

**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
AGENDA
November 16, 2020**

PUBLIC HEARING FOR AN AREA VARIANCE

- 1 Merryhill Lane, Tax # 163.16-2-20, Applicant is requesting relief from Town Codes §185 – 121 (A) for the construction of a fence forward of the front wall of the home exceeding the height requirement of code. This property is zoned RN-Residential Neighborhood.
- 16 Ingridshire Drive. Tax # 164.03-3-8, Applicant is requesting relief from Town Code §185-17 (B) (1); 185-17 E; 185-113 (B) (6) to allow the construction of a shed located forward of the building line and encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.
- 50 Van Voorhis Road. Tax # 192.02-1-2, Applicant is requesting relief from Town Code §185-113 (B) (1) & (6) and 185-17 (E) to allow the construction of an oversized accessory structure (shed) located in the rear yard encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.
- 67 Knollwood Drive, Tax # 138.13-1-22, Applicant is requesting relief from Town Code §185-17 H to allow the paving of a stone driveway which will exceed the maximum lot coverage for the property. Property is zoned RN – Residential Neighborhood District.
- 145 Kilbourn Road, Tax # 138.17-1-13.111, Applicant is requesting relief from Town Code §185- 39 to allow the construction of four 5,000 Sq. Ft. guest houses along the main entrance drive. The guest houses are proposed to be constructed to approximately 35' in height where code allows 30'. Property is zoned SRAA – Suburban Residential District.
- 597 Mendon Road, Tax # 178.03-2-10, Applicant is requesting relief from Town Code §185-113 (B) (1) & (2) to allow the construction of an oversized and overheight accessory structure (garage) located in the rear yard encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.

REVIEW OF MEETING MINUTES OF OCTOBER 19, 2020

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/89186195302?pwd=S0RJWkQvSGFuYXpDbEhIMFFFNEt3QT09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **891 8619 5302**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
MINUTES
October 19, 2020**

PRESENT

George Dounce, Chairperson; Mary Ellen Spennacchio-Wagner, James Pergolizzi, David Rowe, Phil Castleberry

ALSO PRESENT

Mark Lenzi, Building Inspector; Robert Koegel, Town Attorney; Susan Donnelly, Secretary to the Board

ABSENT

Mike Rose, Barbara Servé

Proceedings of a regular meeting of the Pittsford Zoning Board of Appeals were held on Monday, October 19 at 7:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom virtual meeting software.

George Dounce, Chairperson called the regularly scheduled meeting of the Zoning Board of Appeals to order at 7:00 pm.

The applications before the Board this evening are Type II Actions under 6-NYCRR §617.5 (c) (7) or (12) & (13) and, therefore, is not subject to Environmental Review under SEQRA. The applications are exempt from review by the Monroe County Planning Department based on an agreement with Monroe County dated October 7, 2008.

DISCUSSION - LEAD AGENCY FOR OAK HILL COUNTRY CLUB PROJECT

George Dounce moved for the Zoning Board of Appeals to decline the lead agency role for the proposed Oak Hill Country Club project.

Mary Ellen Spennacchio-Wagner seconded.

All Ayes.

PUBLIC HEARING FOR AN AREA VARIANCE - RETURNING

- 345 Kilbourn Road, Tax # 138.18-3-1, Applicant is requesting relief from Town Code §185 – 17 (H); 185 -17 (E) & 185 113 (B) (6) to allow the placement of an air conditioning compressor, grill structure and deck encroaching into the side setback. Also, the lot coverage of the lot exceeds the maximum allowed by code. Property is zoned RN – Residential Neighborhood District.

This public hearing remained open.

Pat and Kim Bailey were present.

George Dounce indicated that the Board has received the updated survey map.

There was no further comment from the Board.

The Board moved to add the comments regarding the land swap with Oak Hill Country Club in the resolution.

There was no public comment.

George Dounce moved to close the public hearing.

Phil Castleberry seconded.

All Ayes.

DECISION FOR 345 KILBOURN ROAD – AREA VARIANCE

A written Resolution to grant the area variance for 345 Kilbourn Road was moved by David Rowe and seconded by Mary Ellen Spennacchio-Wagner.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated August 13, 2020 and the map updated on October 16, 2020.
2. All construction is to be completed by December 31, 2022.
3. This variance is subject to the approval of the land swap between Oak Hill Country Club and the Applicants.

PUBLIC HEARING FOR AN AREA VARIANCE – NEW

- 18 Greentree, Tax # 163.16-1-12, Applicant is requesting relief from Town Codes §185 – 121 (A) for the construction of a fence forward of the front wall of the home exceeding the height requirement of code. This property is zoned RN-Residential Neighborhood.

George Dounce moved to open the public hearing.

The homeowner, Helen Newman, was present.

The home on the lot is set back and does not have much of a backyard. The owner wishes to keep her dogs safe in the front yard and requires a taller fence.

The time frame for installation of an black aluminum fence is by this winter.

There was no public comment.

Jim Pergolizzi moved to close the public hearing.

Phil Castleberry seconded.

All Ayes.

DECISION FOR 18 GREENTREE – AREA VARIANCE

A written Resolution to grant the area variance for 18 Greentree was moved by George Dounce and seconded by David Rowe.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated September 17, 2020.
 2. All construction is to be completed by December 31, 2021.
- 23 Hepburn Lane Tax # 177.03-3-53, Applicant is requesting relief from Town Code §185-119 (A) (1) to locate the filter and heater of an in-ground swimming pool forward of the rear wall of the home. This property is zoned RN – Residential Neighborhood District

George Dounce moved to open the public hearing.

The homeowners, Shane and Amanda Murphy, were present. They cited the constraints they have at the rear of the home in relation to placing the pool equipment. George Dounce noted that the garage of the most affected neighbor faces the area in question.

There was no public comment.

Mary Ellen Spennacchio-Wagner moved to close the public hearing.

David Rowe seconded.

All Ayes.

DECISION FOR 23 HEPBURN LANE – AREA VARIANCE

A written Resolution to grant the area variance for 23 Hepburn Lane was moved by Jim Pergolizzi and seconded by Phil Castleberry.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the application submitted and prepared by the Applicant dated September 10, 2020.

2. All construction is to be completed by December 31, 2021.
- 28 Mitchell Road, Tax # 164.12-1-1, Applicant is requesting relief from Town Code §185 – 121 (A) to allow construction of an entrance gate (fence) forward of the front wall of the home exceeding the height requirement of code. This property is zoned RN-Residential Neighborhood.

George Dounce opened the public hearing.

Evan Gefell of Costich Engineering was the representative for the applicants.

The gate will extend across the driveway but be recessed from the road. The lights will be kept. The high point of the gate is 6 foot but will match the height of the existing pillars and hedges.

There was no public comment.

David Rowe moved to close the public hearing.

Phil Castleberry seconded.

All Ayes.

DECISION FOR 28 MITCHELL ROAD – AREA VARIANCE

A written Resolution to grant the area variance for 28 Mitchell Road was moved by Phil Castleberry and seconded by George Dounce.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated September 18, 2020.
 2. All construction is to be completed by December 31, 2021.
- 33 Alpine Drive. Tax # 138.18-2-59, Applicant is requesting relief from Town Code §185-113 (B) (6) to allow the construction of a shed located in the rear yard encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.

George Dounce opened the public hearing.

The homeowner, Jamie Fagan was present.

It was discussed that the proposed shed will be located in an area that has the least impact on the neighbor. There is a large pine tree that blocks most of the view.

There was no public comment.

Mary Ellen Spennacchio-Wagner moved to close the public hearing.

Jim Pergolizzi seconded.

All Ayes.

DECISION FOR 33 ALPINE DRIVE – AREA VARIANCE

A written Resolution to grant the area variance for 33 Alpine Drive was moved by David Rowe and seconded by Mary Ellen Spennacchio-Wagner.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated September 2, 2020.
 2. All construction is to be completed by December 31, 2021.
- 60 Pickwick Drive, Tax # 150.08-1-45, Applicant is requesting relief from Town Code §185-113 B (6) to allow the placement of an electrical standby generator encroaching into the side yard setback. Property is zoned RN – Residential Neighborhood District.

George Dounce opened the Public Hearing.

The homeowners, Stuart and Illa Loeb, were present.

There were no comments from the Board.

There was no public comment.

David Rowe moved to close the public hearing.

Mary Ellen Spennacchio-Wagner seconded.

All Ayes.

There was no further Board discussion.

DECISION FOR 60 PICKWICK DRIVE – AREA VARIANCE

A written Resolution to grant the area variance for 60 Pickwick Drive was moved by George Dounce and seconded by Jim Pergolizzi.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye

Rose absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated September 15, 2020.
 2. All construction is to be completed by December 31, 2021.
- 132 East Street, Tax # 178.02-1-3.1, Applicant is requesting relief from Town Code §185-11.2 (A) to allow construction of a 2nd floor addition forward of the building line. Property is zoned AG – Agricultural District.

George Dounce opened the public hearing.

The architect, Dan Pope, and homeowner, Andrew and Jantyda Scherdin were present.

Mr. Pope indicated that this current older home is a non-conforming structure in accordance with the current setback requirements.

There was no public comment.

Mary Ellen Spennacchio-Wagner moved to close the public hearing.

David Rowe seconded.

All Ayes.

DECISION FOR 132 EAST STREET – AREA VARIANCE

A written Resolution to grant the area variance for 132 East Street was moved by George Dounce and seconded by Phil Castleberry.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the architect, Daniel Pope dated September 8, 2020.
 2. All construction is to be completed by December 31, 2022.
 3. This application is subject to the approval of the Design Review and Historic Preservation Board.
- 1009 Roosevelt Road, Tax # 151.07-1-14, Applicant is requesting relief from Town Code §185- 113 (B) (6) for the construction of a deck encroaching into the rear setback of the property. Property is zoned RN- Residential Neighborhood District.

George Dounce opened the public hearing.

The homeowner, Shayna Freeman, and contractor, Steve Panek were present.

This home is a former rental property that backs up to Town of Pittsford parkland.

There were no comments from the Board.

George Dounce asked if the most affected neighbor (Town of Pittsford) had any opposition to this. Mark Lenzi spoke on behalf of the Town and he indicated that there is none.

There was no further public comment.

George Dounce moved to close the public hearing.

Jim Pergolizzi seconded.

All Ayes.

DECISION FOR 1009 ROOSEVELT ROAD – AREA VARIANCE

A written Resolution to grant the area variance for 1009 Roosevelt Road was moved by Mary Ellen Spennacchio-Wagner and seconded by David Rowe.

George Dounce called for a roll call vote.

Dounce	aye
Servé	absent
Pergolizzi	aye
Spennacchio-Wagner	aye
Castleberry	aye
Rowe	aye
Rose	absent

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated September 15, 2020.
2. All construction is to be completed by December 31, 2022.

REVIEW OF MEETING MINUTES OF SEPTEMBER 21, 2020

George Dounce moved to approve the minutes of September 21, 2020 with one change.

All Ayes.

OTHER

David Rowe announced that he would not be in attendance at the November meeting.

POINT PERSONS FOR NOVEMBER 16, 2020 MEETING

597 Mendon Road – Jim Pergolizzi

16 Ingridshire Drive – George Dounce

31 Merryhill Lane – Phil Castleberry

Oak Hill Country Club – Mary Ellen Spennacchio-Wagner

67 Knollwood Drive – Barb Servé

50 Van Voorhis Road – Mary Ellen Spennacchio Wagner

MEETING ADJOURNMENT

George Dounce moved to adjourn the meeting at 8:11 pm.

All Ayes.

Respectfully submitted,

Susan K. Donnelly
Secretary to the Zoning Board of Appeals

DRAFT

Zoning Board of Appeals Referral Form Information

Property Address:

1 Merryhill Lane PITTSFORD, NY 14534

Property Owner:

Holmquist, Todd
1 Merryhill Ln
Pittsford, NY 14534

Applicant or Agent:

Holmquist, Todd
1 Merryhill Ln
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	3	Height:	6	Height:	-3.0
Size:	0	Size:	0	Size:	0.0

Code Section(s): 185-121 (A)

Description: Applicant is requesting relief from Town Code for the construction of a fence forward of the front wall of the home exceeding the height requirement of code.

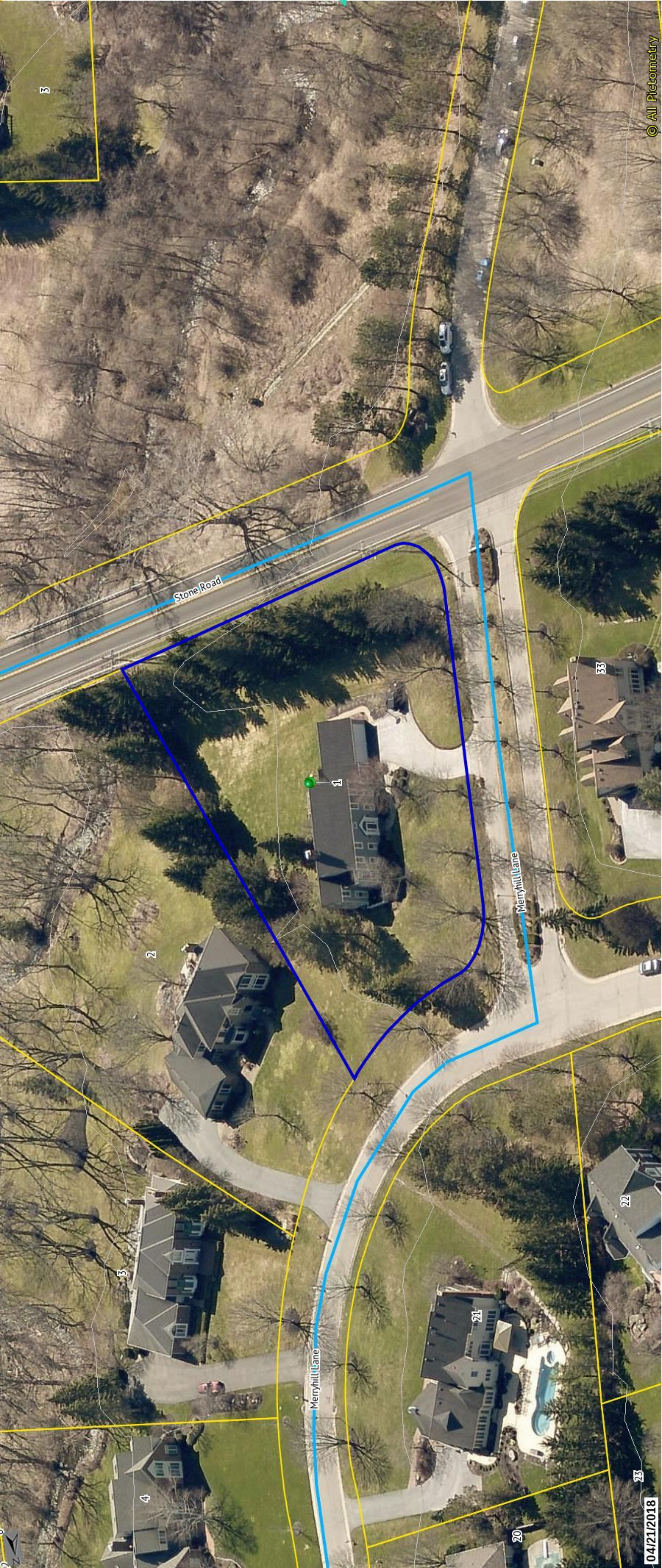
Note: The fence will extend to the south approximately 40 feet from the front wall of the home on the Stone Rd. side.

November 02, 2020



Date

Mark Lenzi - Building Inspector CEO



Stone Road

Merryhill Lane

Merryhill Lane

1

2

3

4

20

21

22

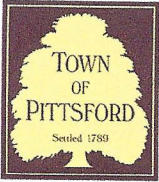
23

24

25

33

3



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: September 18, 2020 Hearing Date: _____

Applicant: Todd Holmquist

Address: 1 Merryhill Lane, Pittsford, NY 14534

Phone: (585) 750-7129 E-Mail: tholmqui@yahoo.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 1 Merryhill Lane Current Zoning: Residential

Tax Map Number: 163.160-02-020, LOT 119

Application For: Residential Commercial Other

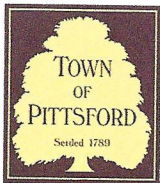
Please describe, in detail, the proposed project:

Our property, on 1 Merryhill Lane, is immediately adjacent Stone Road. A row of aging pine trees currently runs parallel and provides some privacy for our property from the road (see pictures 1 through 3). We have lived at 1 Merryhill Lane for 7 years. We love our home and our neighborhood. As our family has grown (we now have two young children, ages 2 and 4), we have come to appreciate the potential danger Stone Road may pose. For example, we have caught our children crossing gaps in the existing tree-line (see pictures 4 and 5) to retrieve a ball. Due to the potential safety risk, we propose the installation of a 4-foot high ornamental, black, steel fence (see picture 6) to enclose our backyard (see picture 7). This fence would ensure the safety of our two small children, preventing them from passing through gaps in the existing tree-line and stepping out onto Stone Road (a very busy residential road). We selected a 4-foot high fence in anticipation of a future pool installation (date TBD). Attached also is a copy of our property survey map (see picture 8).

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

(Owner or Applicant Signature)

(Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, _____, the owner of the property located at:

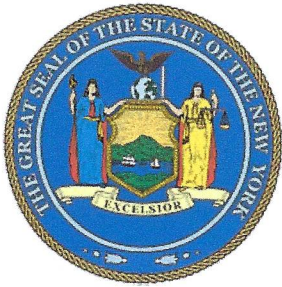
(Street) (Town) (Zip)

Tax Parcel # _____ do hereby authorize

_____ to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of _____

(Signature of Owner)

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The variance will not produce an undesirable change or detriment to the neighborhood - for a 4-foot high ornamental, black, steel fence, a) inside of the existing tree-lines, would likely not be easily visible from Stone Road or our adjacent neighbors property, except for the few gaps in the existing tree-lines, nor would it extend beyond the length of the existing tree-line, and b) in those areas where the fence would be visible (from Merryhill Lane), one would see the "elegant look of wrought-iron fencing". The style of fencing is already present on and would be consistent with a number of properties in our neighborhood. In addition, we plan to plant additional shrubbery outside of the front facing section of fence for privacy, further blending or camouflaging the fence.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

We believe that the existing, aging, tree-line along Stone Road will continue to develop more gaps in upcoming years and maintaining a contiguous border with the road cannot be achieved by natural means alone. To ensure the safety of our children and future owner's children - from passing through these gaps in the existing tree-line and potentially stepping out onto Stone Road (a very busy residential road), we believe a fence is needed. Given the atypical nature of the location of our lot, with 3 front-facing sides, we were advised a variance would be necessary.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

Minimal. Two longer sections of fence would be installed inside of two existing tree-lines (one along Stone Road, one along the property line with our neighbor at 2 Merryhill Lane) and two short lengths of fence facing Merryhill Lane.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

We believe the 'open' and 'elegant' look of the wrought-iron fencing will have a minimal visual impact, would not adversely effect the neighborhood's appearance, and will be have a consistent look to other fencing already present on other properties in the neighborhood. As previously mentioned, we plan to plant additional shrubbery outside of the front facing section of fence for privacy, further blending or camouflaging the fence.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

The aging and thinning of the existing tree-line is not self-created. Our 'difficulty' that is leading us to request the variance - is preserving the safety and well-being of our children, while continuing to live in the home, neighborhood, and town we enjoy and love so much. We want to continue to live in our home (of 7 years) for the foreseeable future. Given the proximity of such a busy residential road, immediately adjacent to our property, a fence would help ensure this.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

1 Merryhill Lane Application for Area Variance (Todd Holmquist - Owner)

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

9/18/20

(Dated)

1 Merryhill Lane

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)

MERRYHILL LANE

(60' R.O.W.)



