

**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
AGENDA
December 21, 2020**

PUBLIC HEARING FOR AN AREA VARIANCE

- 4 Candlewood Drive. Tax # 163.03-1-41, Applicant is requesting relief from Town Codes §185-113 (B) (6) for the construction of an accessory structure (greenhouse) in the rear setback. This property is zoned RN-Residential Neighborhood.
- 15 Stoney Clover Lane. Tax # 163.02-1-46, Applicant is requesting relief from Town Code §185-113 (B) (1) & (6) and 185-17 (I) to allow the construction of an oversized accessory structure (shed) located in the rear yard encroaching into the rear setback. Property is zoned RN – Residential Neighborhood District.
- 28 Crest Wood Circle. Tax # 192.02-3-25, Applicant is requesting relief from Town Code §185-119 (A) (1) to locate the filter and heater of an in-ground swimming pool forward of the rear wall of the home. This property is zoned RN – Residential Neighborhood District
- 305 W. Bloomfield Road. Tax # 192.01-1-29.1, Applicant is requesting relief from Town Code §185-17 (B) (1) to allow the construction of an addition forward of the building line. Property is zoned RN – Residential Neighborhood District.
- 331 Fairport Road. Tax # 152.09-1-3, Applicant is requesting relief from Town Code §185 -17 (E) for the construction of a garage addition encroaching on the side setback of the property. Property is zoned RN – Residential Neighborhood District.

REVIEW OF MEETING MINUTES OF NOVEMBER 16, 2020

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/85650142864?pwd=SERFazd1U013VlBlYy9kY0tXbzJLQT09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **856 5014 2864**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
MINUTES
November 16, 2020**

PRESENT

George Dounce, Chairperson; Mary Ellen Spennacchio-Wagner, James Pergolizzi, Phil Castleberry
Barbara Servé

ALSO PRESENT

Cathy Koshykar, Town Board Liaison; Mark Lenzi, Building Inspector; Robert Koegel, Town Attorney;
Susan Donnelly, Secretary to the Board

ABSENT

Mike Rose, David Rowe

Proceedings of a regular meeting of the Pittsford Zoning Board of Appeals were held on Monday, November 16 at 7:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom virtual meeting software.

George Dounce, Chairperson called the regularly scheduled meeting of the Zoning Board of Appeals to order at 7:00 pm.

The applications before the Board this evening with the exception of the application for 145 Kilbourn Road are Type II Actions under 6-NYCRR §617.5 (c) (7) or (12) & (13) and, therefore, is not subject to Environmental Review under SEQRA. The applications are exempt from review by the Monroe County Planning Department based on an agreement with Monroe County dated October 7, 2008.

PUBLIC HEARING FOR AN AREA VARIANCE

- 1 Merryhill Lane, Tax # 163.16-2-20, Applicant is requesting relief from Town Codes §185 – 121 (A) for the construction of a fence forward of the front wall of the home exceeding the height requirement of code. This property is zoned RN-Residential Neighborhood.

The homeowner, Todd Holmquist, was present. Mr. Holmquist discussed that his application is for a 4 ft. ornamental black wrought iron fence. He emphasized that the purpose of the fence is to provide safety for his young children due to the close proximity of the residence to Stone Road.

The timeframe for construction is spring or summer of 2021.

There was no public comment.

Barbara Servé moved to close the public hearing.

Mary Ellen Spennacchio-Wagner seconded.

All Ayes.

DECISION FOR 1 MERRYHILL LANE – AREA VARIANCE

A written Resolution to grant the area variance for 1 Merryhill Lane was moved by Phil Castleberry and seconded by Barbara Servé.

George Dounce called for a roll call vote.

Dounce	aye
Servé	aye
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	absent
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated September 18, 2020.
 2. All construction is to be completed by December 31, 2022.
- 16 Ingridshire Drive. Tax # 164.03-3-8, Applicant is requesting relief from Town Code §185-17 (B) (1); 185-17 E; 185-113 (B) (6) to allow the construction of a shed located forward of the building line and encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.

The homeowners Lana and Vlad Pinchman were present.

Mr. Pinchman discussed that the neighbors are aware of the project and have no concerns.

They would like to start the project as soon as the permit is issued for the shed.

There was no public comment.

Phil Castleberry moved to close the public hearing.

Jim Pergolizzi seconded.

All Ayes.

DECISION FOR 16 INGRIDSHIRE DRIVE – AREA VARIANCE

A written Resolution to grant the area variance for 16 Ingridshire Drive was moved by George Dounce and seconded by Mary Ellen Spennacchio-Wagner.

George Dounce called for a roll call vote.

Dounce	aye
Servé	aye
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	absent
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated October 8, 2020.
 2. All construction is to be completed by December 31, 2021.
 3. This application is not subject to the approval of the Design Review and Historic Preservation Board.
- 50 Van Voorhis Road. Tax # 192.02-1-2, Applicant is requesting relief from Town Code §185-113 (B) (1) & (6) and 185-17 (E) to allow the construction of an oversized accessory structure (shed) located in the rear yard encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.

The homeowners, Erin and Oliver Masaba, were present.

They discussed their need for an oversized shed to store their lawn tractor and pool items so that they may use the parking bay for vehicle storage in inclement weather.

The neighbor at 40 Van Voorhis has no opposition.

The timeframe is for completion of spring 2021.

There was no public comment.

Phil Castleberry moved to close the public hearing.

Barbara Servé seconded.

All Ayes.

DECISION FOR 50 VAN VOORHIS ROAD – AREA VARIANCE

A written Resolution to grant the area variance for 50 Van Voorhis Road was moved by Mary Ellen Spennacchio-Wagner and seconded by George Dounce.

George Dounce called for a roll call vote.

Dounce	aye
Servé	aye
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	absent
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated October 19, 2020.
 2. All construction is to be completed by December 31, 2022.
- 67 Knollwood Drive, Tax # 138.13-1-22, Applicant is requesting relief from Town Code §185-17 H to allow the paving of a stone driveway which will exceed the maximum lot coverage for the property. Property is zoned RN – Residential Neighborhood District.

The homeowners, Peter and Lauren Fox, were present.

Ms. Fox indicated the paving of the driveway is necessary for the safety of their children, to lessen the potential of car damage from stone chips and to improve the aesthetics of the property.

Barbara Servé noted that the neighbors are in favor. She asked if trees would be removed and the homeowner indicated yes.

The Board asked for feedback from the Town. Mark Lenzi indicated the homeowners will need a permit to work in the right of way from the Town.

There were no public comments.

Barbara Servé moved to close the public hearing.

Jim Pergolizzi seconded.

All Ayes.

DECISION FOR 67 KNOLLWOOD DRIVE- AREA VARIANCE

A written Resolution to grant the area variance for 67 Knollwood Drive was moved by Barbara Servé seconded by Mary Ellen Spennacchio-Wagner.

George Dounce called for a roll call vote.

Dounce	aye
Servé	aye
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	absent
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated November 2, 2020.
 2. All construction is to be completed by December 31, 2022.
- 145 Kilbourn Road, Tax # 138.17-1-13.111, Applicant is requesting relief from Town Code §185- 39 to allow the construction of four 5,000 Sq. Ft. guest houses along the main entrance drive. The guest houses are proposed to be constructed to approximately 35' in height where code allows 30'. Property is zoned SRAA – Suburban Residential District.

Brian Burri and Jim Durfee were present to represent Oak Hill Country Club.

Mr. Durfee indicated that the Oak Hill membership had approved the construction of overnight accommodations on the grounds of the Club. He stated that only three of the four proposed structures will be built over an extended period of time. The buildings would be constructed closer to the clubhouse near the bus loop.

This would be project that would last 5-6 years for all three buildings to be constructed. Robert Koegel noted that this time frame would be acceptable as long as it is noted in the resolution.

Mark Lenzi noted that this is an unlisted action pursuant to SEQRA, the Planning Board has conducted a coordinated review with the Zoning Board of Appeals and the Design Review Board and granted a Negative Declaration of significance on November 9, 2020.

There was no public comment.

Phil Castleberry moved to close the public hearing.

Barb Servé seconded.

All Ayes.

DECISION FOR 145 KILBOURN ROAD – AREA VARIANCE

A written Resolution to grant the area variance for 145 Kilbourn Road was moved by Mary Ellen Spennacchio-Wagner and seconded by Jim Pergolizzi.

George Dounce called for a roll call vote.

Dounce	aye
Servé	aye
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	absent
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated March 4, 2020 with the exception of Cottage #4 which is not included.
 2. All construction is to be completed by December 31, 2027.
 3. The application requires the approval of the Design Review and Historic Preservation Board.
- 597 Mendon Road, Tax # 178.03-2-10, Applicant is requesting relief from Town Code §185-113 (B) (1) & (2) to allow the construction of an oversized and over height accessory structure (garage) located in the rear yard encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.

Gregg Bowering, contractor for the project, was present to represent the homeowners.

The Board inquired about the timeline. Mr. Bowering indicated that they are looking to demolish the current structure as soon as possible.

There is no neighbor opposition to this project.

George Dounce called for public comment.

John Darling of 611 Mendon Road indicated that he had met with the applicants and he had no objections to the project.

Barbara Servé moved to close the public hearing.

Mary Ellen Spennacchio-Wagner seconded.

All Ayes.

DECISION FOR 597 MENDON ROAD – AREA VARIANCE

A written Resolution to grant the area variance for 597 Mendon Road was moved by Jim Pergolizzi and seconded by Mary Ellen Spennacchio-Wagner.

George Dounce called for a roll call vote.

Dounce	aye
Servé	aye
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	absent
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated October 16, 2020.
2. All construction is to be completed by December 31, 2022.

REVIEW OF MEETING MINUTES OF OCTOBER 19, 2020

George Dounce moved to approve the minutes of October 19, 2020 as written.

All Ayes.

POINT PERSONS FOR DECEMBER 21, 2020 MEETING

28 Crestwood Circle – Barbara Serve

331 Fairport Road – Jim Pergolizzi

15 Stoney Clover Lane – Phil Castleberry

305 West Bloomfield Road – David Rowe

MEETING ADJOURNMENT

George Dounce moved to adjourn the meeting at 8:15 pm.

All Ayes.

Respectfully submitted,

Susan K. Donnelly
Secretary to the Zoning Board of Appeals

Zoning Board of Appeals Referral Form Information

Property Address:

4 Candlewood Drive PITTSFORD, NY 14534

Property Owner:

Walker, David
4 Candlewood Dr
Pittsford, NY 14534

Applicant or Agent:

Walker, David
4 Candlewood Dr
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	20	Rear Setback:	6	Rear Setback:	14.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section(s): §185-113 (B) (6) and 185-17 I

Description: Applicant is requesting relief from Town Codes for the construction of an accessory structure (greenhouse) in the rear setback.

Note: Site map received on 11/10/2020

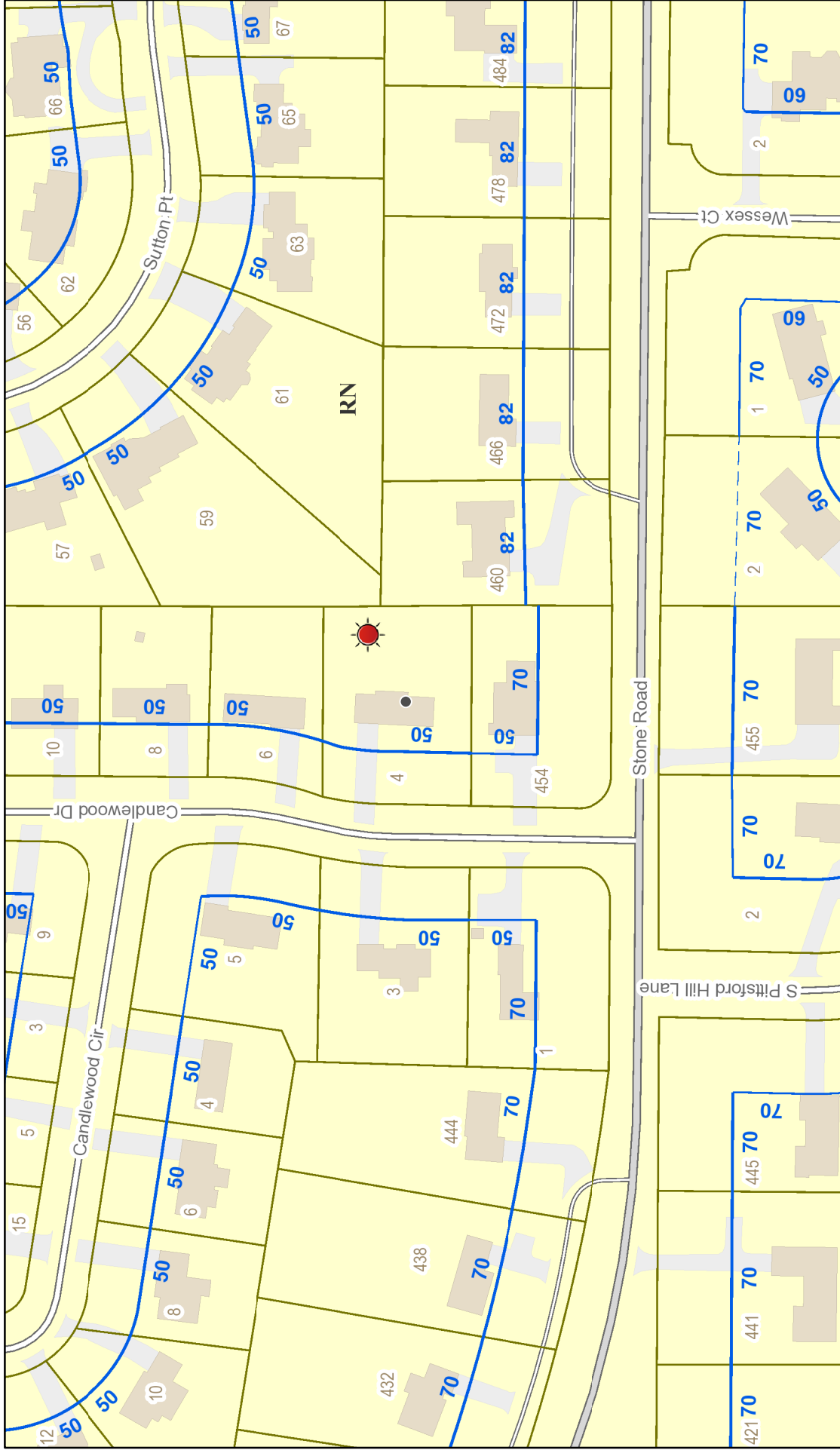
December 03, 2020



Date

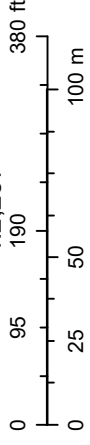
Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning



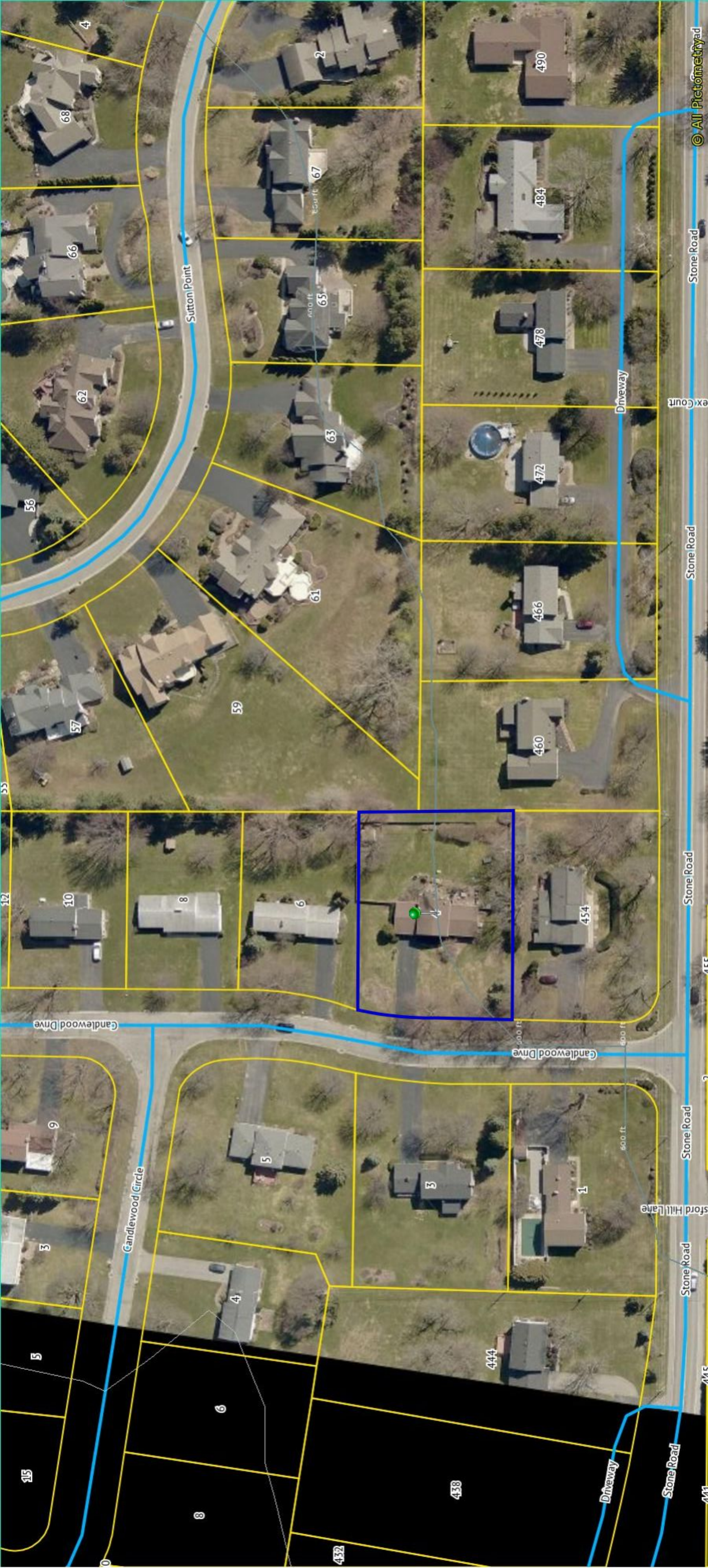
Printed December 3, 2020

1:2,257



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



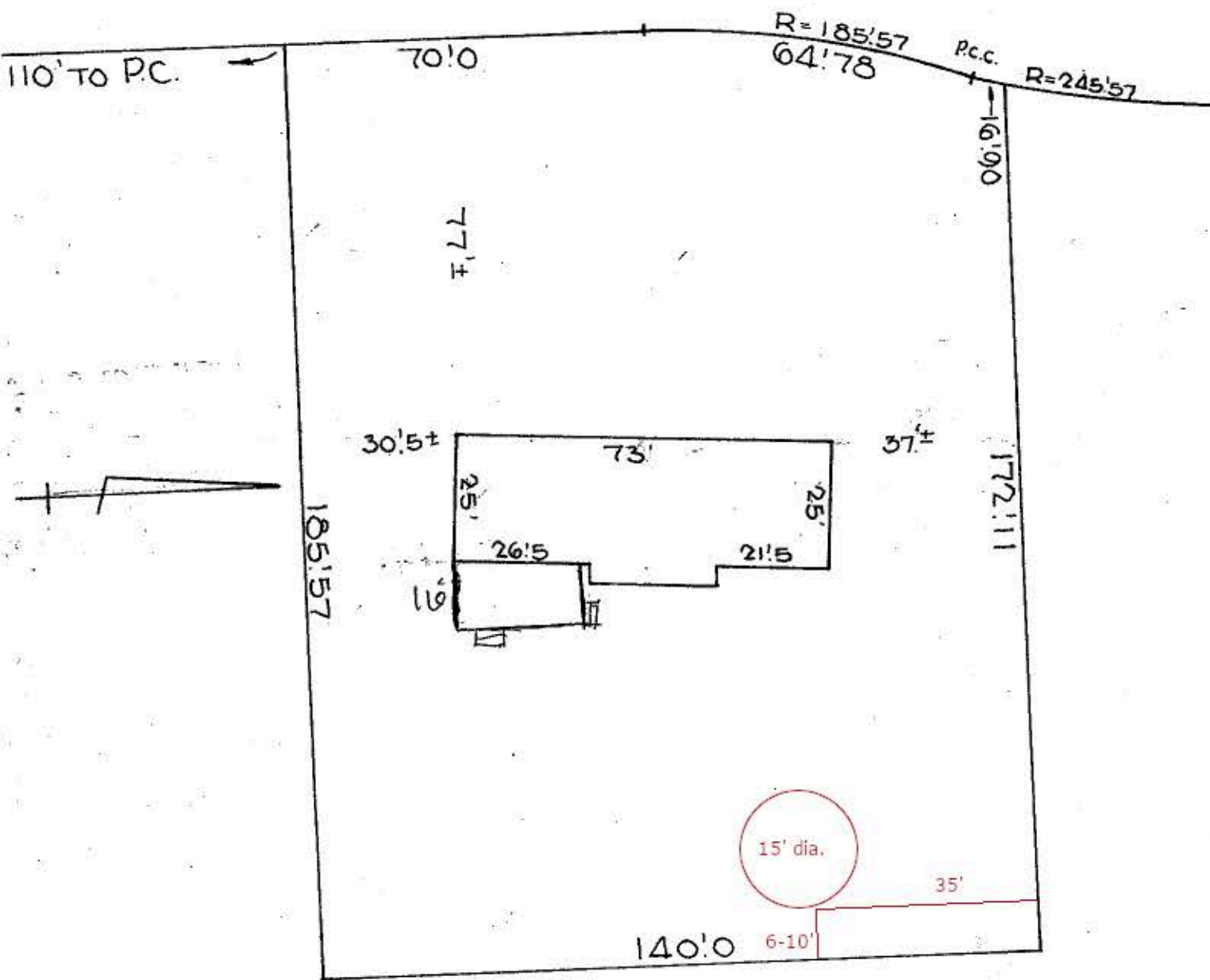
STANDARD TAPE LOCATION MAP

NAME 4
 STREET CANDLEWOOD DR. TOWN PITTSFORD N.Y.
 LOT NO. 2 SUBDIVISION BEL-VIEW HIGHT - SEC. 1
 REFERENCE DATA. LIBER 151 OF MAPS. PAGE 63; LIBER _____ OF DEEDS. PAGE _____
 SHOWING UNDER CONSTR. STORY DWELLING: GARAGE (NOT) ATTACHED.
 DISTANCE AS SHOWN FROM SOUTH PROPERTY LINE ACTUALLY MEASURED.

MONUMENTS USED: YES NO
 ALL BUILDINGS ON PREMISES AND ANY APPARENT ENCROACHMENT BY OR ON PREMISES ARE SHOWN.
 MAIN FRONT WALL IS (~~IS NOT~~) ON APPARENT UNIFORM SET-BACK LINE.

CANDLEWOOD

DR.



SKETCH

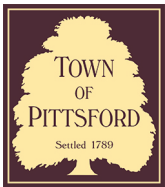
Received On 11/10/2020
 Town of Pittsford

SCALE 1" = 30'

DATE NOV. 20, 1964

REMARKS: THIS INFORMATION IS FOR ADAM DIGENNARO
 THIS IS NOT AN INSTRUMENT SURVEY AND INFORMATION SHOWN SHOULD NOT BE USED
 FOR BUILDING PURPOSES OR EXACT LOCATION OF PROPERTY LINES.

SMITH & DENLUCK
 SURVEYORS
 96 MAIN STREET WEST. ROCHESTER, N.Y. 14614



TOWN OF PITTSFORD

AREA VARIANCE APPLICATION FORM CHECK LIST

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

CHECKLIST: Please check your paperwork against the following list prior to submitting it to the Zoning Board of Appeals Secretary. These documents should be collated into packets no larger than 8 ½” by 11” in size so they are readily mailable.

- 1. Zoning Board of Appeals application form (pg. 5) **12 copies**
- 2. Authorization to make application (pg. 6) **12 copies (when applicable)**
- 3. Instrument survey map, **12 copies**
- 4. Scaled sketch, **12 copies**
- 5. Elevations, **12 copies**
- 6. Any other materials, such as photographs, maps, landscape plans, specifications, details, etc. which would further clarify the application, **12 copies**
- 7. Tests (written response to each) for granting area variances (pg. 7) **12 copies**
- 8. Disclosure Form E (pg. 8) **12 copies**
- 9. Check made out to “Town of Pittsford” for application fee.

GIVEN TO APPLICANT:

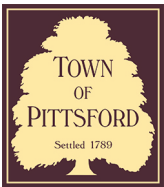
- Referral form
- Applicable Code Sections
- Application Packet

RECEIVED FROM APPLICANT:

- 12 complete sets of application materials
- Fee Payment

Date of Public Hearing: _____

NOTE: All application materials will be available for public review.



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: November 10, 2020 **Hearing Date:** December 21, 2020

Applicant: David Walker

Address: 4 Candlewood Dr, Pittsford, NY 14534

Phone: (574) 315-5850 **E-Mail:** dw002m@gmail.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ **E-Mail:** _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ **E-Mail:** _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 4 Candlewood Dr, Pittsford **Current Zoning:** Residential Neighborhood

Tax Map Number: 163.03-1-41

Application For: **Residential** **Commercial** **Other**

Please describe, in detail, the proposed project:

The proposed project is to construct a geodesic dome greenhouse, 15 feet in diameter, in the rear yard of the property. The structure will be under 10 feet high and will sit on a compacted gravel foundation, anchored with rebar. The dome itself will be constructed with a wooden frame and clear polycarbonate panels. We wish to place the edge of the structure between 6 and 10 feet from the rear of the property.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

(Owner or Applicant Signature)

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The proposed location minimizes visibility of the new structure from the public right-of-way. Because the walls are made of clear polycarbonate, it will not impede sunlight exposure to nearby properties.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

We have determined that the proposed location will provide optimal sun exposure, which is necessary for the proper functioning of the greenhouse. It is also in the most level portion of the property, which will simplify construction and make for improved structural soundness.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested variance is minimal. We wish for the edge of the structure to sit between 6 and 10 feet from the rear of the property, rather than the standard 20 feet.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The greenhouse will have no negative impact on physical or environmental conditions in the area. It is engineered to be ecologically friendly, and will aid in the growing of beneficial plants.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

The difficulty is not self-created. We chose the proposed location of the structure based on terrain, location of existing structures, and sun exposure.

