	HOSPITALIZATION	0.00	195,000.00	195,000.00	174,632.09	20,367.91	0.00	20,367.91	89.55
Dept 9089	MISC. EMPLOYEE BENEFITS								
0008	EMPLOYEE BENEFITS	4.50	100.00	100.00	61.58	38.42	0.00	38.42	61.58
Total Dept 9089	MISC. EMPLOYEE BENEFITS	4.50	100.00	100.00	61.58	38.42	0.00	38.42	61.58
Total Fund 0002	PART TOWN FUND	68,428.97	1,479,986.00	1,803,266.68	1,274,309.09	528,957.59	48,332.30	480,625.29	70.67

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Fund 0003	LIBRARY FUND								
Dept 4560	PHYSICIAN								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	600.00	600.00	600.00	0.00	0.00	0.00	100.00
Total Dept 4560	PHYSICIAN	0.00	600.00	600.00	600.00	0.00	0.00	0.00	100.00
Dept 7410	LIBRARY								
0001	PERSONAL SERVICES	37,136.87	990,498.00	990,498.00	772,462.81	218,035.19	0.00	218,035.19	77.99
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	2,910.00	17,005.81	14,751.66	2,254.15	0.00	2,254.15	86.74
0004	CONTRACTUAL & MISC. EXPENSE	42,933.31	245,402.00	295,691.29	227,014.61	68,676.68	46,640.79	22,035.89	76.77
Total Dept 7410	LIBRARY	80,070.18	1,238,810.00	1,303,195.10	1,014,229.08	288,966.02	46,640.79	242,325.23	77.83
Dept 9010	STATE RETIREMENT								
0008	EMPLOYEE BENEFITS	0.00	95,000.00	95,000.00	19,287.89	75,712.11	0.00	75,712.11	20.30
Total Dept 9010	STATE RETIREMENT	0.00	95,000.00	95,000.00	19,287.89	75,712.11	0.00	75,712.11	20.30
Dept 9030	SOCIAL SECURITY								
0008	EMPLOYEE BENEFITS	2,770.67	80,000.00	80,000.00	52,287.18	27,712.82	0.00	27,712.82	65.36
Total Dept 9030	SOCIAL SECURITY	2,770.67	80,000.00	80,000.00	52,287.18	27,712.82	0.00	27,712.82	65.36
Dept 9040	WORKERS COMPENSATION								
0008	EMPLOYEE BENEFITS	0.00	9,725.00	9,725.00	5,490.17	4,234.83	0.00	4,234.83	56.45
Total Dept 9040	WORKERS COMPENSATION	0.00	9,725.00	9,725.00	5,490.17	4,234.83	0.00	4,234.83	56.45
Dept 9045	LIFE INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	450.00	450.00	372.00	78.00	0.00	78.00	82.67
Total Dept 9045	LIFE INSURANCE	0.00	450.00	450.00	372.00	78.00	0.00	78.00	82.67
Dept 9050	UNEMPLOYMENT INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00
Total Dept 9050	UNEMPLOYMENT INSURANCE	0.00	1,000.00	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00
Dept 9055	DISABILITY INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	1,500.00	1,500.00	905.23	594.77	0.00	594.77	60.35
Total Dept 9055	DISABILITY INSURANCE	0.00	1,500.00	1,500.00	905.23	594.77	0.00	594.77	60.35
Dept 9060	HOSPITALIZATION								
0008	EMPLOYEE BENEFITS	284.80	211,000.00	211,000.00	185,957.32	25,042.68	0.00	25,042.68	88.13
Total Dept 9060	HOSPITALIZATION	284.80	211,000.00	211,000.00	185,957.32	25,042.68	0.00	25,042.68	88.13
Dept 9089	MISC. EMPLOYEE BENEFITS								
0008	EMPLOYEE BENEFITS	7.50	300.00	300.00	102.63	197.37	0.00	197.37	34.21
Total Dept 9089	MISC. EMPLOYEE BENEFITS	7.50	300.00	300.00	102.63	197.37	0.00	197.37	34.21
Total Fund 0003	LIBRARY FUND	83,133.15	1,638,385.00	1,702,770.10	1,279,231.50	423,538.60	46,640.79	376,897.81	75.13