$\Delta=25^{\circ}12'56''$ $R=210.00'$ $L=92.42'$

R.O.W. $\Delta=66^{\circ}56'08''$ $L=245.3'$

UTILITY EASE TO PITTSFORD
SEWER DIST NO 1
(L 6875 D, P 1)
 $S 31^{\circ}31'55'' E$

LOT 1

74.9'

70.9'

OPEN PORCH
4.0X10.0

2 STORY FRAME HOUSE

1st FLOOR O'HANG
2.0X10.0

BOX WINDOW
0.7X5.7

COVERED PORCH
3.0X8.7

STONE
DRIVEWAY

70' SETBACK
L 232 M, P 20

292.92'

71.1'

UTILITY EASE TO PITTSFORD
SEWER DIST NO 1
(L 6875 D, P 1)

HIGHWAY RESERVATION
TO MONROE COUNTY

$S 89^{\circ}39'13'' W$

235.46'

SIDEWALK EASE
TOWN OF PITTSF
(L 6779 D, P 18)

STONE ROAD

(R.O.W. VARIES)

ED HERON SHALL RUN ONLY TO THE
D, AND ON HIS BEHALF TO THE TITLE
ING INSTITUTION LISTED HEREON, AND TO
IGN. GUARANTEES OR CERTIFICATIONS
REVISIONS OR SUPERSEDED CORRECTIONS



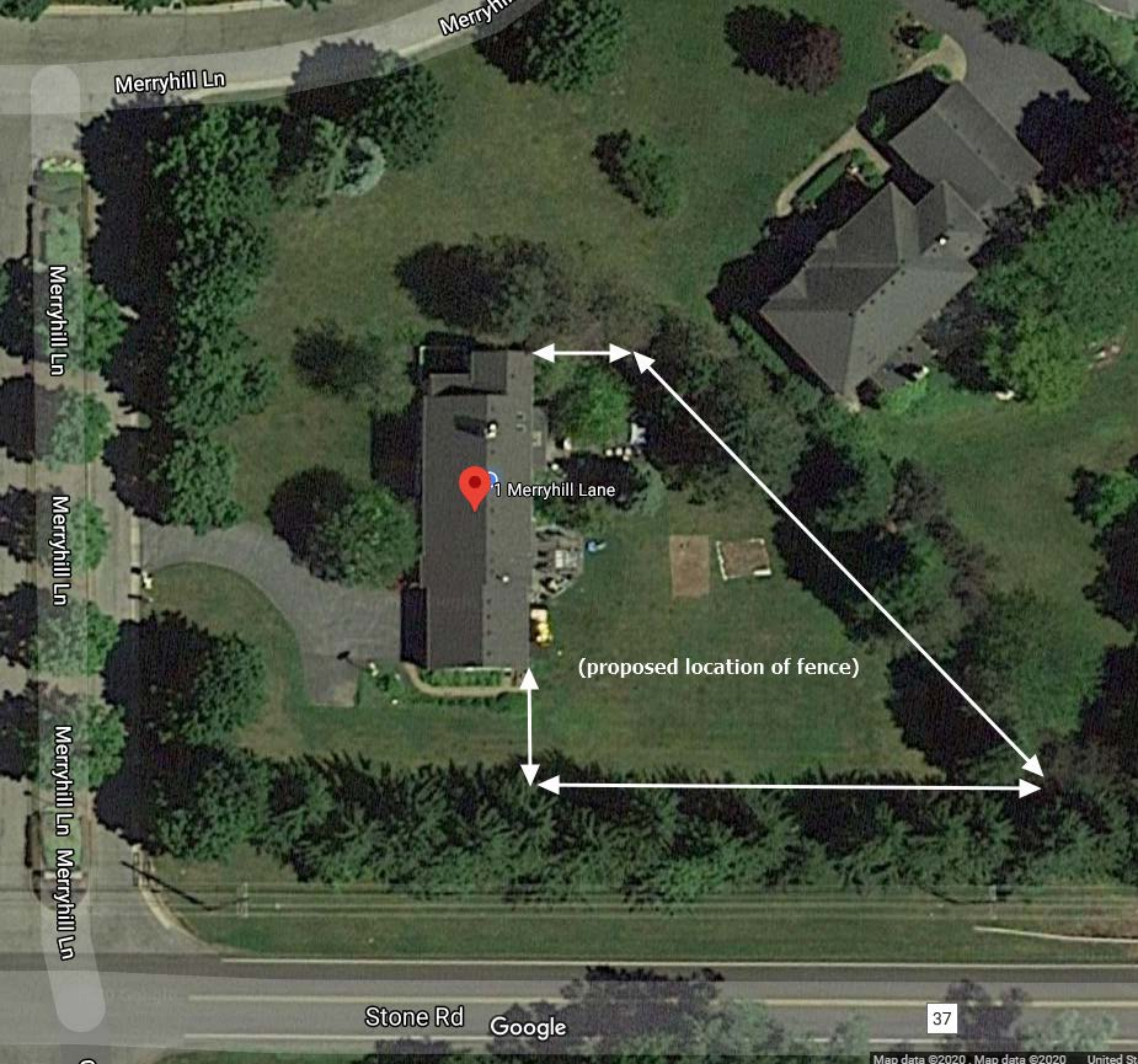












Merryhill Ln

Merryhill Ln

Merryhill Ln

Merryhill Ln

Merryhill Ln Merryhill Ln

1 Merryhill Lane

(proposed location of fence)

Stone Rd

Google

37

(proposed location of fence)

40 feet

130 feet



Zoning Board of Appeals Referral Form Information

Property Address:

16 Ingridshire Drive PITTSFORD, NY 14534

Property Owner:

Pinchman, Vlad
16 Ingridshire Dr
Pittsford, NY 14534
(585) 451-3456

Applicant or Agent:

Pinchman, Vlad
16 Ingridshire Dr
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is: Proposed Conditions: Resulting in the Following Variance:

Right Lot Line:	10	Right Lot Line:	5	Right Lot Line:	5.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	70	Front Setback:	50	Front Setback:	51.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section(s): 185-17 (B) (1); 185-17 (E); 185-113 (B) (6)

Description: Applicant is requesting relief from Town Code to allow the construction of a shed located forward of the building line and encroaching into the side yard setback.

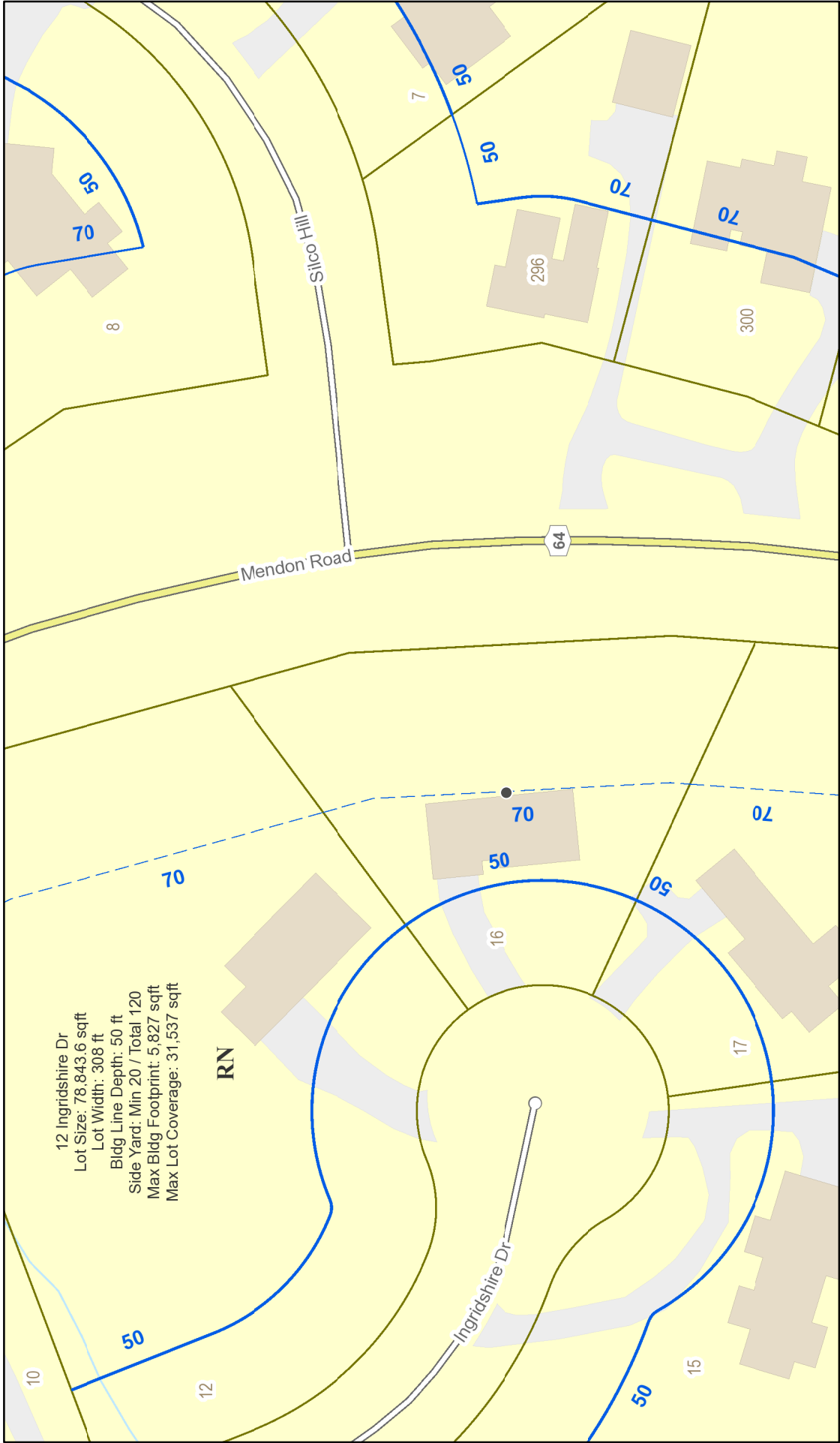
November 02, 2020



Date

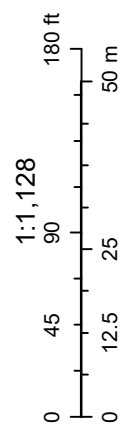
Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning



12 Ingridshire Dr
Lot Size: 78,843.6 sqft
Lot Width: 308 ft
Bldg Line Depth: 50 ft
Side Yard: Min 20 / Total 120
Max Bldg Footprint: 5,827 sqft
Max Lot Coverage: 31,537 sqft

Printed November 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



04/21/2018

© All Pictometry

530 ft

7

296

300

304

8

16

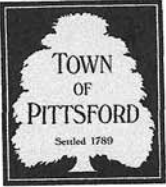
17

12

15

9





TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: 10.08.2020 Hearing Date: _____

Applicant: Lana and Vlad Pinchman

Address: 16 Ingridshire Drive, Pittsford, NY 14534

Phone: 585-451-3456 E-Mail: Lpinchman@rochester.rr.com

Agent: N/A
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: N/A
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: _____ Current Zoning: RS1

Tax Map Number: 164.03-3-8

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

Install prebuilt (Amish Built) 8x10 storage shed on the backyard of the property (19 feet East from the house 32 feet to the south of the house)-rear side location.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

[Signature]
(Owner or Applicant Signature)

Vlad Pinchman

10.08.2020
(Date)



NEW YORK STATE

STANDARDS FOR THE

GRANTING OF AREA VARIANCES

TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The shed will be located on the backyard and not visible from the street. We live at the cul-de-sac location, at the end of the street. The shed is aesthetically pleasing to the eyes, and on the smaller side, just 8x10. Additionally, the style of the shed (A-frame) and the colors are matching the architecture (Cape Cod) style of the primary residence. We don't need to clear any debris, remove trees, etc for the site. Checked with the owners of lot 164.03-3-7, they are

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance: OK with it.

The backyard of the lot faces Route 64, which is another street that we cannot face. Moreover, the lot has extensive slope (elevation) along full backyard, so placing the shed there is not possible.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The variance would be considered substantial due to the fact that our lot (1/2 of backyard) is elevated and has a steep slope, so the only option for the shed would be on the right side of the property backyard, just before slope begins.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

- 1) The size of the shed is small (8x10)
- 2) The shed is aesthetically pleasing (matches the style of the house)
- 3) The shed is placed at the end of the lot at the end of the street with minimal visibility
- 4) ~~1)~~ Natural appearance as we don't have do a lot for a site preparation, it will look natural, no disturbance

● **NOTE:** Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;

5. Is the alleged difficulty self-created?

The difficulty in the way is self-created because of the uniqueness of the lot. For instance, about 1/2 of the backyard lot is a slope that creates natural limitations for shed placement. It is a "pie" shaped lot, so it widens on the sides, so the rear side placement is the most suitable.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

16 Ingridshire Drive Shed Installation
(Project Name)

The undersigned, being the applicant(s) to the...

- Town Board
- Zoning Board of Appeals
- Planning Board
- Architectural Review Board

...of the Town of Pittsford, for a...

- change of zoning
- special permit
- building permit
- permit
- amendment
- variance
- approval of a plat
- exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

Lana Pinchman
Vlad Pinchman

16 Ingridshire Drive
Pittsford, NY 14534

[Signature]
(Signature of Applicant)

10.08.2020

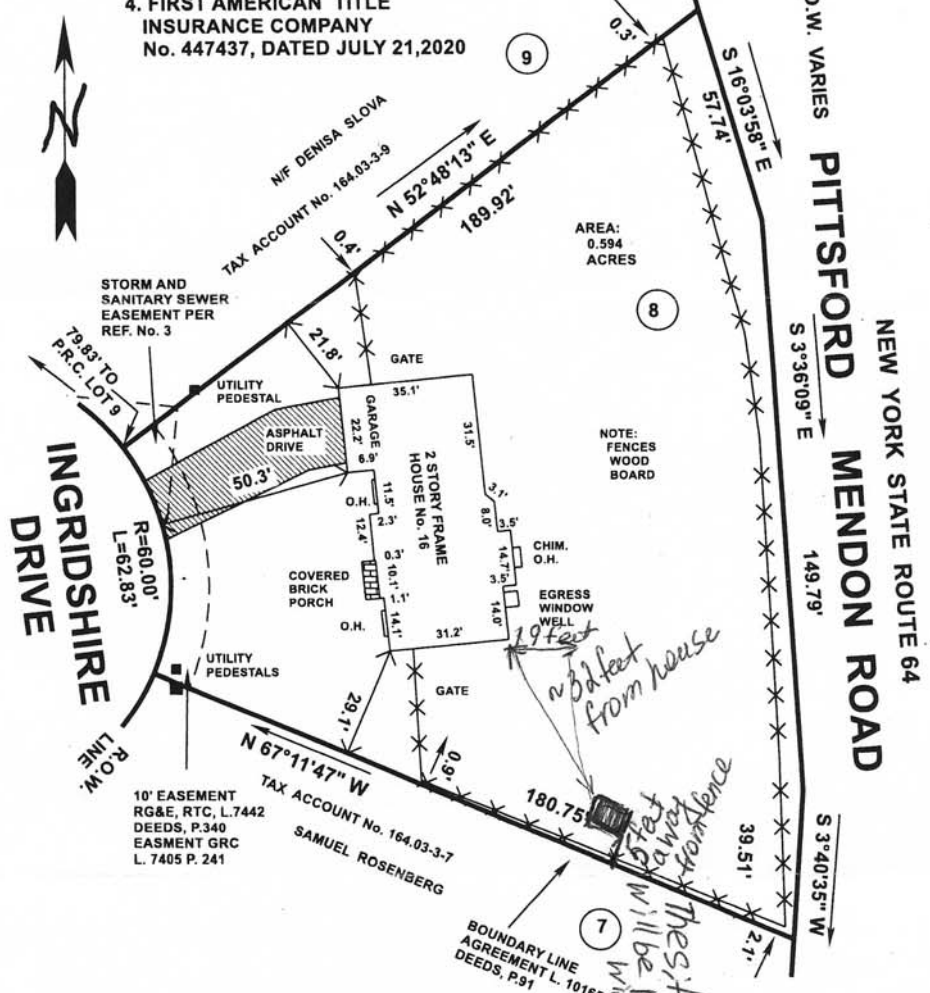
(Dated)

16 Ingridshire Drive
(Street Address)

(City/Town, State, Zip Code)

REFERENCES

1. TAX ACCOUNT No. 164.03-3-8
2. L. 10508 DEEDS, P.450
3. L. 251 MAPS, P.87
4. FIRST AMERICAN TITLE INSURANCE COMPANY No. 447437, DATED JULY 21,2020



"GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW."

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON SEPTEMBER 2, 2020 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON SEPTEMBER 1, 2020 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries



BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263
4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

- CERTIFIED TO:**
1. CMB MORTGAGE COMPANY ISAOA
 2. GALLO E IACOVANGELO, LLP
 3. VLAD AND LANA PINCHMAN
 4. OLIVER KORTS, LLP
 5. FIRST AMERICAN TITLE INSURANCE

INSTRUMENT SURVEY MAP

**16 INGRIDSHIRE DRIVE
LOT 8 INGRIDSHIRE ESTATES SUBDIVISION
TOWN OF PITTSFORD**

MONROE COUNTY

NEW YORK

SCALE: 1"=40'

SEPTEMBER 2, 2020

**BRUCE E. FRIES
PROFESSIONAL LAND SURVEYOR**

Zoning Board of Appeals Referral Form Information

Property Address:

50 Van Voorhis Road PITTSFORD, NY 14534

Property Owner:

Masaba, Oliver M
50 Van Voorhis Rd
Pittsford, NY 14534

Applicant or Agent:

Masaba, Oliver M
50 Van Voorhis Rd
Pittsford, NY 14534

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is: Proposed Conditions: Resulting in the Following Variance:

Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	20	Left Lot Line:	8	Left Lot Line:	12.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	180	Size:	336	Size:	-156.0

Code Section(s): 185-113 (B) (1) & (6) and 185-17 (E)

Description: Applicant is requesting relief from Town Code to allow the construction of an oversized accessory structure (shed) located in the rear yard encroaching into the side yard setback.

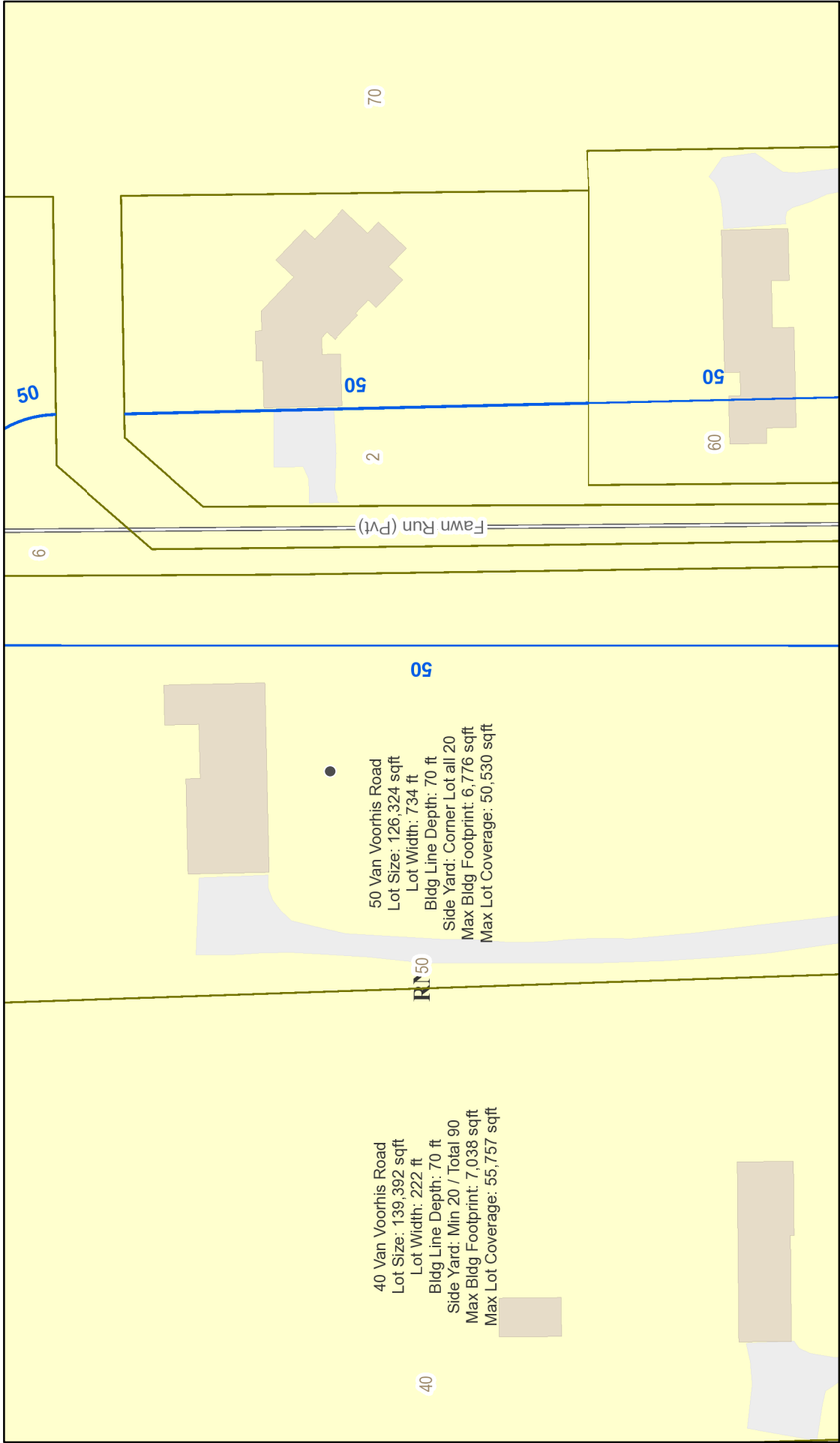
November 02, 2020



Date

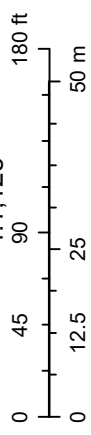
Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning



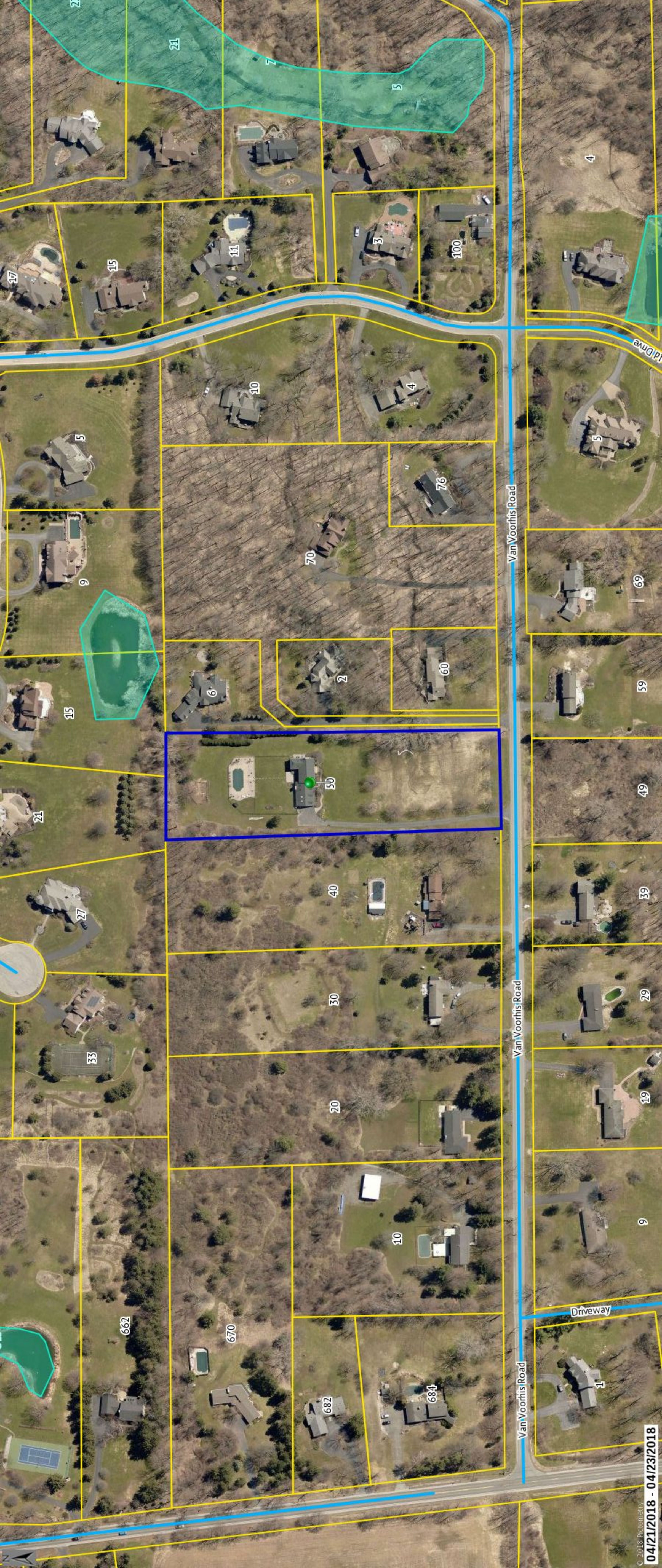
Printed November 2, 2020

1:1,128



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

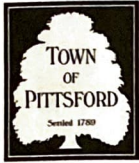


Van Voorhis Road

Van Voorhis Road

Van Voorhis Road

Driveway



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: October 19, 2020 Hearing Date: November 16, 2020

Applicant: Erin M. Masaba and Oliver M. Masaba

Address: 50 Van Voorhis Rd., Pittsford, NY 14534

Phone: (585) 233-1807 E-Mail: erin_masaba@urmc.rochester.edu

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: _____ Current Zoning: _____

Tax Map Number: _____

Application For: Residential Commercial Other

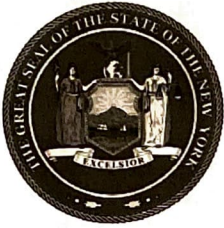
Please describe, in detail, the proposed project:

Removal of brush and construction of a shed measuring 24' x 14' x 12' on a concrete pad adjacent to neighboring property. Located 8' from property line and 8' from end of driveway.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.