15-foot Small Dome Greenhouse Kit

\$8,950

Multi-wall – 16mm (\$51/sqft)

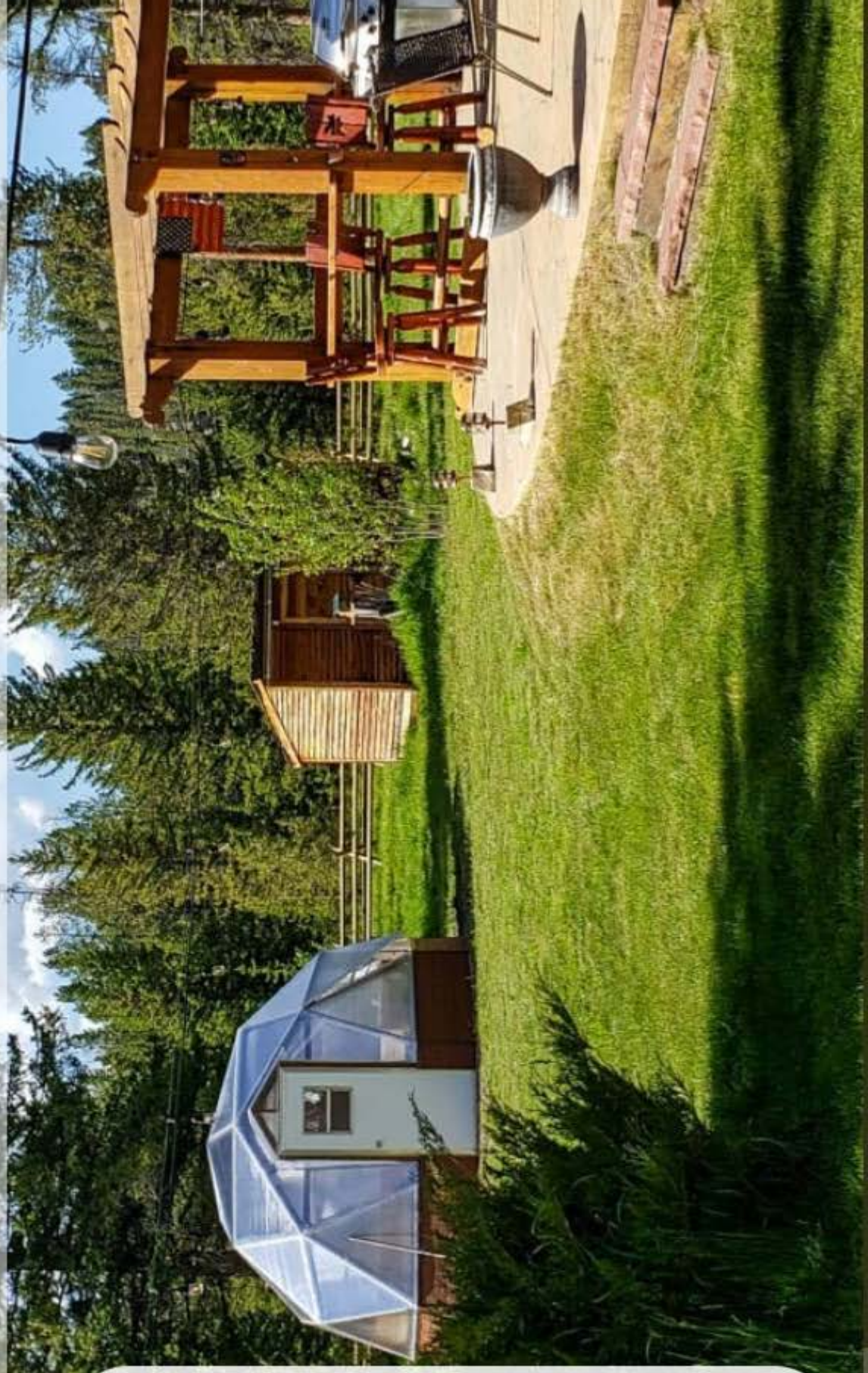
\$7,950 – Twin-Wall (\$45/sqft)

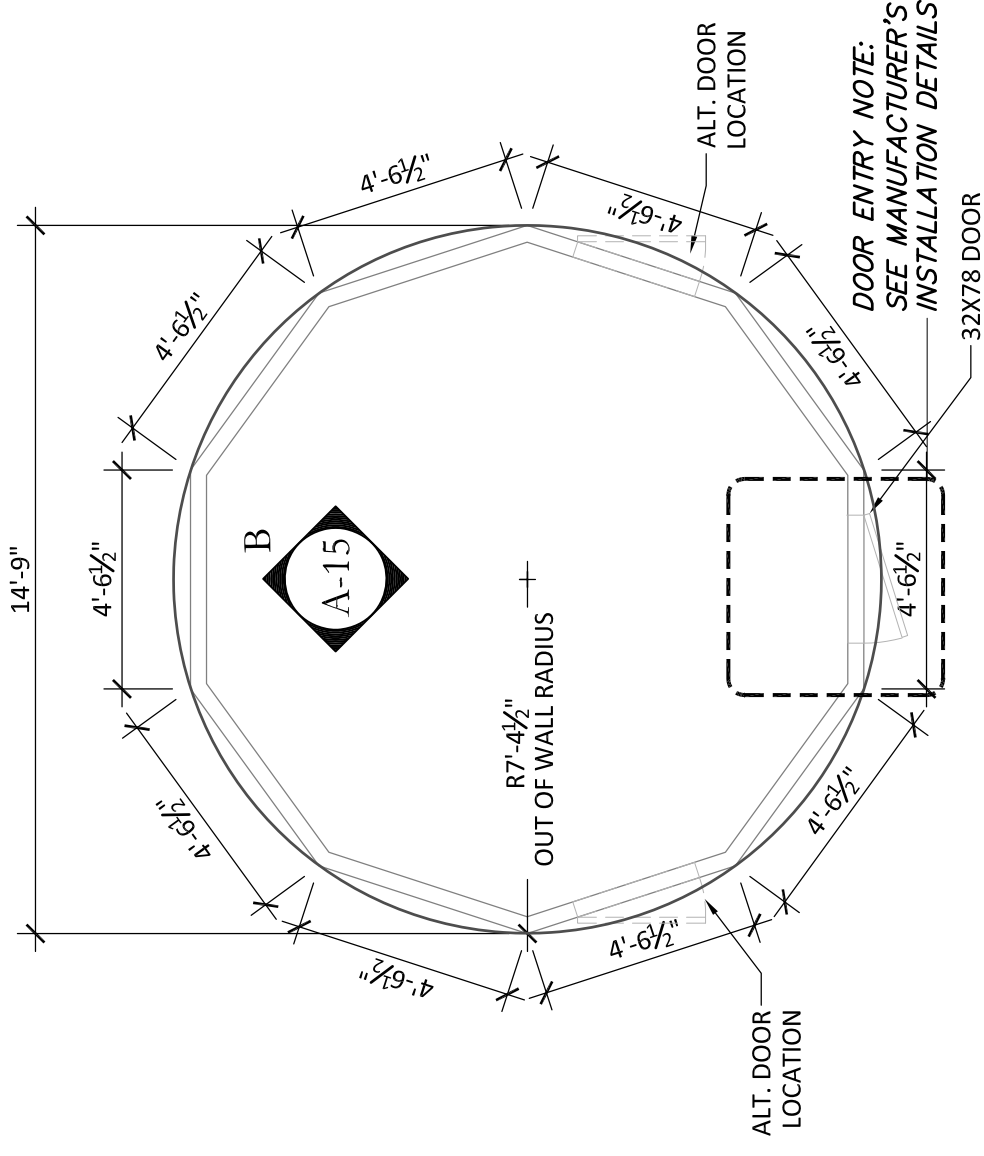
175 sq. ft. floor area

9 ft. 5 in. tall

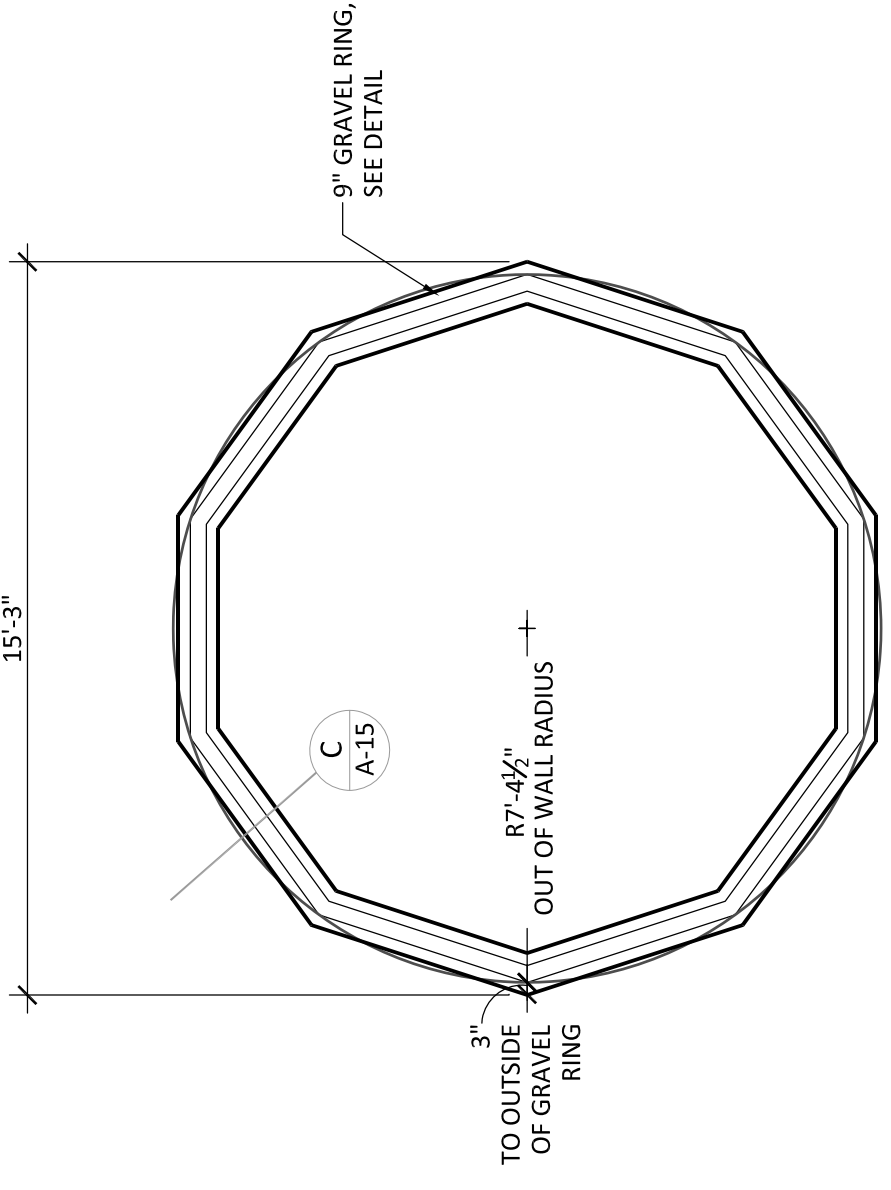
Fresh produce for 2 – 3 people

BUY NOW

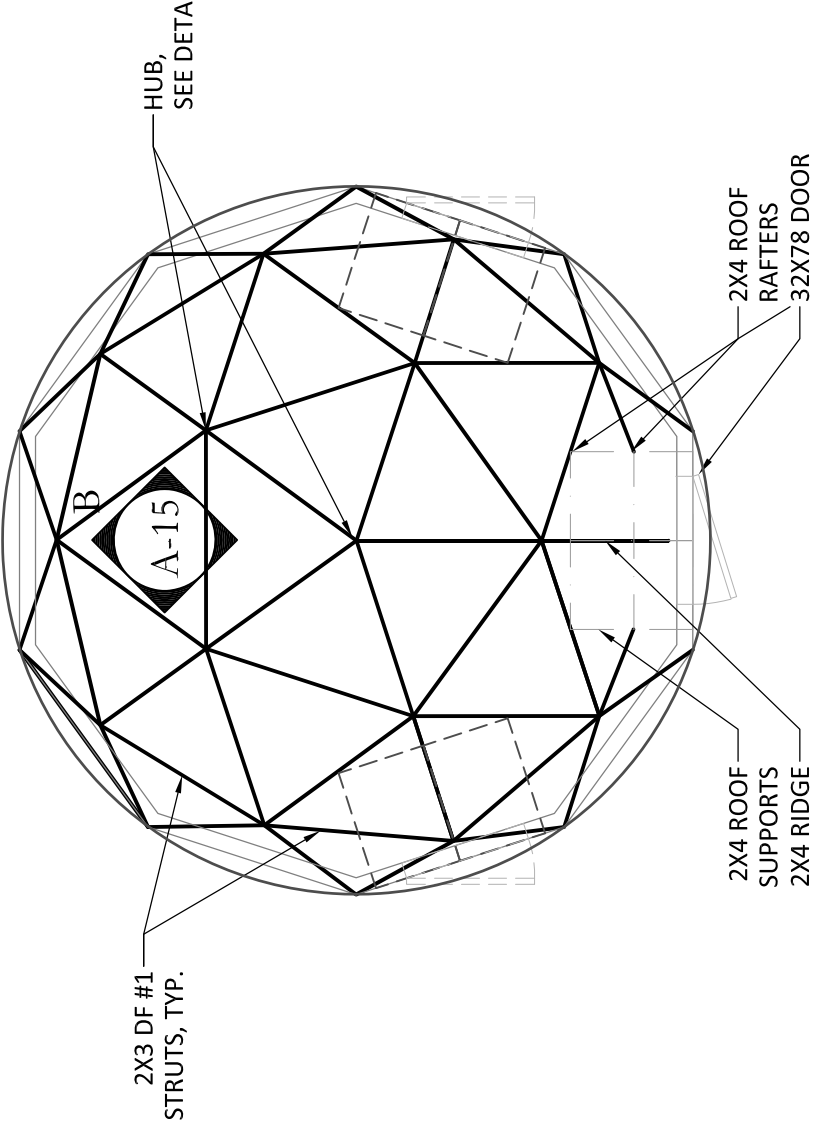




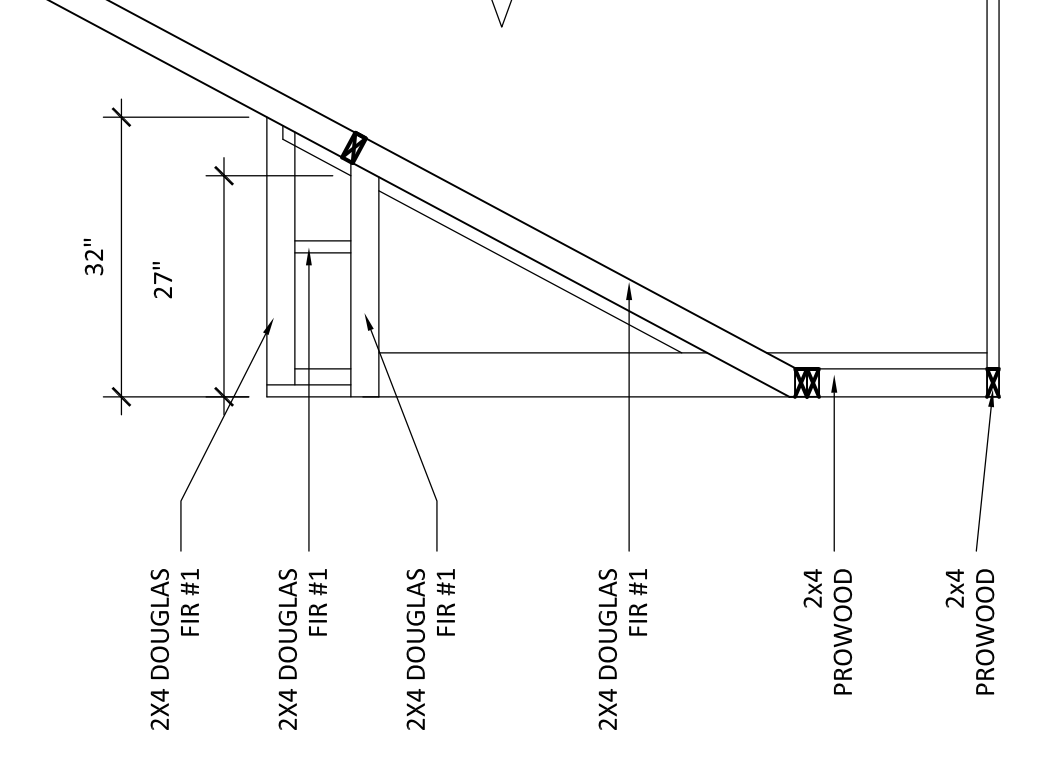
FLOOR PLAN
SCALE: 1/4" = 1'-0"



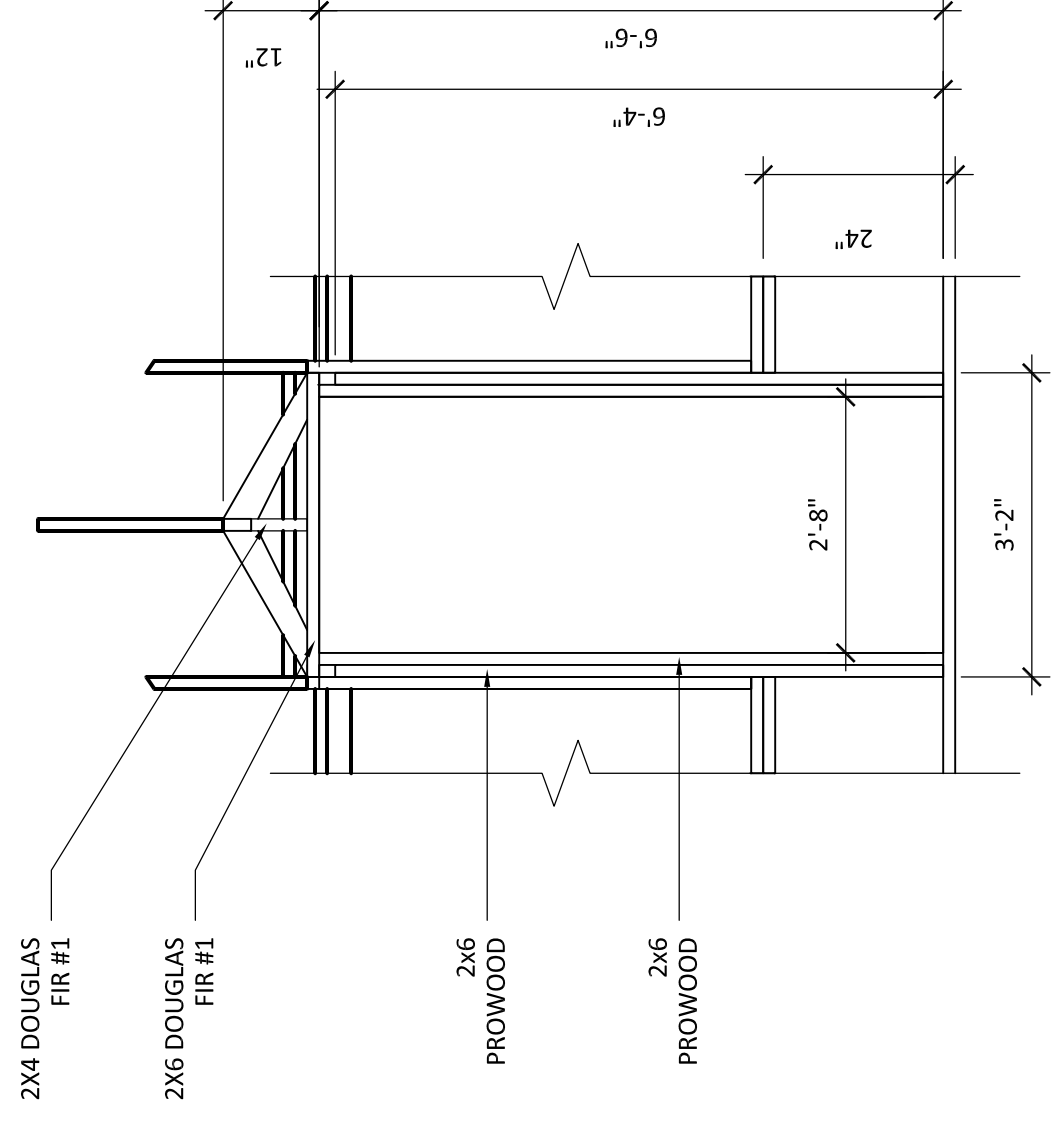
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



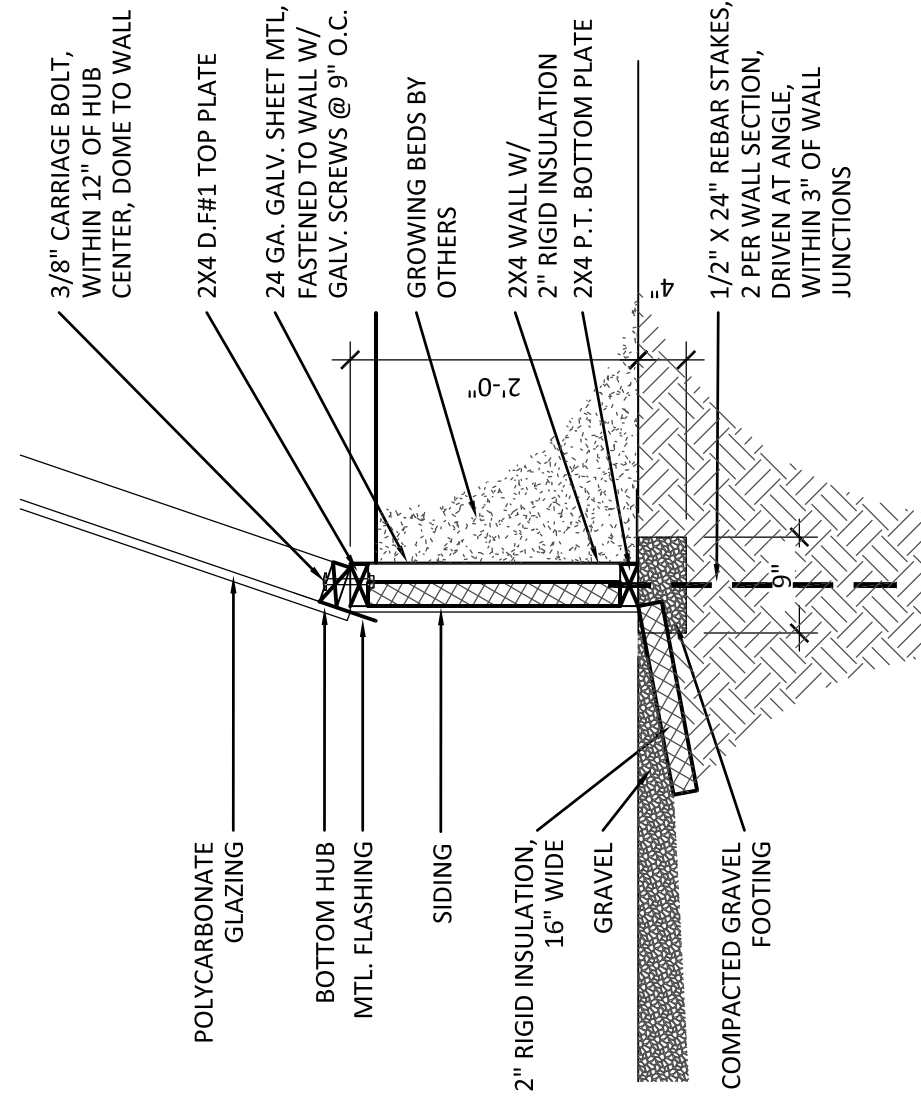
FRAMING PLAN
SCALE: 1/4" = 1'-0"



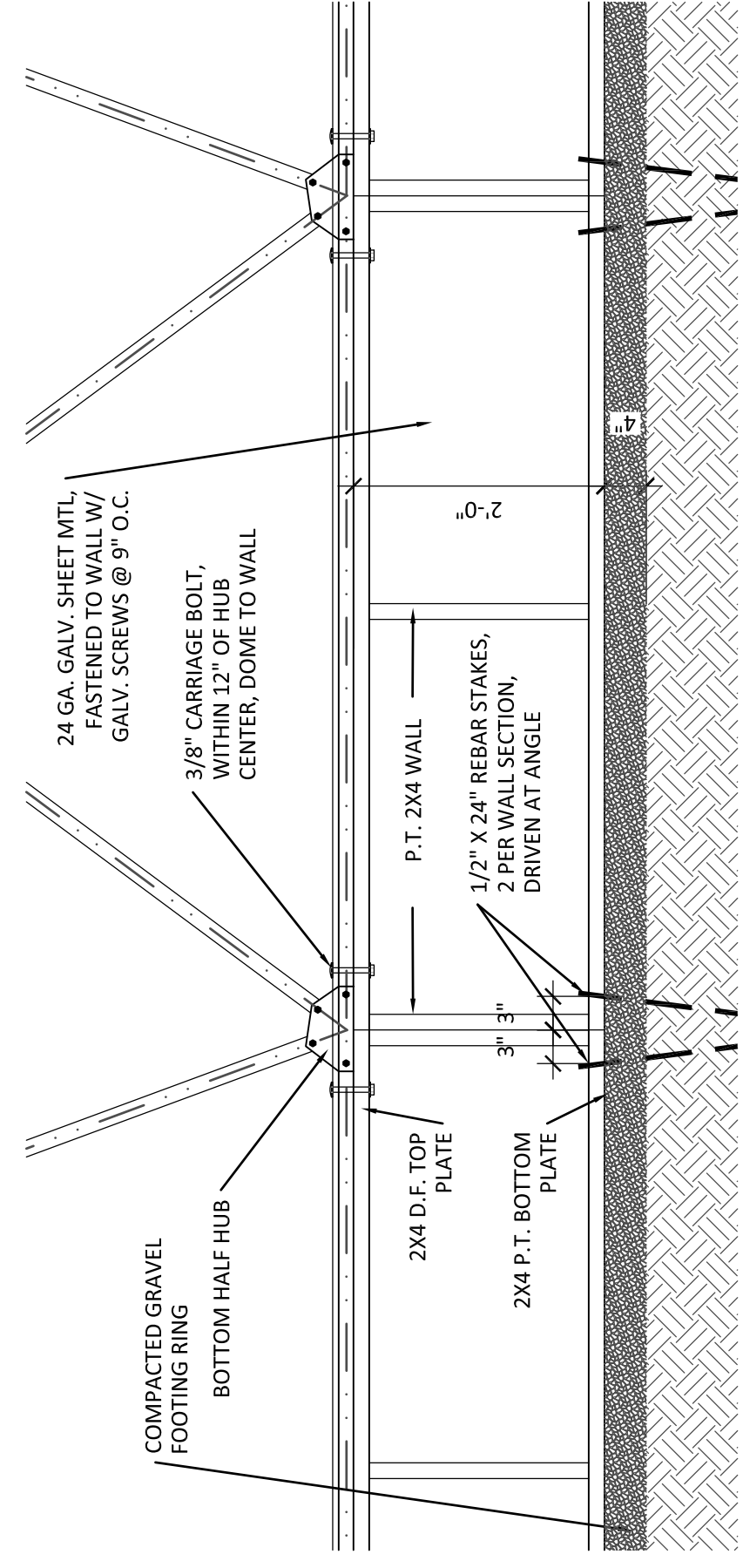
SNOWSHED DETAIL D
SCALE: 1/2" = 1'-0"
A-15GR



SNOWSHED DETAIL E
SCALE: 1/2" = 1'-0"
A-15GR



GRAVEL RING FOOTING DETAIL C
SCALE: 3/4" = 1'-0"
A-15GR



SIDE ELEVATION A
SCALE: 1/4" = 1'-0"
A-15GR

TYP. WALL ELEVATION DETAIL B
SCALE: 3/4" = 1'-0"
A-15GR

GROWING SPACES GROWING DOMES

GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS

STRUCTURAL DESIGN CRITERIA:

- CODES: 2015 IRC/IBC
- DESIGN LIVE LOADS:
 - FLOOR - NONE
 - ROOF - LIVE LOAD: 20 PSF
 - DEAD LOAD: 15 PSF
 - SNOW LOAD: 75 PSF
- SOILS: AT ALL FOUNDATIONS, A MINIMUM SOILS BEARING CAPACITY OF 1500 PSF IS REQUIRED.

REINFORCED CONCRETE:

- STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301 SPECIFICATIONS AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF:
 - FOOTINGS: 3000 PSI, 4" MAX. SLUMP
 - STEM WALLS/BASEMENT WALLS: 3500 PSI, 4" MAX. SLUMP
 - INTERIOR FLATWORK: 3500 PSI, 5" MAX. SLUMP
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33. MIX DESIGN SHALL CONFORM TO ASTM A-615, GRADE 40, WITH A MINIMUM YIELD STRENGTH OF 40,000 PSI.
- REINFORCING STEEL SHALL BE NEW DEFORMED BARS, FREE FROM RUST, SCALE AND OIL.
- LAP CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS (1'-6" MINIMUM) OR AS NOTED OTHERWISE.
- ALL DISCONTINUOUS TOP BARS WITH STANDARD 90° HOOK (PLACED VERTICALLY) UNLESS NOTED OTHERWISE CONSTRUCT DETAILS.
- PROVIDE THE FOLLOWING CONCRETE COVERAGE OVER REINFORCING:
 - FOOTINGS (AGAINST EARTH) 3" CLEAR
 - WALLS (INTERIOR FACE) 3/4" CLEAR
 - WALLS (EXTERIOR FACE) 1 1/2" CLEAR

STRUCTURAL STEEL:

- ALL METAL IN CONTACT WITH TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL.
- EXPANSION BOLTS TO PIERS SHALL BE ZINC PLATED OR STAINLESS STEEL.
- CARRIAGE BOLTS CONNECTING STRUTS AND HUBS SHALL BE 1/2GA X 1.5" STAINLESS STEEL WOOD SCREWS FASTENING POLYCARBONATE TO STRUTS SHALL BE 1/2GA X 1.5" STAINLESS STEEL WOOD SCREWS.
- ALUMINUM HUBS ARE 1/8" THICK 5052-H32 ALUMINUM PRESSED TO DOME GEOMETRY.
- SHEET METAL INNER WALL IS 24GA GALVANIZED STEEL. FASTEN TO WALL WITH #10 X 3/4" GALVANIZED STEEL SCREWS AT 9" O.C. TO ALL WALL PLATES AND STUDS.