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Fund 0004	HIGHWAY WHOLE TOWN FUND								
Dept 1989	UNCLASSIFIED								
0002	EQUIPMENT & CAPITAL OUTLAY	43,456.00	325,000.00	1,580,171.00	705,194.60	874,976.40	265,840.79	609,135.61	44.63
Total Dept 1989	UNCLASSIFIED	43,456.00	325,000.00	1,580,171.00	705,194.60	874,976.40	265,840.79	609,135.61	44.63
Dept 4560	PHYSICIAN								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	1,750.00	1,750.00	0.00	1,750.00	0.00	1,750.00	0.00
Total Dept 4560	PHYSICIAN	0.00	1,750.00	1,750.00	0.00	1,750.00	0.00	1,750.00	0.00
Dept 5130	MACHINERY								
0001	PERSONAL SERVICES	4,897.32	116,554.00	116,554.00	91,862.37	24,691.63	0.00	24,691.63	78.82
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	25,900.00	33,400.00	32,100.97	1,299.03	0.00	1,299.03	96.11
0004	CONTRACTUAL & MISC. EXPENSE	11,635.64	222,200.00	227,052.62	190,205.87	36,846.75	1,668.60	35,178.15	83.77
Total Dept 5130	MACHINERY	16,532.96	364,654.00	377,006.62	314,169.21	62,837.41	1,668.60	61,168.81	83.33
Dept 5140	BRUSH & WEEDS								
0001	PERSONAL SERVICES	0.00	21,200.00	21,200.00	12,487.82	8,712.18	0.00	8,712.18	58.90
Total Dept 5140	BRUSH & WEEDS	0.00	21,200.00	21,200.00	12,487.82	8,712.18	0.00	8,712.18	58.90
Dept 5142	SNOW REMOVAL								
0001	PERSONAL SERVICES	3,294.14	1,001,200.00	1,001,200.00	666,992.70	334,207.30	0.00	334,207.30	66.62
0004	CONTRACTUAL & MISC. EXPENSE	175.00	513,930.00	515,286.80	410,124.30	105,162.50	25,630.88	79,531.62	79.59
Total Dept 5142	SNOW REMOVAL	3,469.14	1,515,130.00	1,516,486.80	1,077,117.00	439,369.80	25,630.88	413,738.92	71.03
Dept 9010	STATE RETIREMENT								
0008	EMPLOYEE BENEFITS	0.00	150,000.00	150,000.00	25,968.73	124,031.27	0.00	124,031.27	17.31
Total Dept 9010	STATE RETIREMENT	0.00	150,000.00	150,000.00	25,968.73	124,031.27	0.00	124,031.27	17.31
Dept 9030	SOCIAL SECURITY								
0008	EMPLOYEE BENEFITS	620.20	90,000.00	90,000.00	51,212.02	38,787.98	0.00	38,787.98	56.90
Total Dept 9030	SOCIAL SECURITY	620.20	90,000.00	90,000.00	51,212.02	38,787.98	0.00	38,787.98	56.90
Dept 9040	WORKERS COMPENSATION								
0008	EMPLOYEE BENEFITS	0.00	82,000.00	82,000.00	32,106.16	49,893.84	0.00	49,893.84	39.15
Total Dept 9040	WORKERS COMPENSATION	0.00	82,000.00	82,000.00	32,106.16	49,893.84	0.00	49,893.84	39.15
Dept 9045	LIFE INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	900.00	900.00	649.45	250.55	0.00	250.55	72.16
Total Dept 9045	LIFE INSURANCE	0.00	900.00	900.00	649.45	250.55	0.00	250.55	72.16
Dept 9050	UNEMPLOYMENT INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	1,500.00	1,500.00	1,134.00	366.00	0.00	366.00	75.60