(Owner or Applicant Signature)

10/19/20
(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The proposed structure does not change the character of the neighborhood as it is set far back from the road and does not obstruct any view from neighboring properties. The proposed structure will be styled similarly to the home as far as architecture and color.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

There is need for storage of yard and pool equipment on the property. This can only be accomplished by the construction of a new structure on the property. Except for the location that was chosen the majority of the property has poor water drainage and is not ideal for a structure of this size.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested area variance is minimal. The location of the proposed structure is adjacent to a wooded area that is not in use by the neighboring property.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The requested variance has been approved by the neighboring property as it will be closer to the property line than is typically allowed. The structure will be placed on an elevated portion of the property as to avoid areas that have poor water drainage. The structure will not be visible to neighboring properties.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

No

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Shed Construction for Erin and Oliver Masaba (50 Van Voorhis Rd.)
(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment
 variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)


(Signature of Applicant)

October 19, 2020

(Dated)

50 Van Voorhis Rd

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)



50 Van Voorhis Road
Jun 30 12:00am



Fawn Run

Fawn Run

Fawn Run

Fawn Run

Van Voorhis Rd

Van Voorhis Rd

Van Voorhis Rd

Google

REFERENCES

- [A.] - WARRANTY DEED -
KENNETH A. & ELIZABETH J. HOUGHTON
TO: (JULY 13, 2012) L. 11143, PG. 419
ANTHONY L. & KRISTEN M. HANS
- [B.] - SUBDIVISION MAP -
"DEERFIELD SUBDIVISION, SECTION 1"
FILED JULY 25, 1987 IN L. 176 OF MAPS, PG. 31
PREPARED BY SEAR, BROWN & ASSOC.
- [C.] - ABSTRACT OF TITLE -
SEARCH #102951
LAST DATED FEB. 24, 2016
PREPARED BY PREMIER ABSTRACT & TITLE

0 80 160 240



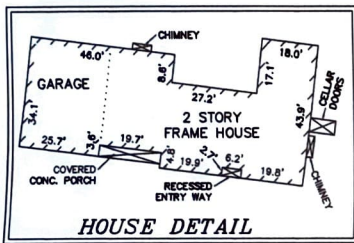
PLAT #16-M-88.DWC

NOTES

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"THE CERTIFICATION ON THIS SURVEY MAP IS LIMITED TO THE PERSONS FOR WHOM THE SURVEY WAS PREPARED, THE LENDING INSTITUTION, AND THE TITLE INSURANCE COMPANY, ALL AS NOTED, AND IS NOT TRANSFERABLE"



LEGEND

- Δ -- CORNER NO MARKER
- ⊕ -- FOUND IRON PIPE
- ⊙ -- UTILITY POLE
- U -- OVERHEAD UTILITY LINE
- X -- METAL STOCKADE FENCE
- □ -- WOOD PRIVACY FENCE
- ● -- SEWER MANHOLE
- ▽ -- WATER LINE GATE VALVE
- ⊕ -- WATER METER

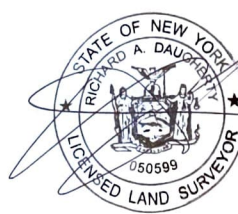
I HEREBY CERTIFY TO:

- [A.] OLIVER M. MASABA
- [B.] ERIN M. MASABA
- [C.] CNB MORTGAGE COMPANY, ISAOA
- [D.] CALLO & IACOVANGELO, LLP
- [E.] THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE
- [F.] THE SECRETARY OF HOUSING & URBAN DEVELOPMENT, ISAOA/ATIMA
- [G.] STATE OF NEW YORK MORTGAGE AGENCY, ISAOA

I AM A LICENSED LAND SURVEYOR AND THIS MAP DATED MARCH 22, 2016 IS BASED ON AN INSTRUMENT SURVEY COMPLETED ON MARCH 21, 2016 BY ME PER THE STANDARDS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

COPYRIGHT 2016 RICHARD A. DAUGHERTY (ALL RIGHTS RESERVED)

VAN VOORHIS ROAD
(60.00' WIDE)

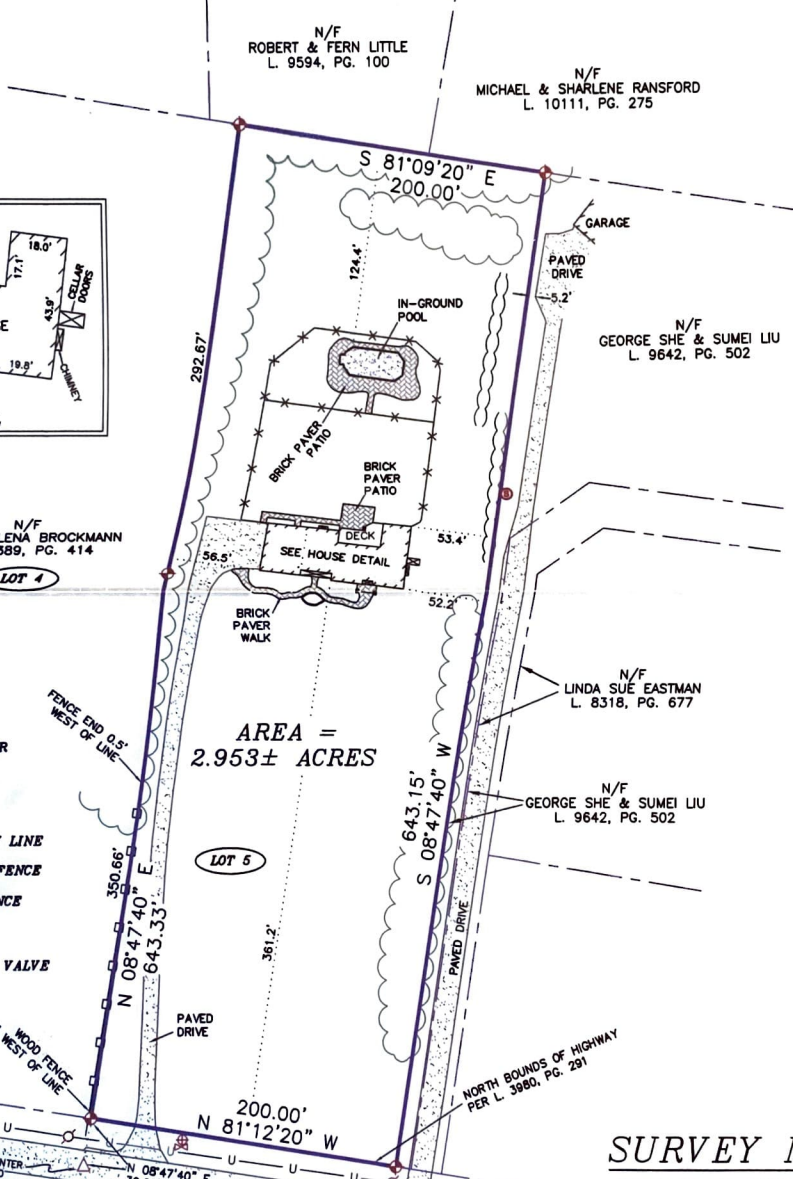


SURVEY MAP

LANDS TO BE CONVEYED TO
OLIVER M. & ERIN M.
MASABA

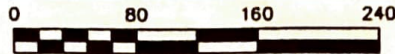
TAX LOT 192.02-1-2
SITUATE AT 50 VAN VOORHIS ROAD
BEING LOT 5 OF SECTION 1 OF THE
DEERFIELD SUBDIVISION
TOWN OF PITTSFORD
COUNTY OF MONROE
STATE OF NEW YORK

RICHARD DAUGHERTY
PROFESSIONAL LAND SURVEYOR
4871 BELKNAP HILL ROAD
BRANCHPORT, NEW YORK 14418
PHONE 607-322-4702



REFERENCES

- [A.] - WARRANTY DEED -
KENNETH A. & ELIZABETH J. HOUGHTON
TO: (JULY 13, 2018) L. 1143, PG. 419
ANTHONY L. & KRISTEN M. HANS
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PREPARED BY SEAR, BROWN & ASSOC.
- [C.] - ABSTRACT OF TITLE -
SEARCH #02961
LAST DATED FEB. 24, 2016
PREPARED BY PREMIER ABSTRACT & TITLE



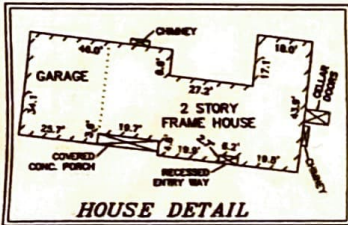
PLAT #16-M-88.DWC

NOTES

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LEGEND

- Δ -- CORNER NO MARKER
- ⊕ -- FOUND IRON PIPE
- ⊙ -- UTILITY POLE
- U -- OVERHEAD UTILITY LINE
- * * -- METAL STOCKADE FENCE
- □ -- WOOD PRIVACY FENCE
- ⊗ -- SEWER MANHOLE
- ∇ -- WATER LINE GATE VALVE
- ⊕ -- WATER METER

I HEREBY CERTIFY TO:

- [A.] OLIVER M. MASABA
- [B.] ERIN M. MASABA
- [C.] CNB MORTGAGE COMPANY, ISAQA
- [D.] CALLO & IACOVANGELO, LLP
- [E.] THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE
- [F.] THE SECRETARY OF HOUSING & URBAN DEVELOPMENT, ISAQA/ATIMA
- [G.] STATE OF NEW YORK MORTGAGE AGENCY, ISAQA

I AM A LICENSED LAND SURVEYOR AND THIS MAP DATED MARCH 22, 2018 IS BASED ON AN INSTRUMENT SURVEY COMPLETED ON MARCH 21, 2018 BY ME PER THE STANDARDS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.
COPYRIGHT 2018 RICHARD A. DAUGHERTY (ALL RIGHTS RESERVED)

VAN VOORHIS ROAD
(60.00' WIDE)



SURVEY MAP

LANDS TO BE CONVEYED TO
OLIVER M. & ERIN M. MASABA

TAX LOT 192.02-1-2
SITUATE AT 50 VAN VOORHIS ROAD
BEING LOT 5 OF SECTION 1 OF THE
DEERFIELD SUBDIVISION
TOWN OF PITTSFORD
COUNTY OF MONROE
STATE OF NEW YORK

RICHARD DAUGHERTY
PROFESSIONAL LAND SURVEYOR
871 BELLAIR HILL ROAD
BIRKENHEAD, NEW YORK 14018
PHONE 607-582-4700

Land survey with structure drawn to scale



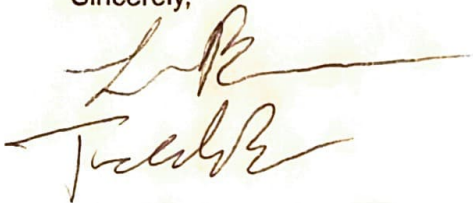
October 17, 2020

To Whom it may Concern:

Our neighbors Erin and Oliver Masaba, at 50 Van Voorhis Rd, 14534 are applying for a variance to put up a shed. The shed is going to be placed within 20 feet of the property line. We live at 40 Van Voorhis Rd, 14534 which is the property immediately next door. We have no issues with the shed being placed within the 20 feet of the property line.

Please contact us if there are any other concerns or questions.

Sincerely,

Handwritten signatures of Lena and Todd Brockmann in brown ink. The signature for Lena is above the signature for Todd.

Lena and Todd Brockmann
40 Van Voorhis Rd, Pittsford NY 14534
585-314-4658, 585-615-1868

5' 1" Siding
Height

14 ft across

12 inches run
per 10 in rise

$$\frac{10}{12} \times 7 \approx 6'$$

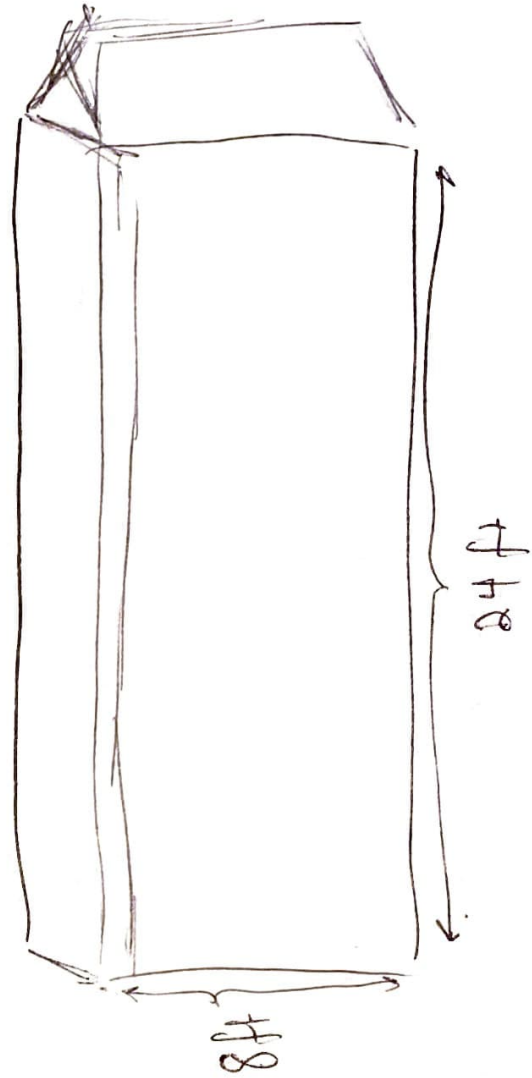
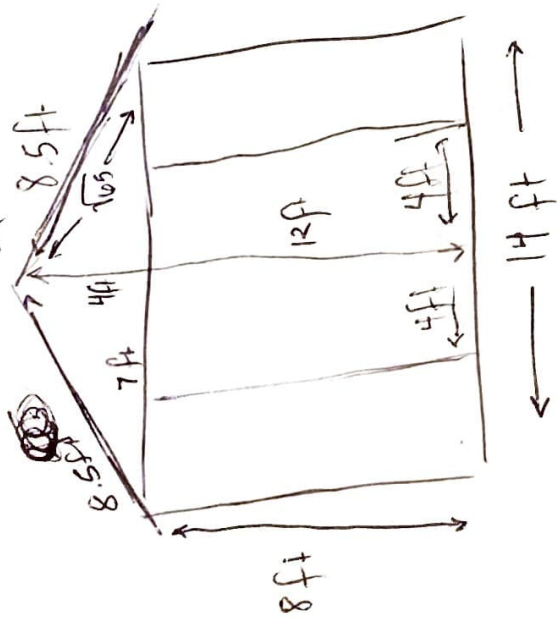
$$7^2 + 4^2 = x^2$$

$$49 + 16 = 65$$

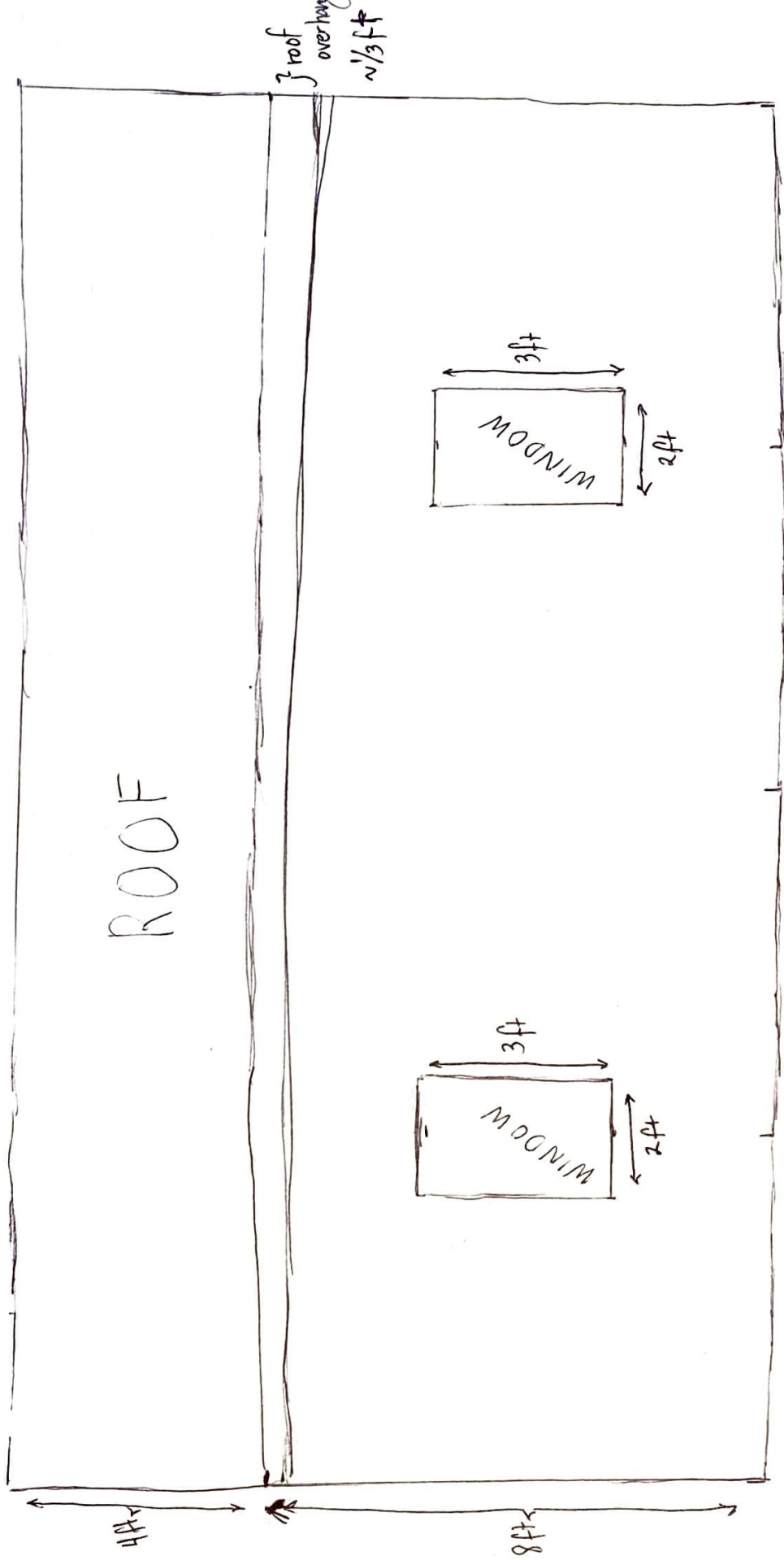
$$\sqrt{65}$$

top window

Front
View
and
Back
View



Side View (facing house)



LEGEND
(thin)
1cm = 1ft

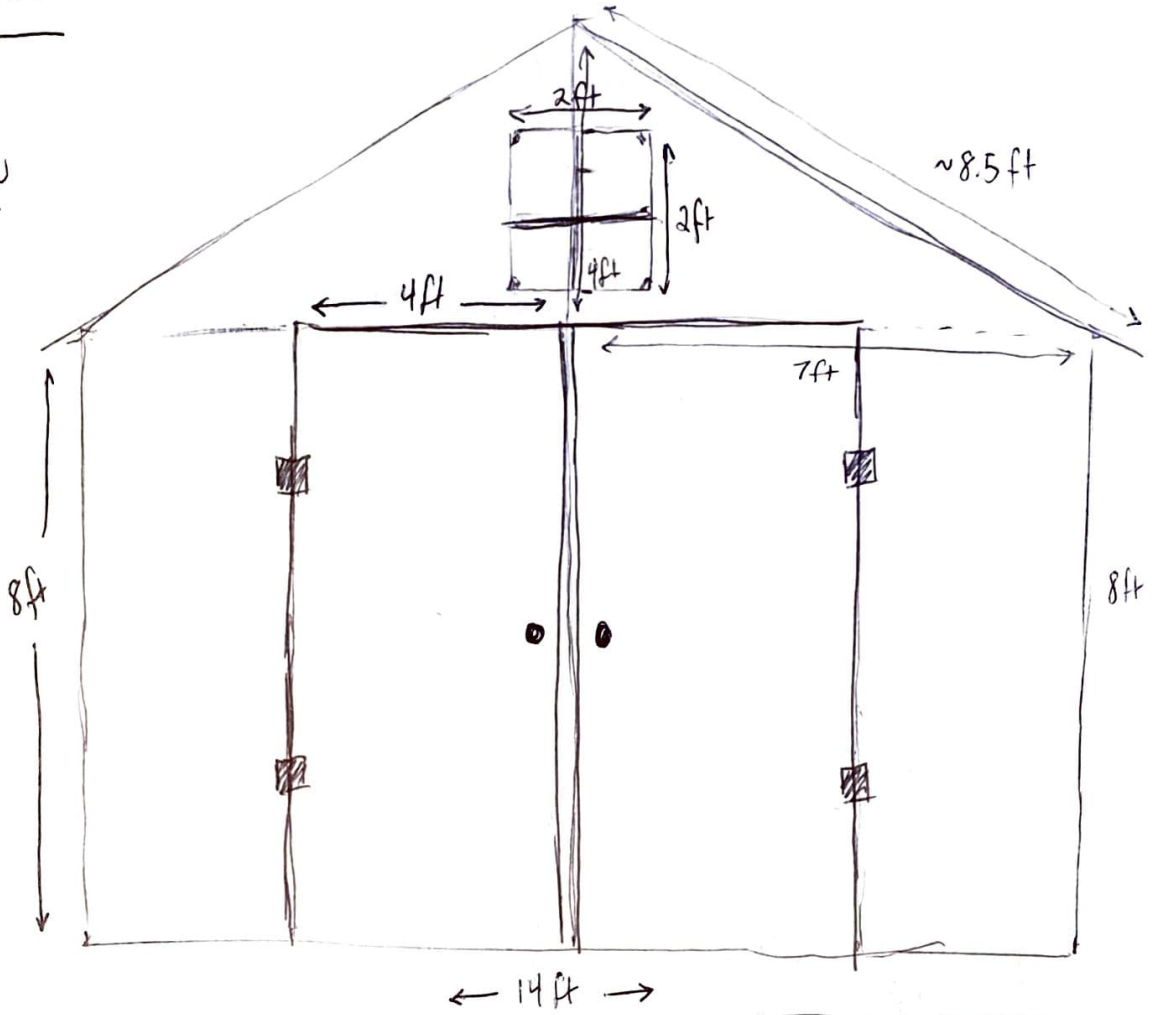
← 24ft →

Side View facing wooded boundary is same, but with NO WINDOWS

Front View

&

Back View



outward swinging double doors 8ft x 8ft

upper window 2ft x 2ft

LEGEND
1cm = 1ft
(.4in)

Zoning Board of Appeals Referral Form Information

Property Address:

67 Knollwood Drive ROCHESTER, NY 14618

Property Owner:

Fox, Peter D
67 Knollwood Dr
Rochester, NY 14618

Applicant or Agent:

Fox, Peter D
67 Knollwood Dr
Rochester, NY 14618

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is: Proposed Conditions: Resulting in the Following Variance:

Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	10105.92	Size:	11454.33	Size:	-1348.4099999999999

Code Section(s): 185-17 H

Description: Applicant is requesting relief from Town Code to allow the paving of a stone driveway which will exceed the maximum lot coverage for the property.