WOOD:

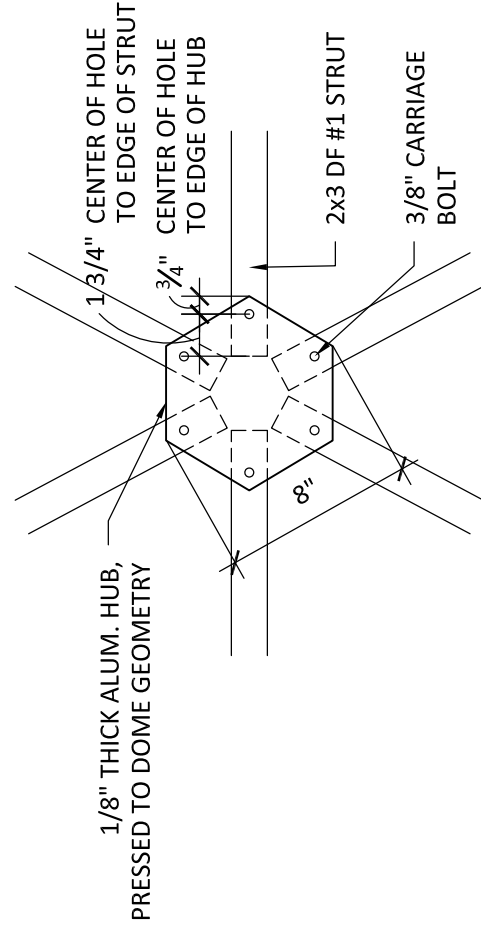
- ALL WOOD CONSTRUCTION AND CONNECTIONS SHALL CONFORM TO AITC "AMERICAN SPECIFICATIONS FOR WOOD CONSTRUCTION" MANUAL, AND THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION", AND THE MOST CURRENT ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODES.
- ALL WOODS SHALL BE UP TO THE FOLLOWING:
 - 15' DOME: 2x3
 - 18' DOME: 2x4
 - 22' DOME: 2x4
 - 26' DOME: 2x4
 - 30' DOME: 2x4
 - 33' DOME: 2x4
 - 36' DOME: 2x4
 - 42' DOME: 2x6
 - 48' DOME: 2x6
 - 54' DOME: 2x6
 - 60' DOME: 2x6
- ALL WALL STUDS AND BOTTOM PLATES SHALL BE PRESSURE TREATED DF #1, SIZED AS:
 - 15' DOME: 2x4
 - 18' DOME: 2x4
 - 22' DOME: 2x4
 - 26' DOME: 2x4
 - 30' DOME: 2x4
 - 33' DOME: 2x4
 - 36' DOME: 2x4
 - 42' DOME: 2x6
 - 48' DOME: 2x6
 - 54' DOME: 2x6
 - 60' DOME: 2x6
- ALL WOOD IN CONTACT WITH GRAVEL CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. ALL WOOD IN CONTACT WITH THE GROUND/GRAVEL SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R402.1 OF THE 2015 IRC FOR WOOD FOUNDATIONS, OR 2015 IBC REQUIREMENTS FOR WOOD FOUNDATION AS APPLICABLE.
- ALL BOLTS FOR BOLTED CONNECTIONS SHALL CONFORM TO ASTM A307. USE WASHERS (OR APPROVED EQUAL) AND SHALL BE GALVANIZED.
- ALL METAL WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE CO. UNLESS NOTED OTHERWISE ON PLANS. PROVIDE DOUBLE STUDS AT ALL JAMBS OF OPENINGS UP TO 6'-0".

THERMAL AND MOISTURE PROTECTION:

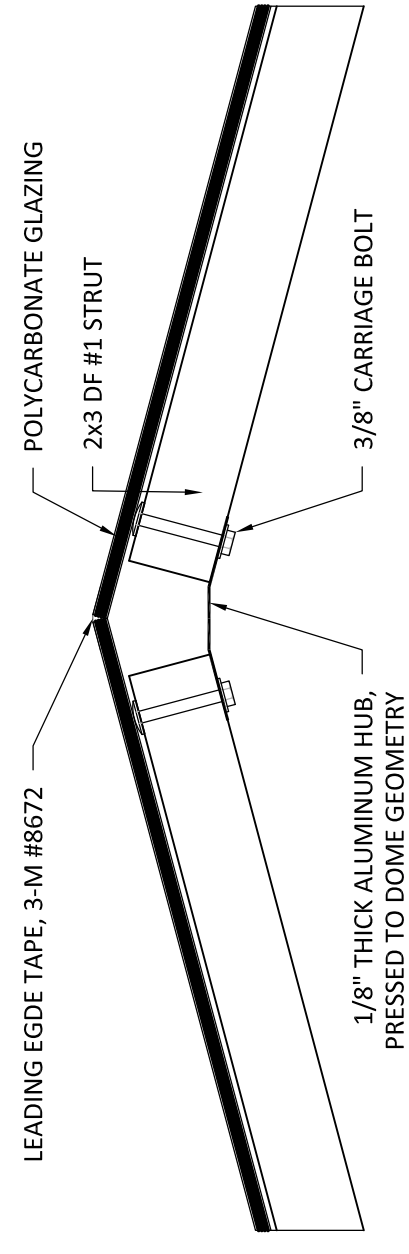
- WALL INSULATION IS R-11, 2" RIGID POLYSTYRENE.
- EXTERIOR PERIMETER GROUND INSULATION IS R-11, 2" RIGID POLYSTYRENE, TYPE IX.
- ALL UNTREATED WOOD SHALL BE FINISHED WITH LIFETIME WOOD TREATMENT.
- POLYCARBONATE SEAMS ARE TAPED WITH LEADING EDGE TAPE, 3M #8672.

DOORS AND WINDOWS:

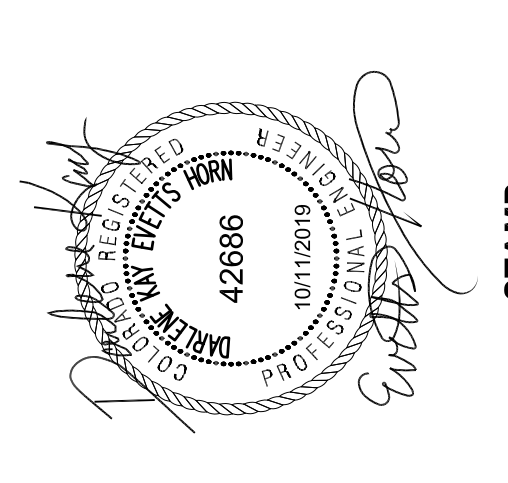
- GLAZING IS POLYCARBONATE (6MM) 5 WALL OR 8MM (TWIN WALL) FASTENED TO STRUTS WITH 1.5" STAINLESS STEEL SCREWS @ 12" O.C.
- DOOR IS RESIDENTIAL STORM DOOR WITH LOCK.



TYP. HUB PLAN F
SCALE: 1 1/2" = 1'-0"
A-15GR



TYP. HUB DETAIL G
SCALE: 1 1/2" = 1'-0"
A-15GR



STAMP:

GROWING SPACES
15' GROWING DOME
w/ GRAVEL RING FOUNDATION

PROJECT NUMBER: _____
 DRAWN BY: _____
 REVIEWED BY: _____
 DATE: _____
 ISSUE RECORD:

A15-GR
 15' DOME
 GRAVEL RING
 FOUNDATION







Zoning Board of Appeals Referral Form Information

Property Address:

15 Stoney Clover Lane PITTSFORD, NY 14534

Property Owner:

Jones, Robert G
15 Stoney Clover Ln
Pittsford, NY 14534

Applicant or Agent:

Jones, Robert G
15 Stoney Clover Ln
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	20	Rear Setback:	14	Rear Setback:	6.0
Height:	0	Height:	0	Height:	0.0
Size:	180	Size:	200	Size:	20

Code Section(s): 185-113 (B) (1) & (6) 187-17 I

Description: Applicant is requesting relief from Town Code §185-113 (B) (1) & (6) and 185-17 (I) to allow the construction of an oversized accessory structure (shed) located in the rear yard encroaching into the rear setback.

Note: Site/Plot map received on 11/13/2020

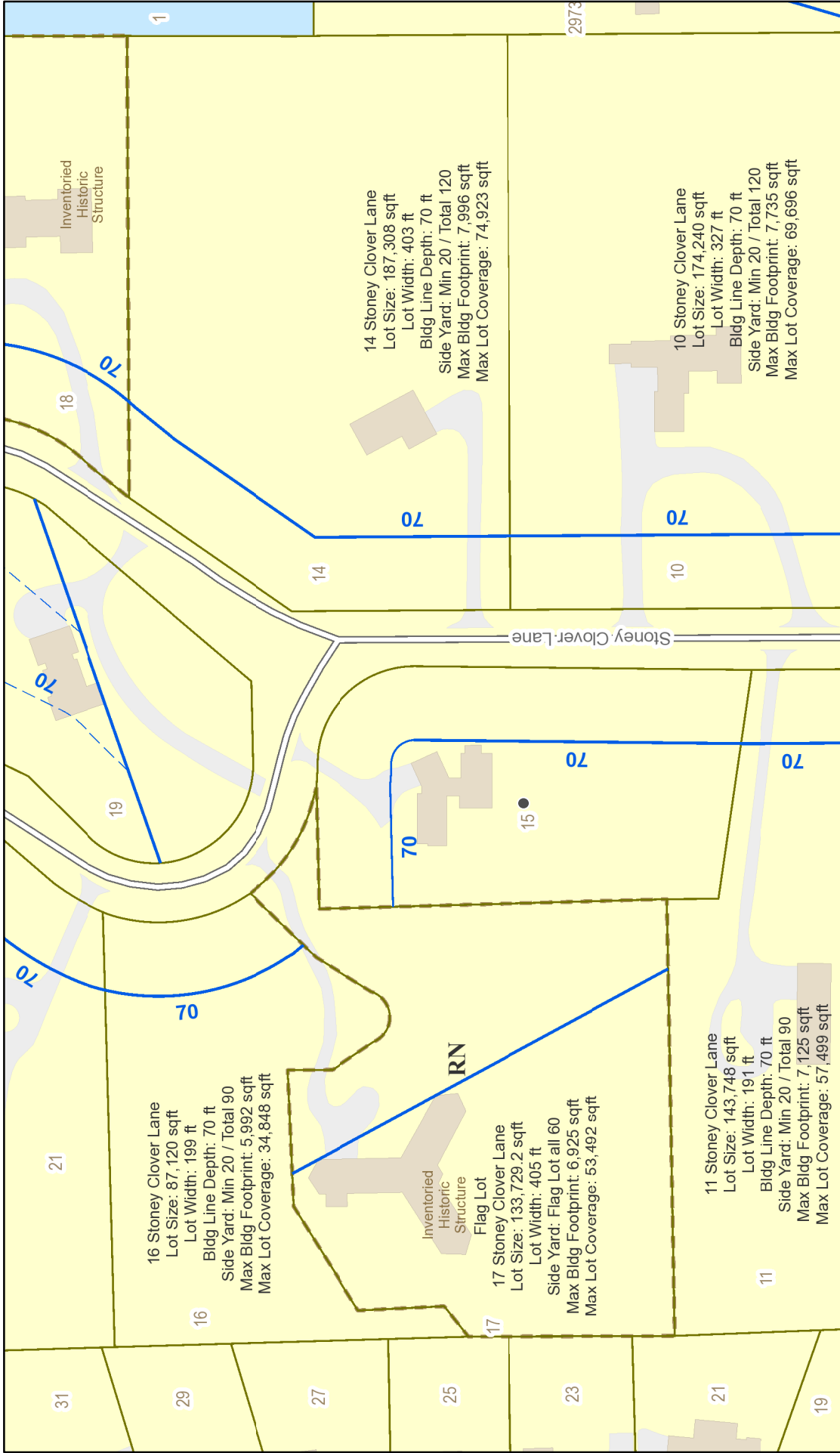
December 08, 2020



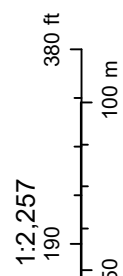
Date

Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning

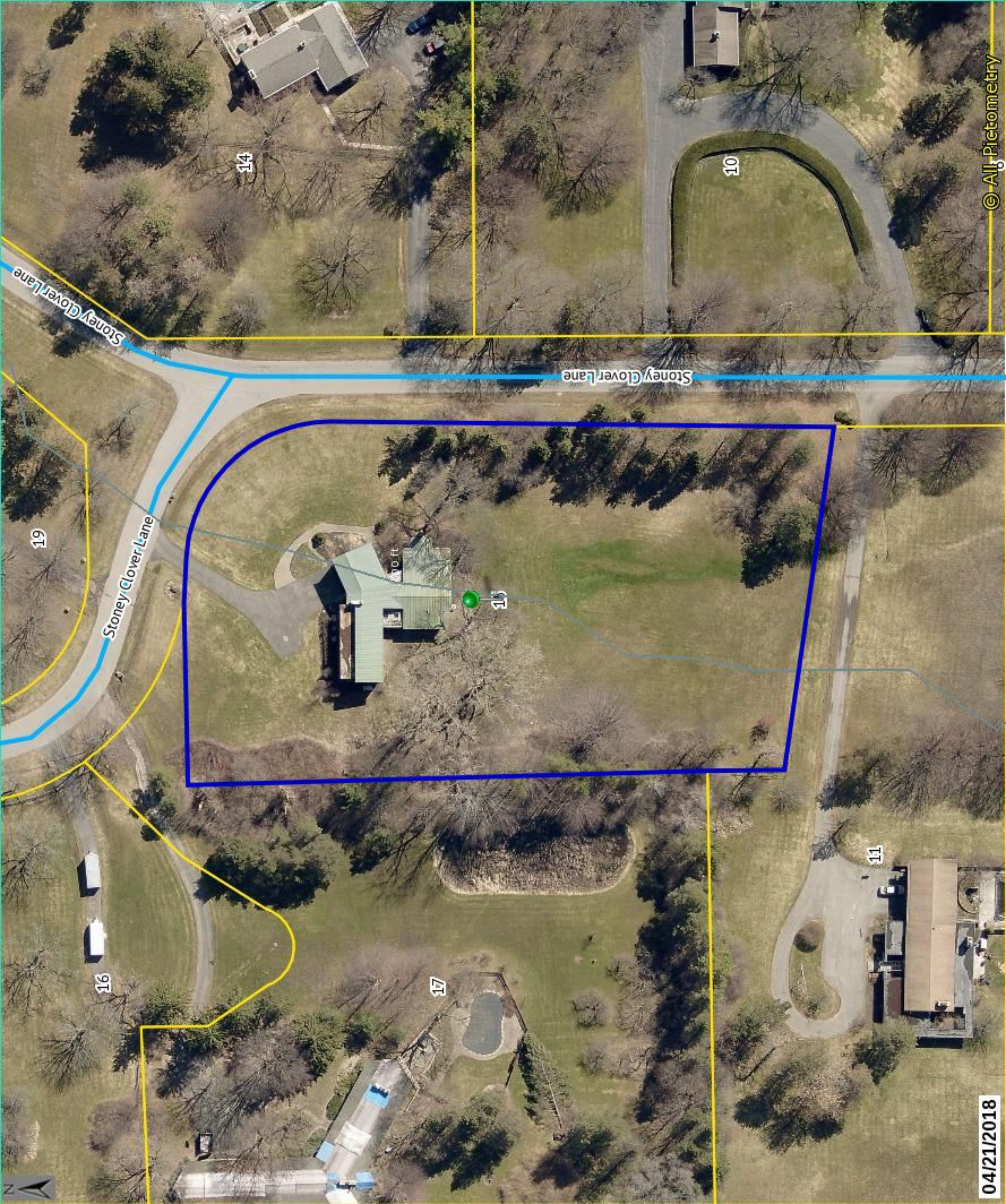


Printed December 4, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



14

10

Stoney Clover Lane

Stoney Clover Lane

Stoney Clover Lane

19

15

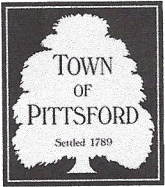
100 ft

11

16

17





TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: 11/12/2020 Hearing Date: _____

Applicant: Robert Jones

Address: 15 Stoney Clover Lane, Pittsford, NY 14534

Phone: 585-269-9180 E-Mail: mustwerock@gmail.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 15 Stoney Clover Lane, Pittsford Current Zoning: _____

Tax Map Number: _____

Application For: Residential Commercial Other

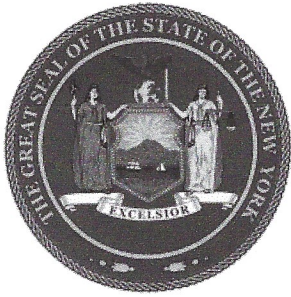
Please describe, in detail, the proposed project:

We are constructing a storage shed for our pool/patio area. We'd like the dimensions to be 10'x20'. The shed will be located near the far end of the pool, enclosing the area along with the fence.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

(Owner or Applicant Signature)

11/12/2020
(Date)



NEW YORK STATE

STANDARDS FOR THE

GRANTING OF AREA VARIANCES

TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The shed is being built in the least conspicuous area of our property in relation to the street, tucked in behind our house. It will eventually be connected to/a part of the fencing surrounding our pool/patio. Further, the shed will be separated from the adjoining property by a large patch of preexisting bushes and trees, which will further obscure its view. Therefore, we feel that the impact of the extra foot on each side of the shed will be negligible.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

A 10' width is necessary for us easily to be able to comfortably fit our lawnmower in the shed, and the 20' length will match the width of our pool, which we feel will be aesthetically superior to a shorter length for the shed.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested area variance is minimal. We're only requesting an extra foot on each side of the shed. Further, the pool fence that we'll be constructing in the area will go right up to each side of the shed. So it's really just a matter of those extra two feet being taken up by the shed or by the fence, and we feel it will look better and be a better use of space for it to be the shed.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

It's only two extra feet of shed length, it's in a very inconspicuous area, and either way there will be fencing going up to each side of the shed.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

I suppose it is, strictly speaking, but it's a very minimal thing.

Print Form

Reset Form

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Storage Shed

(Project Name)

The undersigned, being the applicant(s) to the...

- Town Board
- Zoning Board of Appeals
- Planning Board
- Architectural Review Board

...of the Town of Pittsford, for a...

- change of zoning
- special permit
- building permit
- permit
- amendment
- variance
- approval of a plat
- exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

11/12/2020

(Dated)

15 Stoney Clover Lane

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)



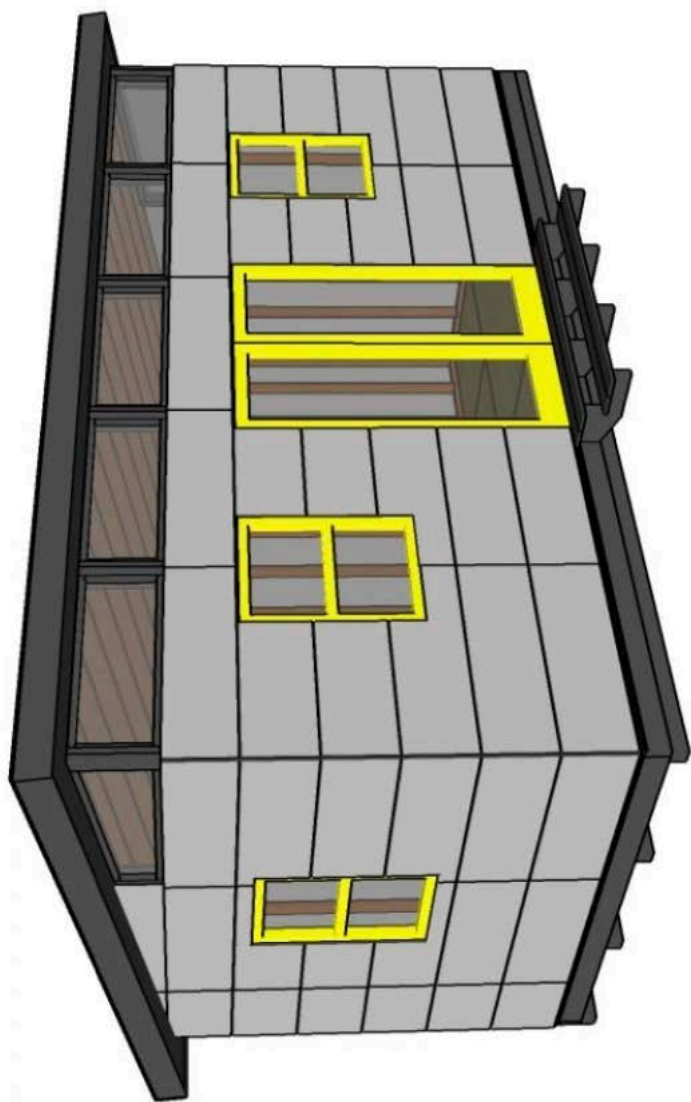
Shed



Shed

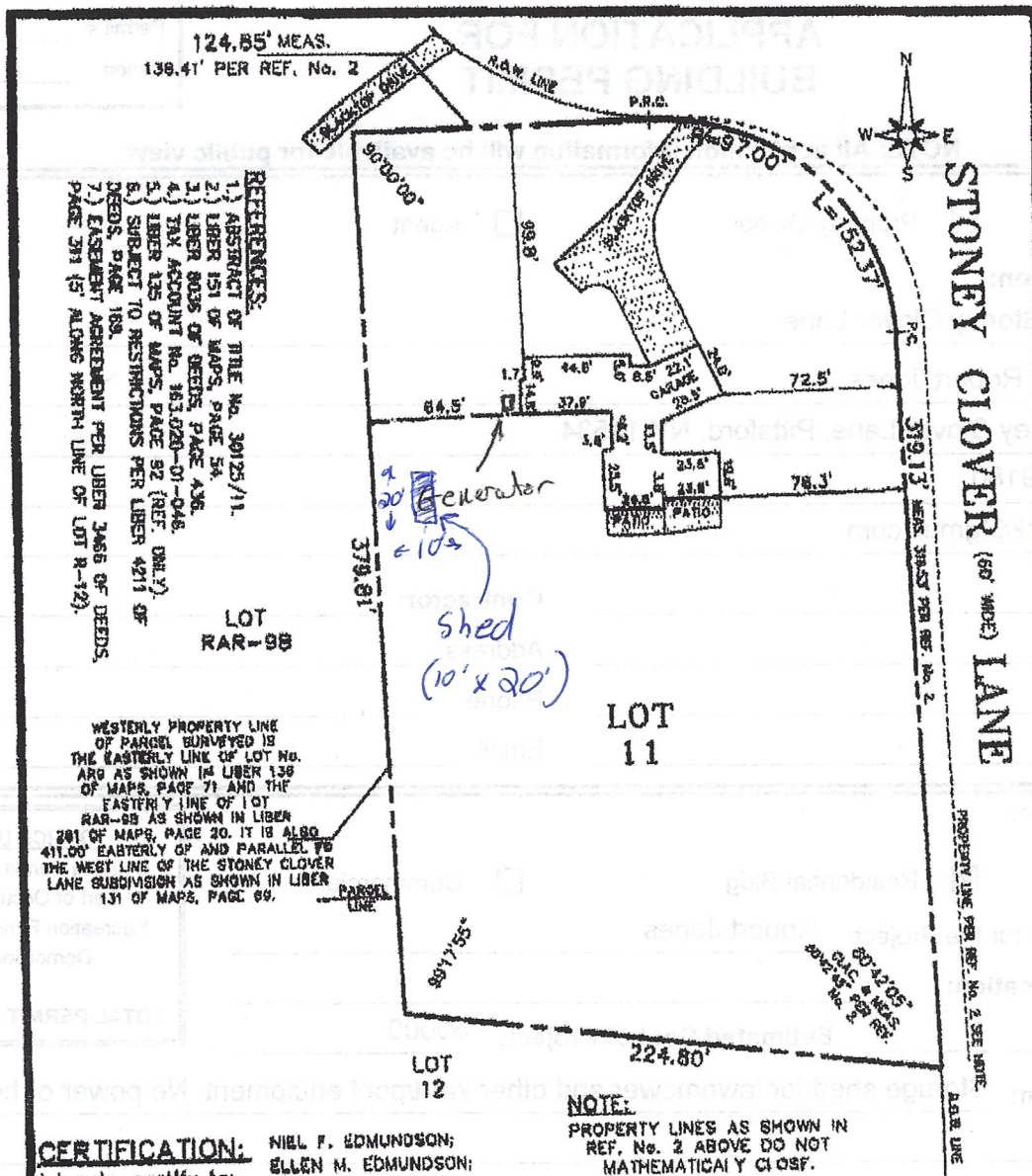
Fence

Fence



Apr-24-00 03:37P

P.02



Received on 11/13/2020
Town of Pittsford
Zoning Board

UNAUTHORIZED alteration or addition to a survey map having a licensed land surveyor seal by the location of sealings 1750 Westchester St. of the New York State Education Law, shall constitute an original land surveyor seal and be considered to be valid "blue copies," if the sealings indicated herein signify that the survey was prepared in accordance with the existing Code of Practice for Land Surveyors promulgated by the New York State Association of Land Surveyors. Such certifications shall not apply for the purpose for which the survey is prepared, and on the basis of the title company's professional opinion and based on the institutions listed herein, and to the satisfaction of the lending institution. Certifications do not transferable to additional institutions or subsequent surveys.

NOTE: Property lines shown on this map are not by a licensed land surveyor.

FOR ASSIGNMENT TO THE TOWN OF PITTSFORD

RONALD W. STAUB, N.Y.S.L.S. # 44621

TITLE: INSTRUMENT SURVEY MAP
15 STONEY CLOVER LANE
LOT 11 OF THE STONEY CLOVER LANE SUBDIVISION, SECT. 2,
BEING IN THE TOWN OF PITTSFORD, COUNTY OF MONROE,
STATE OF NEW YORK.