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Fund 0004	HIGHWAY WHOLE TOWN FUND								
Dept 9050	UNEMPLOYMENT INSURANCE								
Total Dept 9050	UNEMPLOYMENT INSURANCE	0.00	1,500.00	1,500.00	1,134.00	366.00	0.00	366.00	75.60
Dept 9055	DISABILITY INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	2,545.00	2,545.00	1,636.95	908.05	0.00	908.05	64.32
Total Dept 9055	DISABILITY INSURANCE	0.00	2,545.00	2,545.00	1,636.95	908.05	0.00	908.05	64.32
Dept 9060	HOSPITALIZATION								
0008	EMPLOYEE BENEFITS	676.44	437,500.00	437,500.00	333,810.76	103,689.24	0.00	103,689.24	76.30
Total Dept 9060	HOSPITALIZATION	676.44	437,500.00	437,500.00	333,810.76	103,689.24	0.00	103,689.24	76.30
Dept 9089	MISC. EMPLOYEE BENEFITS								
0008	EMPLOYEE BENEFITS	6.00	225.00	225.00	82.10	142.90	0.00	142.90	36.49
Total Dept 9089	MISC. EMPLOYEE BENEFITS	6.00	225.00	225.00	82.10	142.90	0.00	142.90	36.49
Total Fund 0004	HIGHWAY WHOLE TOWN FUND	64,760.74	2,992,404.00	4,261,284.42	2,555,568.80	1,705,715.62	293,140.27	1,412,575.35	59.97

TOWN OF PITTSFORD

Expense Control Report

Fiscal Year: 2023 Period From: 1 To: 12

		Curr. Month Total Expended	Original Budget	YTD Adjusted Budget	YTD Actual Expended	YTD Unexpended Balance	YTD Encumbered	YTD Available Balance	Percent Exp. Balance
Fund 0005	HIGHWAY PART TOWN FUND								
Dept 4560	PHYSICIAN								
0004	CONTRACTUAL & MISC. EXPENSE	0.00	2,600.00	2,600.00	1,328.80	1,271.20	0.00	1,271.20	51.11
Total Dept 4560	PHYSICIAN	0.00	2,600.00	2,600.00	1,328.80	1,271.20	0.00	1,271.20	51.11
Dept 5110	GENERAL REPAIRS								
0001	PERSONAL SERVICES	97,584.99	1,695,100.00	1,695,100.00	1,275,063.30	420,036.70	0.00	420,036.70	75.22
0004	CONTRACTUAL & MISC. EXPENSE	29,271.64	984,848.00	1,154,477.32	1,002,185.21	152,292.11	30,243.50	122,048.61	86.81
Total Dept 5110	GENERAL REPAIRS	126,856.63	2,679,948.00	2,849,577.32	2,277,248.51	572,328.81	30,243.50	542,085.31	79.92
Dept 5112	IMPROVEMENTS								
0002	EQUIPMENT & CAPITAL OUTLAY	0.00	273,000.00	584,213.00	514,972.53	69,240.47	67,898.53	1,341.94	88.15
Total Dept 5112	IMPROVEMENTS	0.00	273,000.00	584,213.00	514,972.53	69,240.47	67,898.53	1,341.94	88.15
Dept 9010	STATE RETIREMENT								
0008	EMPLOYEE BENEFITS	0.00	175,000.00	175,000.00	29,150.88	145,849.12	0.00	145,849.12	16.66
Total Dept 9010	STATE RETIREMENT	0.00	175,000.00	175,000.00	29,150.88	145,849.12	0.00	145,849.12	16.66
Dept 9030	SOCIAL SECURITY								
0008	EMPLOYEE BENEFITS	8,999.02	135,000.00	135,000.00	96,248.21	38,751.79	0.00	38,751.79	71.29
Total Dept 9030	SOCIAL SECURITY	8,999.02	135,000.00	135,000.00	96,248.21	38,751.79	0.00	38,751.79	71.29
Dept 9040	WORKERS COMPENSATION								
0008	EMPLOYEE BENEFITS	0.00	186,000.00	186,000.00	139,721.44	46,278.56	0.00	46,278.56	75.12
Total Dept 9040	WORKERS COMPENSATION	0.00	186,000.00	186,000.00	139,721.44	46,278.56	0.00	46,278.56	75.12
Dept 9045	LIFE INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	800.00	800.00	615.35	184.65	0.00	184.65	76.92
Total Dept 9045	LIFE INSURANCE	0.00	800.00	800.00	615.35	184.65	0.00	184.65	76.92
Dept 9050	UNEMPLOYMENT INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	1,500.00	4,500.00	4,463.25	36.75	0.00	36.75	99.18
Total Dept 9050	UNEMPLOYMENT INSURANCE	0.00	1,500.00	4,500.00	4,463.25	36.75	0.00	36.75	99.18
Dept 9055	DISABILITY INSURANCE								
0008	EMPLOYEE BENEFITS	0.00	2,400.00	2,400.00	1,559.82	840.18	0.00	840.18	64.99
Total Dept 9055	DISABILITY INSURANCE	0.00	2,400.00	2,400.00	1,559.82	840.18	0.00	840.18	64.99
Dept 9060	HOSPITALIZATION								
0008	EMPLOYEE BENEFITS	170.59	480,000.00	477,000.00	370,697.74	106,302.26	0.00	106,302.26	77.71
Total Dept 9060	HOSPITALIZATION	170.59	480,000.00	477,000.00	370,697.74	106,302.26	0.00	106,302.26	77.71
Dept 9089	MISC. EMPLOYEE BENEFITS								
0008	EMPLOYEE BENEFITS	7.50	325.00	325.00	102.63	222.37	0.00	222.37	31.58