November 02, 2020



Date

Mark Lenzi - Building Inspector CEO

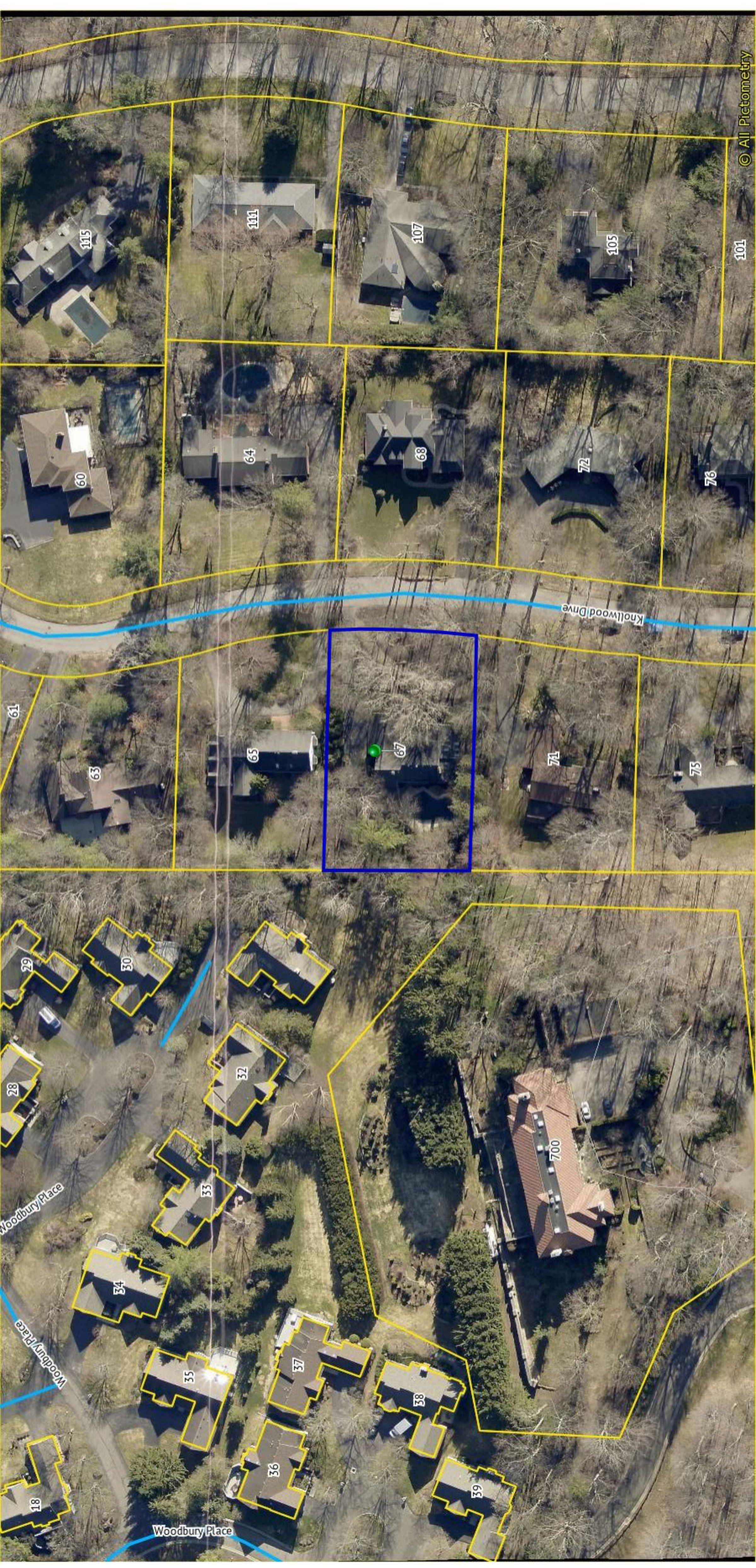
RN Residential Neighborhood Zoning



Printed November 2, 2020

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



67 Knollwood Drive
House Covered SQ FT

Lot Area: 25,460.00 SQ FT

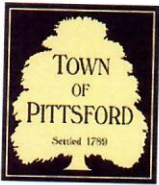
Allowed: 10,184.00 SQ FT 40%

<u>Existing Items</u>	<u>Current</u>		<u>Proposed</u>	
	SQ FT	%	SQ FT	%
House & Porch	3,506.00	13.77%	3,506.00	13.77%
Pool w/ Patio	1,756.00	6.90%	1,756.00	6.90%
Rear Yard Brick	1,136.00	4.46%	1,136.00	4.46%
Existing Driveway	2,048.00	8.04%	2,048.00	8.04%
Front Yard Brick	672.00	2.64%	-	-

Proposed Additions

Paved Front Loop	2,748.00	10.79%
New Front Walkway	239.00	0.94%
Monuments w/ light (3)	21.33	0.08%

Total Coverage 9,118.00 35.81% 11,454.33 44.99%



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: October 5, 2020 Hearing Date: _____

Applicant: Peter & Laurin Fox

Address: 67 Knollwood Drive

Phone: (585) 507-9931 E-Mail: peter.d.fox86@gmail.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 67 Knollwood Drive Rochester, 14618 Current Zoning: Residential

Tax Map Number: _____

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

We would like to pave the existing gravel driveway with asphalt. While doing this work we would like to reshape the driveway to make it more maneuverable and cover less area of our property. In order to achieve the revised layout of the driveway we will also like to shift the location of our second curb-cut in order to make the exit point of the paved loop better located for the new design.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Peter D. Fox

(Owner or Applicant Signature)

10/5/2020

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

There is currently an existing driveway but it is not made with a permanent material, therefore the look of the property and neighborhood will be not be changed. We will be enhancing the aesthetics and functionality of the property by paving the current gravel driveway area. Most homes in the neighborhood have "horseshoe" driveways and our property will be elevated to the neighborhood standard. Similarly, we will be making a financial reinvestment in our property that the prior owners have not undertaken that will help the property match the neighborhood look and feel.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Unless we pave the driveway with a more permanent material, the gravel will continue to create scratches on our vehicles and the neighbors vehicles as well. The existing gravel driveway also creates a lot of dust and dirt that is blown to our neighbors yards and the street. We can eliminate this issue once the driveway is paved with asphalt.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested variance is minimal, less than 5%(see attached calculations worksheet). Due to the fact that there is an existing gravel driveway already in place and we are planning to make it permanent, functional and aesthetically pleasing to the neighborhood.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

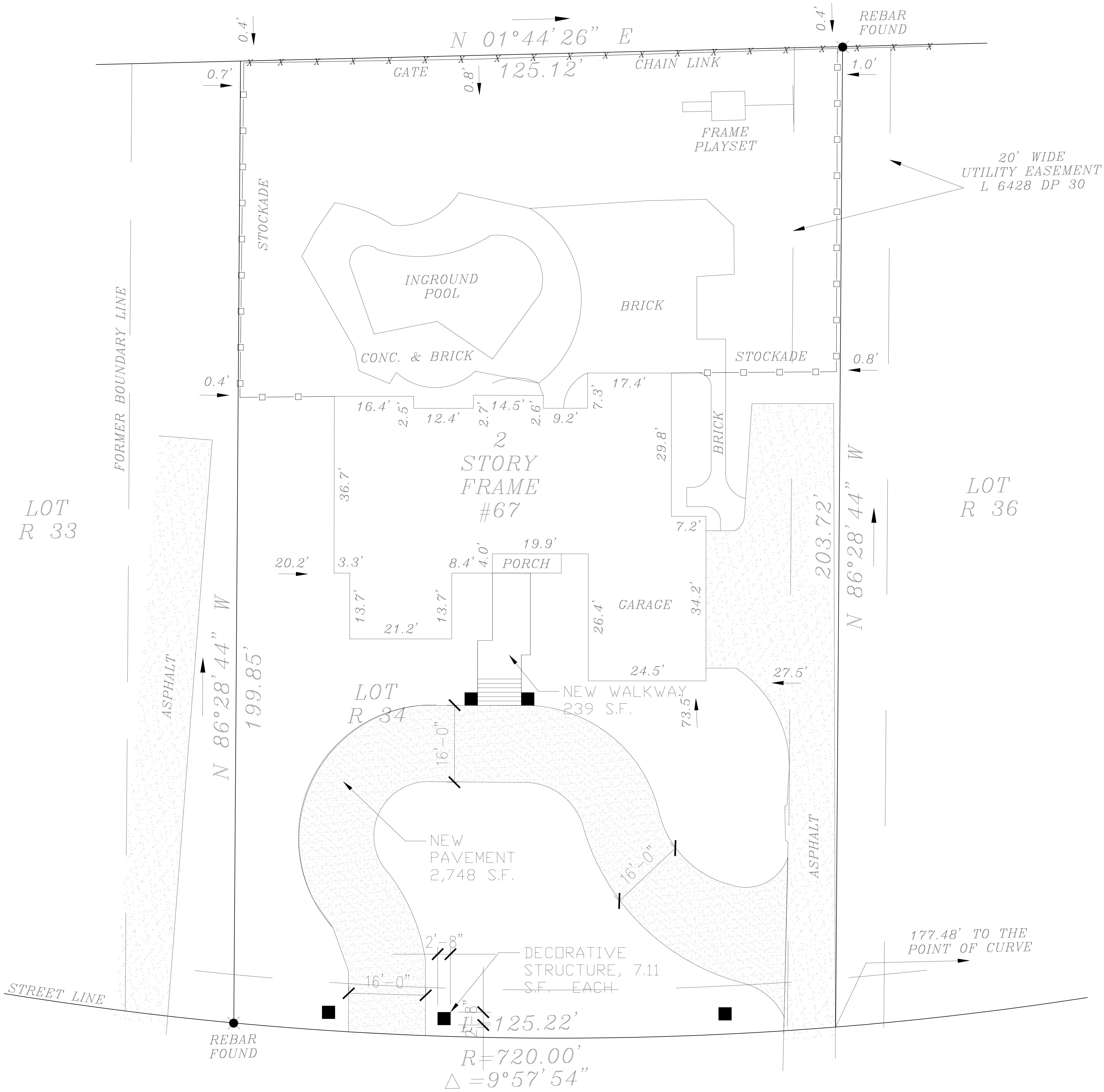
Since the driveway is already in place, there will be no impact on drainage or pitch, and the few proposed changes are very minimal in nature. As part of our project, we are planning to enhance the existing stone substrate and add additional drainage mechanisms to help control rainwater on the property by diverting it to the appropriate storm water sewer.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes, it is self created.

We need this variance in order to preserve the existing driveway that is on the property. We ultimately would like the variance in order to make the new surface safer to drive and walk on especially for our three young children. We also want to make the area safe to plow during the winter months as well as minimize the dust and dirt in the neighborhood that the existing gravel driveway produces. By having the asphalt driveway, it will make it safer for us and our guests to exit our property due to the neighborhood shrubs and trees that impact sight-lines and create large blind spots when exiting our current driveway. Another element of the proposed project is to add light monuments/posts adjacent to our driveway curb cuts, these will help minimize blind spots at night and during the winter months. In our short time living in our house we have already had too many close calls when backing out of our current driveway and our ultimate goal for asking for this variance it that it will allow us to eliminate these close call situations and create a safer neighborhood.



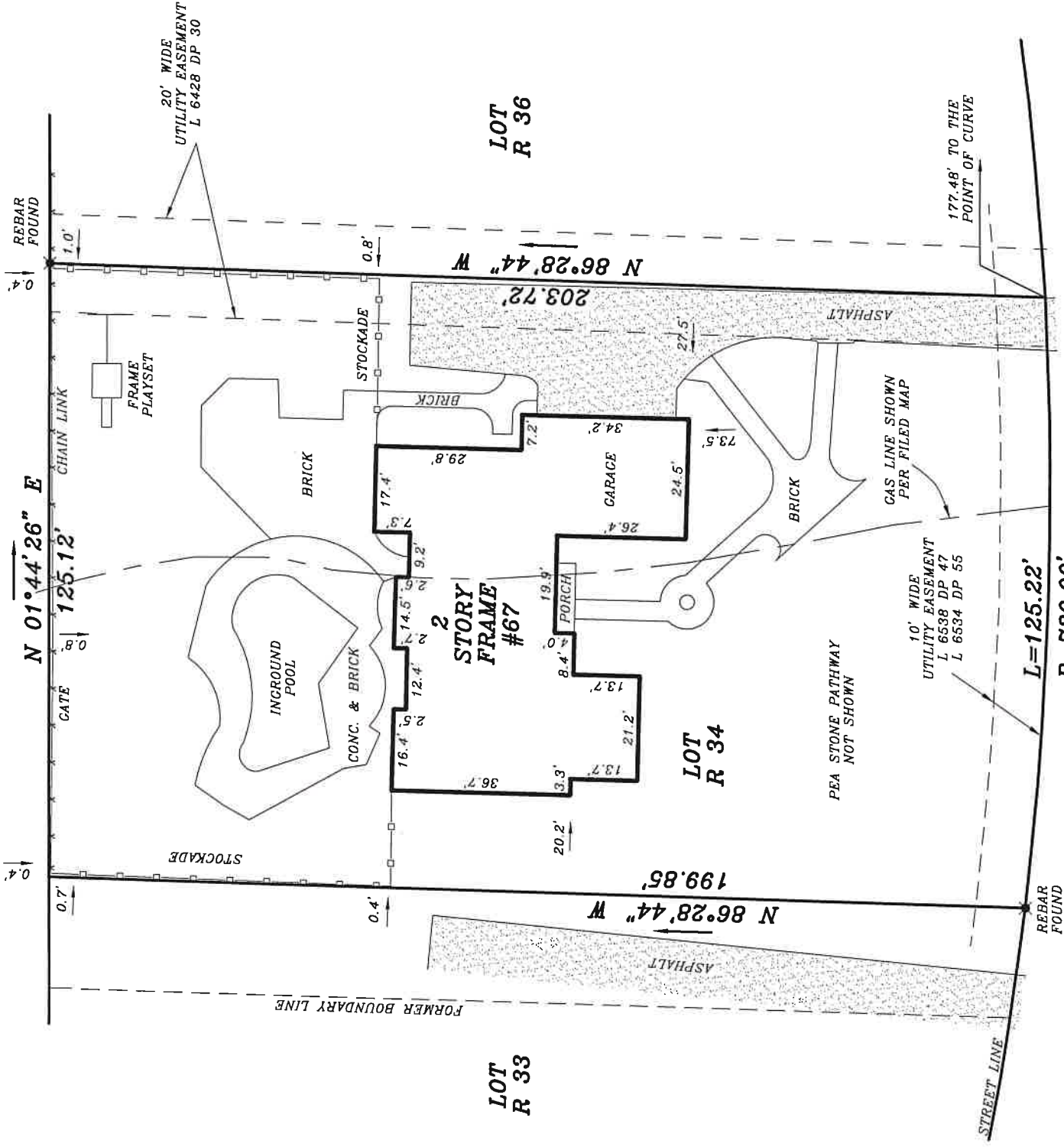
KNOLLWOOD (60' WIDE) DRIVE

OPTION 2



LOT AREA
25,460 SF
CURRENT COVERAGE
9,118 SF
35.81%
COVERAGE AVAILABLE
1,067 SF
4.19%

HOUSE & PORCH
3,506 SF
13.77%
POOL W/PATIO
1,756 SF
6.90%
REAR YARD BRICK
1,136 SF
4.46%
ASPHALT DRIVEWAY
2,048 SF
8.04%
FRONT YARD BRICK
672 SF
2.64%



REFERENCES:

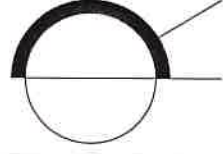
FIRST AMERICAN TITLE INSURANCE COMPANY #426501 DATED MAY 3, 2019
LIBER 12187 OF DEEDS, PAGE 224
LIBER 224 OF MAPS, PAGE 71
CASE A-25 OF MAPS

NOTES:

PARCEL TAX ID #138.13-1-22

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO CNB MORTGAGE COMPANY, ITS SUCCESSORS AND/OR ASSIGNS; GALLO & IACOVANGELO, LLP; WEBTITLE AGENCY; PETER D. FOX; LAURIN FOX AND ANNE DYRING RILEY LLC THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JULY 24, 2020.

Scott E. Measday
SCOTT E. MEASDAY, P.L.S. #050910



O'NEILL-RODAK
LAND SURVEYING ASSOCIATES, P.C.
LAND SURVEYORS - PLANNERS
BOUNDARY CONSULTANTS
FEMA ELEVATION CERTIFICATES
ALTA/NSPS SURVEYS

5 SOUTH FITZHUGH STREET
ROCHESTER, NY
14614
PHONE (585) 325-7520 FAX (585) 325-1708
e-mail surveyors@oneillrodak.com

MAP OF A SURVEY

LOT R 34
KNOLLWOOD RESUBDIVISION
TOWN OF PITTSFORD

MONROE COUNTY, NEW YORK

CLIENT

MR. PETER D. FOX

SCALE
1" = 30'

DATE
05/16/2019
REDATED 07/24/2020

PROJECT NO.
2019-0639

KNOLLWOOD DRIVE (60' WIDE)

L=125.22'
R=720.00'
Δ=9°57'54"

"Unauthorized alteration of, or addition to, this survey map is a violation of section 7209 of the New York State Education Law"
Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid true copy.
"Guarantees or certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution.
Guarantees or certifications are not transferable to the institutions or subsequent owners"

Zoning Board of Appeals Referral Form Information

Property Address:

145 Kilbourn Road ROCHESTER, NY 14610

Property Owner:

Oak Hill Country Club Inc.
PO Box 10397
Rochester, NY 14610-0397

Applicant or Agent:

Bergmann DPC
280 E. Broad St.
Rochester, NY

Present Zoning of Property: SRAA Suburban Residential / C Commercial
Area Variance - Non-Residential

Town Code Requirement is: Proposed Conditions: Resulting in the Following Variance:

Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	30	Height:	35	Height:	-5.0
Size:	0	Size:	0	Size:	0.0

Code Section(s): 185-39

Description: Applicant is requesting relief from Town Code to allow the construction of four 5,000 Sq. Ft. guest houses along the main entrance drive. The guest houses are proposed to be constructed to approximately 35' in height where code allows 30'.