CLIENT: THE LA BAER LIVING TRUST
C/O BECKERMAN & BECKERMAN, ATTYS.
1 WEST MAIN STREET
SUITE 300
ROCHESTER, NY 14614

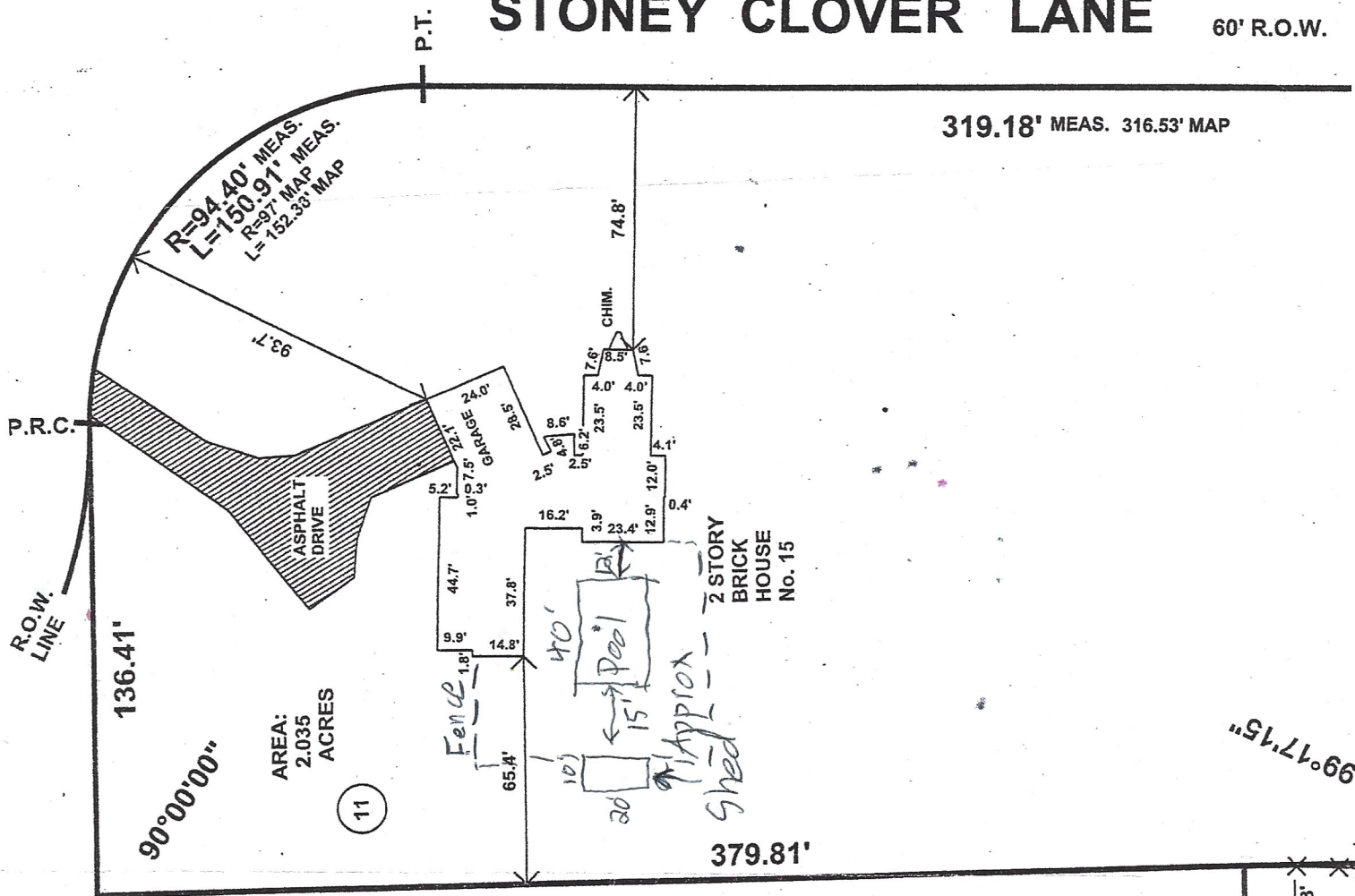
RONALD W. STAUB
LAND SURVEYORS
320 Reynolds Arcade
Rochester, N.Y. 14614
Phone (716) 263-9850
Fax (716) 263-3891

SCALE: 1" = 50'
FILE NO: 000.118.DWS
JOB NO: 000.318.S
REDATE:
DATE: APRIL 11, 2000

STONEY CLOVER LANE

60' R.O.W.

319.18' MEAS. 316.53' MAP



TAX ACCOUNT No. 163.02-1-47.2

N/F KENNETH GLAZER

RAR 9B



99°17'15"

Zoning Board of Appeals Referral Form Information

Property Address:

28 Crest Wood Circle PITTSFORD, NY 14534

Property Owner:

Iacobucci, Jennifer P
28 Crest Wood Cir
Pittsford, NY 14534

Applicant or Agent:

Iacobucci, Jennifer P
28 Crest Wood Cir
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section(s): 185-119 (A) (1)

Description: Applicant is requesting relief from Town Code to locate the filter and heater of an in-ground swimming pool forward of the rear wall of the home.

Note: Site map received on 10/20/2020

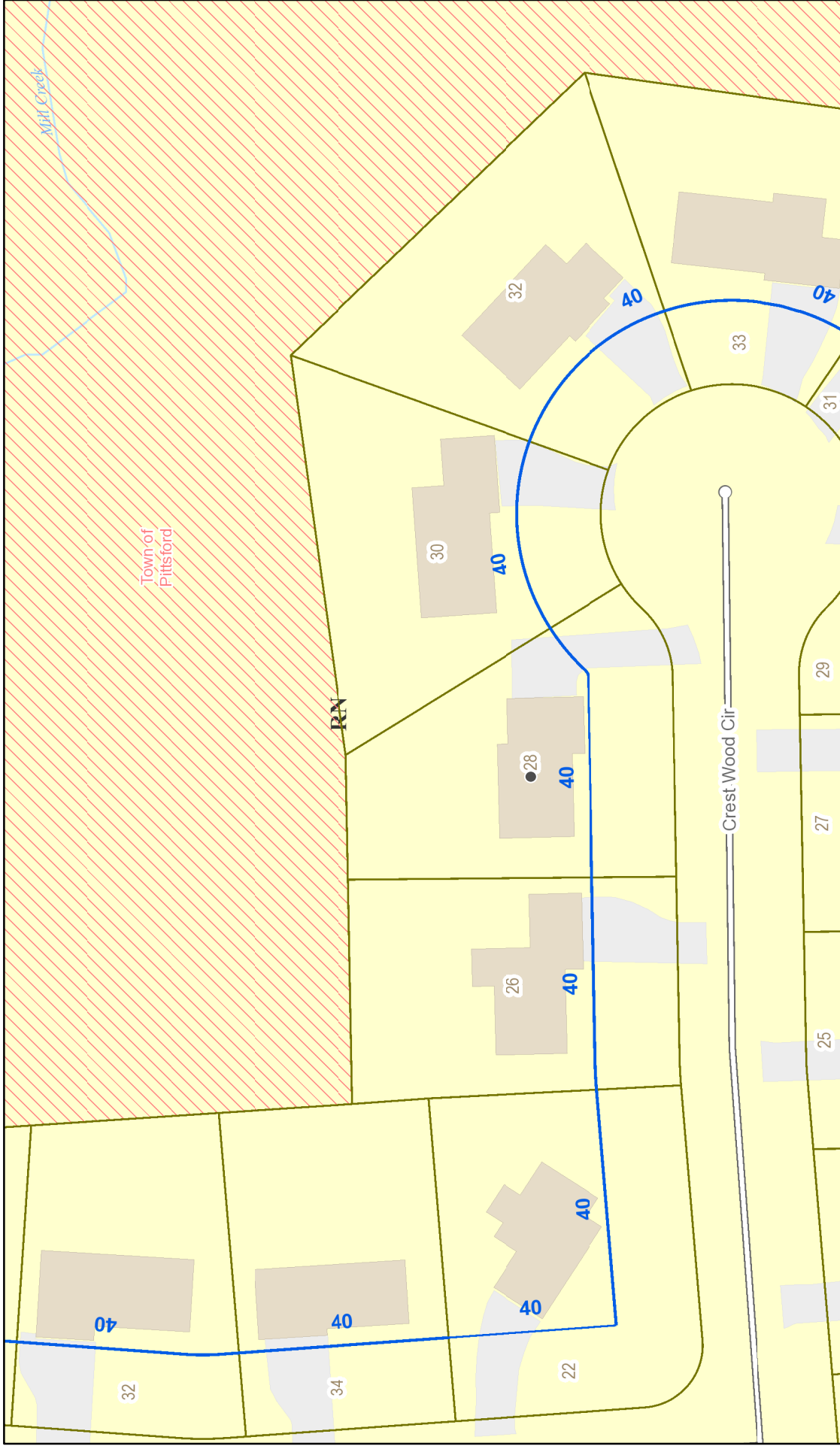
December 04, 2020



Date

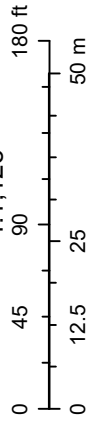
Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning



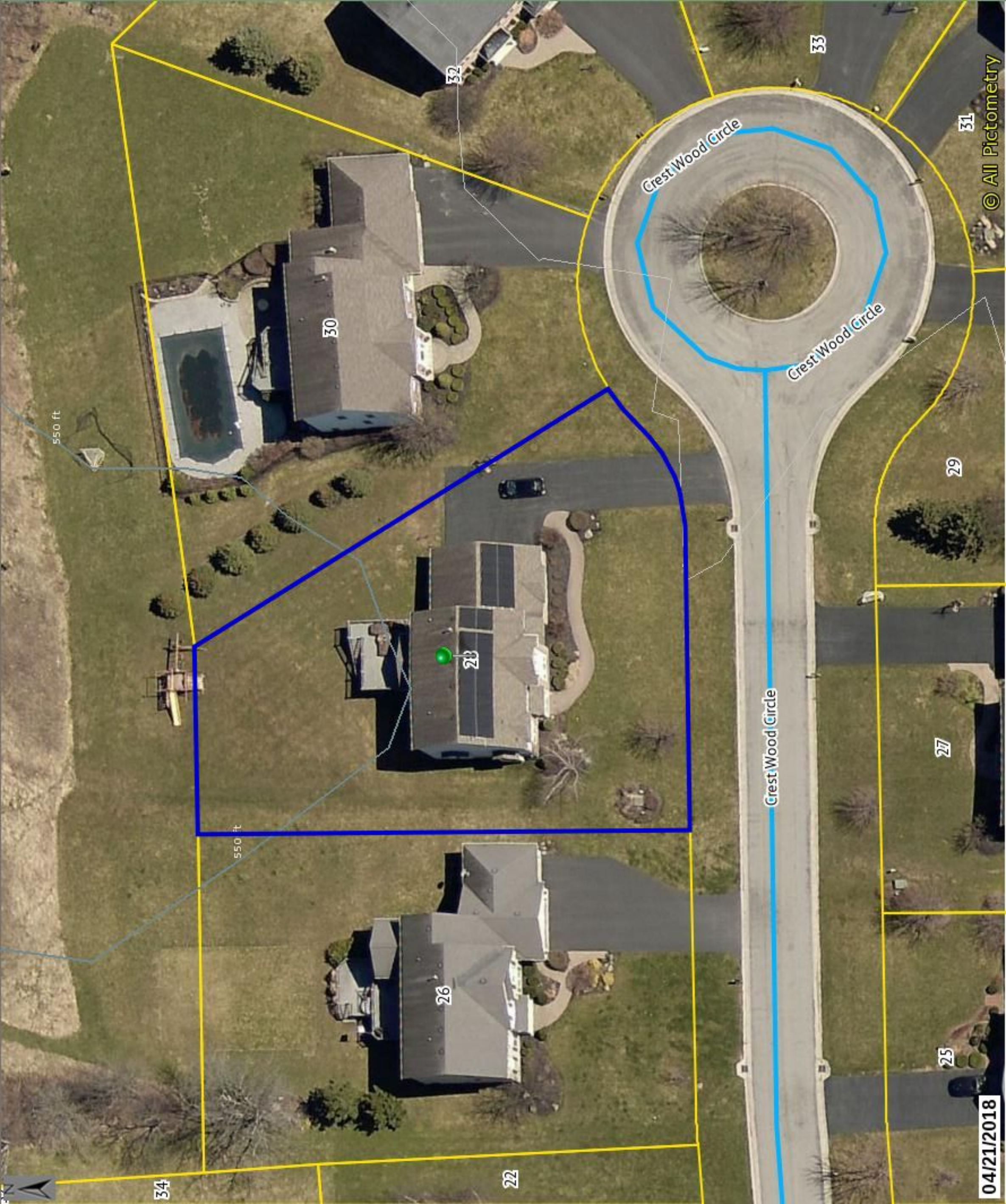
Printed December 4, 2020

1:1,128



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Crest Wood Circle

Crest Wood Circle

Crest Wood Circle

22

25

27

29

31

33

32

30

28

26

34

550 ft

550 ft





PROPOSED LOCATION OF THE EQUIPMENT

PROPERTY LINE FROM

posed to Top

Maximum Slope is 4:1

- 1" Caping
- 3" Concrete Apron
- 4" Recommended Minimum

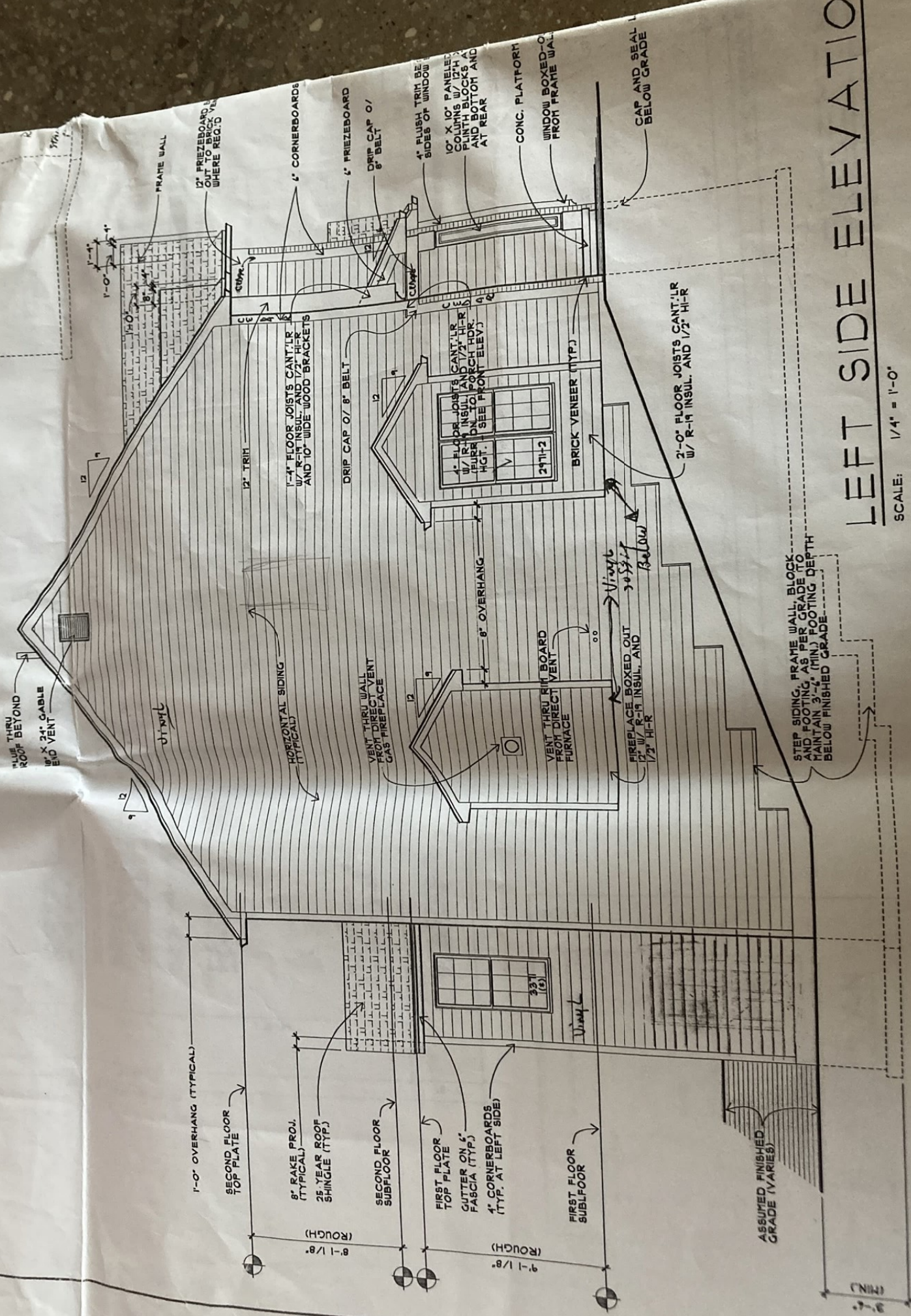
20' REAR POOL SETBACK
For Pavers?

10' DECK POOL SETBACK

8' DECK POOL SETBACK

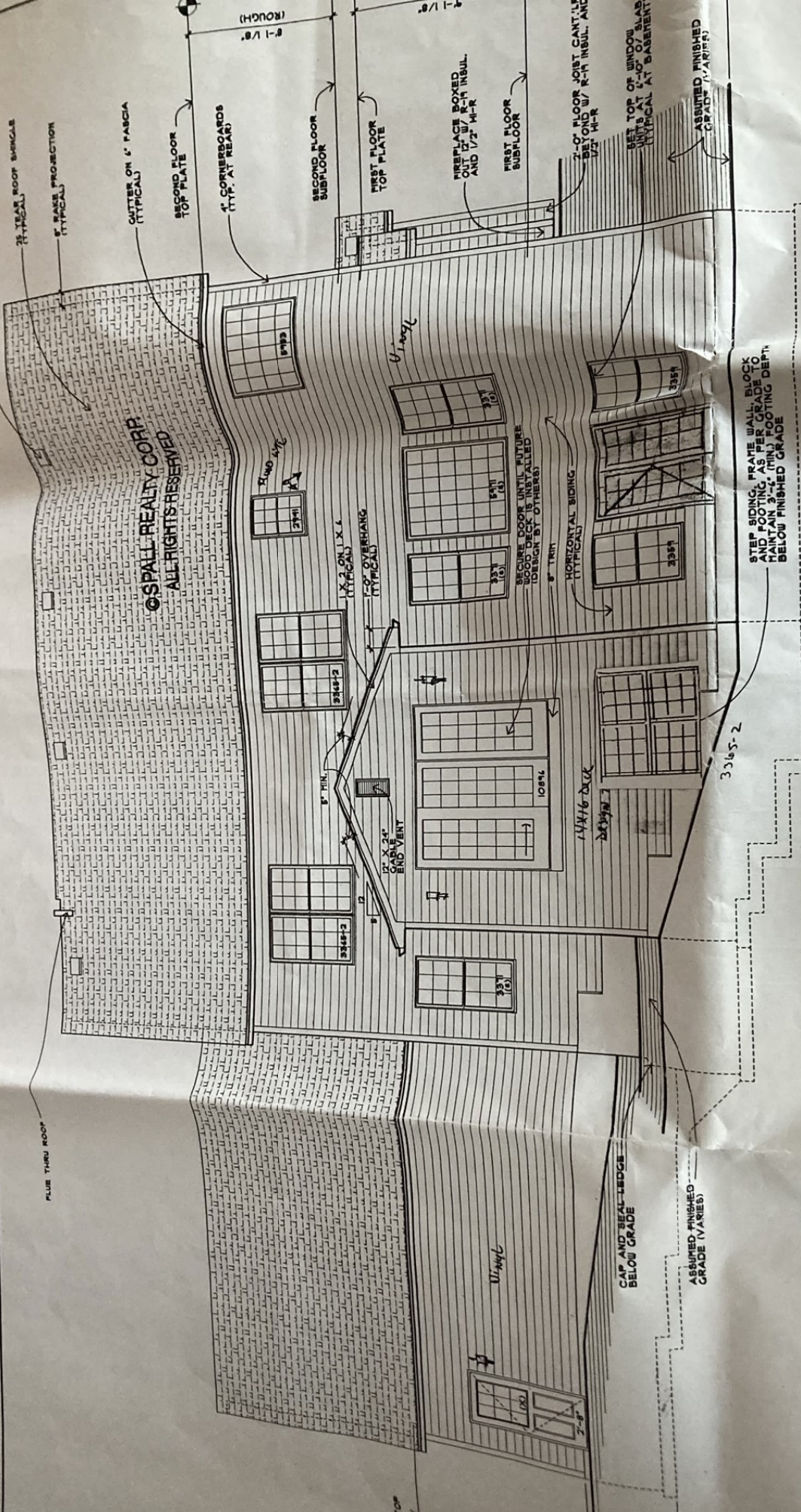
PROPERTY LINE

2'-0" FLOOR JOIST CANT. LR
W/ R-19 INSUL. AND 1/2" HI-R



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



SPALL REALTY CORP.
ALL RIGHTS RESERVED

REAR ELEVATION

SCALE: 1/4" = 1'-0"

526
NIGHT PATTO 24
unit

STEP SIDING, FRAME WALL, BLOCK AND FOOTING, AS PER FOOTING DEPTH BELOW FINISHED GRADE

3365-2

ROUGH
1'-8"

1'-0" OVERHANG (TYPICAL)
SECOND FLOOR TOP PLATE
1" CORNERBOARDS (TYP. AT RIGHT SIDE)
6" RAISE PROJ. (TYPICAL)
ROOF VENT (TYPICAL)

CAP AND SEAL LEDGE BELOW GRADE

ASSUMED FINISHED GRADE (VARIES)

CARAGE TOP PLATE

6" OF BLOCK BELOW GRADE

2'-8"

1'-0" OVERHANG (TYPICAL)

SECOND FLOOR TOP PLATE

1" CORNERBOARDS (TYP. AT RIGHT SIDE)

6" RAISE PROJ. (TYPICAL)

ROOF VENT (TYPICAL)

FLUE THRU ROOF

SECOND FLOOR TOP PLATE

1" CORNERBOARDS (TYP. AT REAR)

SECOND FLOOR SUBFLOOR

FIRST FLOOR TOP PLATE

FIREPLACE BOXED OUT 12" W/ R-11 INSUL. AND 1/2" H-R

FIRST FLOOR SUBFLOOR

2'-0" FLOOR JOIST CANT. UN. BEYOND W/ R-11 INSUL. AND 1/2" H-R

SET TOP OF WINDOW UNITS AT 2' ABOVE FINISHED GRADE AT BASEMENT

ASSUMED FINISHED GRADE (VARIES)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

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1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)

1'-0" OVERHANG (TYPICAL)















- 1) Coping
- 2) Concrete Apron
- 3) Recommended Minimum
- 4) Recommended Minimum

18' x 40' Lazy L With 4' Shallow End Extension

Pool Height is 3" Above Basement Threshold

Dotted Lines are For Standard 18 x 40

10' DECK POOL SETBACK

8' DECK POOL SETBACK

20' REAR POOL SETBACK

Maximum Slope is 4%

PROPERTY LINE FROM

posed to Top

PROPERTY LINE

Mill Creek

28 Crest Wood Circle
3 min drive - home

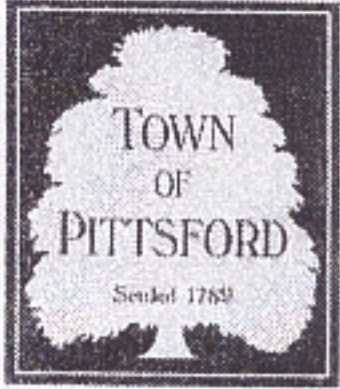
Crest Wood Cir

Crest Wood Cir

Hedge Wood Ln

ood Cir

Google



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: October 20, 2020 Hearing Date: _____

Applicant: Jennifer and James Iacobucci

Address: 28 Crest Wood Circle

Phone: 200-2787 E-Mail: jenniacobucci@gmail.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 28 Crest Wood Circle Current Zoning: SRAA

Tax Map Number: 192.02-3-25

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

The proposed project is an inground pool, landscaping and fence. Our request is to put the equipment for the pool at the side of the property in the rear.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Jennifer and James Iacobucci
(Owner or Applicant Signature)

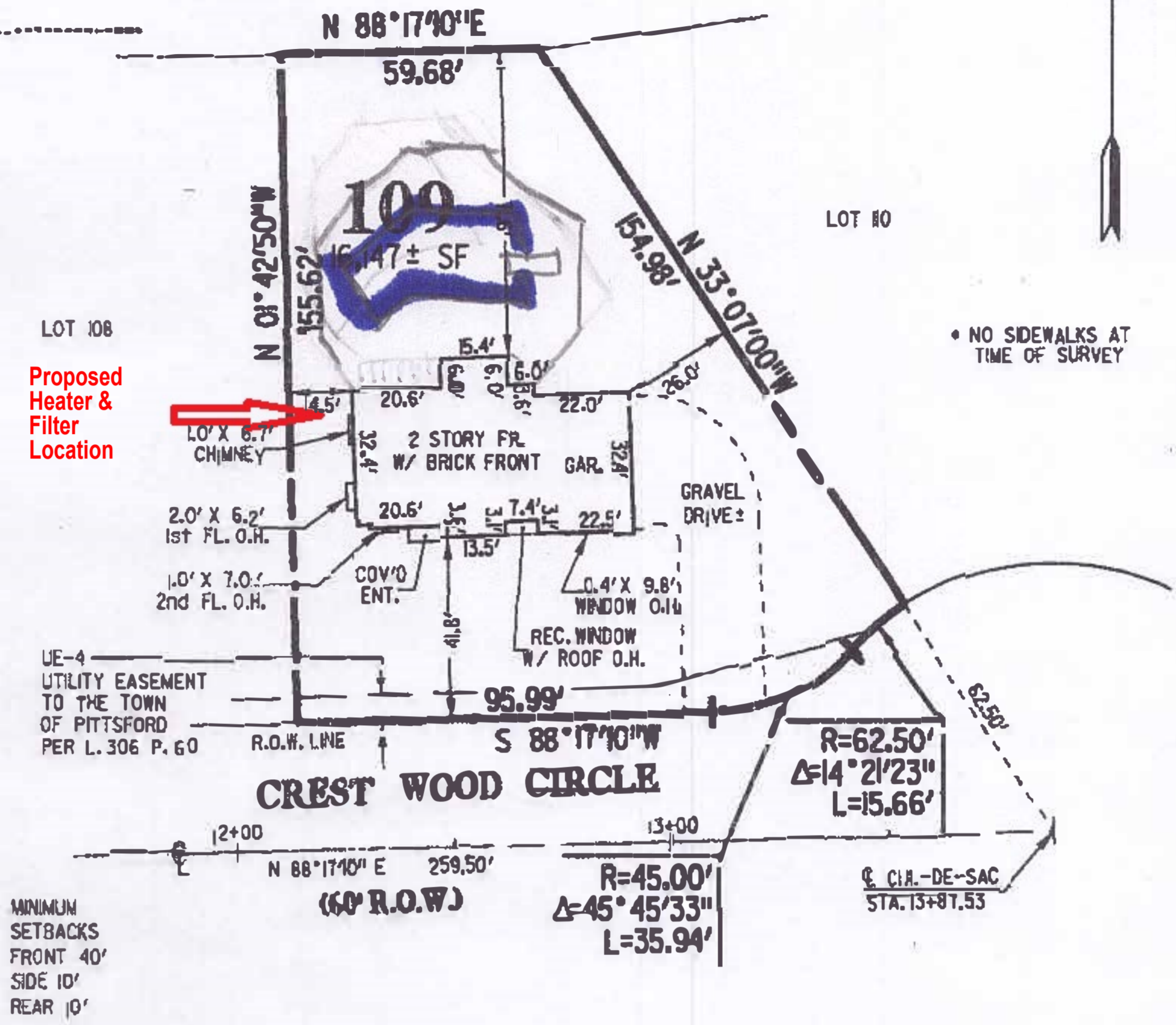
10/20/20
(Date)

INSTRUMENT SURVEY MAP

RECEIVED
JAN 31 2004

N/F
PARCEL 1111
LANDS TO BE DEEDED TO
THE TOWN OF PITTSFORD
PER L. 306 OF M.; P. 60

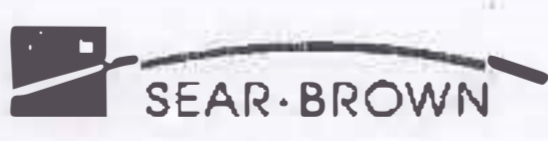
Received 10/20/2020
Town of Pittsford
Zoning Board of Appeals



WE: SEAR-BROWN CERTIFY THAT THIS MAP WAS PREPARED JANUARY 30, 2004 FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON NOVEMBER 18, 2003 AND USING AS REFERENCE A MAP ENTITLED "WREN FIELD SUBDIVISION (SECTION 6) SUBDIVISION PLAN," PREPARED BY THE SEAR-BROWN GROUP, LAST REVISED AUGUST 31, 2000 AND FILED IN THE MONROE COUNTY CLERK'S OFFICE IN LIBER 306 OF MAPS AT PAGE 60.

THIS MAP IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED ABSTRACT OF TITLE MAY SHOW.