TOWN OF PITTSFORD

Expense Control Report

Fiscal Year: 2023 Period From: 1 To: 12

		Curr. Month Total Expended	Original Budget	YTD Adjusted Budget	YTD Actual Expended	YTD Unexpended Balance	YTD Encumbered	YTD Available Balance	Percent Exp. Balance
Fund 0005	HIGHWAY PART TOWN FUND								
Dept 9089	MISC. EMPLOYEE BENEFITS								
Total Dept 9089	MISC. EMPLOYEE BENEFITS	7.50	325.00	325.00	102.63	222.37	0.00	222.37	31.58
Total Fund 0005	HIGHWAY PART TOWN FUND	136,033.74	3,936,573.00	4,417,415.32	3,436,109.16	981,306.16	98,142.03	883,164.13	77.79
Grand Total		674,789.60	21,829,891.00	25,602,879.56	19,411,963.34	6,190,916.22	654,810.01	5,536,106.21	75.82

NOTE: One or more accounts may not be printed due to Account Table restrictions.

TOWN OF PITTSFORD

Revenue Control Report

Fiscal Year: 2023 Period From: 1 To: 12

		Curr. Month Revenue Receipts	Curr. Month Budget Balance	Original Budget	YTD Adjusted Budget	YTD Revenue Receipts	YTD Budget Balance	Percent Received Balance
Fund 0001	GENERAL FUND							
Item 1001	REAL PROPERTY TAXES	0.00	0.00	6,649,967.00	6,649,967.00	6,652,107.48	(2,140.48)	100.03
Item 1081	OTHER PYMT IN LIEU OF TAXES	0.00	0.00	2,408.00	2,408.00	2,406.63	1.37	99.94
Item 1090	INTEREST & PENALTY ON PROP TAX	31,049.60	(31,049.60)	140,000.00	140,000.00	146,815.82	(6,815.82)	104.87
Item 1170	FRANCHISES	0.00	0.00	390,000.00	390,000.00	396,693.87	(6,693.87)	101.72
Item 1232	TAX COLLECTOR FEES	0.00	0.00	3,500.00	3,500.00	0.00	3,500.00	0.00
Item 1255	CLERK FEES	435.00	(435.00)	3,500.00	3,500.00	3,205.00	295.00	91.57
Item 1550	DOG WARDEN FEES	0.00	0.00	200.00	200.00	150.00	50.00	75.00
Item 2001	CULTURE & RECREATION FEES	(2,371.00)	2,371.00	819,700.00	819,700.00	1,048,173.77	(228,473.77)	127.87
Item 2228	GIS CHARGES, OTHER GOV'T	0.00	0.00	12,000.00	12,000.00	14,396.00	(2,396.00)	119.97
Item 2350	YOUTH SER/OTHER GOV'T.	0.00	0.00	7,000.00	7,000.00	0.00	7,000.00	0.00