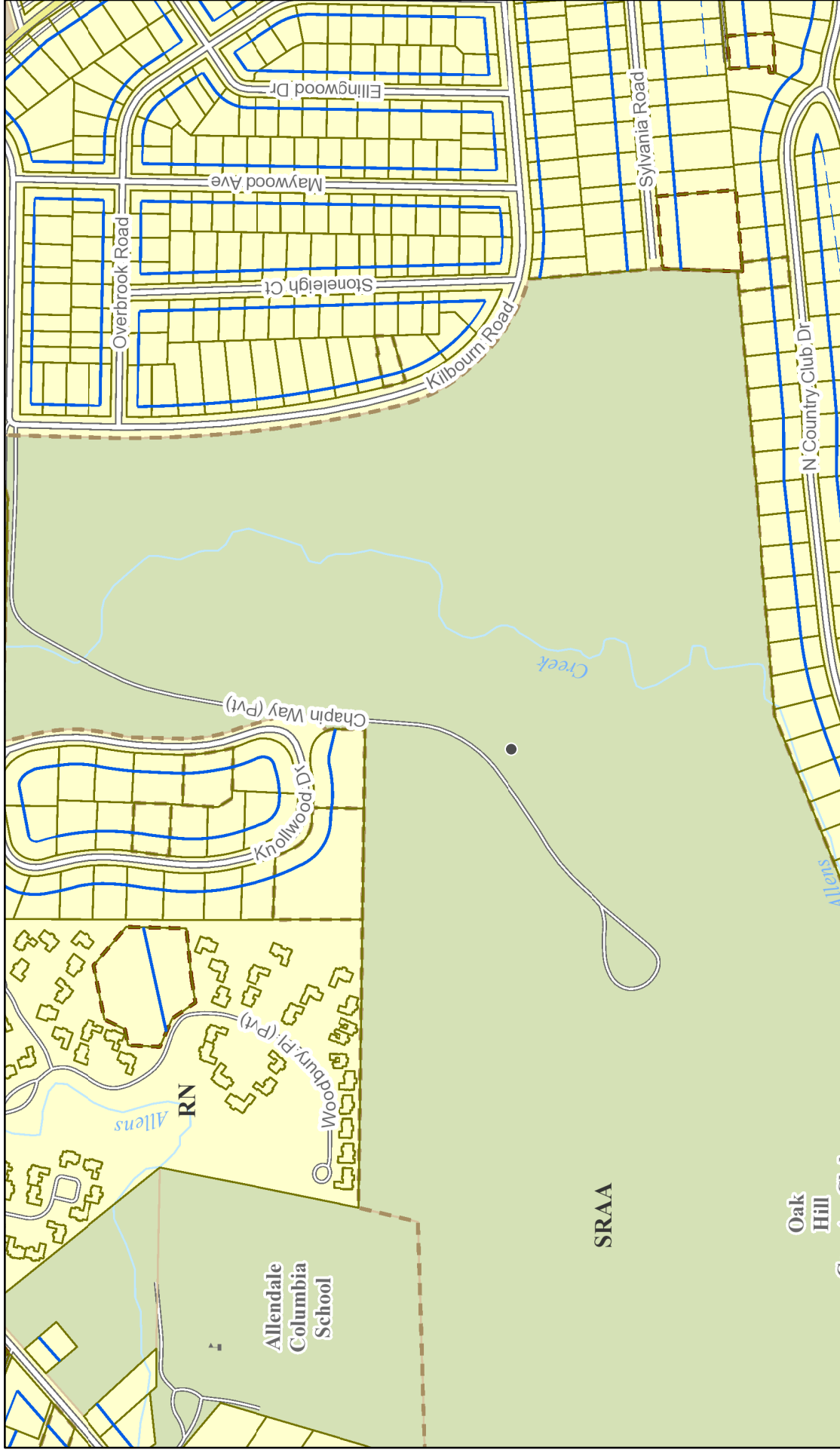
November 02, 2020



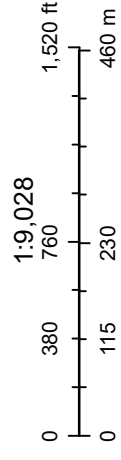
Date

Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning

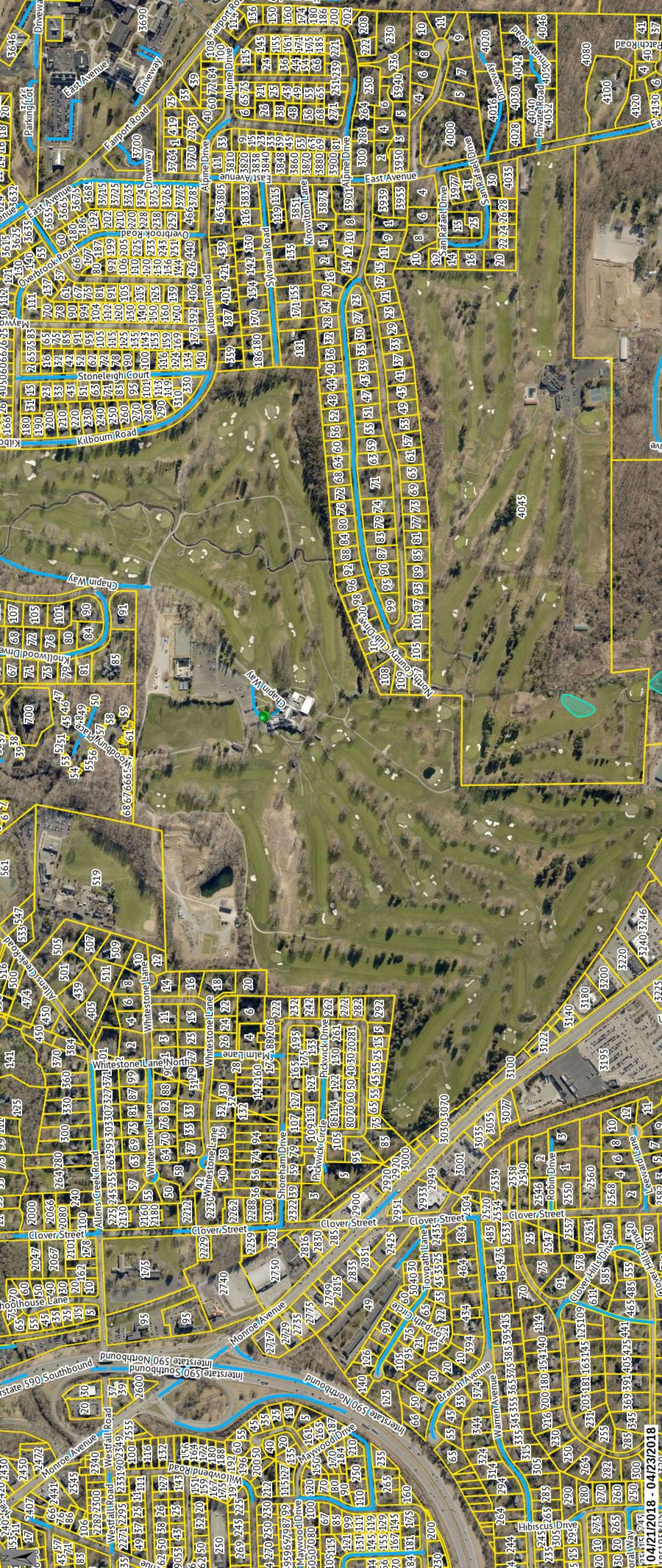


Printed November 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Town of Pittsford
11 South Main Street
Pittsford, New York 14534

March 4, 2020

Attn: Mark Renzi

Re: Area Variance Request
Oak Hill Cottages
Oak Hill Country Club
145 Kilbourn Road
Rochester, NY 14618

Dear Mark;

On behalf of Oak Hill Country Club, we are submitting the following materials for an area variance request for the proposed building height for the construction of four cottages of which two will be constructed this year and the remaining two constructed at a future date:

- Check for \$137.00 (application fee)
- Area Variance application packet
- 12 copies of the project site drawings
- 12 11x17 size color prints of the building elevations

Oak Hill Country Club proposes to construct hospitality residences providing overnight accommodations on a portion of their property, east of the tennis courts. The site fronts on Chapin Way, the club's main entrance drive, and is immediately adjacent to the Knollwood neighborhood to the north.

Two separate residences are proposed, each being 2-story and 5,000 square feet. Each building will contain four-bedroom suites and a common living/dining space. The structures are designed in the Tudor Revival style to complement both the existing Oak Hill architecture and that of the Knollwood neighborhood. Due to the steep roof pitches required for the architectural style, the ridgeline of two-story residences extend 4-5 feet above the limit allowed under current zoning. For this reason, an area variance is being requested to allow the buildings to be 35 feet in height where 30 feet in height is the maximum allowed. A twelve-car parking area is also proposed, along with residential style landscaping, and associated utilities. Stormwater runoff will be collected and piped to the existing drainage swale immediately south of the proposed cottages site.



Oak Hill is an international destination for both its membership and signature tournament play. In surveying peer golf clubs in the northeast and Midwest, Oak Hill has found most other clubs of similar stature have constructed overnight accommodations. This has been found to increase membership value and enhance the club experience. In addition, when the club was originally constructed, overnight accommodations were included within the clubhouse building, which have since been converted to non-residential uses.

If all is in order, please place our application on the Zoning Board of Appeals' April 20, 2020 agenda for consideration. Should you have any questions or need additional information, please do not hesitate to contact me at 585-498-7782 or bburri@bergmannpc.com. Thanks Mark.

Sincerely,

BERGMANN ASSOCIATES

Brian J. Burri
Discipline Leader
Land Development



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: _____ Hearing Date: April 20, 2020

Applicant: Oak Hill Country Club-Chad Ellis

Address: 145 KILBOURN RD.

Phone: (585) 586-1660 E-Mail: chadellis@oakhillcc.com

Agent: Brian Burri, Bergmann DPC
(if different than Applicant)

Address: 280 E. Broad Street

Phone: (585) 498-7782 E-Mail: bburri@BERGMANNPC.com

Property Owner: Oak Hill Country Club
(if different than Applicant)

Address: 145 Kilbourn Road

Phone: (585) 586-1660 E-Mail: chadellis@oakhillcc.com

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 145 KILBOURN RD. ROCHESTER, NY 14618 Current Zoning: SRAA

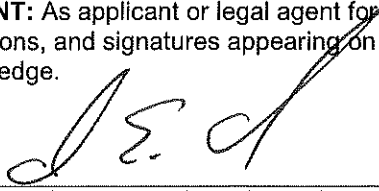
Tax Map Number: 138.17-1-13.111

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

Oak Hill Country Club intends to build four guest ___ s.f. houses to accommodate the needs of the members and guest members. The Guest houses will have balconies and there will be a communal fire-pit and grill located within the project area. There will be a parking lot located centrally that will provide twelve spaces including one ADA space. Building height will be ~~30'~~^{35'} where 30' is permitted.

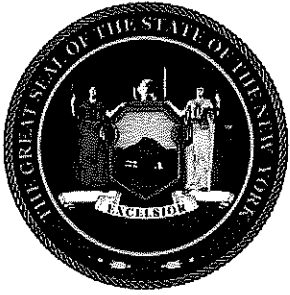
SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.



(Owner or Applicant Signature)

3-4-20

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The area variance is being requested for a building height of 35' where 30' is allowable. Because of the architectural proportions and high-end quality of the project the proposed building height is 5' higher than allowable to accommodate the needs within the building.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

If the project reduces the height of the structures the detriment would be a lower quality aesthetic where the building looks less prestigious. In keeping with other luxury homes in the neighborhood these guest houses have been designed to keep proportions that keep high end architectural aesthetic.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The area variance is for the building height and the structures are consistent with the surrounding properties. 30' is allowable by the code and the proposed structures are 35' in height.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The guest houses will not be viewable from neighboring homes though the woods that separate the guest houses from the neighborhood. The structures will be designed with high-end architectural features, due to the internal needs of the structure the roof height needs to be 35' to keep proportions that would benefit the neighborhood.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Oak Hill Country Club Cottages

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

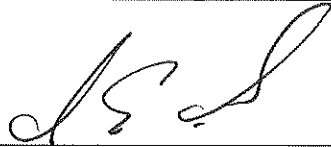
variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

3-4-20

(Dated)

145 Kilbuck Rd

(Street Address)

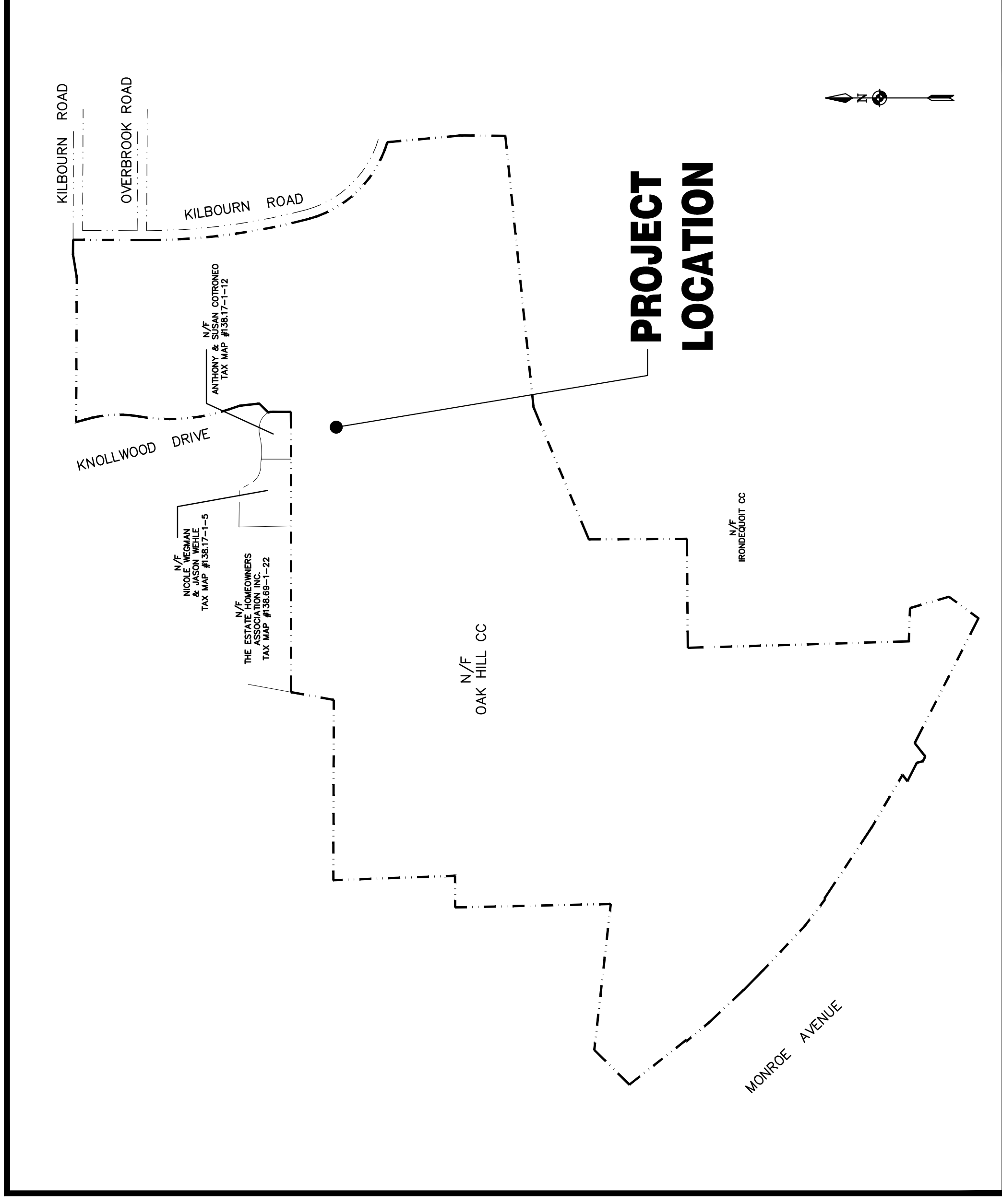
Rochester NY 14618

(City/Town, State, Zip Code)

OAK HILL COTTAGES

Oak Hill Country Club
145 Kilbourn Road
Rochester, NY 14618

INDEX OF DRAWINGS		
DRAWING NUMBER	DRAWING NAME	SHEET NUMBER
CV1	COVER SHEET	1 of 9
C001	GENERAL NOTES	2 of 9
C010	OVERALL SITE PLAN	3 of 9
C100	SITE/UTILITY PLAN	4 of 9
C101	SITE/UTILITY PLAN	5 of 9
C120	GRADING AND EROSION CONTROL PLAN	6 of 9
C130	LANDSCAPE PLAN	7 of 9
C500	MISCELLANEOUS DETAILS	8 of 9
C501	MISCELLANEOUS DETAILS	9 of 9



PROPERTY LOCATION MAP
 NOT TO SCALE

PROJECT ARCHITECT:

JD Architect
 435 Williams Road
 Henrietta, NY 14467
 585-750-9611

PREPARED FOR:

Oak Hill Country Club
 145 Kilbourn Road
 Rochester, NY 14618
 585-586-1660



LOCATION MAP
 NOT TO SCALE

PREPARED BY:



280 East Broad Street
 Suite 200
 Rochester, NY 14604
 office: 585.232.5125
 fax: 585.232.4652
 www.bergmampc.com

March 2, 2020

OAK HILL COTTAGES

CHAPIN WAY
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK

OAK HILL COUNTRY CLUB

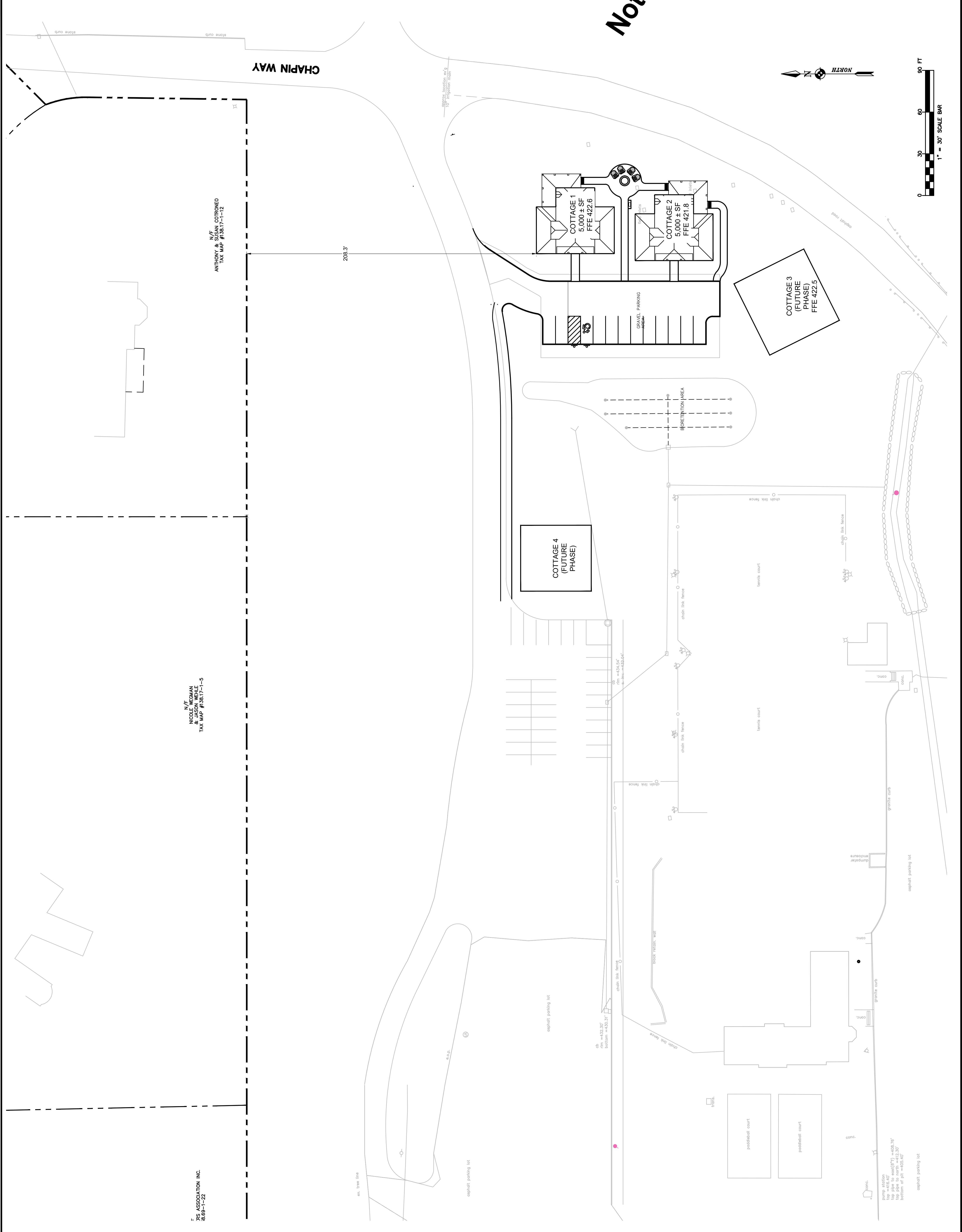
145 KILBOURN ROAD
ROCHESTER, NY 14618



Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
299 East Broad Street
Suite 200
Rochester, NY 14604

office: 585.232.5135
fax: 585.232.4652
www.bergmannpc.com

DATE	DESCRIPTION



NICO V. BERGMANN
& JASON WEHLE
TAX MAP #35817-1-5

IS ASSOCIATION, INC.
8.89-1-22

N/F. DISTRICTED
TAX MAP #35817-1-12

ex. tree line

208.3'

e.o.p.

asphalt parking lot

asphalt parking lot

db
rim = 432.30'
bottom = 426.31'

db
rim = 434.54'
bottom = 428.54'

db
rim = 432.30'
bottom = 426.31'

db
rim = 434.54'
bottom = 428.54'

db
rim = 432.30'
bottom = 426.31'

db
rim = 434.54'
bottom = 428.54'

db
rim = 432.30'
bottom = 426.31'

db
rim = 434.54'
bottom = 428.54'

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

asphalt parking lot

pump station
top pipe to east (P7) = 428.70'
top pipe to west (P7) = 428.70'
bottom of pit = 425.42'

Not For Construction

Copyright © Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.

Project Manager: B. BURRI
Designed By: R. JONES, RLA
Drawn By: R. JONES, RLA
Sheet Number: 03/22/20
Scale: 1/8" = 1'-0"

OVERALL SITE PLAN

Sheet Number

C010

3 of 9

OAK HILL COTTAGES

CHAPIN WAY
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK

OAK HILL COUNTRY CLUB

145 KILBOURN ROAD
ROCHESTER, NY 14618



Bergmann, Massimoles, Anelliheads, Engineers,
Landscape Architects & Surveyors, D.P.C.
290 East Broad Street
Suite 200
Rochester, NY 14604
office: 585.232.5135
fax: 585.232.4652
www.bergmannpc.com

DATE _____ DESCRIPTION _____

Not For Construction

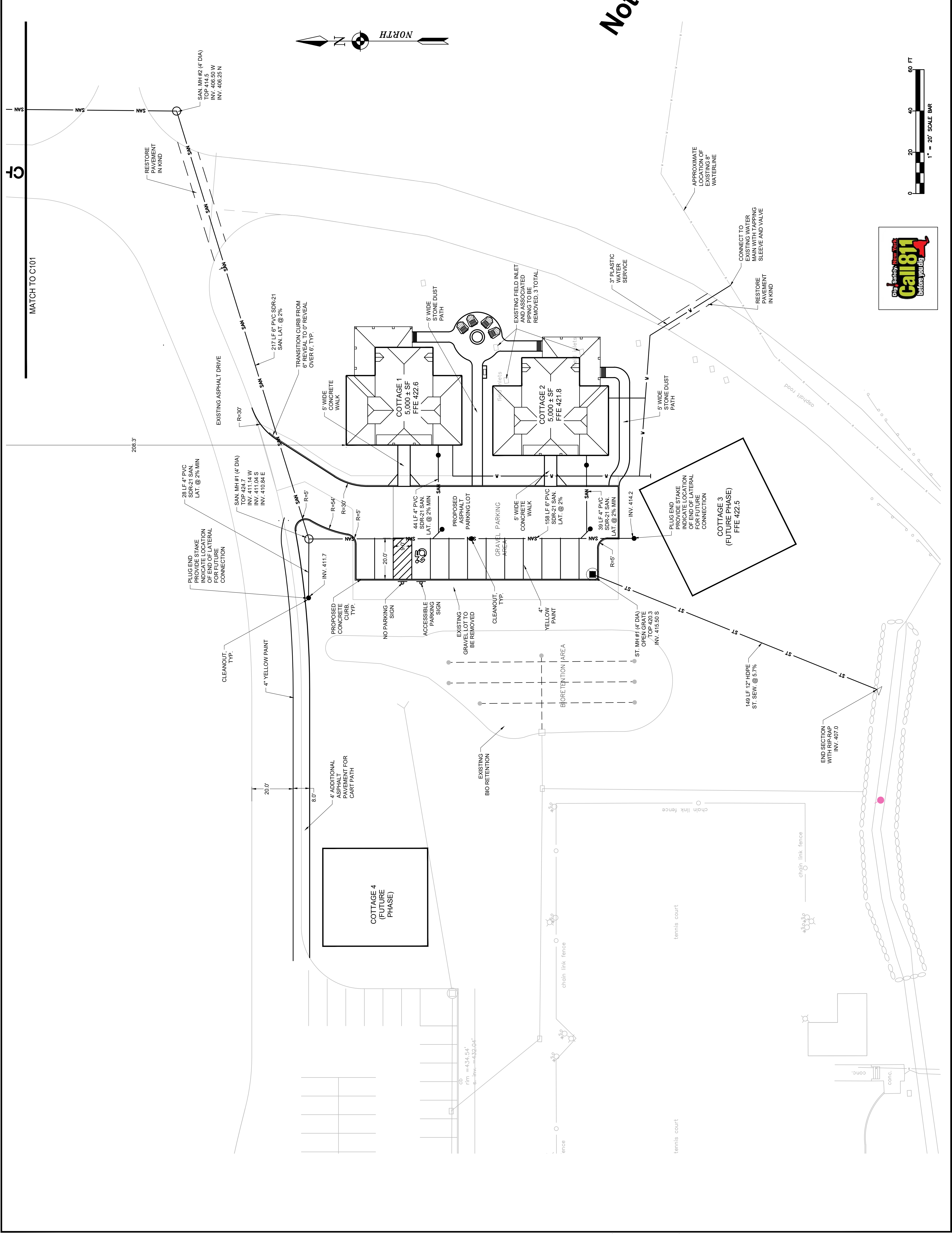
Copyright © Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.