BY: Roman Wilbert DATE: Jan. 30, 2004
ROMAN WILBERT II, N.Y.S.P.L.S. NO. 49988



85 Metro Park
Rochester, N.Y. 14623-2674
(585) 475-1440
Fax: (585) 272-1814
www.searbrown.com

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SEAR-BROWN
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

Roman Wilbert

SUBDIVISION WREN FIELD SEC. 6		
TOWNLOT 2	TOWNSHIP 12	RANGE 5
OWN-TOWN-UNLADG PITTSFORD	COUNTY MONROE	STATE N.Y.
CLIENT HEDGEWOOD HOMES CORP.		
DRAWN BY E. GALEY	SCALE 1"=40'	LOT NUMBER 109
PROJECT NUMBER 10063		



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

Our home, at the rear where we seek to install the equipment, is a three-story structure. At street level, it is only two stories. The property slopes down and to the left (as one looks at the house from the street). Any equipment placed at the rear left side will not be visible to anyone from the street level. In addition, our property line with our neighbor to the left is next to their garage, so it will not disturb their peace and quiet. The only other viable place to put it would be behind the pool, where it would be visible by multiple neighbors, impacting their view of the "forever wild" area behind our houses.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

We cannot place the equipment at the left rear of the house due to double walkout doors to our basement. We cannot place it on the center rear or right side of the house at the rear because there are windows in the center of the house (to the basement bedroom) and the right side is a higher elevation than the pool and would cause significantly increased cost to install and run. The equipment cannot function as effectively at a higher elevation.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested variance is minimal because it is only 2-4 feet away from the rear wall of the building, where we could have placed it without a variance had there been no doors to our basement in that location.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The equipment will not be an eyesore to anyone at this location. It is next to our neighbor's garage and, due to the grade of the property it is not visible from the street. It also will not impact any neighbor's view of the "forever wild" area.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

I concede that this difficulty is self-created inasmuch as we would not need a variance if we did not want to install a pool. We ask, however, that the Board consider the mitigating factors listed above and further, the fact that we did not construct our own home and could not have foreseen this issue until we began investigating the possibility of installing a pool.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Iacobucci Pool Equipment Variance

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

Jennifer Iacobucci (attorney for the State of New York) 28 Crest Wood Circle, Pittsford NY 14534

Jennifer Powers Iacobucci
(Signature of Applicant)

10/20/20
(Dated)

28 Crest Wood Circle
(Street Address)

Pittsford NY 14534
(City/Town, State, Zip Code)

Zoning Board of Appeals Referral Form Information

Property Address:

305 West Bloomfield Road PITTSFORD, NY 14534

Property Owner:

Krenzer, E. Michael
305 West Bloomfield Rd
Pittsford, NY 14534

Applicant or Agent:

Krenzer, E. Michael
305 West Bloomfield Rd
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:	Proposed Conditions:	Resulting in the Following Variance:
Right Lot Line: 0	Right Lot Line: 0	Right Lot Line: 0.0
Left Lot Line: 0	Left Lot Line: 0	Left Lot Line: 0.0
Front Setback: 70	Front Setback: 36	Front Setback: 34.0
Rear Setback: 0	Rear Setback: 0	Rear Setback: 0.0
Height: 0	Height: 0	Height: 0.0
Size: 0	Size: 0	Size: 0.0

Code Section(s): 185-17 (B) (1)

Description: Applicant is requesting relief from Town Code §185-17 (B) (1) to allow the construction of an addition forward of the building line.

Note: Drawing and site map received on 12/08/2020

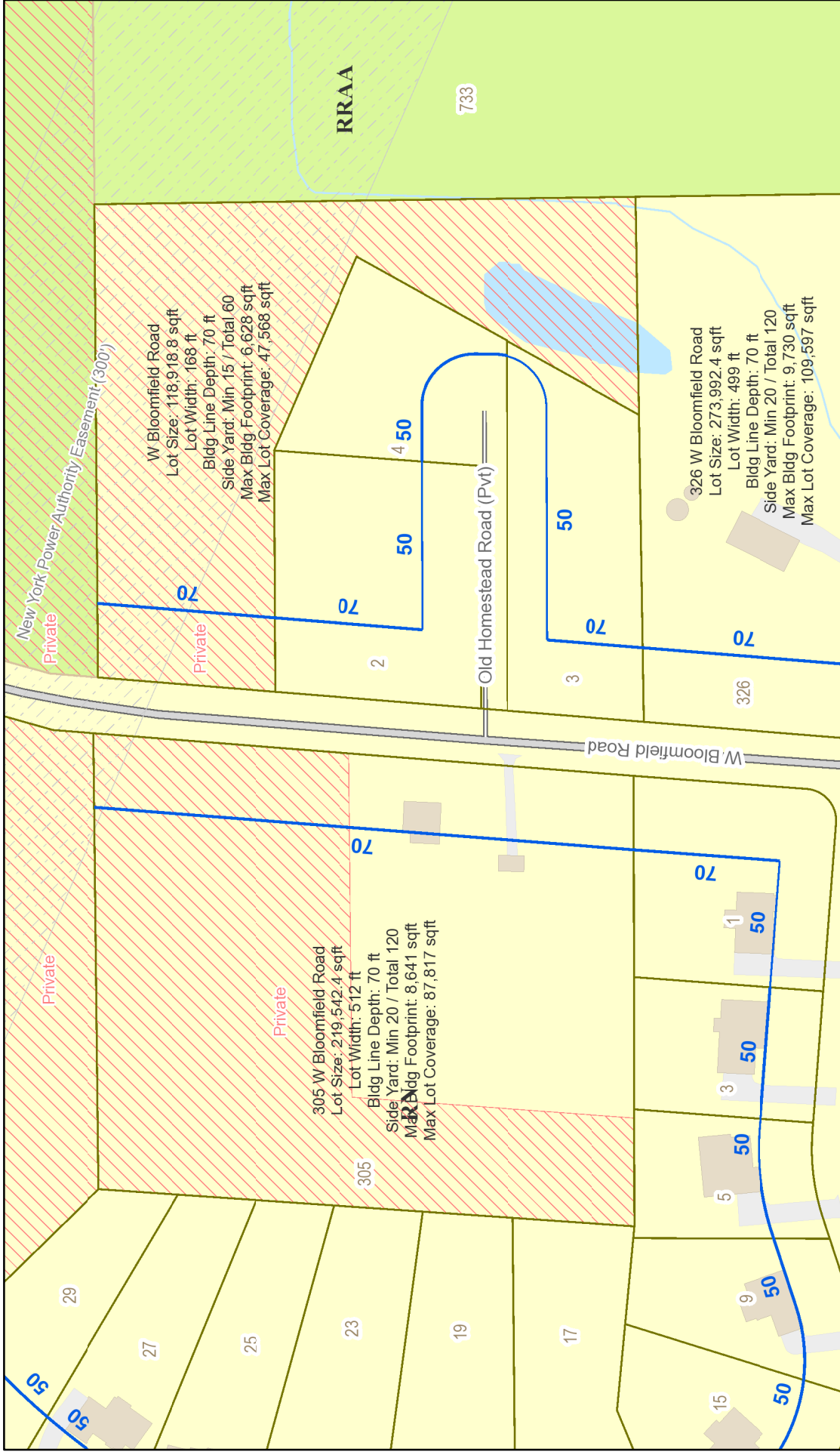
December 10, 2020



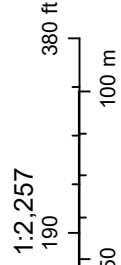
Date

Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning



Printed December 9, 2020



Town of Pittsford GIS

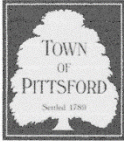
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Print Form

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TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: _____ Hearing Date: _____

Applicant: E. Michael Krenzer

Address: 305 W. Bloomfield Rd Pittsford NY 14534

Phone: 585-315-0169 E-Mail: mike.krenzer@gmail.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 305 W. Bloomfield Rd Current Zoning: Rural-Residential

Tax Map Number: 264689 192.01-1-29.1¹⁴⁵³⁴

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

An addition to the existing house consisting of a full basement, first floor with a square footage of 1168 sq. ft. (mudroom, 2 bedrooms, great room and sun room, a second floor unfinished cold storage area.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

E. Michael Krenzer

(Owner or Applicant Signature)

11-15-2020

(Date)

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NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The house and property has been in a deteriorating condition. The addition will allow the property to better conform to the surrounding neighborhood.

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Form No. ZV-1 (Rev. 10/19/17)

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

The house sits 40' from the road. The original house is 200 years old and doesn't allow for full size bathrooms, and larger living space.

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TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

It is substantial but there are no options for the placement of how we want the addition.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

There is 5 acres of land allowing for ample space for the addition.

● **NOTE:** Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;

5. Is the alleged difficulty self-created?

No, the original house is located less than the setback.

Print Form

Reset Form

STATE OF NEW YORK Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

E. Michael Krenzer

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment


variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)


(Signature of Applicant)

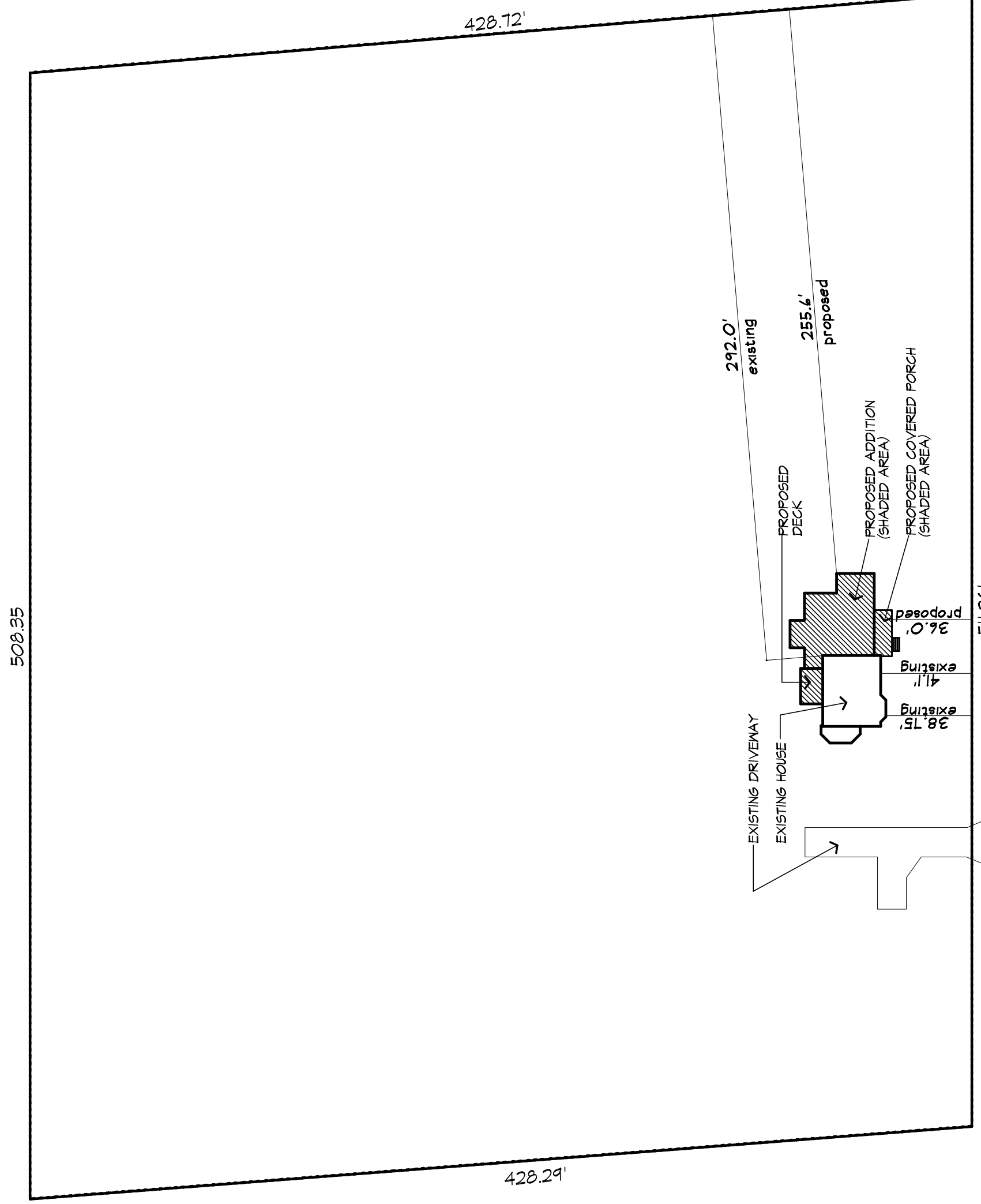
11-15-2020
(Dated)

305 W. Bloomfield Rd
(Street Address)

Pittsford, NY 14534
(City/Town, State, Zip Code)

GENERAL NOTES:

1. THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL ZONING AND BUILDING CODES OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ENERGY CONSERVATION CODES FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
4. ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
5. BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND / GRAVEL FILL FOR COMPACTATION AS NEEEDED.
6. MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
3000 PSI FLOOR SLABS
3500 PSI GARAGE
7. CONCRETE BLOCK SHALL CONFORM TO ASTM C90 (N1), WALL REINFORCING - ASTM A62, ALL MASONRY CONFORM TO ASTM C210, TYPE S - 1 PART PORTLAND CEMENT; 1/4" PART LINE, 3 PARTS SAND.
8. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP PRIME PAINT TYP-50, TT-F-51C, TYP-55 FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
9. MINIMUM FIBER STRESS IN BRIDGING (FB) FOR ALL FRAMING LUMBERS TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
10. CONTRACTOR SHALL PAY STRICT ADHERENCE TO MEGALOMAN MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
11. WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
12. PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXPI, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
13. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSBOSALTS OR NOLMAN SALTS.
14. ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED. WEATHER-STRIPPED OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF THE BUILDING ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
15. CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
17. THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL, AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS. THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS/1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
18. ALL WORK MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
19. WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
20. IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
21. ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
22. EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS DEEMED EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND RESPECT ANY OR ALL BIDS.
23. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR AS BUILT DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECTS CONTROL OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
24. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE OBTAINED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
25. THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
26. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
27. THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
28. ANY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECTS KEY SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
29. BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
30. SMOKE-DETECTING ALARMS SHALL BE INSTALLED IN COMPLIANCE WITH SECTION RB19.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
31. GARAGE VULNERABILITY TO FIRE SHALL BE CONSIDERED IN COMPLIANCE WITH SECTION RB19.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
32. PROVIDE A MIN. 1/2" FIRE SEPARATION PER SECTION RB02.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DENISING RESIDENCE FROM AN ATTACHED GARAGE SHALL BE CONSIDERED AS A FIRE SEPARATION.
33. ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN

SCALE: 1" = 50'-0"

Received 12/8/2020
Town of Pittsford
Zoning Board

PROPOSED ADDITION TO RESIDENCE

305 W. BLOOMFIELD RD.

PITTSFORD, NY 14534

DRAWING INDEX

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2	ELEVATIONS 1 - proposed
3	ELEVATIONS 2 - proposed
4	BASEMENT AND FOUNDATION PLAN - proposed
5	FIRST FLOOR PLAN - proposed
6	SECOND FLOOR PLAN - proposed
7	ROOF PLAN - proposed
8	BUILDING SECTIONS - proposed
9	TYPICAL NOTES
10	EXISTING ELEVATIONS - with removals shown
11	EXISTING FLOOR PLANS - with removals shown

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PREScriptive REQUIREMENTS
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	4.1	4.1
3. WOOD FRAME WALL R-VALUE	20 OR 19.5	HIGH DENSITY 2" 2/BAND .1575
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 14 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1024.1
2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL SURFACE TO PREVENT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1024.4
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1023.1
4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READY-TO-OPERATE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE PER SECTION 1023.4
5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1024.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5) FEATHER STRIPPED AND LAUGHED PER SECTION 1023.2.5
6. ATTIC ACCESS SHALL BE INSTALLED WITH THE SAME R-VALUE AS THE ATTIC. FEATHER STRIPPED AND LAUGHED PER SECTION 1023.2.5
7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1023.2.1
8. MECHANICAL VENTILATION PER SECTION 1026.6 TO BE MET WITH MECHANICAL VENTILATION WITH ENERGY RECOVERY OR MAKE-UP AIR CONTROLS PER SECTION 1026.7.3 REQUIREMENT.
9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1026.6.1.
10. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1023.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

1. GROUND SNOW LOAD - 40 PSF R50.2 (B)
2. WIND SPEED - 115 MPH EXPOSURE B R50.2 (1)
3. SEISMIC DESIGN CATEGORY - A R50.2 (2)
4. WEATHERING - SEVERE
5. FROST LINE DEPTH - 40"
6. TERMITE DAMAGE - NONE TO SLIGHT
7. DECAY DAMAGE - NONE TO SLIGHT
8. WINTER DESIGN TEMPERATURE - 1
9. ICE SHIELD UNDERLAYMENT REQUIRED - YES
10. FLOOD HAZARD - FIRM - 1942
11. ROOF TIE DOWN REQUIREMENTS R502.1 (1)



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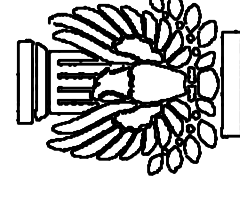
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OF 11 SHEETS

DATE: DECEMBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 20190463

SHEET:

CHECKED: PM

DRAWN: JTL/PM

TITLE PAGE

DRAWING:

CLIENT:

LESH VANDORAND AND MIKE KREUZER

PROJECT:

PROPOSED ADDITION TO RESIDENCE 305 W BLOOMFIELD RD PITTSFORD, NY 14534



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PROJECT:
PROPOSED ADDITION TO RESIDENCE
305 N BLOCKFIELD RD
PITTSFORD, NY 14534

CLIENT:
LEIGH VANOSTRAND AND
MIKE KRENZER

DRAWING:
ELEVATIONS - PROPOSED

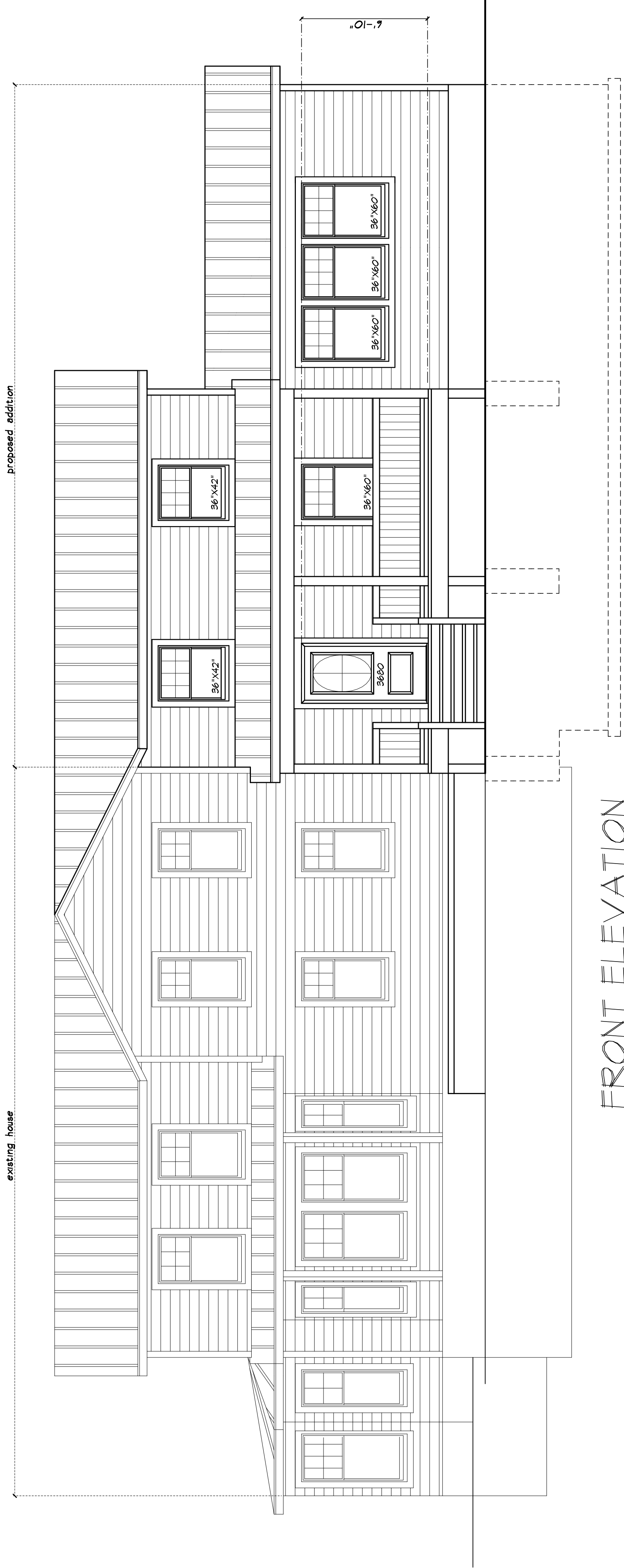
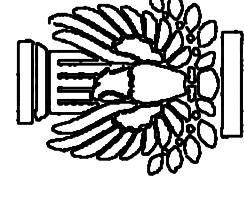
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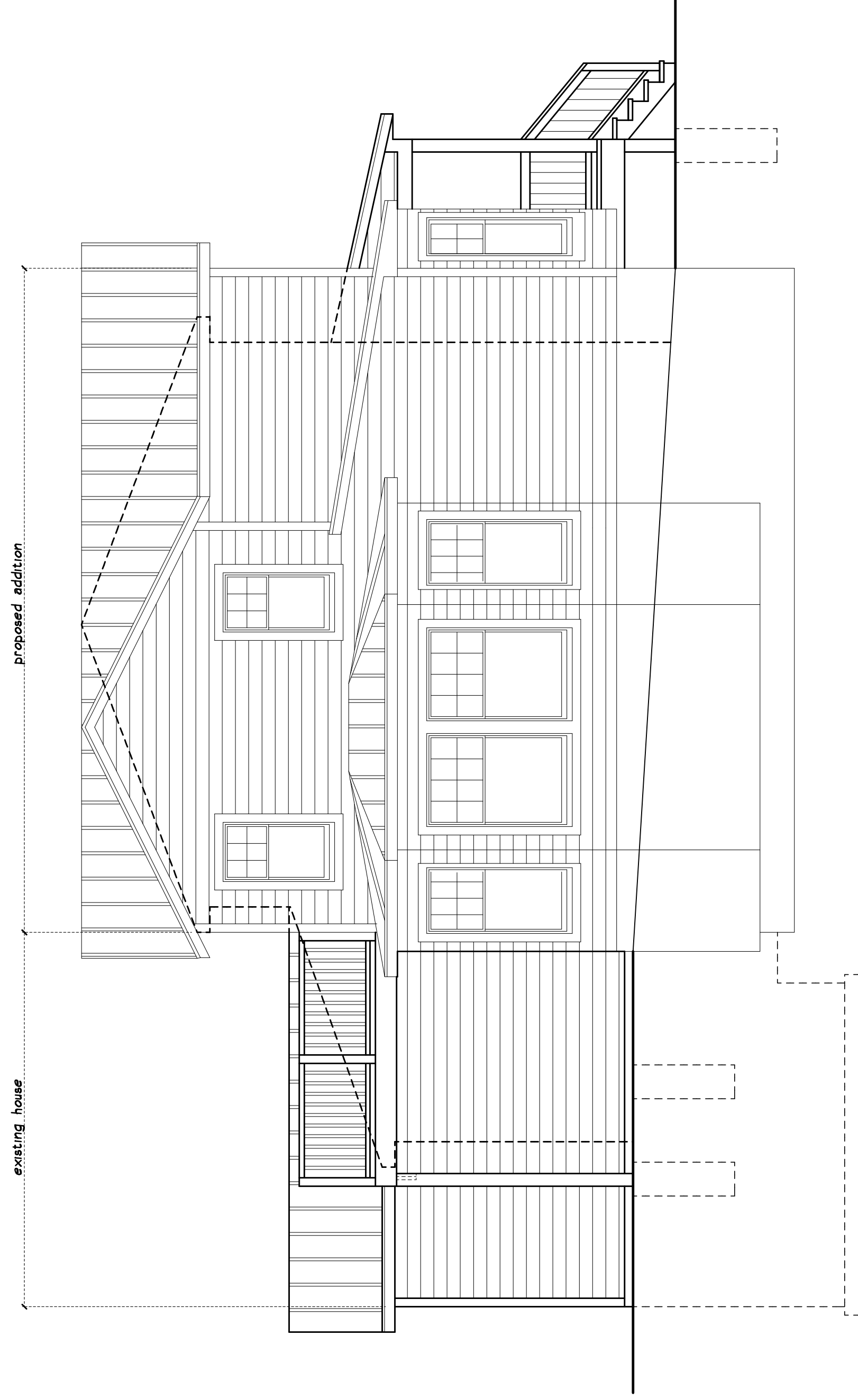
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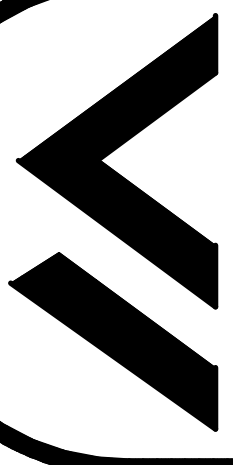


FRONT ELEVATION

ADDITION AREA: 1168 SQ FT
1620 SQ FT EXISTING
2788 SQ FT TOTAL



LEFT SIDE ELEVATION



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ARCHITECTS**

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PROJECT:
PROPOSED ADDITION TO RESIDENCE
305 N BLOCKFIELD RD
PITTSFORD, NY 14534