Item 2351	PROGRAMS FOR AGING - OTHER GOV'T	0.00	0.00	45,000.00	45,000.00	26,248.31	18,751.69	58.33
Item 2401	INTEREST & EARNINGS	13,564.42	(13,564.42)	65,000.00	65,000.00	354,022.12	(289,022.12)	544.65
Item 2410	RENTAL OF LAND	8,547.46	(8,547.46)	134,976.00	134,976.00	162,507.06	(27,531.06)	120.40
Item 2411	FIELD USE FEES	0.00	0.00	10,100.00	10,100.00	3,050.00	7,050.00	30.20
Item 2450	COMMISSIONS	90.84	(90.84)	450.00	450.00	946.21	(496.21)	210.27
Item 2544	DOG LICENSES	1,415.00	(1,415.00)	16,500.00	16,500.00	13,097.00	3,403.00	79.38
Item 2560	STREET OPENING PERMITS	50.00	(50.00)	2,500.00	2,500.00	3,100.00	(600.00)	124.00
Item 2590	PERMITS	400.00	(400.00)	8,500.00	8,500.00	11,970.00	(3,470.00)	140.82
Item 2610	FINES & FORFEITED BAIL	5,512.50	(5,512.50)	35,000.00	35,000.00	31,465.55	3,534.45	89.90
Item 2665	SALE OF EQUIPMENT	0.00	0.00	275.00	275.00	0.00	275.00	0.00
Item 2701	REFUND OF PRIOR YEAR EXP.	65.46	(65.46)	500.00	500.00	2,206.55	(1,706.55)	441.31
Item 2705	GIFTS & DONATIONS	0.00	0.00	20,000.00	26,000.00	27,225.00	(1,225.00)	104.71
Item 2750	AIM - RELATED PAYMENTS	0.00	0.00	108,081.00	108,081.00	0.00	108,081.00	0.00
Item 2770	OTHER UNCLASSIFIED REVENUES	476.95	(476.95)	15,500.00	15,500.00	35,722.85	(20,222.85)	230.47
Item 2801	INTERFUND REVENUES	0.00	0.00	35,000.00	35,000.00	0.00	35,000.00	0.00
Item 3001	STATE AID PER CAPITA	0.00	0.00	0.00	0.00	108,081.00	(108,081.00)	100.00
Item 3005	MORTGAGE TAX	0.00	0.00	1,200,000.00	1,200,000.00	353,532.49	846,467.51	29.46
Item 4089	GENERAL FEDERAL AID	0.00	0.00	0.00	153,000.00	153,000.00	0.00	100.00
Item 5031	INTERFUND TRANSFERS	0.00	0.00	350,000.00	457,819.18	457,819.18	0.00	100.00
Item 5999	APPROP FD BALANCE	0.00	0.00	1,706,886.00	2,781,886.00	0.00	2,781,886.00	0.00
Total Fund 0001	GENERAL FUND	59,236.23	(59,236.23)	11,782,543.00	13,124,362.18	10,007,941.89	3,116,420.29	76.25