Project Manager: B. BURRI
Checked By: B. BURRI
Designed By: R. JONES, R.L.A.
Drawn By: R. JONES, R.L.A.
Date Issued: 03/22/20
Project Number: 10851.00

SITE/UTILITY PLAN

C100

4 of 9



OAK HILL COTTAGES

CHAPIN WAY
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK

OAK HILL COUNTRY CLUB

145 KILBOURN ROAD
ROCHESTER, NY 14618



Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
299 East Broad Street
Suite 200
Rochester, NY 14604
office: 585.232.5135
fax: 585.232.4652
www.bergmannpc.com

DATE	DESCRIPTION

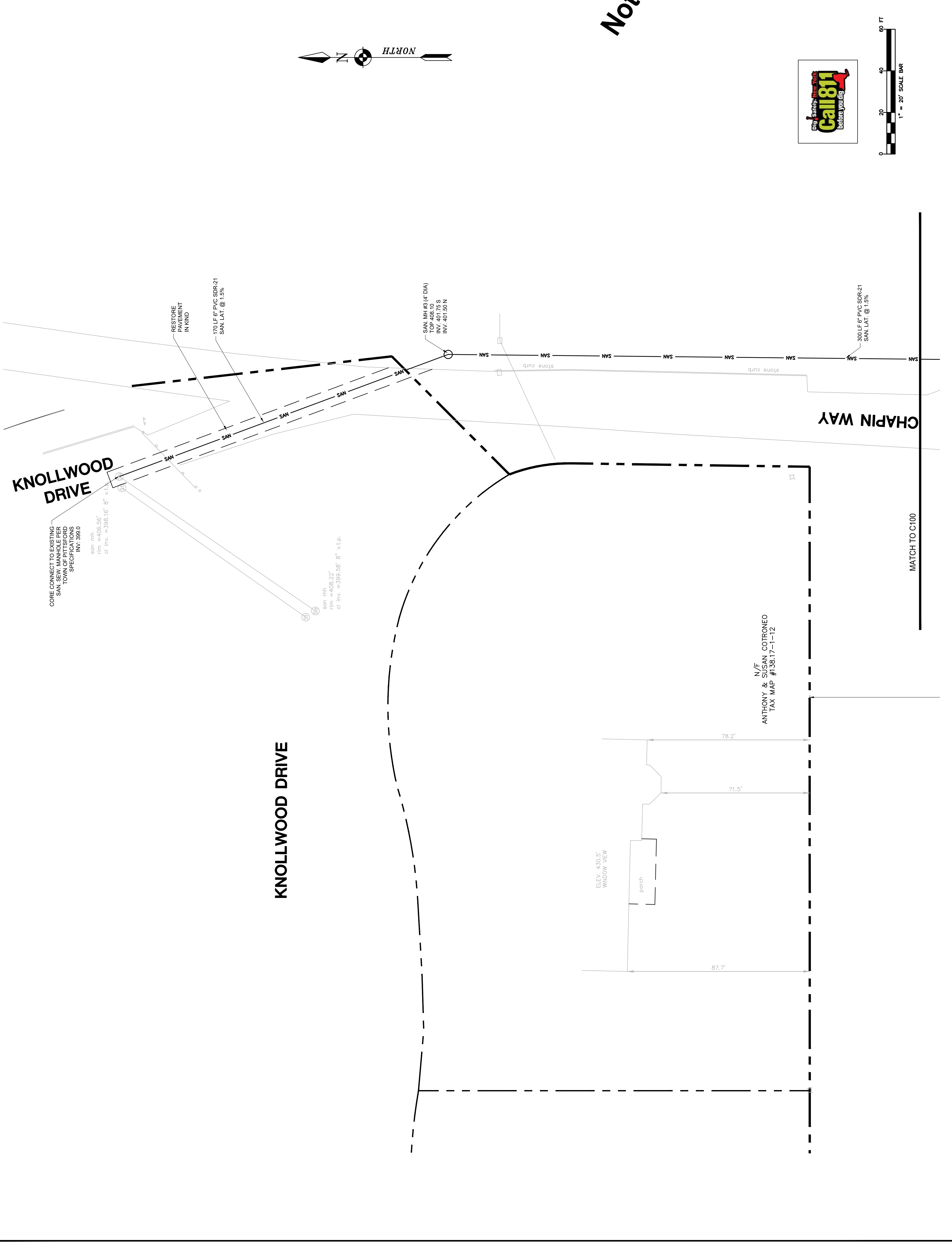
Not For Construction

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Landscape Architects & Surveyors, D.P.C.

Project Manager	Checked By
B. BURRI	B. BURRI
Design By	Drawn By
R. JONES, RLA	R. JONES, RLA
Date Issued	Project Number
03/22/20	10851.00

SITE/UTILITY PLAN

Sheet Number
C101

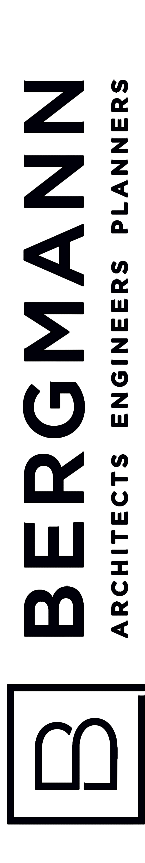


OAK HILL COTTAGES

CHAPIN WAY
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK

OAK HILL COUNTRY CLUB

145 KILBOURN ROAD
ROCHESTER, NY 14618



Bergmann Associates, Architects, Engineers,
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DATE	DESCRIPTION

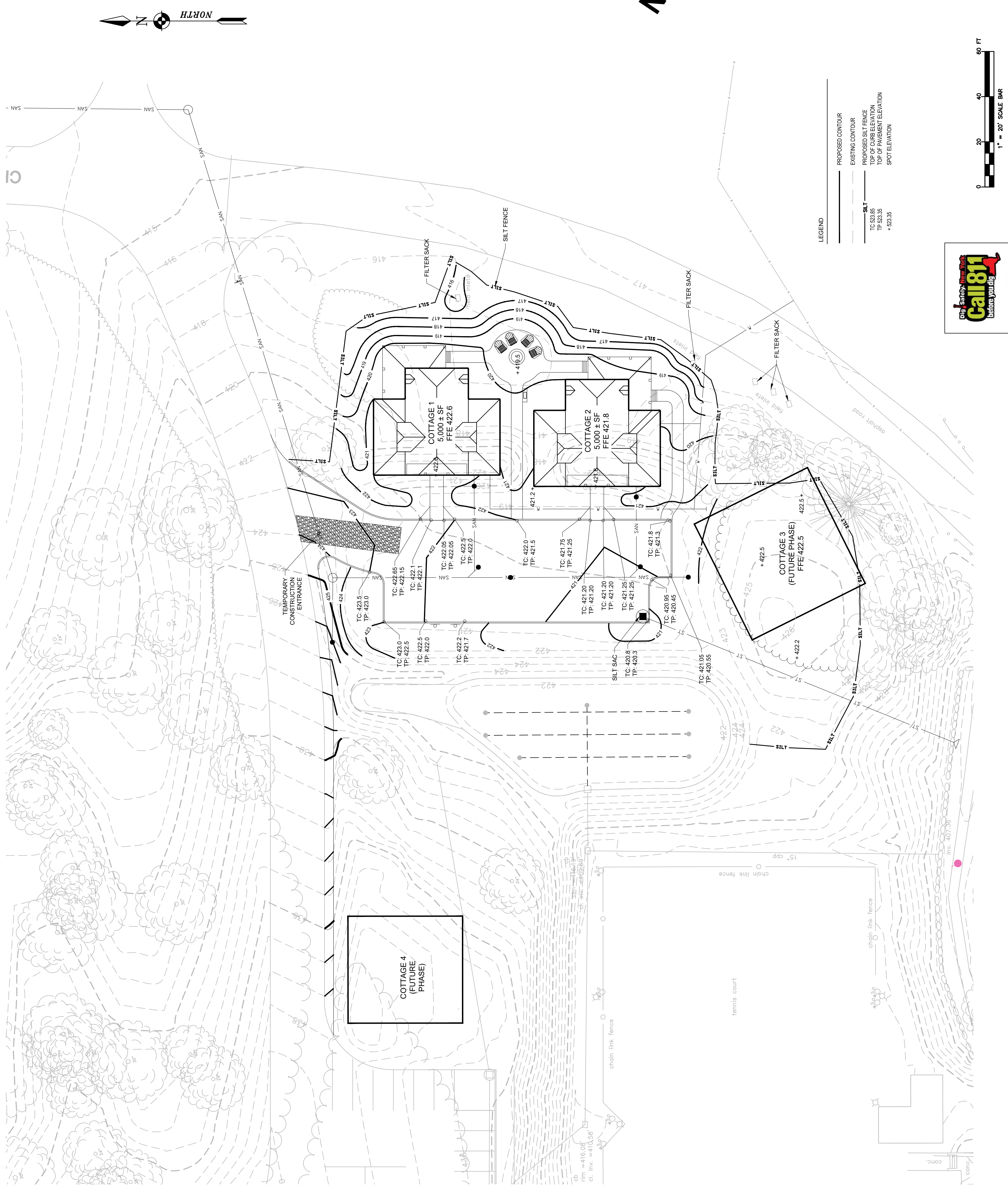
Not For Construction

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Landscape Architects & Surveyors, D.P.C.

Project Manager	Checked By
B. BURRI	B. BURRI
Designer By	Date
T. BOLT	10/27/20
Drawn By	Project Number
T. BOLT	1081100

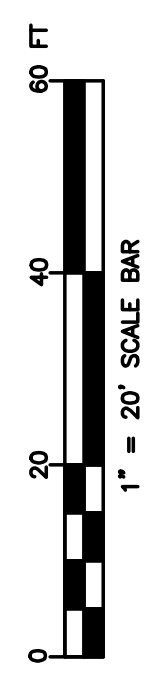
GRADING AND EROSION CONTROL PLAN

C120



LEGEND

Symbol	Description
—	PROPOSED CONTOUR
- - -	EXISTING CONTOUR
—	PROPOSED SILT FENCE
—	TOP OF CURB ELEVATION
—	TOP OF PAVEMENT ELEVATION
•	SPOT ELEVATION

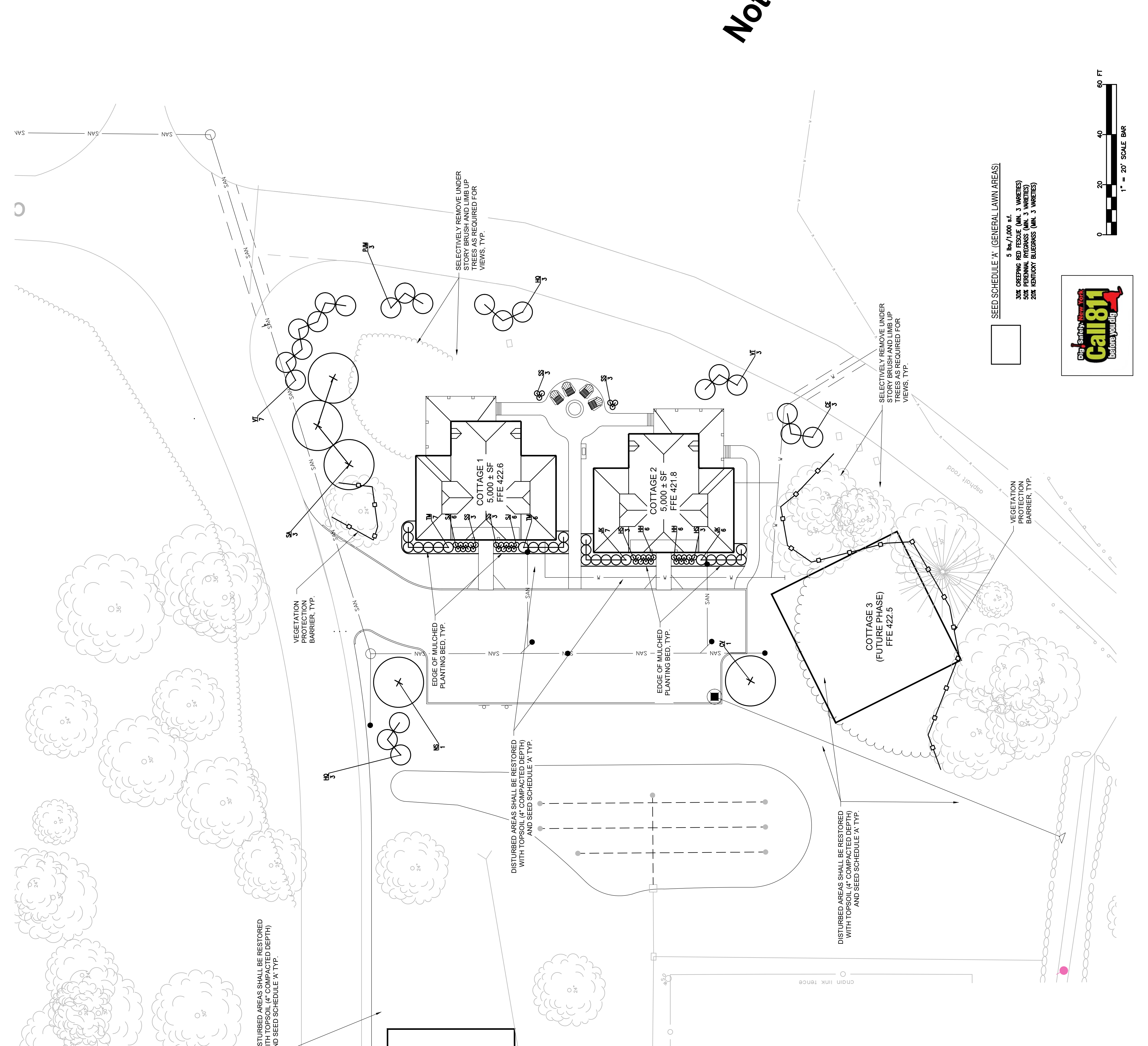


LANDSCAPE NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDNESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE, AND FULL HEADED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND/OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH ALL PLANTER AREAS WITH DOUBLE GROUND BARK MULCH MADE FROM A MIXTURE OF HARDWOOD AND/OR SOFTWOOD. MULCH SHALL BE SCREENED TO EXCLUDE PARTICLES LARGER THAN ONE (1) INCH. MULCH MATERIAL SHALL BE COMPOSED OF BARK AND HAVE A LOW WOOD CONTENT WITH NO HIDDEN WOODS FROM CONSTRUCTION DEBRIS, PALLETS OR PRESSURE TREATED LUMBER AND BE FREE OF WEEDS, SEEDS, AND GREEN LEAF MATTER. IT SHALL BE NATURALLY DARK BROWN IN COLOR. NO DYED MULCH WILL BE ACCEPTED. MULCH DEPTH SHALL BE THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND LAWN AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL (4" COMPACTED DEPTH) AND SEED SCHEDULE 'A' TYP. UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY, BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL TOPSOIL SHALL BE SCREENED LOAM SURFACE SOIL, FREE OF STONES AND SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - SOIL ACIDITY RANGE OF PH 6.0 TO PH 6.8
 - SOLUBLE SALTS OF 1000 PPM OR LESS
 - MAXIMUM CLAY CONTENT OF 15-20%
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A TOPSOIL ANALYSIS TO INCLUDE THE FOLLOWING DATA:
 - PH FACTOR,
 - MECHANICAL ANALYSIS, INCLUDING SIEVE ANALYSIS PROVIDING SEPARATE SAND, SILT AND CLAY PERCENTAGES
 - PERCENTAGE OF ORGANIC CONTENT BY WEIGHT
 - NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHORUS AND POTASSIUM.
- SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS, A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACIDITY RANGE OF PH 6.0 TO 6.8 INCLUSIVE.
- COMPOST SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - ORGANIC CONTENT OF 35-60% (DRY WEIGHT BASIS)
 - LOOSE AND FRABLE WITH MOISTURE CONTENT OF 35-60% (WET WEIGHT BASIS)
 - PARTICLE SIZE SHALL BE 3/4" INCH (100% PASSING)
 - SOIL SALTS CONCENTRATION SHALL BE 40 MMHOS/CM (DSM), MAXIMUM
 - PH RANGE OF 6.0-8.5
- PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF (2) PARTS IMPORTED SCREENED TOPSOIL AND (1) PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLAN ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY WORK BEING PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER DETAILS AND SPECIFICATIONS. THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET C600 FOR LANDSCAPE DETAILS.
- UPON FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE OWNER WILL ASSUME MAINTENANCE OF THE LANDSCAPED AREAS.

Key	Botanical Name	Common Name	Height	Main Size	Spread	Installed Size	Condition	Notes
Shade Trees								
NS	Nyssa sylvatica	Black Gum	30-50' Ht.	20-30' Spd.	3' Cal.	B&B		
SA	Saccharis arbutum	Saccharis	30-40' Ht.	25-30' Spd.	3' Cal.	B&B		
Overmatured Trees								
CV	Carex lasiocarpa 'Winter King'	Winter King Hardstem	25-30' Ht.	25-30' Spd.	2.5' Cal.	B&B		
Deciduous / Evergreen Shrubs								
CE	Copularhus occidentalis	Burnsash	5-12' Ht.	4-8' Spd.	30-30' Ht.	Cont.		
HO	Hydrangea quercifolia	Oakleaf Hydrangea	6-8' Spd.	24'-30' Ht.	Cont.			
JK	Juniperus ch. 'Kaliy's Compact'	Kaliy's Compact Pfitzer	2-3' Ht.	5-6' Spd.	No. 5	Cont.		
PL	Rhododendron x 'P.J.H. Compact'	P.J.H. Compact Rhododendron	4' Ht.	4' Spd.	30'-35' Ht.	Cont.		P-All
TH	Thuja occidentalis 'Dwarf Blue'	Dwarf Blue Arborvitae	4-6' Ht.	4-6' Spd.	3' Spd.	B&B		
VT	Viburnum plicatum tomentosum 'Walesii'	Walesii Doublefile Viburnum	10-12' Ht.	12-15' Spd.	4-5' Ht.	B&B		
Perennials / Groundcovers								
HH	Hemerocallis 'Happy Returns'	Happy Returns Daylily	12-18" Ht.	18-24" Spd.	No. 2	Cont.		plant 18" o.c.
HS	Hydrillellum spectabile 'Autumn Fire'	Autumn Fire Sedum	12-18" Ht.	18-24" Spd.	No. 2	Cont.		plant 18" o.c.
Overmatured Grasses								
SS	Schizanthus scoparium 'The Blues'	The Blues Life bluesstem	11.5' Ht.	2-4' Spd.	No. 3	Cont.		