CLIENT:
LEIGH VANOSTRAND AND
MIKE KRENZER

DRAWING:
ELEVATIONS - PROPOSED

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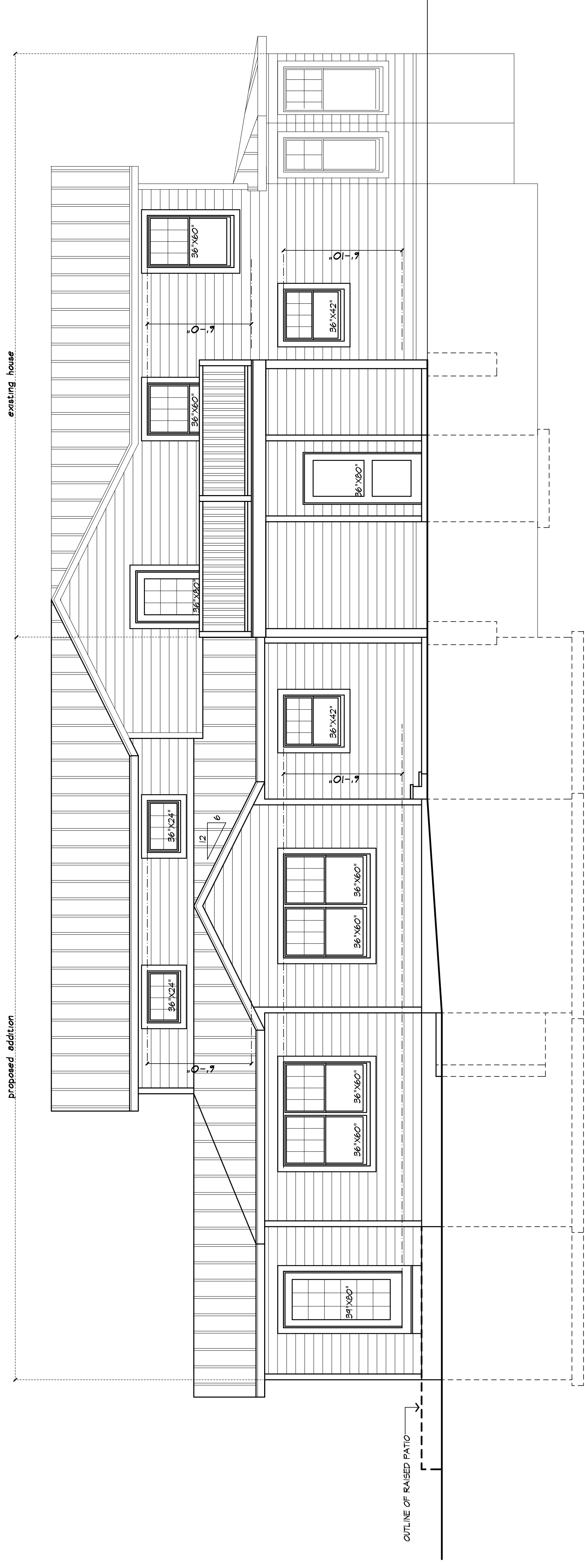
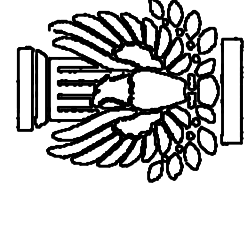
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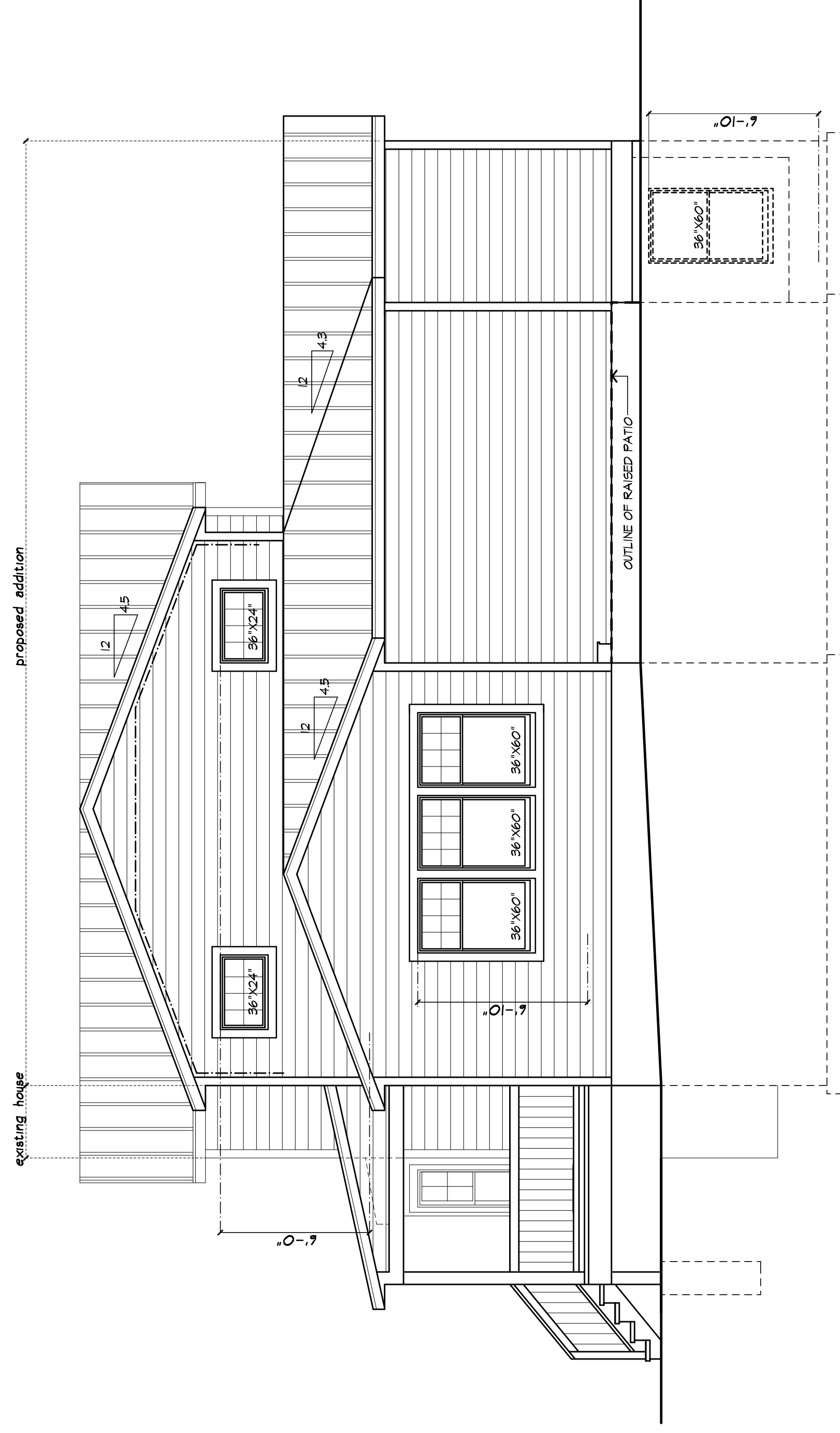
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OF 11 SHEETS



REAR ELEVATION



RIGHT SIDE ELEVATION

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1506.2 DUCT LENGTH
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTH DETERMINED IN SECTION M 1506.2. EXHAUST DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE MANUFACTURER'S DESIGN CRITERIA ARE LIMITED BY THE MANUFACTURER'S DESIGN CRITERIA. EXHAUST DUCTS SHALL BE INSTALLED OR APPROVED THROUGH TRAYS USING A LEAD BOLT, LEAD BRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1506.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT					SMOOTH WALL DUCT				
	50	100	150	200	300	50	100	150	200	300
CMV #10 (24" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #12 (30" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #14 (36" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #16 (42" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #18 (48" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #20 (54" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #24 (66" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #30 (81" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #36 (96" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #42 (108" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #48 (126" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #54 (150" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #60 (180" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #72 (216" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #84 (252" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #96 (306" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #108 (360" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #120 (420" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #144 (504" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #168 (603" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #192 (720" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #216 (840" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #240 (960" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #270 (1134" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #300 (1320" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #360 (1584" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #420 (1944" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #480 (2304" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #540 (2700" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #600 (3060" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #660 (3420" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #720 (3780" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #780 (4140" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #840 (4500" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #900 (4860" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #960 (5220" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1020 (5580" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1080 (5940" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1140 (6300" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1200 (6660" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1260 (7020" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1320 (7380" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1380 (7740" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1440 (8100" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1500 (8460" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1560 (8820" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1620 (9180" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1680 (9540" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1740 (9900" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1800 (10260" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1860 (10620" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1920 (10980" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #1980 (11340" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2040 (11700" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2100 (12060" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2160 (12420" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2220 (12780" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2280 (13140" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2340 (13500" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2400 (13860" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2460 (14220" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2520 (14580" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2580 (14940" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2640 (15300" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2700 (15660" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2760 (16020" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2820 (16380" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2880 (16740" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #2940 (17100" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3000 (17460" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3060 (17820" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3120 (18180" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3180 (18540" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3240 (18900" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3300 (19260" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3360 (19620" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3420 (19980" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3480 (20340" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3540 (20700" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3600 (21060" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3660 (21420" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3720 (21780" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3780 (22140" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3840 (22500" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3900 (22860" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #3960 (23220" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4020 (23580" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4080 (23940" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4140 (24300" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4200 (24660" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4260 (25020" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4320 (25380" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4380 (25740" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4440 (26100" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4500 (26460" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4560 (26820" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4620 (27180" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4680 (27540" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4740 (27900" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4800 (28260" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4860 (28620" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4920 (28980" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #4980 (29340" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5040 (29700" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5100 (30060" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5160 (30420" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5220 (30780" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5280 (31140" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5340 (31500" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5400 (31860" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5460 (32220" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5520 (32580" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5580 (32940" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5640 (33300" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5700 (33660" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5760 (34020" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5820 (34380" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5880 (34740" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #5940 (35100" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6000 (35460" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6060 (35820" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6120 (36180" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6180 (36540" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6240 (36900" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6300 (37260" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6360 (37620" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6420 (37980" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6480 (38340" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6540 (38700" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6600 (39060" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6660 (39420" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6720 (39780" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6780 (40140" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6840 (40500" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6900 (40860" DIA.)	X	X	X	X	X	X	X	X	X	X
CMV #6960 (41220" DIA.)	X									



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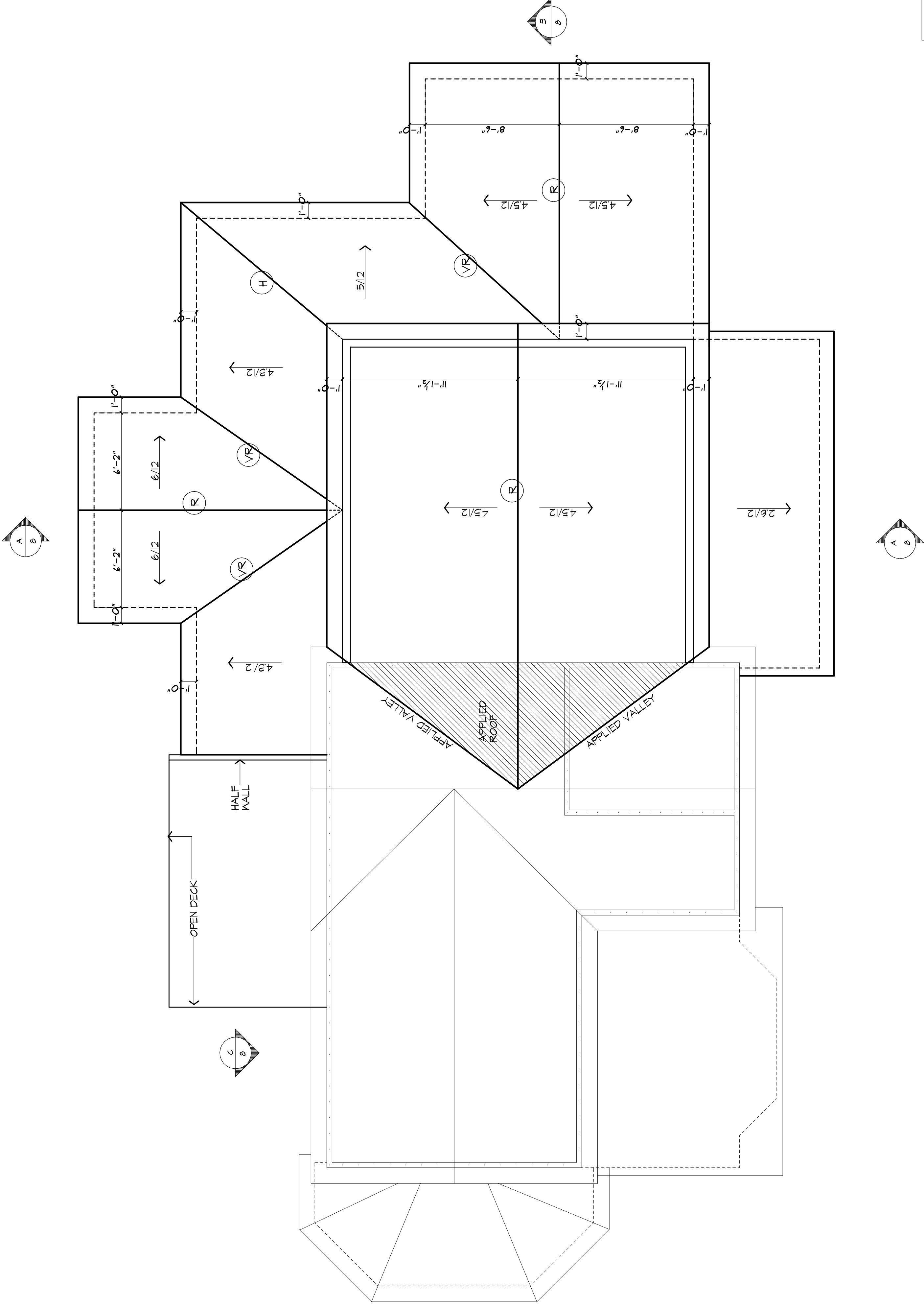
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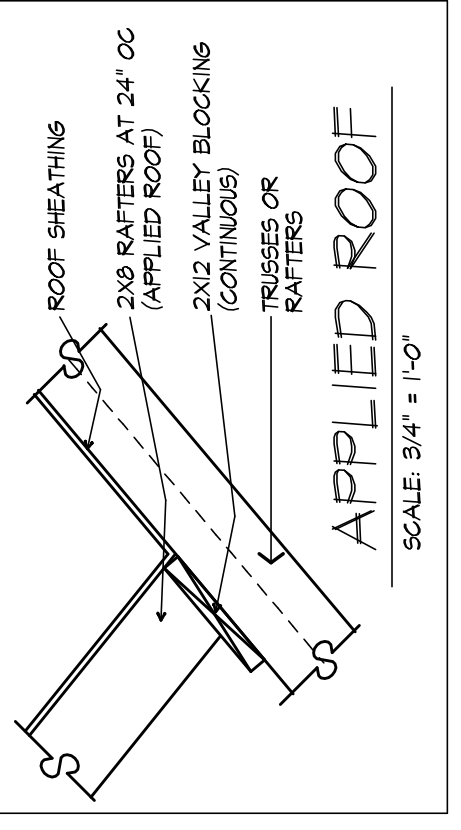
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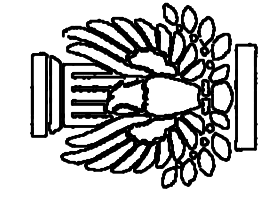
ROOF PLAN

ROOF LEGEND	
* 1/2 →	2X6 RAFTERS AT 16" O.C. N PITCH NOTED
(R)	2X12 RIDGE BOARD
(H)	2X12 HIP RAFTER
(VR)	2X12 VALLEY RAFTER
(V)	APPLIED VALLEY - SEE DETAIL THIS SHEET

*NOTE:
PROVIDE ICE PROTECTION UNDERLAYMENT UNDER RAFTERS AT 24" O.C. INSIDE (RESIDENTIAL CODE OF NEW YORK)



7
OF 11 SHEETS



PROJECT: PROPOSED ADDITION TO RESIDENCE
305 N BLOCKFIELD RD
PITTSFORD, NY 14534

CLIENT: LEIGH VANOSTRAND AND
MIKE KRENZER

DRAWING: ROOF PLAN - PROPOSED

DRAWN: JTL/PH
CHECKED: PM

DATE: DECEMBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 20190463

SHEET:



**MORABITO
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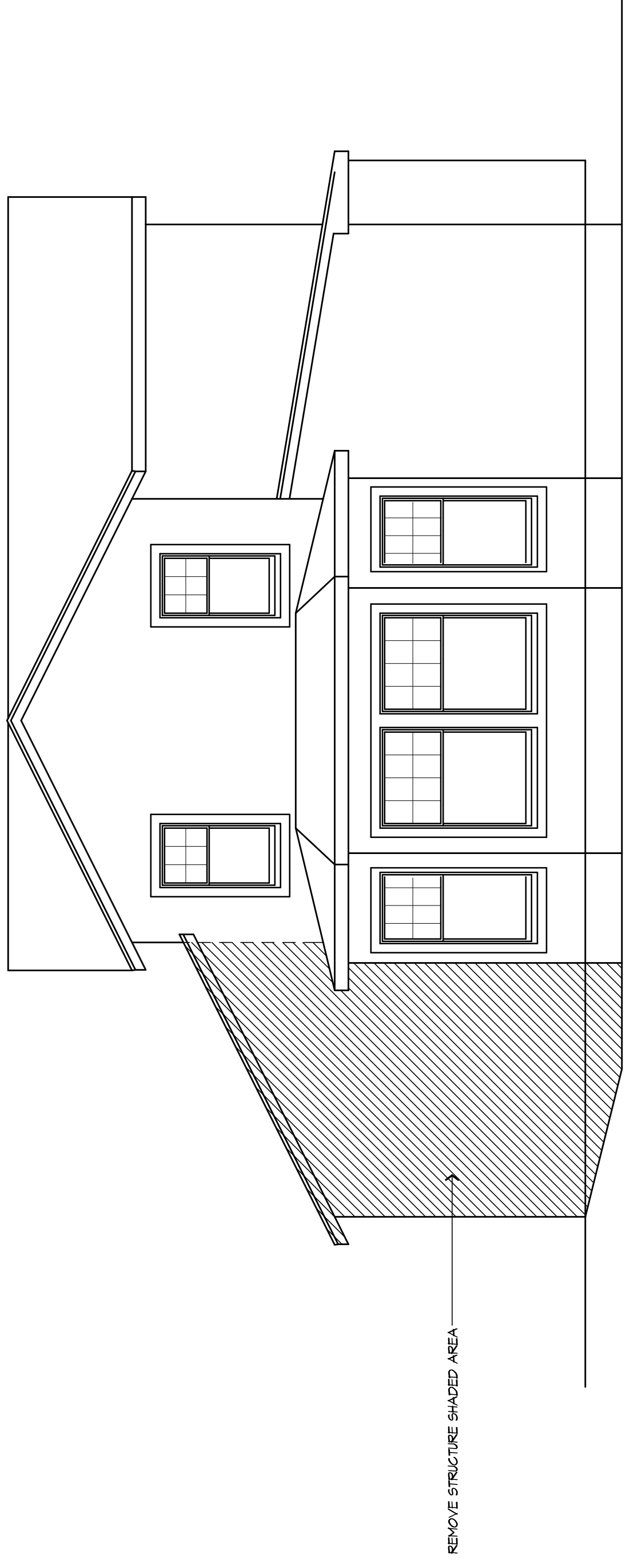
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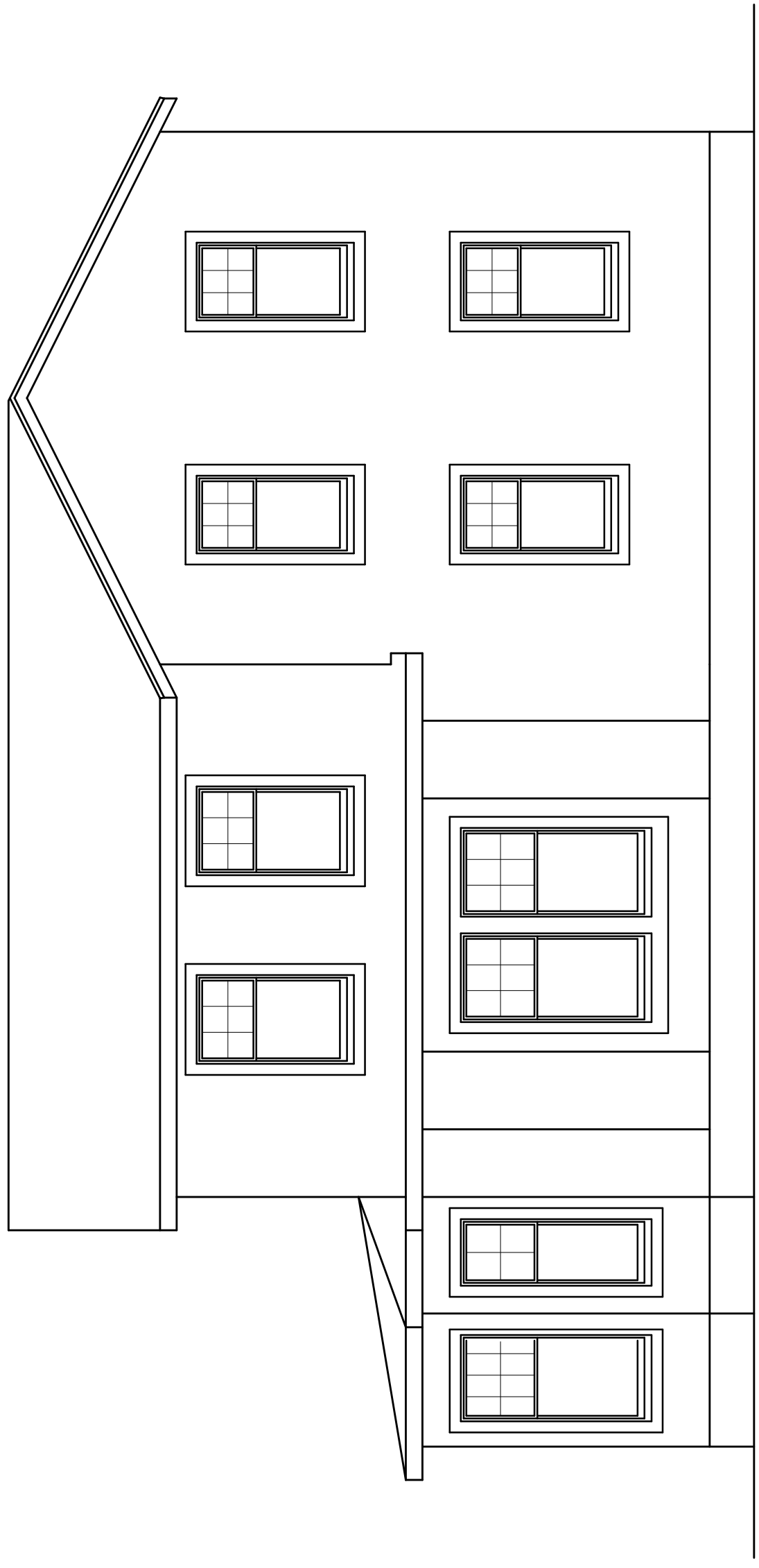
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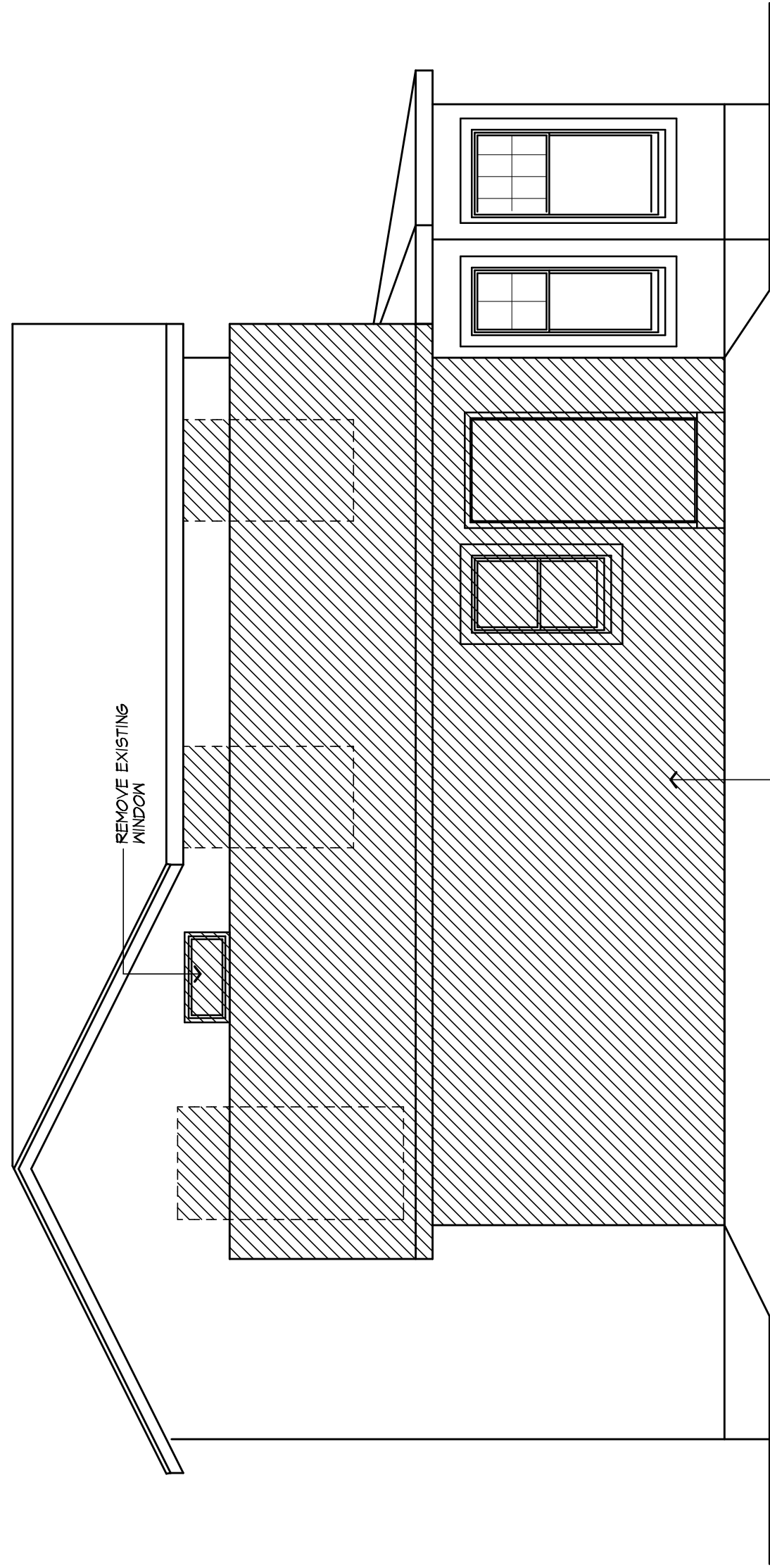
LEFT SIDE ELEVATION

EXISTING WITH REMOVALS SHOWN



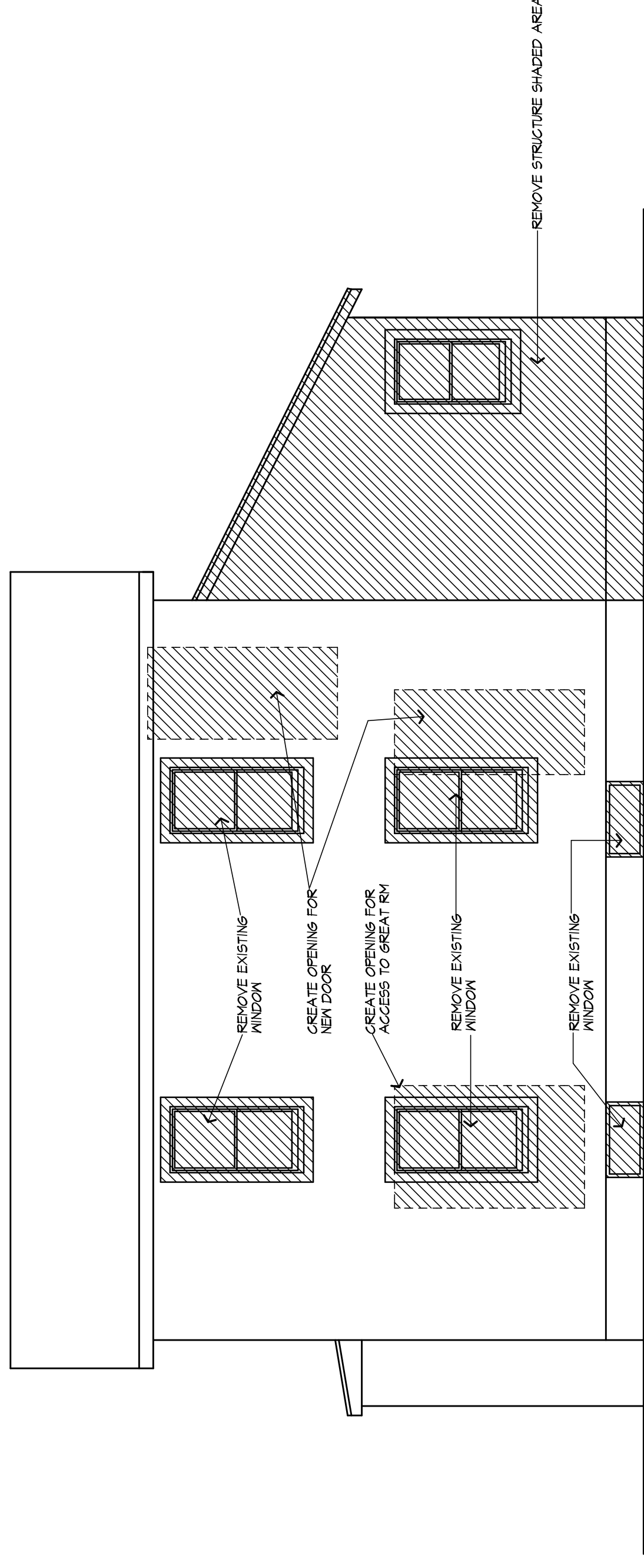
FRONT ELEVATION

EXISTING WITH REMOVALS SHOWN



REAR ELEVATION

EXISTING WITH REMOVALS SHOWN



RIGHT SIDE ELEVATION

EXISTING WITH REMOVALS SHOWN

PROJECT:
PROPOSED ADDITION TO RESIDENCE
305 N BLOCKFIELD RD
PITTSFORD, NY 14534

CLIENT:
LEIGH VANOSTRAND AND
MIKE KREUZER

DRAWING:
EXISTING ELEVATIONS
WITH REMOVALS SHOWN

DRAWN: JTL/PH
CHECKED: PH

DATE: DECEMBER 2020

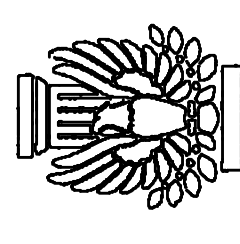
SCALE: 1/4"=1'-0"

JOB NO.: 20190493

SHEET:

10

OF 11 SHEETS





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PROJECT:
PROPOSED ADDITION TO RESIDENCE
325 N BLOOMFIELD RD
PITTSFORD, NY 14534