TOWN OF PITTSFORD

Revenue Control Report

Fiscal Year: 2023 Period From: 1 To: 12

		Curr. Month Revenue Receipts	Curr. Month Budget Balance	Original Budget	YTD Adjusted Budget	YTD Revenue Receipts	YTD Budget Balance	Percent Received Balance
Fund 0002	PART TOWN FUND							
Item 1120	SALES TAX	450,134.92	(450,134.92)	1,200,000.00	1,216,000.00	1,193,891.41	22,108.59	98.18
Item 1560	SAFETY INSPECTION FEES	500.00	(500.00)	20,000.00	20,000.00	12,116.81	7,883.19	60.58
Item 1570	DEMOLITION PERMITS	0.00	0.00	750.00	750.00	0.00	750.00	0.00
Item 2110	ZONING FEES	270.00	(270.00)	2,500.00	2,500.00	2,704.00	(204.00)	108.16
Item 2115	PLANNING BOARD FEES	1,115.00	(1,115.00)	10,000.00	10,000.00	6,080.00	3,920.00	60.80
Item 2401	INTEREST & EARNINGS	6,663.28	(6,663.28)	7,000.00	7,000.00	74,512.74	(67,512.74)	1,064.47
Item 2545	LICENSES, OTHER	0.00	0.00	3,500.00	3,500.00	1,600.00	1,900.00	45.71
Item 2550	PERMITS - CERT. OF OCCUPANCY	430.60	(430.60)	4,000.00	4,000.00	5,723.76	(1,723.76)	143.09
Item 2555	BUILDING & ALTERATION PERMITS	21,067.40	(21,067.40)	91,000.00	91,000.00	161,052.75	(70,052.75)	176.98
Item 2590	PERMITS	740.00	(740.00)	3,300.00	3,300.00	4,330.00	(1,030.00)	131.21
Item 2591	FIRE ALARM PERMITS	100.00	(100.00)	500.00	500.00	920.00	(420.00)	184.00
Item 5031	INTERFUND TRANSFERS	0.00	0.00	0.00	117,131.00	117,131.00	0.00	100.00
Item 5999	APPROP FD BALANCE	0.00	0.00	137,436.00	137,436.00	0.00	137,436.00	0.00
Total Fund 0002	PART TOWN FUND	481,021.20	(481,021.20)	1,479,986.00	1,613,117.00	1,580,062.47	33,054.53	97.95

Date Prepared: 11/17/2023 09:01 AM

Report Date: 11/17/2023

Account Table: FUND 1-5

Alt. Sort Table:

TOWN OF PITTSFORD

Revenue Control Report

Fiscal Year: 2023 Period From: 1 To: 12

GLR0116 1.0

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Prepared By: BRIAN

		Curr. Month Revenue Receipts	Curr. Month Budget Balance	Original Budget	YTD Adjusted Budget	YTD Revenue Receipts	YTD Budget Balance	Percent Received Balance
Fund 0003	LIBRARY FUND							
Item 1001	REAL PROPERTY TAXES	0.00	0.00	1,410,285.00	1,410,285.00	1,410,285.00	0.00	100.00
Item 2081	COLLECTION FEES	(142.99)	142.99	900.00	900.00	31.23	868.77	3.47
Item 2082	LIBRARY FINES	325.82	(325.82)	28,000.00	28,000.00	20,827.70	7,172.30	74.38
Item 2083	PRINTING REVENUE	0.00	0.00	3,600.00	3,600.00	4,266.43	(666.43)	118.51
Item 2401	INTEREST & EARNINGS	4,219.17	(4,219.17)	9,000.00	9,000.00	54,148.90	(45,148.90)	601.65
Item 2701	REFUND OF PRIOR YEAR EXP.	0.00	0.00	100.00	100.00	0.00	100.00	0.00
Item 2760	SYSTEM GRANTS	0.00	0.00	6,500.00	25,197.39	26,880.39	(1,683.00)	106.68
Item 3089	OTHER STATE AID	0.00	0.00	0.00	12,000.00	20,000.00	(8,000.00)	166.67
Item 5999	APPROP FD BALANCE	0.00	0.00	180,000.00	180,000.00	0.00	180,000.00	0.00
Total Fund 0003	LIBRARY FUND	4,402.00	(4,402.00)	1,638,385.00	1,669,082.39	1,536,439.65	132,642.74	92.05

Date Prepared: 11/17/2023 09:01 AM

Report Date: 11/17/2023

Account Table: FUND 1-5

Alt. Sort Table:

TOWN OF PITTSFORD

Revenue Control Report

Fiscal Year: 2023 Period From: 1 To: 12

GLR0116 1.0

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Prepared By: BRIAN

		Curr. Month Revenue Receipts	Curr. Month Budget Balance	Original Budget	YTD Adjusted Budget	YTD Revenue Receipts	YTD Budget Balance	Percent Received Balance
Fund 0004	HIGHWAY WHOLE TOWN FUND							
Item 1001	REAL PROPERTY TAXES	0.00	0.00	2,223,704.00	2,223,704.00	2,223,704.00	0.00	100.00
Item 2300	SERVICE - OTHER GOV'T.	0.00	0.00	399,000.00	399,000.00	394,864.43	4,135.57	98.96
Item 2401	INTEREST & EARNINGS	3,663.76	(3,663.76)	13,000.00	13,000.00	81,060.09	(68,060.09)	623.54
Item 2650	SALE OF SCRAP & EXCESS	0.00	0.00	1,500.00	1,500.00	894.00	606.00	59.60
Item 5031	INTERFUND TRANSFERS	0.00	0.00	0.00	600,732.00	600,732.00	0.00	100.00
Item 5999	APPROP FD BALANCE	0.00	0.00	355,200.00	355,200.00	0.00	355,200.00	0.00
Total Fund 0004	HIGHWAY WHOLE TOWN FUND	3,663.76	(3,663.76)	2,992,404.00	3,593,136.00	3,301,254.52	291,881.48	91.88

Date Prepared: 11/17/2023 09:01 AM

Report Date: 11/17/2023

Account Table: FUND 1-5

Alt. Sort Table:

TOWN OF PITTSFORD

Revenue Control Report

Fiscal Year: 2023 Period From: 1 To: 12

GLR0116 1.0

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Prepared By: BRIAN

		Curr. Month Revenue Receipts	Curr. Month Budget Balance	Original Budget	YTD Adjusted Budget	YTD Revenue Receipts	YTD Budget Balance	Percent Received Balance
Fund 0005	HIGHWAY PART TOWN FUND							
Item 1001	REAL PROPERTY TAXES	0.00	0.00	82,073.00	82,073.00	82,073.00	0.00	100.00
Item 1120	SALES TAX	1,102,054.47	(1,102,054.47)	2,940,000.00	2,940,000.00	2,922,973.28	17,026.72	99.42
Item 2300	SERVICE - OTHER GOV'T.	0.00	0.00	4,000.00	4,000.00	4,658.86	(658.86)	116.47
Item 2401	INTEREST & EARNINGS	21,317.72	(21,317.72)	25,000.00	25,000.00	214,398.55	(189,398.55)	857.59
Item 2701	REFUND OF PRIOR YEAR EXP.	0.00	0.00	1,500.00	1,500.00	0.00	1,500.00	0.00
Item 3501	CHIPS PROGRAM	0.00	0.00	228,000.00	394,213.00	0.00	394,213.00	0.00
Item 5031	INTERFUND TRANSFERS	0.00	0.00	0.00	145,000.00	145,000.00	0.00	100.00
Item 5999	APPROP FD BALANCE	0.00	0.00	656,000.00	656,000.00	0.00	656,000.00	0.00
Total Fund 0005	HIGHWAY PART TOWN FUND	1,123,372.19	(1,123,372.19)	3,936,573.00	4,247,786.00	3,369,103.69	878,682.31	79.31
Grand Total		1,671,695.38	(1,671,695.38)	21,829,891.00	24,247,483.57	19,794,802.22	4,452,681.35	81.64

NOTE: One or more accounts may not be printed due to Account Table restrictions.

MEMORANDUM

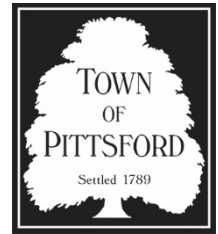
To: Town Board

From: Cheryl Fleming

Date: November 14, 2023

Regarding: 2024 Holiday Schedule

For Meeting On: November 21, 2023



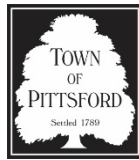
Ladies and Gentlemen:

Attached is the proposed schedule of holidays beginning in the 2024 calendar year. This schedule conforms to the Federal and bank holiday schedules. The proposed list for permanent part-time staff is also enclosed.

I would like to request approval for the 2024 holiday schedule shown attached.

The following resolution would be in order:

Resolved, that the proposed Schedule of Holidays for 2024, in the form presented to the Board, be and hereby approved.