PLANT LIST



OAK HILL COTTAGES
 CHAPIN WAY
 TOWN OF PITTSFORD
 MONROE COUNTY, NEW YORK

OAK HILL COUNTRY CLUB
 145 KILBOURN ROAD
 ROCHESTER, NY 14618

B BERGMANN
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 Bergmann Associates, Architects, Engineers,
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 290 East Broad Street
 Suite 200
 Rochester, NY 14604
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 www.bergmannpc.com

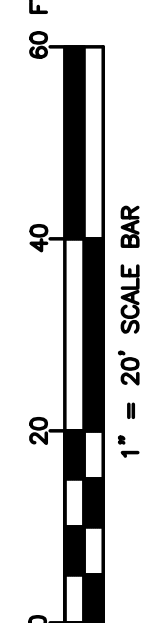
DATE	DESCRIPTION

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Project Manager:
 B. BURRI
 Created By:
 E. SHAW, RLA
 Drawn By:
 R. JONES, RLA
 Date Issued:
 03/22/20
 Project Number:
 10881.00

LANDSCAPE PLAN



C130

OAK HILL COTTAGES

CHAPIN WAY
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK

OAK HILL COUNTRY CLUB

145 KILBOURN ROAD
ROCHESTER, NY 14618

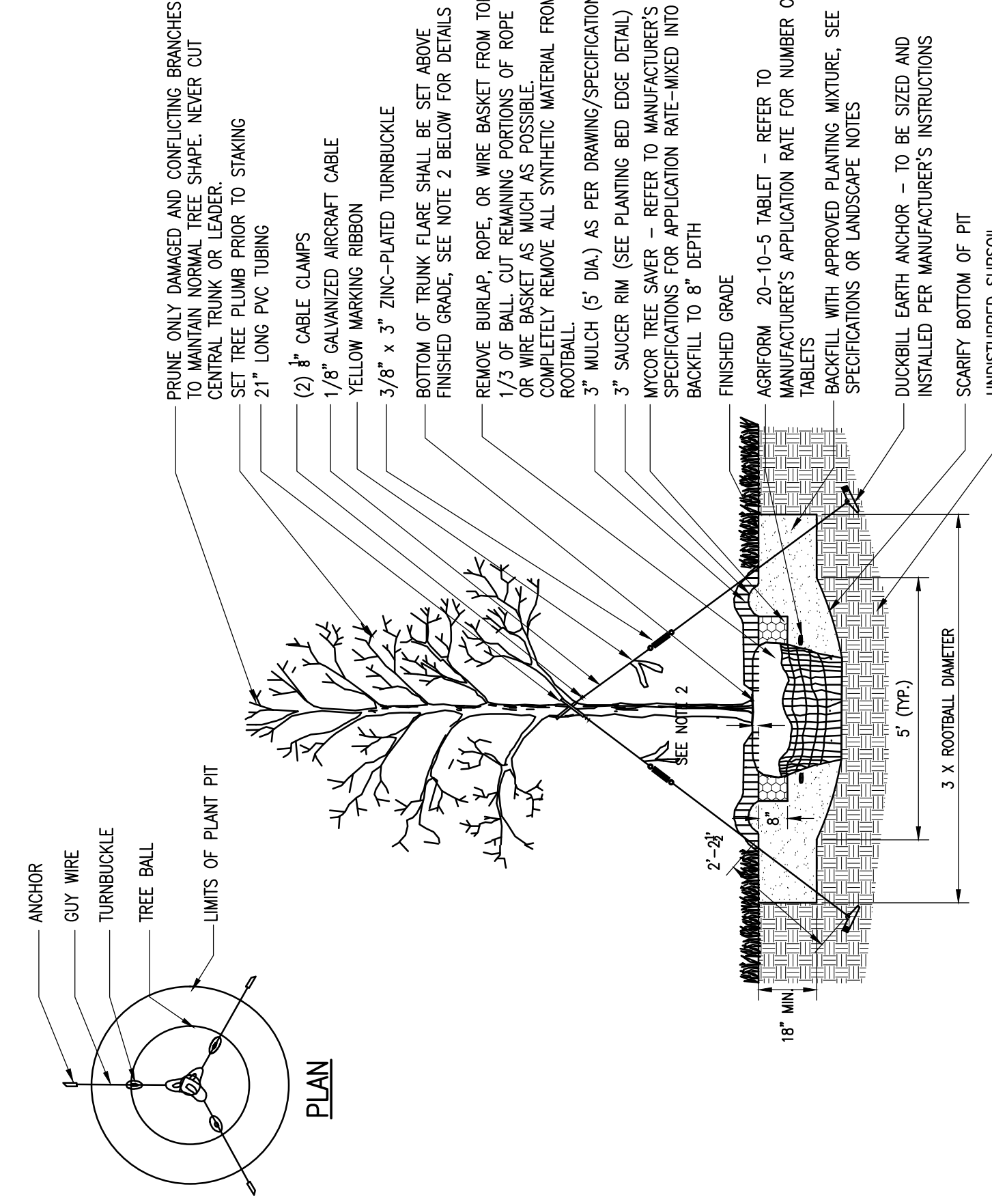


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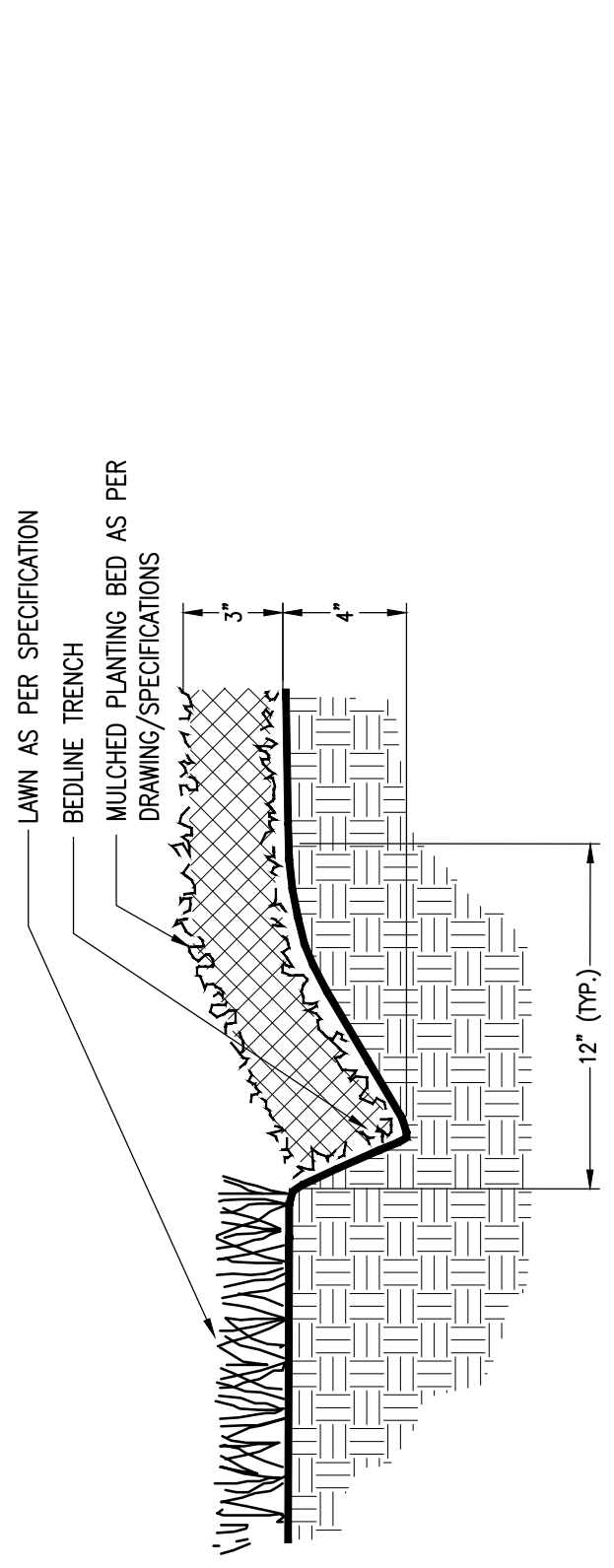
DATE	DESCRIPTION
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- NOTES:**
1. MAINTAIN A 3" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK. SHALL BE AS FOLLOWS: LOAMY SOILS, 1" FOR SANDY OR POORLY PERMEABLE SOILS, 3" REPRESENTATIVE PRIOR TO INSTALLATION.
 2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS: LOAMY SOILS, 1" FOR SANDY OR POORLY PERMEABLE SOILS, 3" REPRESENTATIVE PRIOR TO INSTALLATION.
 3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD. AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.

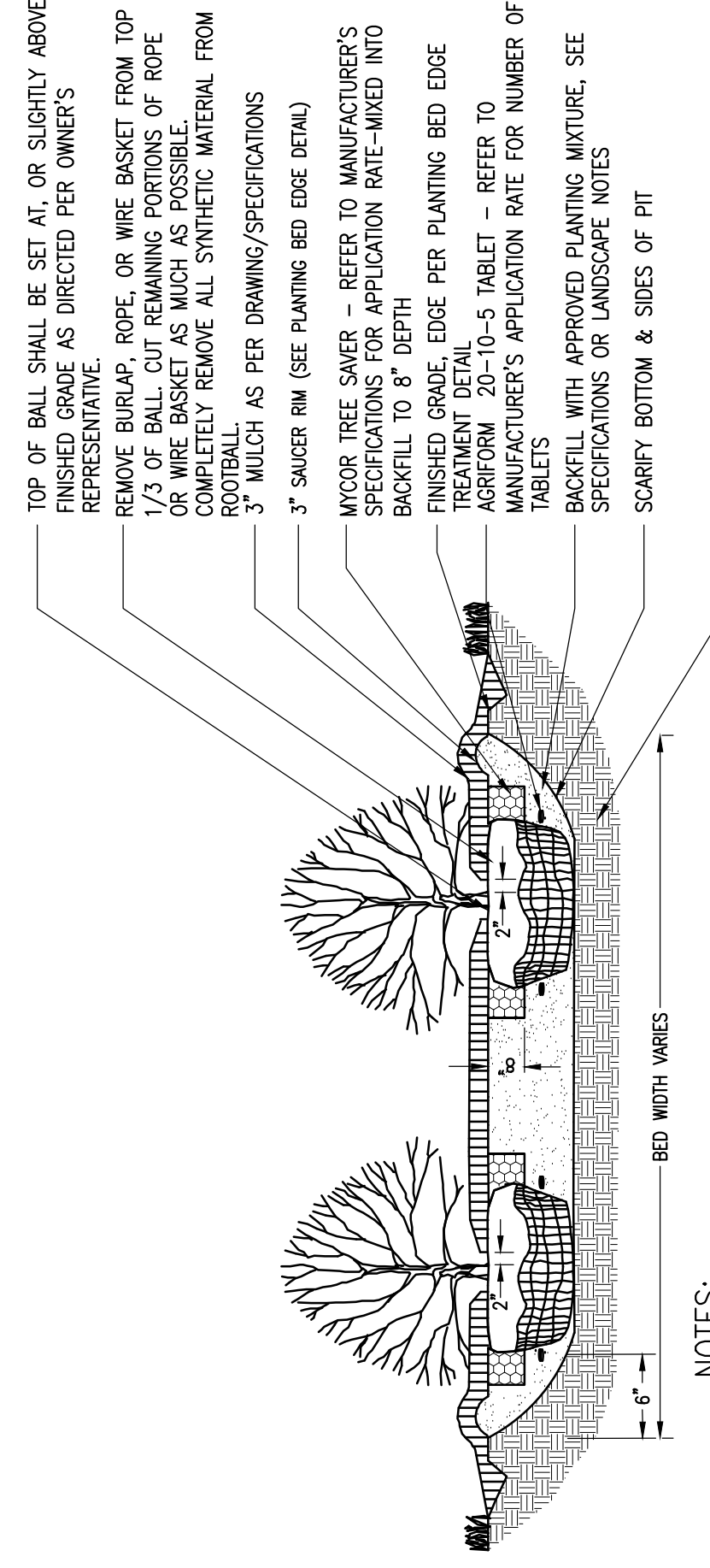
DECIDUOUS TREE PLANTING GREATER THAN 4" CAL.

N.T.S.



PLANTING BED EDGE TREATMENT

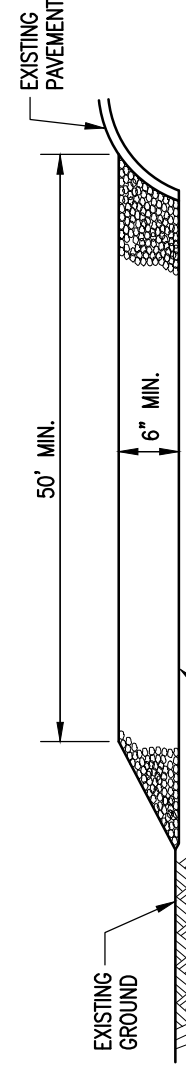
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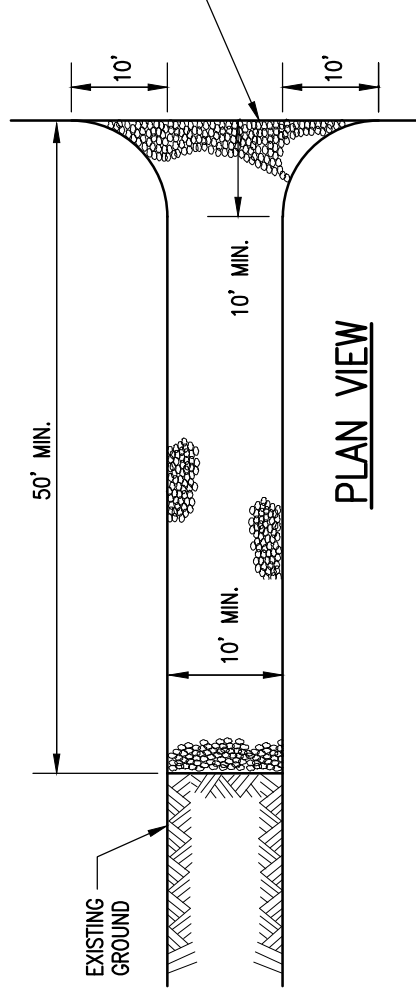
- NOTES:**
1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
 2. PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MINIMUM OF 18" DEEP AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 3. ALL PLANTING BEDS SHALL BE FREE OF CONSTRUCTION DEBRIS.

SHRUB PLANTING

N.T.S.



PROFILE

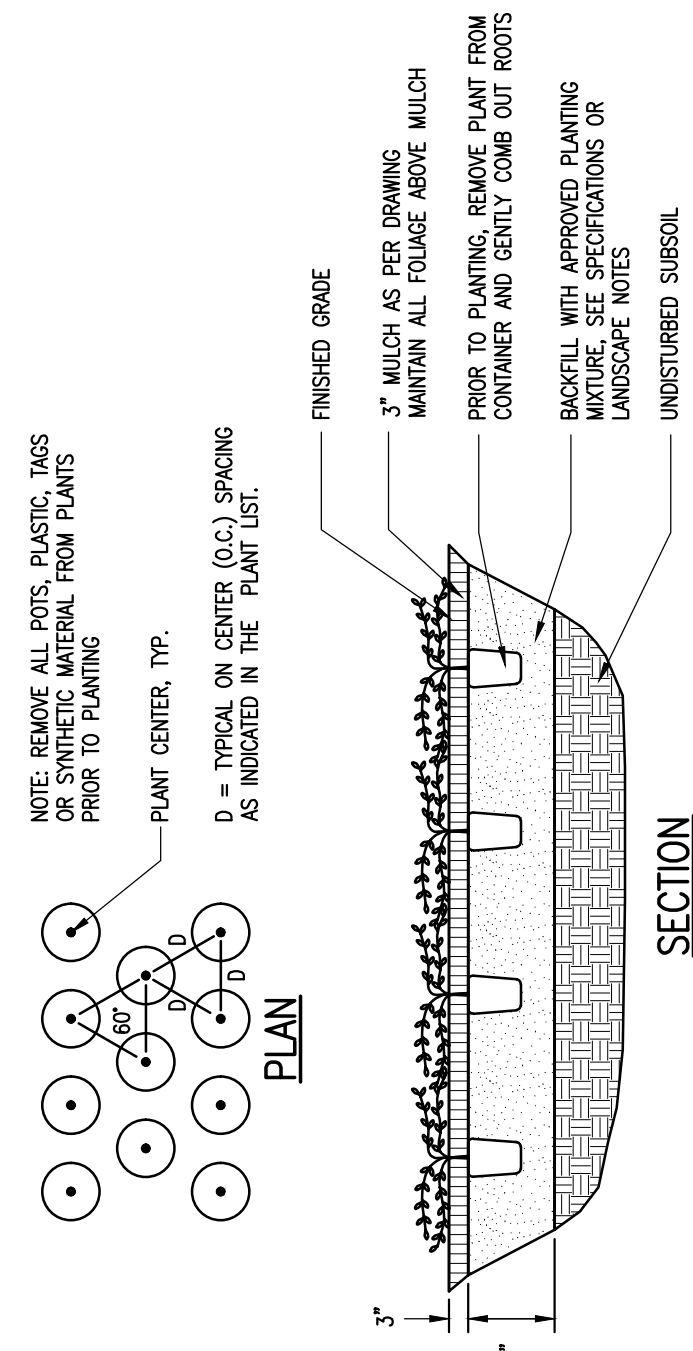


PLAN VIEW

- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FOOT MINIMUM.
 5. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 6. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 7. SURFACE WATER - ALL SURFACE WATER DRAINAGE OR PAVED DRIVEWAYS CONSTRUCTION ENTRANCE SHALL BE PAVED ACROSS THE ENTRANCE. IF PAVING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 5:1 SLOPES SHALL BE PERMITTED.
 8. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND PERMITTED BY THE LOCAL HEALTH DEPARTMENT. UNDESIRABLE SEDIMENT ACCUMULATED ON SLOPED, UNPAVED AREAS OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 9. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

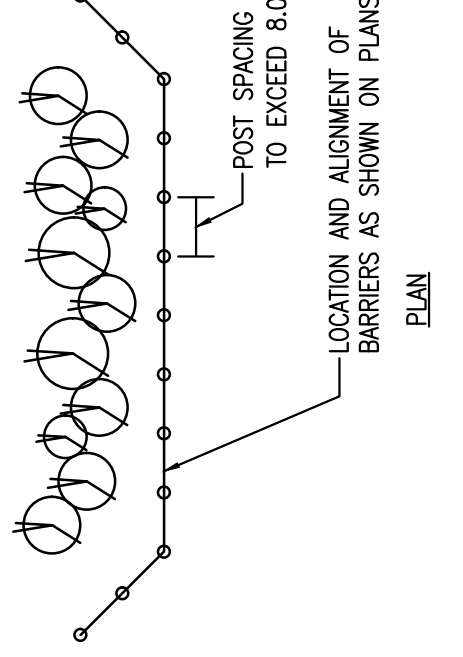
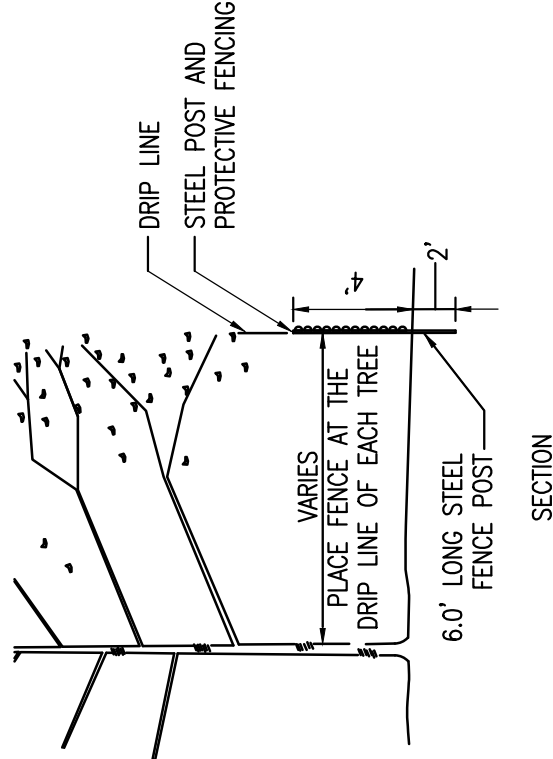
TEMPORARY STABILIZED CONSTRUCTION ENTRANCE DETAIL

N.T.S.



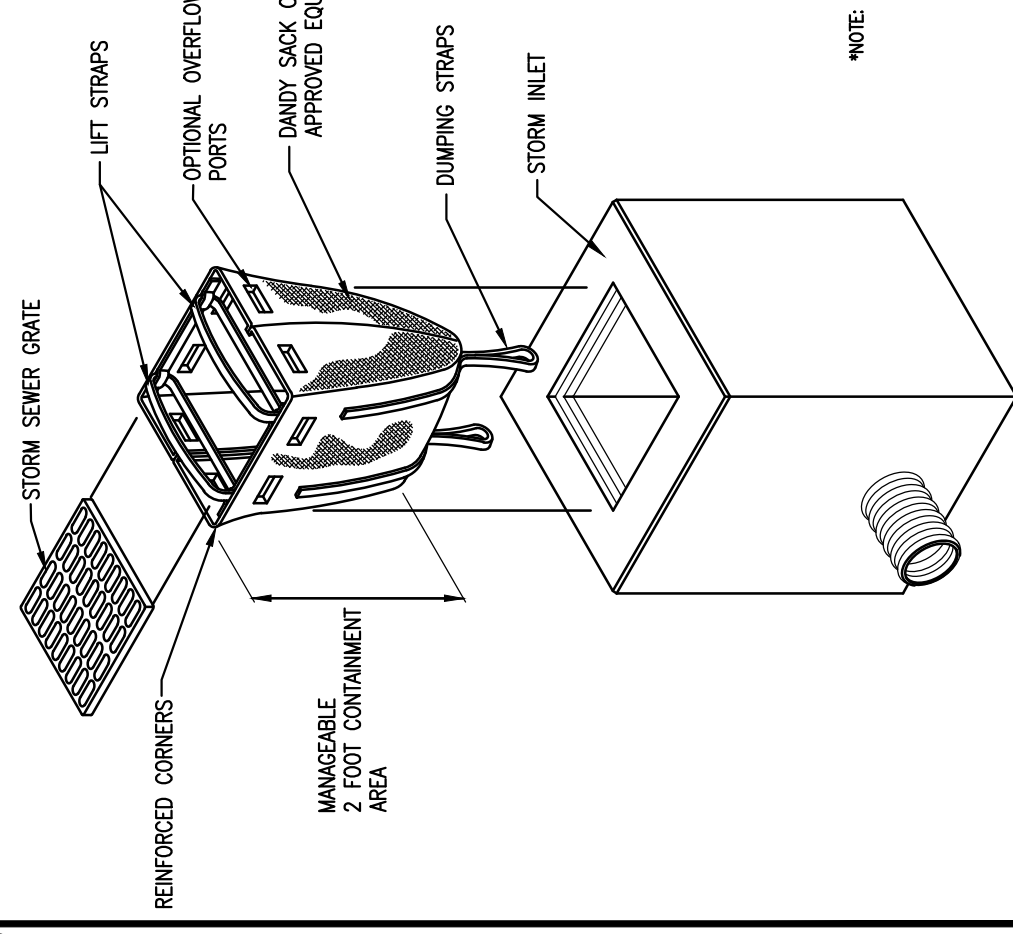
GROUNDCOVER/PERENNIAL/BULB PLANTING

N.T.S.



VEGETATION PROTECTION BARRIER DETAIL

N.T.S.



NOTE: ALL DANDY SACKS CAN BE ORDERED WITH OUR OPTIONAL OR RESIDENT FELLOWS

FILTER SACK INLET PROTECTION

N.T.S.