CLIENT:
LEIGH VANOSTRAND AND
MIKE KREUZER

DRAWING:
EXISTING FLOOR PLANS
WITH REMOVALS SHOWN

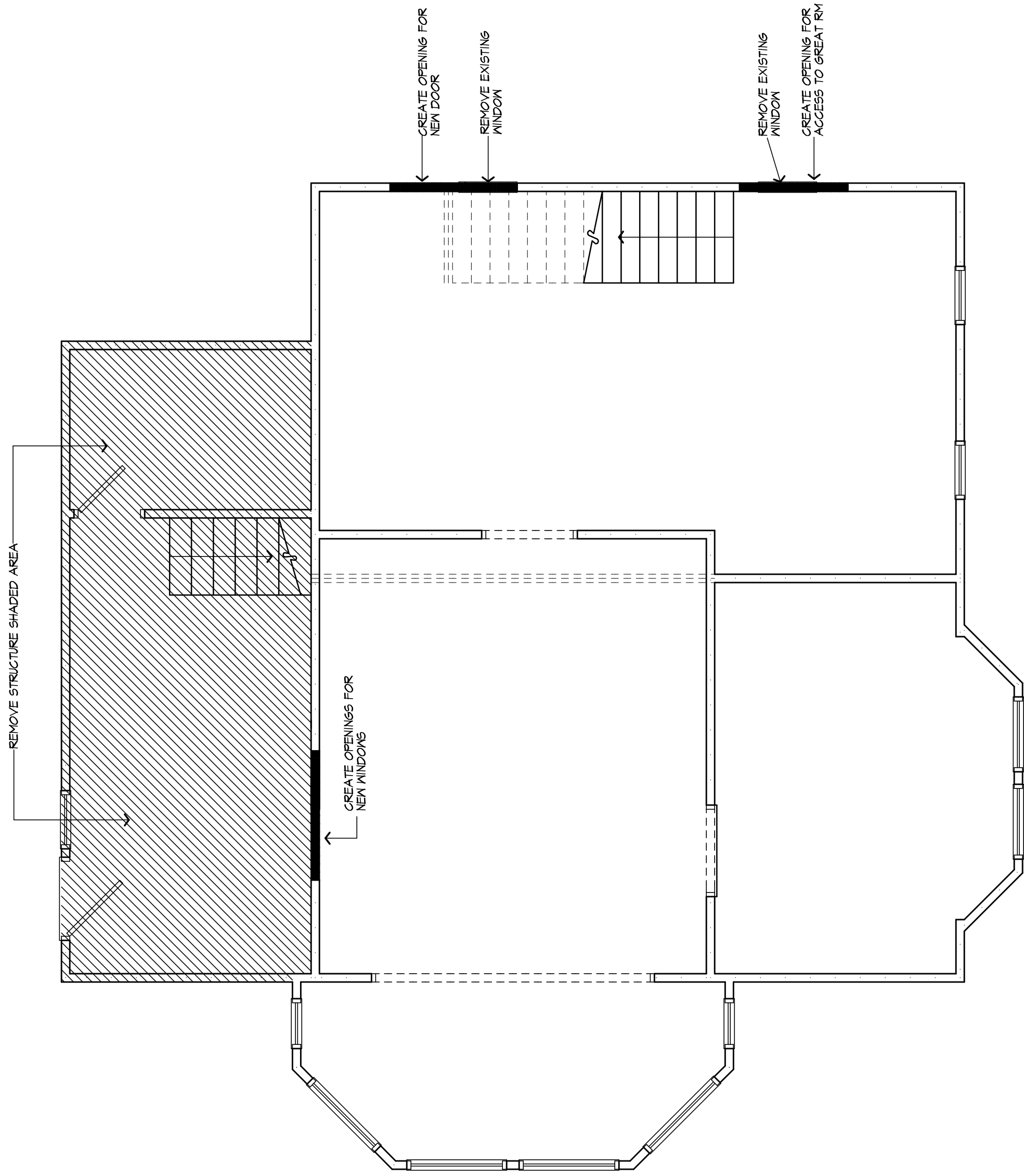
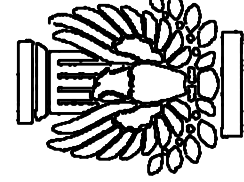
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DATE: DECEMBER 2020
SCALE: 1/4"=1'-0"

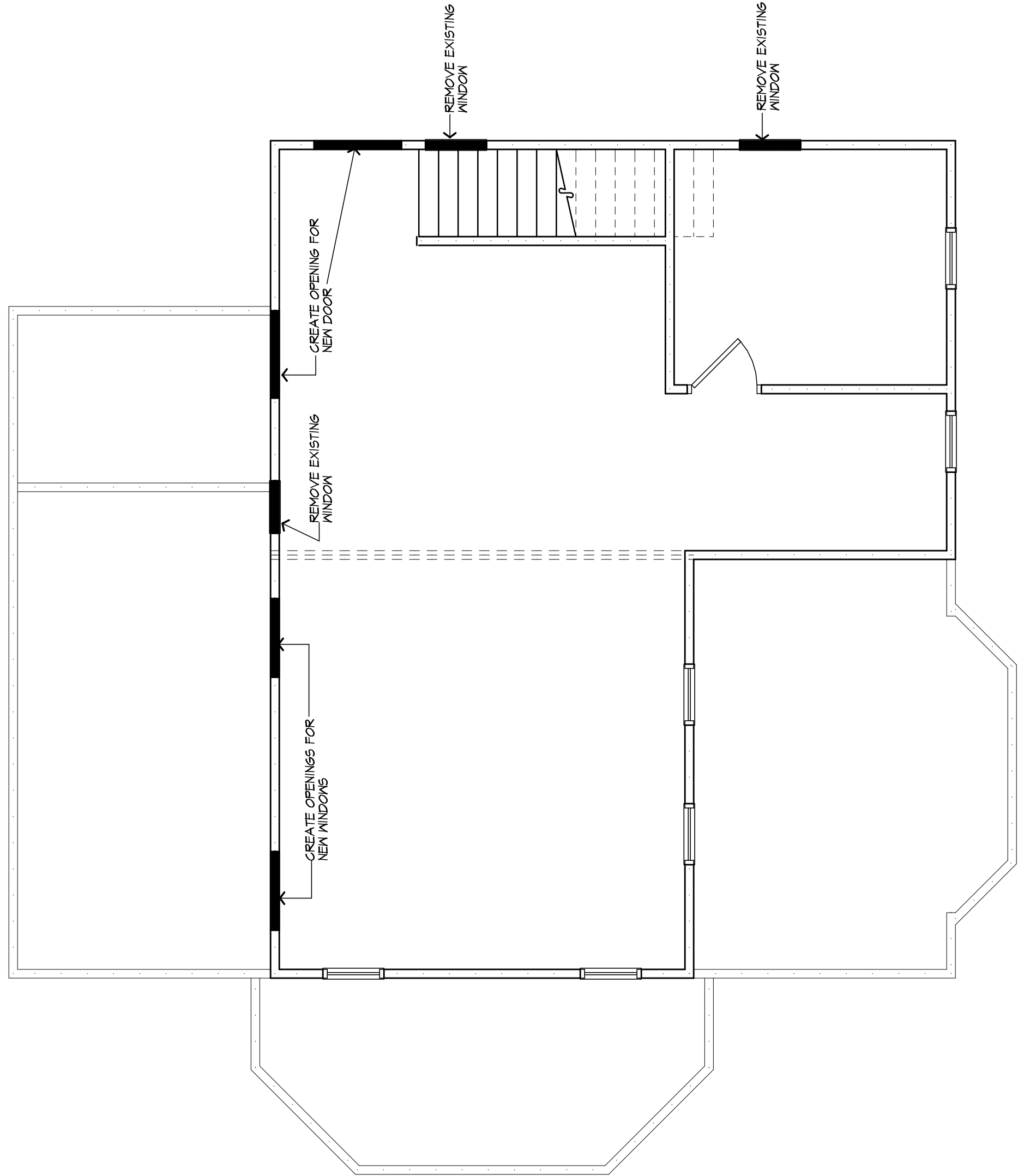
JOB NO.: 20190463
SHEET:

11

OF 11 SHEETS



FIRST FLOOR PLAN
EXISTING WITH REMOVALS SHOWN



SECOND FLOOR PLAN
EXISTING WITH REMOVALS SHOWN

Zoning Board of Appeals Referral Form Information

Property Address:

331 Fairport Road EAST ROCHESTER, NY 14445

Property Owner:

Houlihan, Peter
331 Fairport Rd
East Rochester, NY 14445

Applicant or Agent:

Houlihan, Peter
331 Fairport Rd
East Rochester, NY 14445

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	20	Left Lot Line:	13	Left Lot Line:	7.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section(s): 185-17 (E)

Description: Applicant is requesting relief from Town Code §185 -17 (E) for the construction of a garage addition encroaching on the side setback of the property. The Garage is proposed to have a 13 foot setback where code allows 20 feet.

Note: On 2/06/1998 a building permit was issued for the construction of a 2084 Sq. Ft. addition which included 1st and 2nd floor living area, a deck, porch and garage. The garage portion of the garage was never completed. Only the foundation was installed.

The permit has since expired and the zoning for this property was changed in 2013. The current zoning allows for a 20 foot setback where previously the garage was in compliance with code. Since a new building permit must be issued the applicant needs to first gain approval from the Zoning Board of Appeals.

Drawings and application received on 11/13/2020

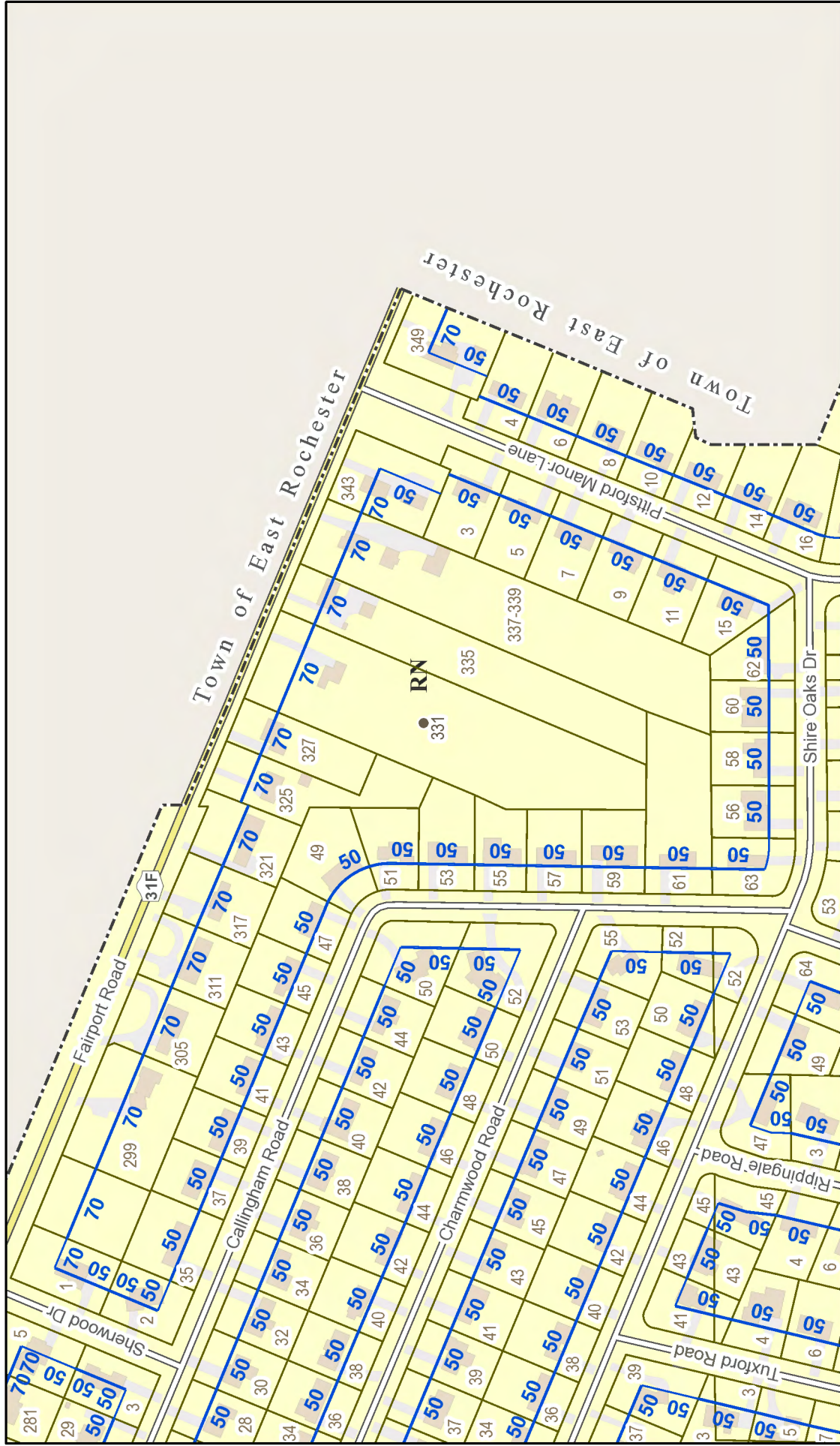
December 08, 2020



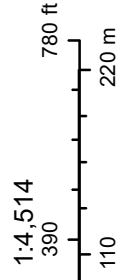
Date

Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning

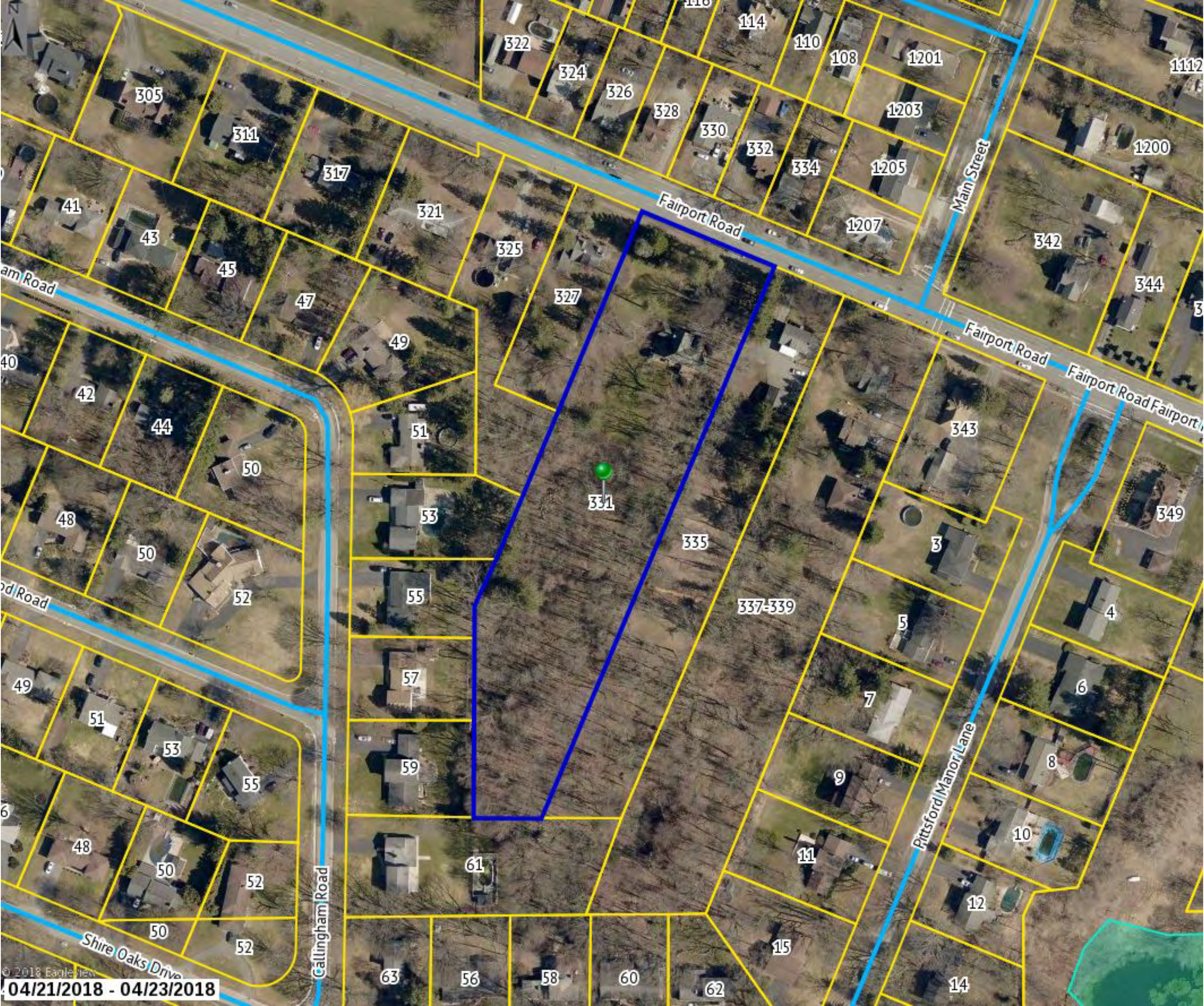


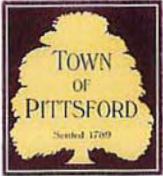
Printed December 8, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: 11/12/2020 Hearing Date: December

Applicant: Peter Houlihan

Address: 331 Fairport Rd., E Rochester, NY 14445

Phone: 738-4344 E-Mail: lois.houlihan@yahoo.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: _____ Current Zoning: _____

Tax Map Number: _____

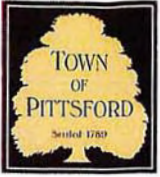
Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

We want to build a garage attached to our house. The foundation was built, approved and inspected in 1997 by Bill Frohm and Jim Koster. Since then, the setback requirements have changed. Our neighbor is agreeable to this construction.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Peter C Houlihan Lois Houlihan 11/12/2020
(Owner or Applicant Signature) (Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

~~If the applicant is not~~ the owner of the subject property, this form must be completed and signed by the owner.

I, Peter and Lois Haulihan, the owner of the property located at:
331 Fairport Rd. Pittsford 14445
(Street) (Town) (Zip)

Tax Parcel # _____ do hereby authorize
_____ to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of _____

(Signature of Owner)

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The garage foundation has been built, approved and inspected in 1997. Finishing building the garage will improve the appearance and complete our house

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Foundation is already there

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The setback rules have changed since 1997.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

There is only a small difference

- **NOTE:** Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;

5. Is the alleged difficulty self-created?

No. Zoning laws have changed

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

331 Fairport Road Garage
(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

Peter G. Houlahan
(Signature of Applicant)

11/11/2020
(Dated)

331 Fairport Road
(Street Address)

E. Rochester NY 14445
(City/Town, State, Zip/Code)

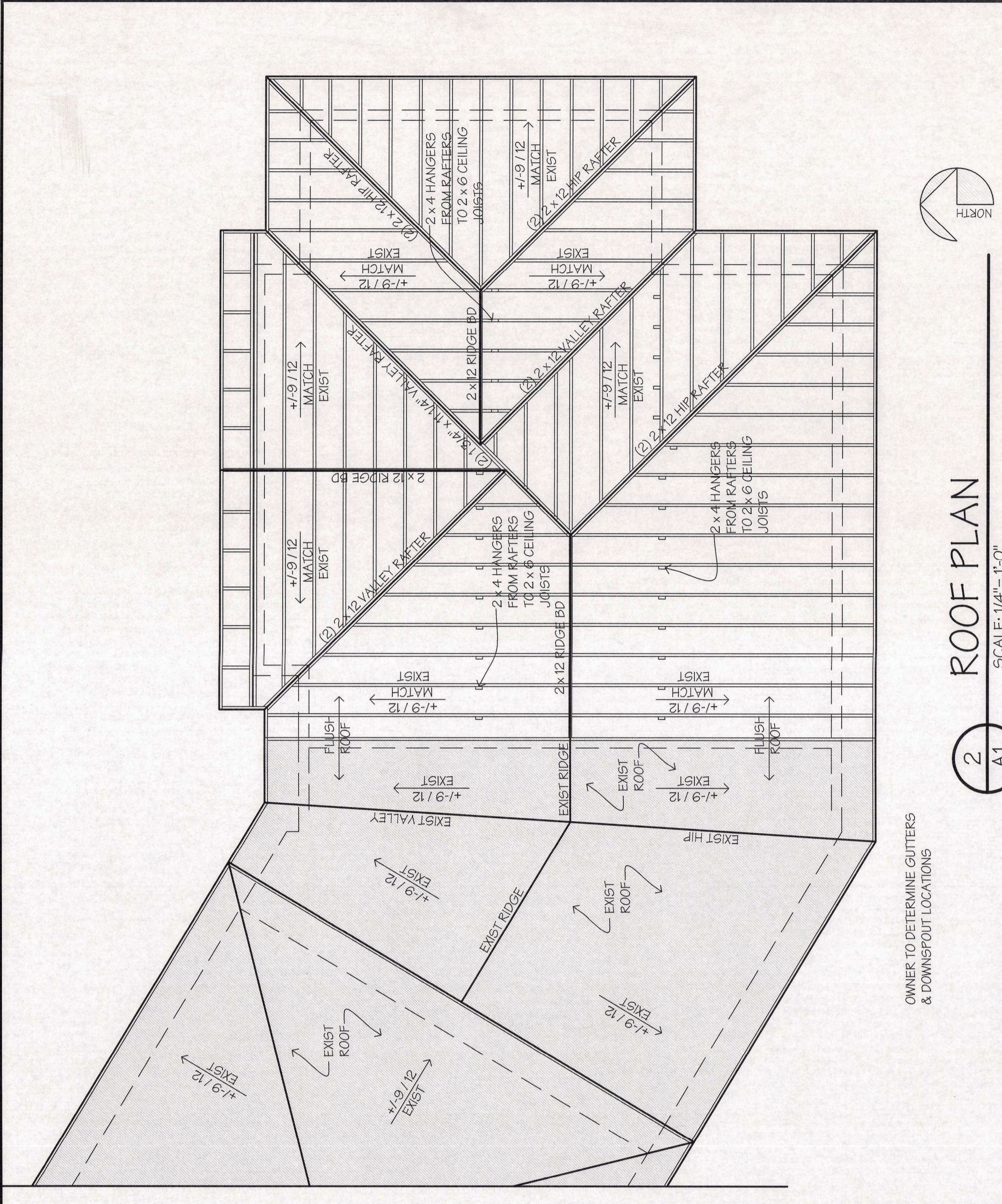
TIMOTHY N. ZIGAROWICZ, AIA - ARCHITECT
 10 SHENANDOAH EAST, SPENCERPORT, NY 14559
 PHONE: 585.747.5525
 MR. & MRS. PETER HOULIHAN
 TO EXISTING RESIDENCE
 GARAGE ADDITION



REV.	DESCRIPTION	BY	DATE

FLOOR PLAN, ROOF PLAN, SITE PLANS & MISC NOTES
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

PROJECT NO.: HOULIHAN
 DRAWN BY: TNZ
 ISSUE DATE: 11-4-2020
 SHEET: A1



GENERAL NOTES:

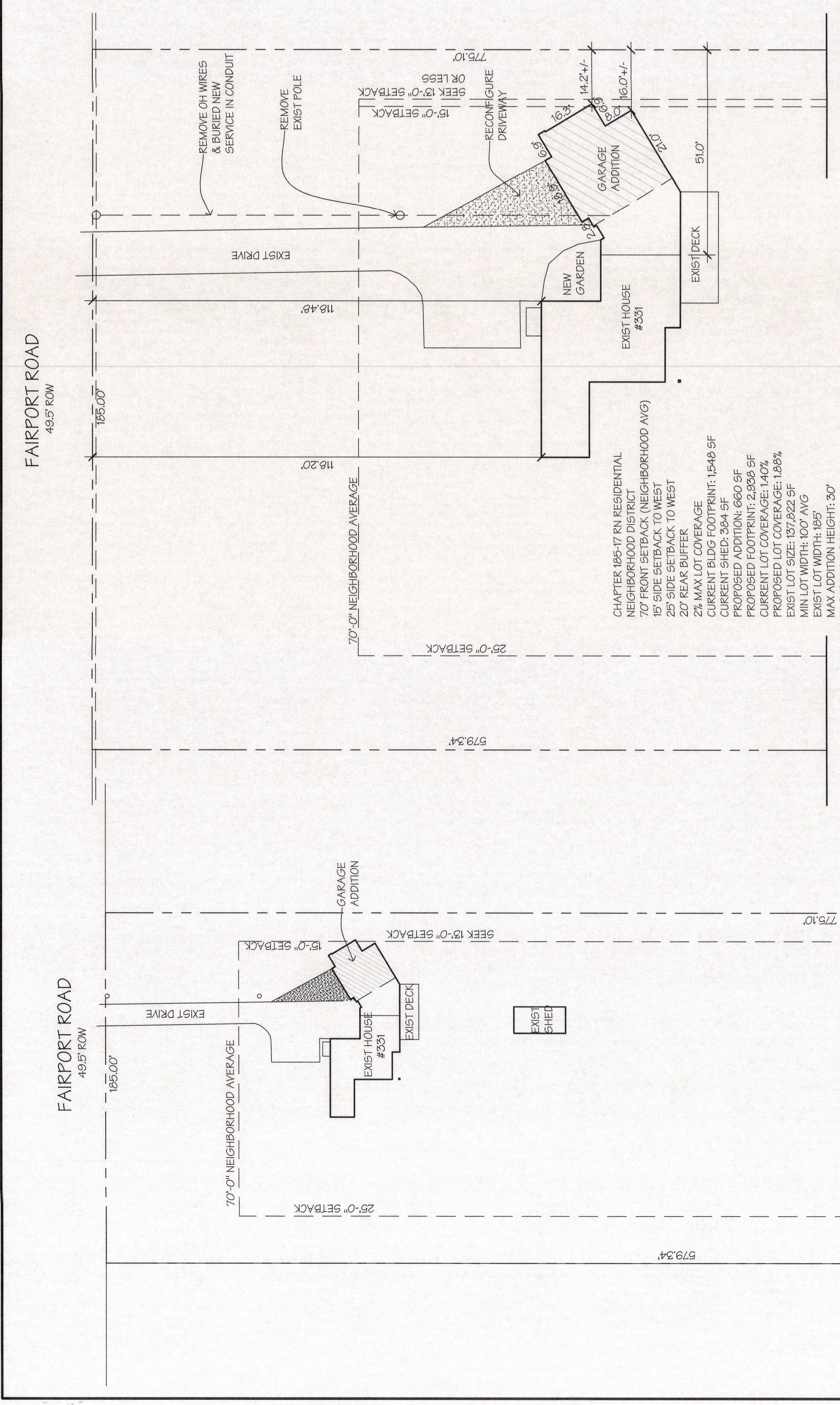
- REMOVE TOPSOIL AT NEW WORK AREAS. ALL FOOTINGS TO REST ON UNDISTURBED (ORIGINAL) SOIL. ASSUMED MINIMUM SOIL-BEARING CAPACITY TO BE 1500 psf. CONTRACTOR TO BE RESPONSIBLE FOR ALL S/D PRELIMINARY CONDITIONS.
- USE 2x4 HANGERS @ 24" O.C. (OR BETTER) FOR ALL DIMENSION LUMBERS USED IN CEILING, FLOOR, AND FOUNDATION UNLESS NOTED AND ALL U.L. MATERIAL, MIN. T.E.=2.0 (OR BETTER).
- CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE STARTING CONSTRUCTION AND BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS.
- CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THEIR AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, EXCAVATION, OR DEMOLITION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.
- NO MECHANICAL, PLUMBING OR ELECTRICAL DESIGN IS INCLUDED WITH THIS SET OF DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS TO BE ACCORDING TO ALL APPLICABLE CODES. VERIFY EXISTING HOT WATER HEATER CAN ADEQUATELY SUPPLY NEW BATHROOMS.
- WINDOWS TO BE SELECTED BY OWNER AND CONTRACTOR UNLESS OTHERWISE DETERMINED BY OWNER.