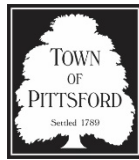
2024 Schedule of Holidays (Full-time employees)

New Year's Day	Monday, January 1 st
<i>Martin Luther King Day *</i>	<i>Monday, January 15th</i>
<i>Presidents' Day *</i>	<i>Monday, February 19th</i>
Good Friday	Friday, March 29 th
Memorial Day	Monday, May 27 th
Juneteenth	Wednesday, June 19 th
Independence Day	Thursday, July 4 th
Labor Day	Monday, September 2 nd
Columbus Day/Indigenous Peoples' Day.....	Monday, October 14 th
<i>Veterans' Day * observed</i>	<i>Monday, November 11th</i>
Thanksgiving Day	Thursday, November 28 th
Day After Thanksgiving	Friday, November 29 th
Christmas Day	Wednesday, December 25 th
<i>Employee's Birthday *</i> <i>Additional Floating Holiday*</i>	

There are 10 holidays when all town departments are closed.

* Floating Holidays are taken with department head approval. Floating holidays **highlighted above** * cannot be taken until the holiday has occurred. Floating holidays do not carry over.

Town offices remain open on these days.

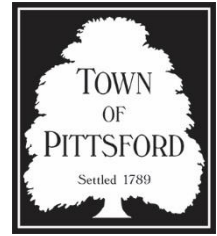


2024 Schedule of Holidays (Part-time employees)

New Year's Day	Monday, January 1 st
Good Friday	Friday, March 29 th
Memorial Day	Monday, May 27 th
Juneteenth	Wednesday, June 19 th
Independence Day	Thursday, July 4 th
Labor Day	Monday, September 2 nd
Columbus Day/Indigenous Peoples' Day.....	Monday, October 14 th
Thanksgiving Day	Thursday, November 28 th
Day After Thanksgiving	Friday, November 29 th
Christmas Day	Wednesday, December 25 th

There are 10 holidays when all town departments are closed.

MEMORANDUM



To: Pittsford Town Board

From: Cheryl Fleming, Personnel Director

Date: November 9, 2023

Regarding: Recommendations for Hiring/Personnel Adjustments

For Meeting On: November 21, 2023

1. The following employee(s) are recommended as a new hire, subject to successful completion of drug and background checks, based on the recommendation of the Functional Coordinator(s) for these areas:

Name	Dept	Position	Rate	Date of Hire
Maximillian Powers	Highway	Seasonal Laborer	\$18.10	11/13/2023
Steven Barrett	Court	Security	\$30.00	11/30/2023
Rachael Green	Seniors	REC Asst	\$15.98	12/04/2023

This is subject to completion of the proper reviews and background checks for these candidates and appropriate sign off by the Town Board representative.

Name	Dept	Position	Rate	Date of Hire
Maximillian Powers	Highway	Seasonal Laborer	\$18.10	11/13/2023
Steven Barrett	Court	Security	\$30.00	11/30/2023
Rachael Green	Seniors	REC Asst	\$15.98	12/04/2023

2. The following employee is recommended for a status change and/or salary change due to a change in status.

Name	Position	Reason	Rate	Effective Date
Jennifer Morrow	Sr Center Prog Spec	Replacement	\$28.57	11/20/2023
Patrick Dwyer	MEO I	Replacement	\$33.27	11/20/2023
James Wintermute	MEO II	Promotion	\$27.33	11/20/2023
Patrick Mullaney	MEO II	Replacement	\$27.33	11/20/2023

Should the Board approve the above recommendation and personnel adjustment, the following resolution is being proposed, RESOLVED, that the Town Board approves the appointment for the following employee(s):

Name	Position	Reason	Rate	Effective Date
Jennifer Morrow	Sr Center Prog Spec	Replacement	\$28.57	11/20/2023
Patrick Dwyer	MEO I	Replacement	\$33.27	11/20/2023
James Wintermute	MEO II	Promotion	\$27.33	11/20/2023
Patrick Mullaney	MEO II	Replacement	\$27.33	11/20/2023