FRAMING NOTES:

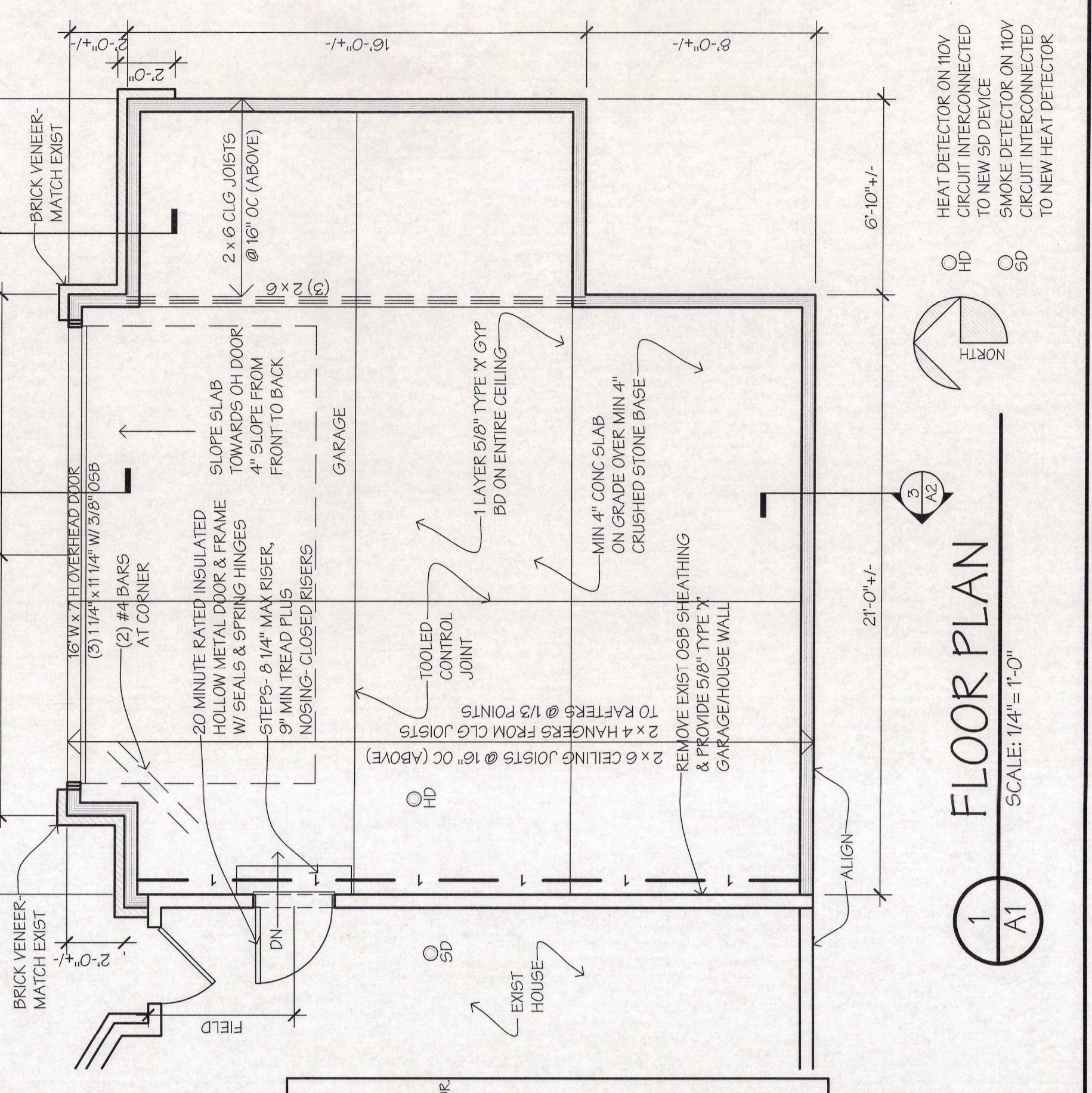
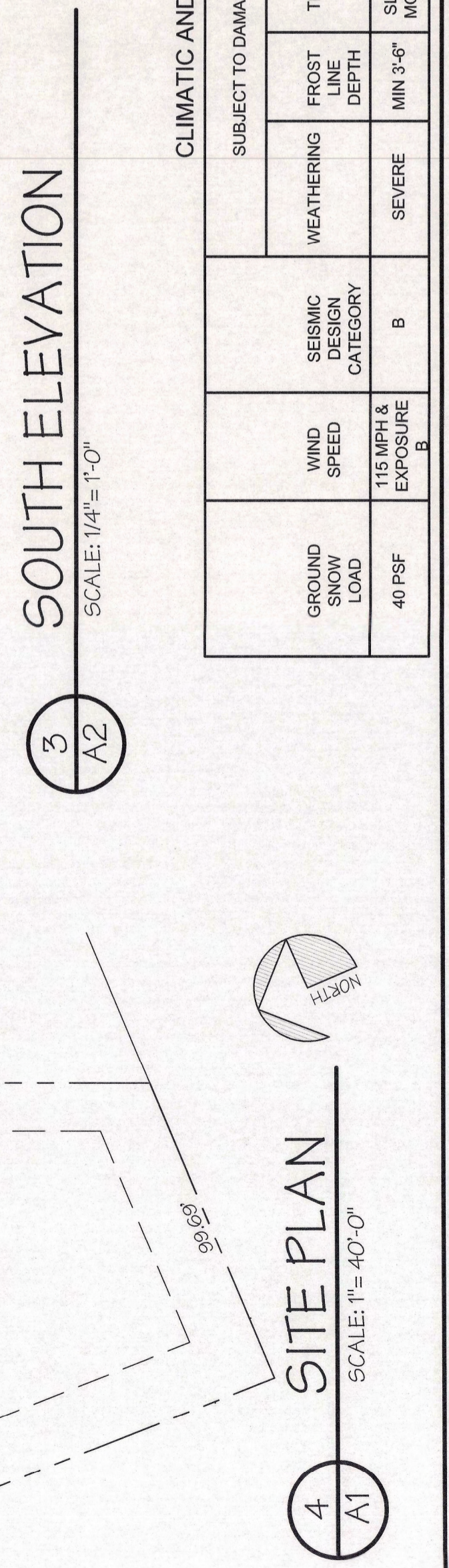
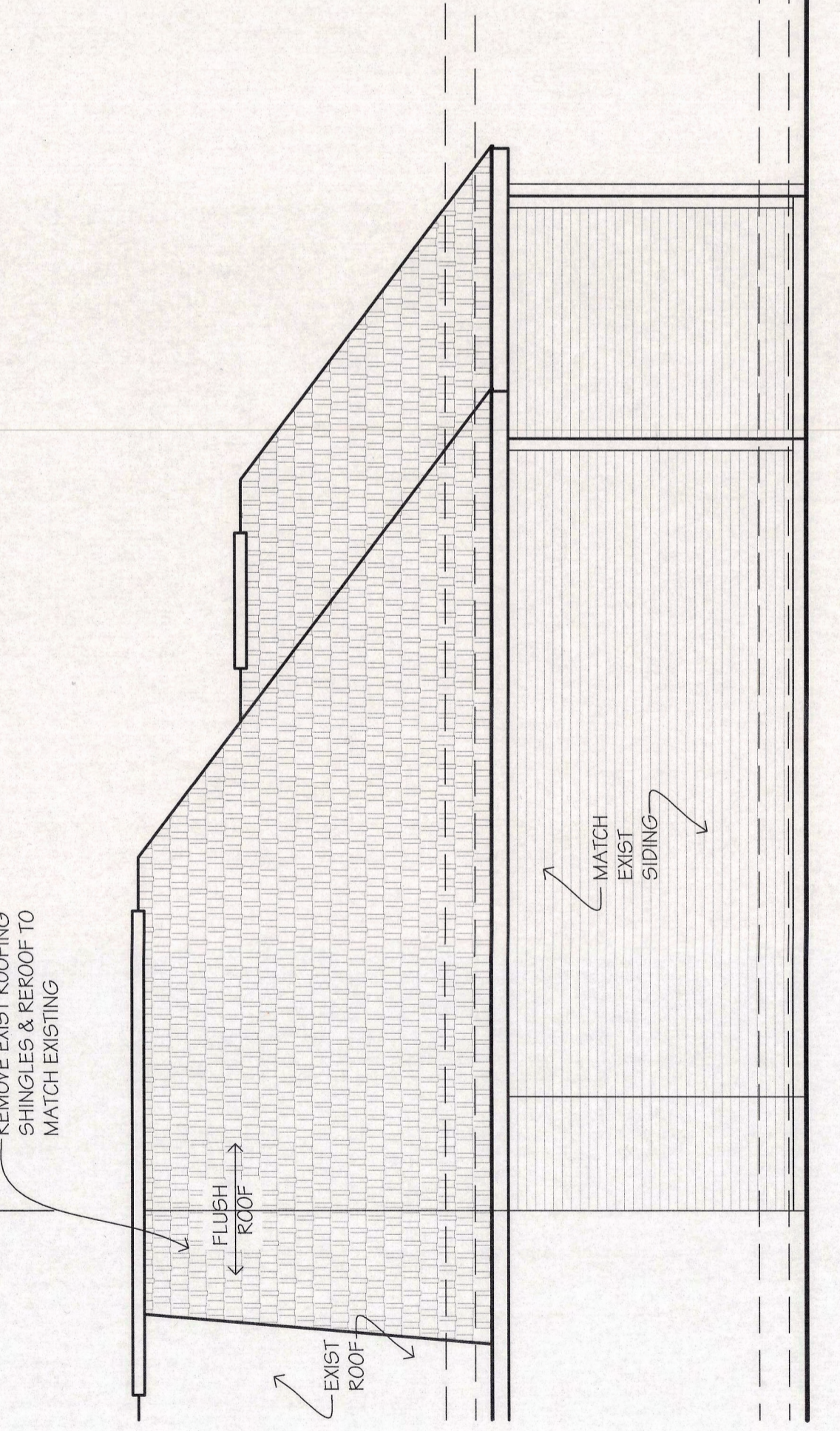
- FRAMER WILL VERIFY ALL NOTES AND DIMENSIONS CONCERNING ALL WOOD FRAMING AND ANY RELATED WORK TO BE PERFORMED IN THIS CONTRACT, PRIOR TO STARTING THE WORK.
- FRAMER WILL VERIFY OVERLAP OF CRITICAL DIMENSIONS WITH THE MASON CONTRACTOR.
- FRAMER WILL VERIFY ALL ROUGH OPENINGS FOR FINISHED ITEMS TO BE INSTALLED IN WOOD FRAMED WALLS, FLOORS, CEILINGS AND ROOFS, WITH MANUFACTURER'S DATA, TO BE FURNISHED BY THE GENERAL CONTRACTOR, WATERBURY SUPPLIER AND/OR OWNER.
- USE 2x6 WOOD STUDS @ 24" O.C. AT ALL INSTALLED EXTERIOR WALLS AROUND HEATED SPACE UNLESS OTHERWISE NOTED.
- USE 2x4 WOOD STUDS @ 24" O.C. AT ALL INTERIOR WALLS AND PARTITIONS, UNLESS OTHERWISE NOTED OR SHOWN.
- USE PRESSURE TREATED LUMBER WHEREVER IN DIRECT CONTACT WITH CONCRETE OR WITHIN 6" OF GRADE AND TO CONSTRUCT ANY EXTERIOR STAIR AND RAILING SYSTEMS, UNLESS OTHERWISE NOTED.
- ALL WALL AND FLOOR SYSTEMS ARE TO BE FIRE-RATED PER APPLICABLE CODE SHOWN ON FLOOR PLAN FOR DOORS.
- DIMENSIONS SHOWN ON FLOOR PLAN ARE TO BE TO CENTERLINE UNLESS OTHERWISE NOTED.
- USE 2x4 JOCK STUDS AT HEADERS SUPPORTING GREATER THAN 6' SPAN LUN

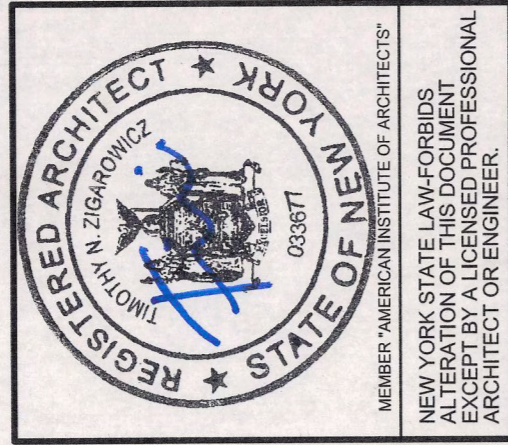
CLIMATIC AND GEOGRAPHIC DESIGN DATA

SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP		ICE SHIELD UNDERLAYMENT RECD		FLOOD HAZARDS		AIR FREEZING INDEX		CLIMATE ZONE				
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	SEVERE	MIN 3'-6"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES	NO	1195	5
40 PSF	115 MPH & EXPOSURE B	B	SEVERE	MIN 3'-6"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES	NO	1195	5	YES	NO	1195	5



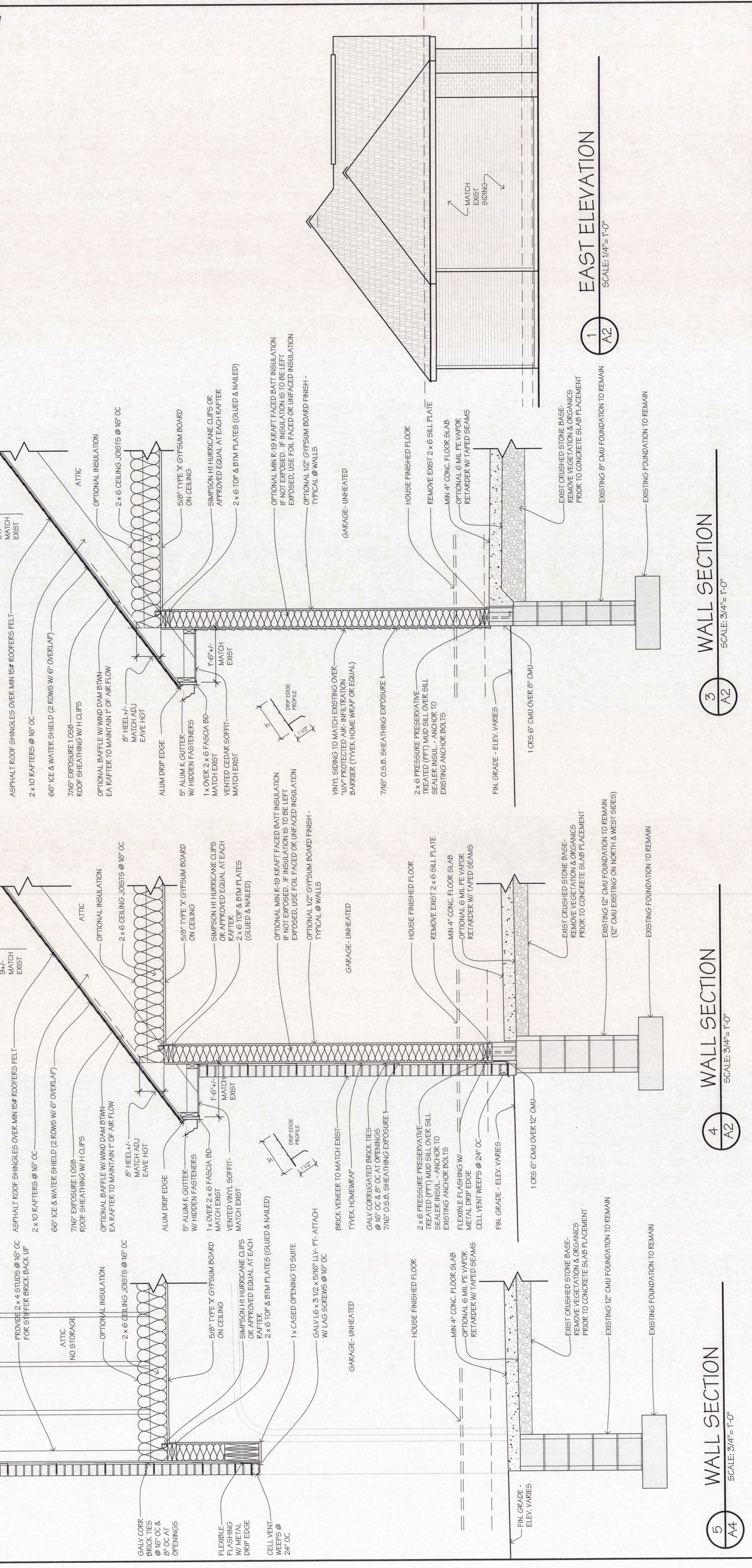
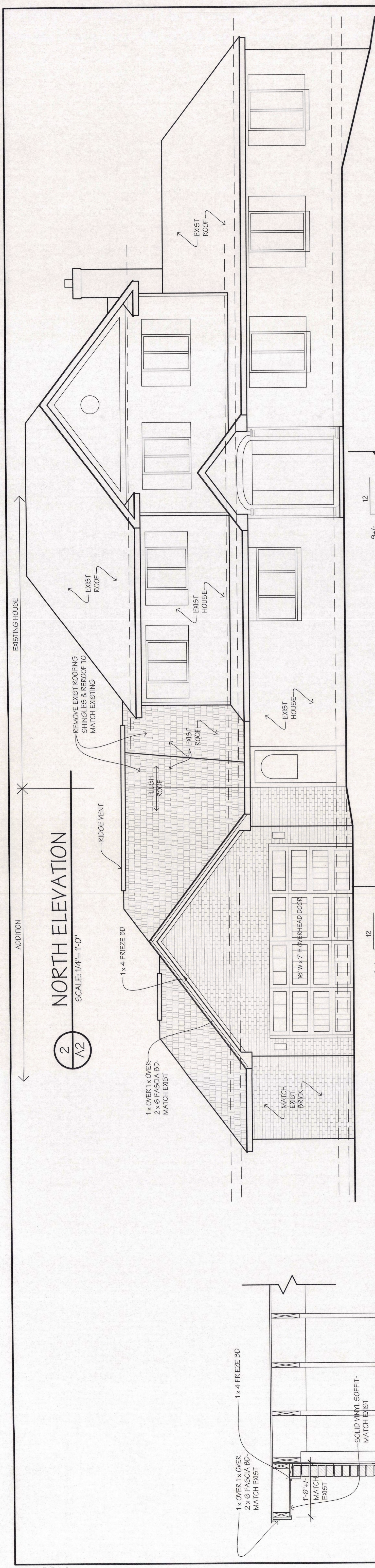
Received on 11/13/2020
 Town of Pittsford
 Zoning Board





REV.	DESCRIPTION	BY	DATE

ELEVATIONS & SECTIONS
 WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

3 WALL SECTION
 SCALE: 3/4" = 1'-0"

4 WALL SECTION
 SCALE: 3/4" = 1'-0"

5 WALL SECTION
 SCALE: 3/4" = 1'-0"

M



TOWN OF PITTSFORD, N.Y.
APPLICATION FOR BUILDING PERMIT

PERMIT NO. 26
ISSUED 2/6 1998

INSTRUCTIONS:

- A. This application must be filled in by typewriter or in ink and submitted to the Building Inspector.
- B. One plot plan, showing location of lot and of proposed and existing buildings on premises, relationship to adjoining premises, public streets or areas, and giving detailed description of layout of property, with ALL measurements shown, must be submitted with this application.
- C. This application must be accompanied by ONE complete set of plans with a wet seal showing proposed construction. Plans shall describe the nature of the work to be performed, the materials and equipment to be used and installed and details of structure, mechanical, electrical, and plumbing installations, sewage disposal and water drainage system.
- D. The work covered by this application cannot be commenced before issuance of a Building Permit.
- E. Upon approval of this application, the Building Inspector will issue a Building Permit to the applicant.

APPLICATION IS HEREBY MADE for the issuance of a BUILDING PERMIT pursuant to the rules and regulations that have been adopted by the Town of Pittsford, for the construction of buildings, additions or alterations or removal, or demolition, as herein described. The OWNER will be held responsible for compliance with all applicable Laws, Ordinances, and Regulations. Subject to the provisions of the Town Building Code. All lot and setback stakes must be set and protected before construction is started.

LOCATION OF PREMISES:

House No. 331 Street FAIRPORT ROAD Tract _____ Lot No. _____ Zoned A
 BUILDING: New _____ Addition _____ Alteration _____ Repair _____ Demolition _____
 OWNER AND ADDRESS: Peter G. Houlahan 331 FAIRPORT RD E Rochester 14445 (Telephone 248 5950)
 BUILDER & ADDRESS (if different): SAME (Telephone _____)
 DWELLING _____ MULTIPLE DWELLING _____ GARAGE _____ COMMERCIAL _____
 INDUSTRIAL _____ CONDO _____ TOWN HOUSE _____ SINGLE HOUSE _____

ESTIMATED COST \$ 25,000

BUILDING PERMIT FEE \$ 250.18
 C OF O FEE \$ _____
 REC. FUND FEE \$ _____
 TOTAL PERMIT FEE \$ 250.18

Type of Building _____ Number of Stories _____

DIMENSIONS OF NEW CONSTRUCTION (As per Plans Submitted):

Ground Floor Area 500 Sq. Ft.
 2nd Floor Area 400 Sq. Ft.
 Lower Level 0

Deck 16 x 20' 576
 Porch 32' Sq. Ft.
 Garage 274 x 24' 576
 TOTAL SQ. FT. 2,084

ALTERATIONS AND ADDITIONS:

Describe Type of Addition or Alteration _____
 Dimensions of existing structures:
 Front _____ Rear _____ Depth _____ Height _____ No. Of Stories _____
 Dimensions of proposed additions:
 Front _____ Rear _____ Depth _____ Height _____ No. Of Stories _____

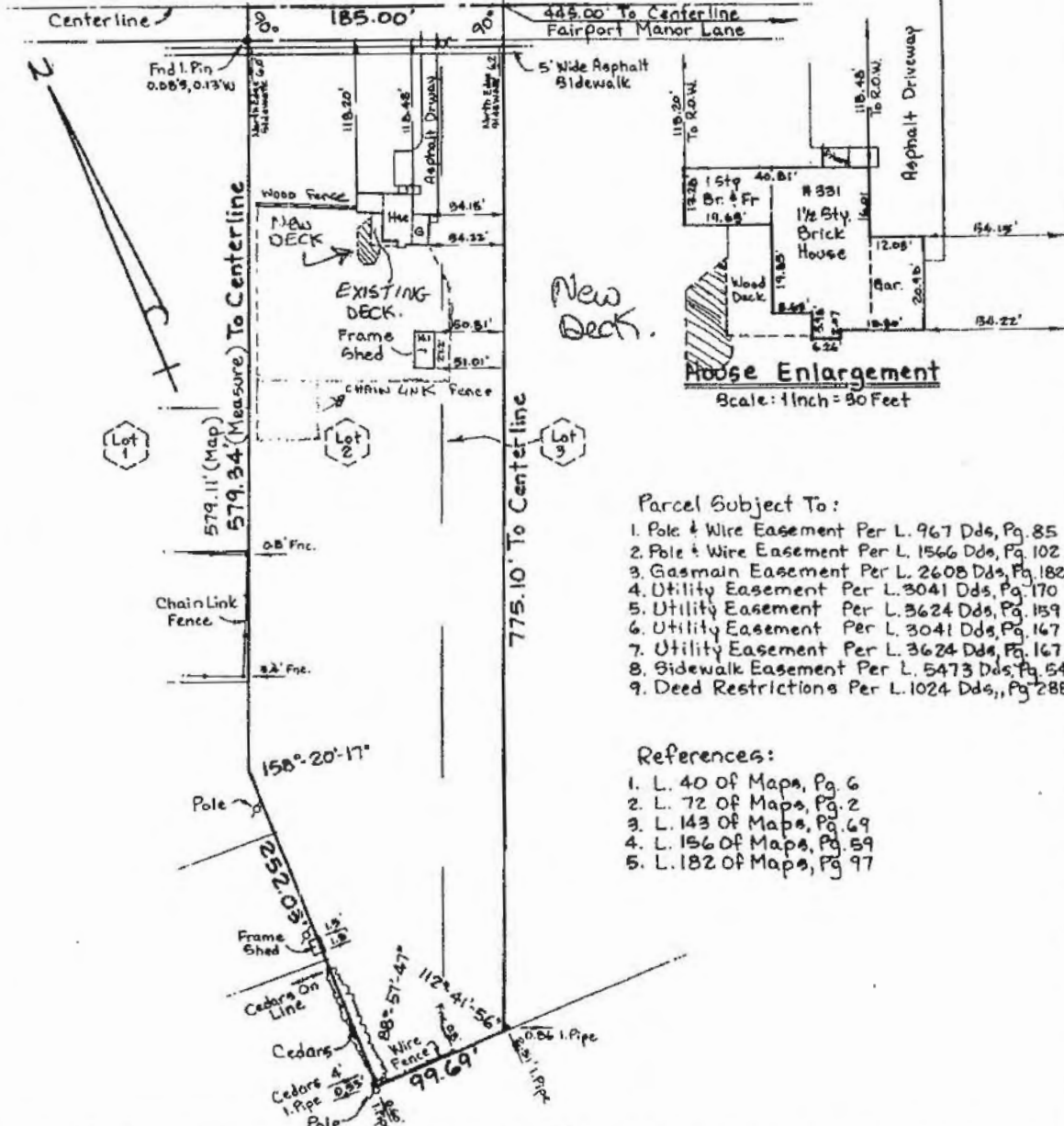
ACCEPTANCE DOES NOT RELIEVE THE AGENT, APPLICANT, ARCHITECT, BUILDER, ENGINEER OR OWNER FROM COMPLYING WITH ANY OF THE PROVISIONS OF THE N.Y.S. BUILDING CODE, ENERGY CODES, SEQR ACT, LOCAL ZONING, ETC., WHETHER STATED, IMPLIED, OR OMITTED IN THE PLANS AND SPECIFICATIONS SUBMITTED FOR THE BUILDING PERMIT.

Dated this 23 Day of January, 1998

Peter G. Houlahan
Signature of Applicant

Jim Koster
Signature of Building Inspector

FAIRPORT ROAD - N.Y.S. Rte 31F (49.5' R.O.W.)



- Parcel Subject To:
1. Pole & Wire Easement Per L. 967 Dds, Pg. 85
 2. Pole & Wire Easement Per L. 1566 Dds, Pg. 102
 3. Gasmain Easement Per L. 2608 Dds, Pg. 182
 4. Utility Easement Per L. 3041 Dds, Pg. 170
 5. Utility Easement Per L. 3624 Dds, Pg. 159
 6. Utility Easement Per L. 3041 Dds, Pg. 167
 7. Utility Easement Per L. 3624 Dds, Pg. 167
 8. Sidewalk Easement Per L. 5473 Dds, Pg. 54
 9. Deed Restrictions Per L. 1024 Dds, Pg. 288

- References:
1. L. 40 of Maps, Pg. 6
 2. L. 72 of Maps, Pg. 2
 3. L. 143 of Maps, Pg. 69
 4. L. 156 of Maps, Pg. 59
 5. L. 182 of Maps, Pg. 97

I hereby certify to the parties listed hereunder that this map was made using the reference material listed hereon and the notes of an instrument survey, performed in accordance with the current standards of the New York State Association of Professional Land Surveyors, completed on July 5, 1991*

1. Power Funding Group, Inc., Their Successors And/or Assigns
2. Chamberlain, D'Amanda, et al
3. Lois J. Houlihan
4. The Title Insurance Company Insuring The Mortgage
5. William M. Higgins, Esq.

[Signature]
James R. Zerkel, N.Y.S. P.L.S. 49796

* Field Inspected And Redated Sept 15, 1994
Revision - Deck Added

Note: 1) Field work to obtain this was performed at a 1:10,000 or better precision. 2) Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 2209, sub-division 2, of the New York State Education Law. 3) Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies. 4) Certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.

ZERKEL LAND SURVEYORS 537 AVERILL AVENUE ROCHESTER, NY 14607 (716) 442-4033	INSTRUMENT SURVEY MAP	
	Address 331 Fairport Road Town Pittsford	
County Monroe Township _____ Range _____ Lot _____		
Part of Lot No. 2 & 3 Subdivision Ransom - No. 3		
Reference Data Liber 40 of Maps, Page 6 Liber 8294 of Deeds, Page 359		
Date September 20, 1994 Abstract by Four Corners Abstract Corp. No. 72925, Aug 24, 94		
Scale 1 Inch = 100 Feet by Mark B. Client Andrew J. Cohen Job No. 152.090-01-003		

CONTACT SUPPLY 072277