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4832	KN (lbs)	1.78 (400) x 1.40 (315)
GRAB TENSILE ELONGATION	ASTM D 4832	%	15 x 15
PUNCTURE STRENGTH	ASTM D 4833	KN (lbs)	0.67 (150)
MULLEN BURST STRENGTH	ASTM D 2796	KPa (psi)	5506 (800)
TENSILE STRENGTH	ASTM D 4833	KN (lbs)	0.67 (150)
TAPPEL STRENGTH	ASTM D 4551	KN (lbs)	40
APPROXIMATE PERMEABILITY	ASTM D 4751	Min. (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	1/min/m ² (gal/min/ft ²)	2852 (70)
PERMEABILITY	ASTM D 4491	Sec ⁻¹	0.90

Not For Construction

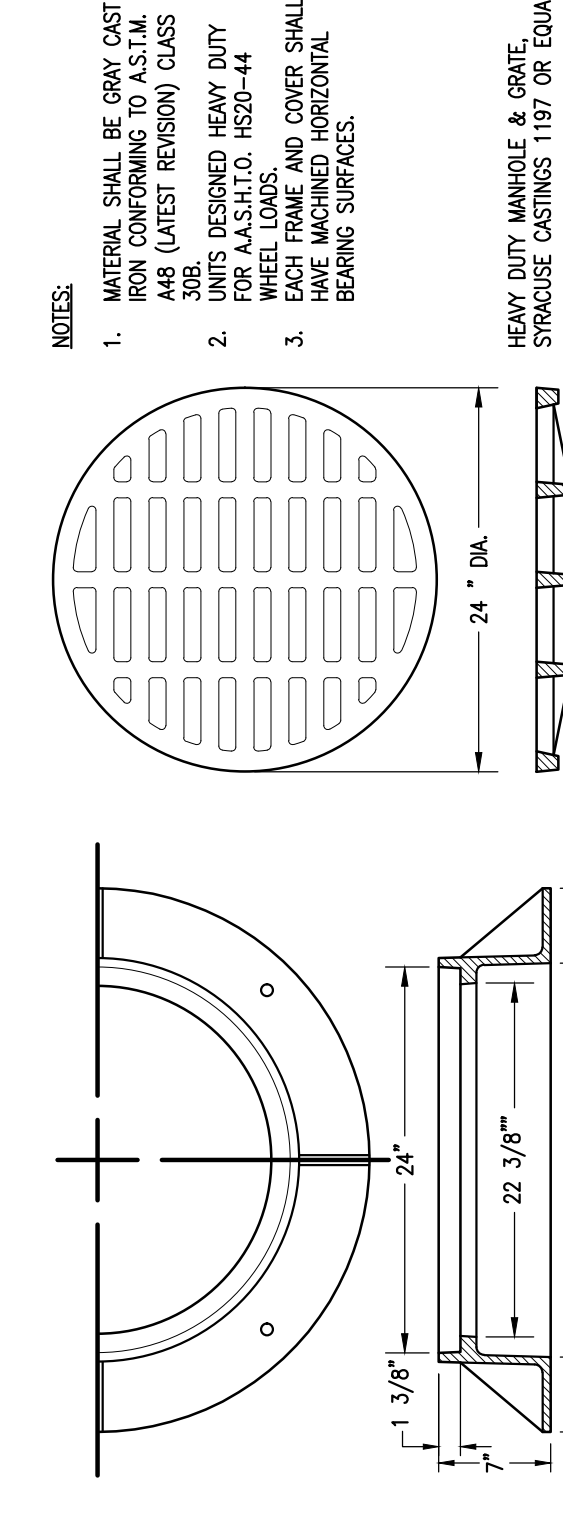
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Project Manager	Client/Arch
B. BURRI	B. BURRI
Designer/By	Drawn By
R. JONES, R.L.A.	R. JONES, R.L.A.
Date Issued	Project Number
03/22/20	10881.00

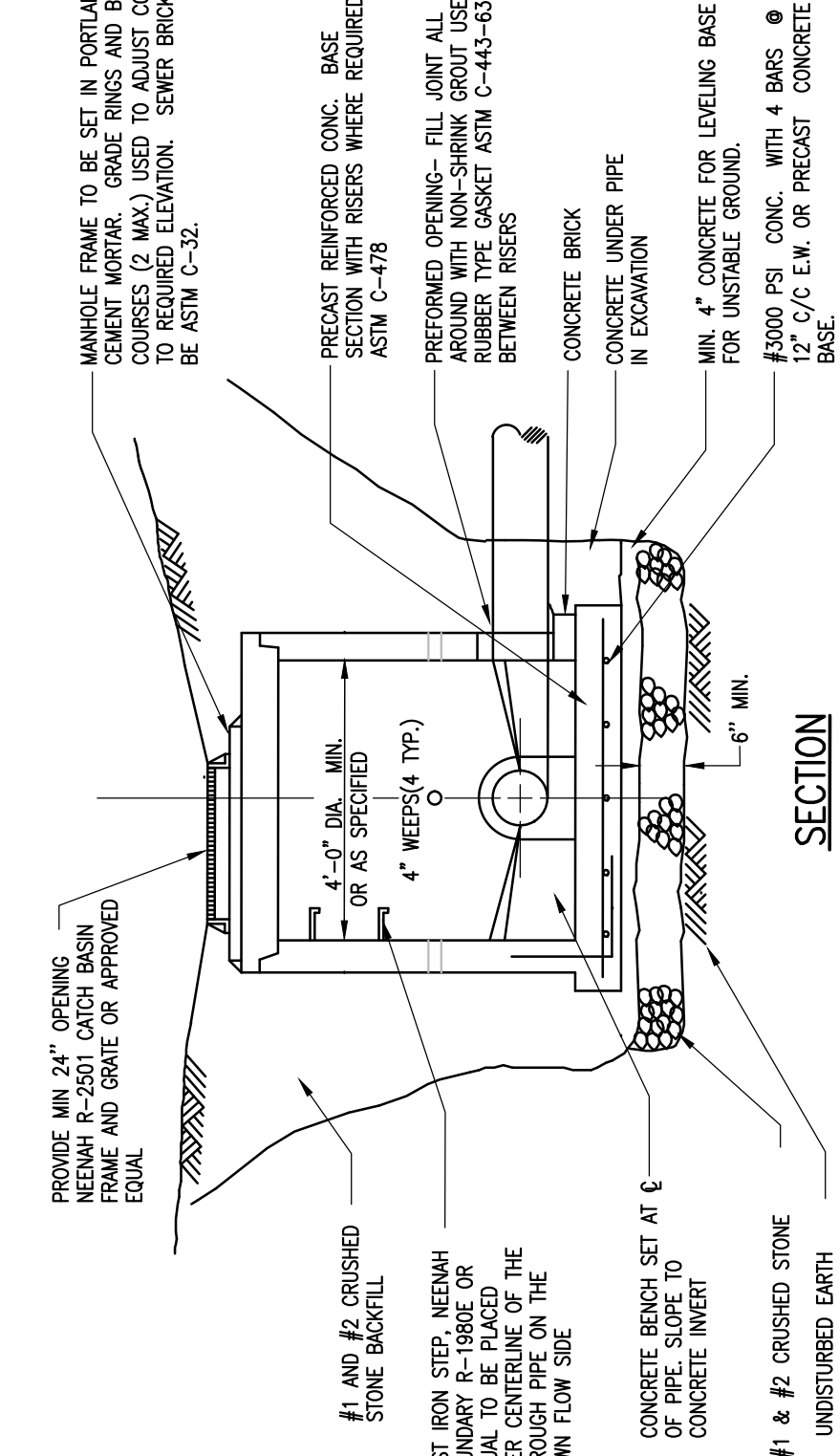
MISCELLANEOUS DETAILS

Design Number

C500



STORM SEWER MANHOLE FRAME & GRATE
N.T.S.



- NOTES:
1. MATERIAL SHALL BE CAST IRON CONFORMING TO A.S.T.M. A8 (LATEST REVISION) CLASS 300S DESIGNED HEAVY DUTY FOR A.A.S.H.T.O. H520-44 WHEEL LOADS. TOP SURFACE SHALL BE MACHINED HORIZONTAL BEARING SURFACES.
 2. HEAVY DUTY MANHOLE & GRATE. SPOURAGE CASTINGS 1197 OR EQUAL.

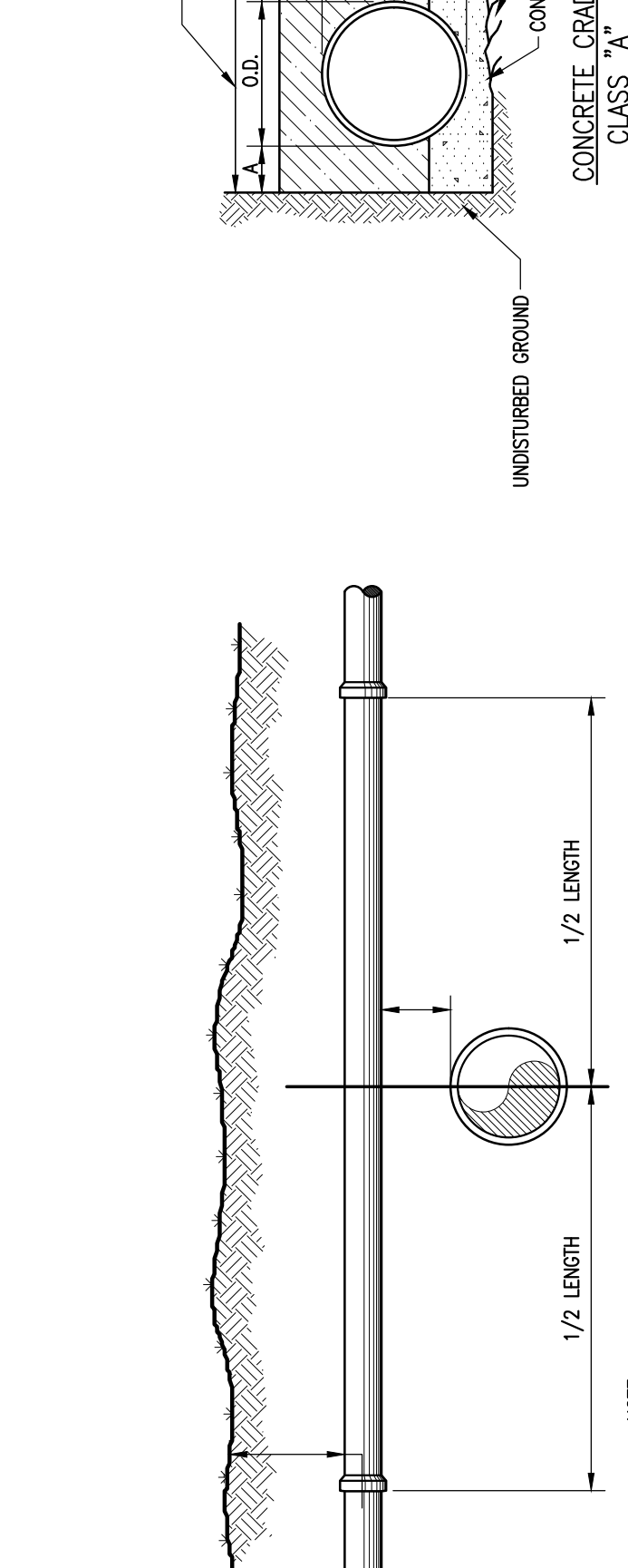
MANHOLE FRAME TO BE SET IN PROPER POSITION WITH GRADE FINISH AND BRICK COURSES (2 MAX.) USED TO ADJUST COVER TO REQUIRED ELEVATION. SEWER BRICK TO BE ASTM C-22.

PRECAST REINFORCED CONCRETE BASE SECTION WITH RISERS WHERE REQUIRED. PRECAST CONCRETE RISERS TO BE SET IN PROPER POSITION WITH GRADE FINISH AND BRICK COURSES (2 MAX.) USED TO ADJUST COVER TO REQUIRED ELEVATION. SEWER BRICK TO BE ASTM C-22.

PRECAST CONCRETE RISERS TO BE SET IN PROPER POSITION WITH GRADE FINISH AND BRICK COURSES (2 MAX.) USED TO ADJUST COVER TO REQUIRED ELEVATION. SEWER BRICK TO BE ASTM C-22.

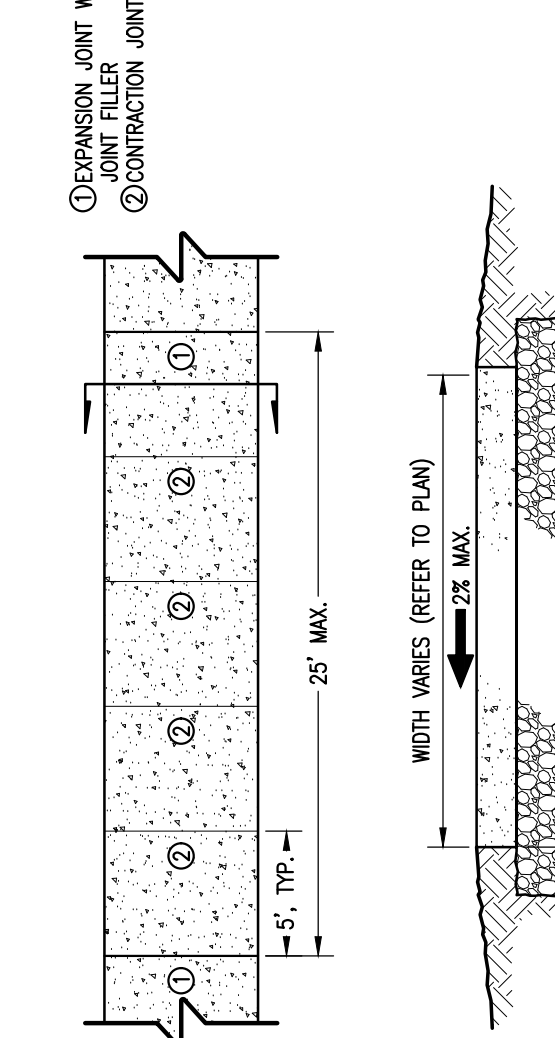
CONCRETE BENCH SET AT 6\"/>

STORM MANHOLE WITH BENCH
N.T.S.



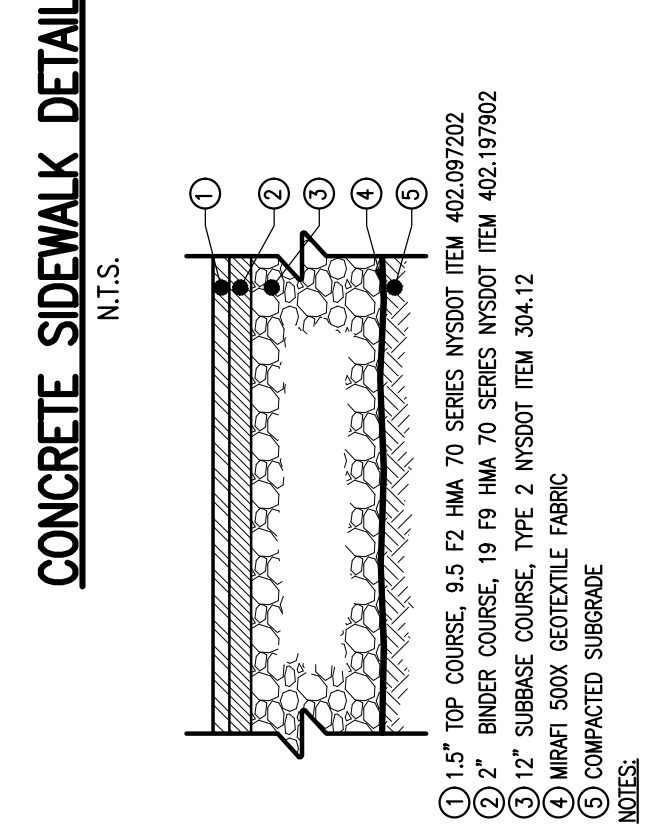
CONCRETE BENCH SET AT 6\"/>

TYPICAL WATER LINE - SEWER LINE CROSSING
N.T.S.



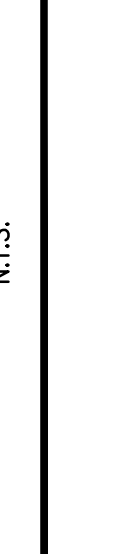
ALL EXCAVATIONS UNDER ANY UTILITY WILL BE BACKFILLED WITH NO. 1 CRUSHED STONE TO A POINT AT LEAST 6\"/>

CONCRETE SIDEWALK DETAIL
N.T.S.



CONTRACTOR TO MATCH TO SURFACE SECTION. CONTRACTOR JOINTS 10' O.C. MAX. EXPANSION JOINTS 100' O.C. MAX.

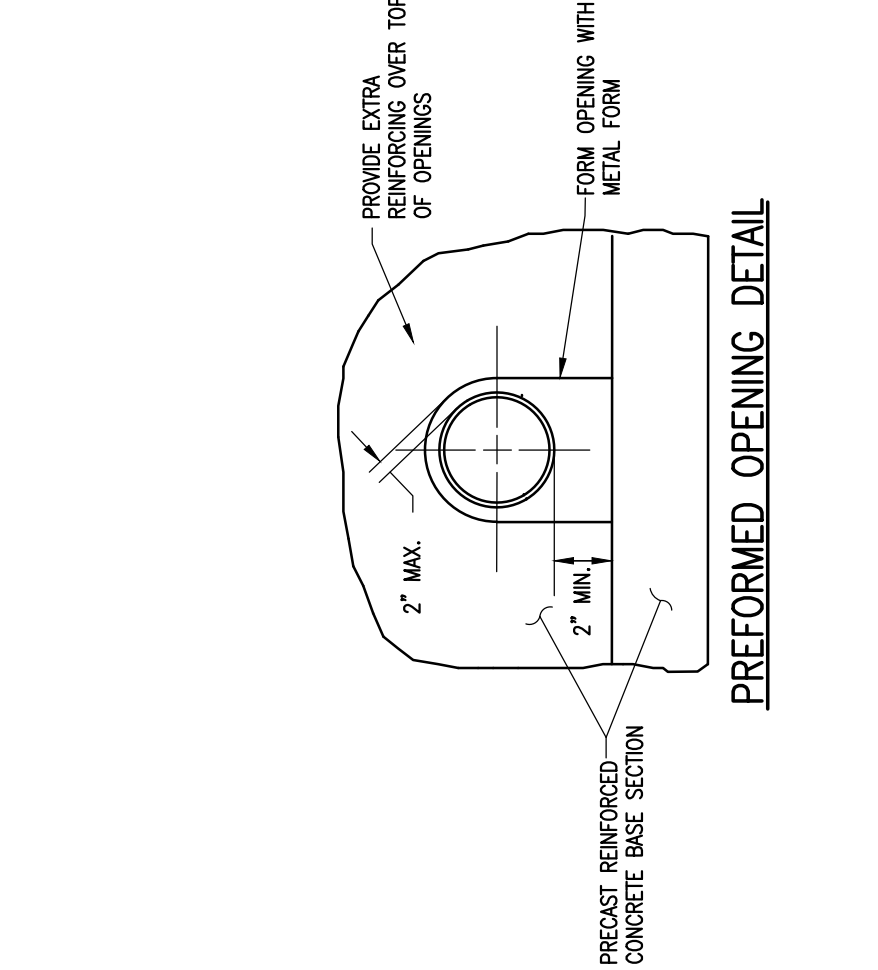
STANDARD DUTY ASPHALT PAVEMENT SECTION
N.T.S.



CONTRACTOR TO MATCH TO SURFACE SECTION. CONTRACTOR JOINTS 10' O.C. MAX. EXPANSION JOINTS 100' O.C. MAX.



TYPICAL POST MOUNT SIGN INSTALLATION
N.T.S.



- NOTES:
1. SELECT FILL SHALL BE SAND, GRAVEL, AND SILTUS MATERIAL WHICH SHALL BE FREE FROM CLAY, LAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE PEBBLES OR LUMPS OVER ONE INCH IN DIMENSION, MEETING ASTM M.A.S.R. II.
 2. STONE BEDDING SHALL BE APPROVED, UNBROKEN, AND LATERAL PIPE INSTALLATIONS AS WELL AS FOREMANS.
 3. GRADE APPROPRIATE SHALL BE APPROVED, UNBROKEN, AND LATERAL PIPE INSTALLATIONS AS WELL AS FOREMANS.
 4. THIS FIGURE APPLIES TO SANITARY, STORM AND COMBINED MANLINE AND LATERAL PIPE INSTALLATIONS AS WELL AS FOREMANS.
 5. FIRST CLASS BEDDING SHALL BE USED UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.

SELECT FILL SHALL BE SAND, GRAVEL, AND SILTUS MATERIAL WHICH SHALL BE FREE FROM CLAY, LAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE PEBBLES OR LUMPS OVER ONE INCH IN DIMENSION, MEETING ASTM M.A.S.R. II.

STONE BEDDING SHALL BE APPROVED, UNBROKEN, AND LATERAL PIPE INSTALLATIONS AS WELL AS FOREMANS.

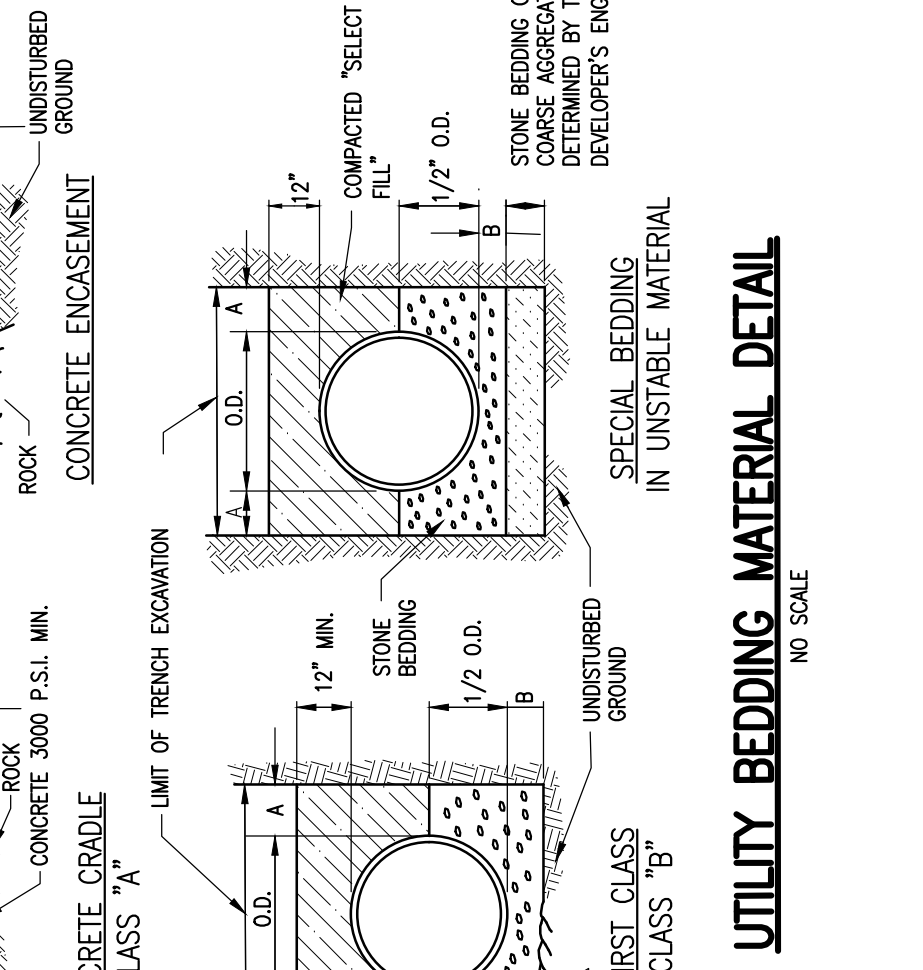
GRADE APPROPRIATE SHALL BE APPROVED, UNBROKEN, AND LATERAL PIPE INSTALLATIONS AS WELL AS FOREMANS.

THIS FIGURE APPLIES TO SANITARY, STORM AND COMBINED MANLINE AND LATERAL PIPE INSTALLATIONS AS WELL AS FOREMANS.

FIRST CLASS BEDDING SHALL BE USED UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.

PIPE DIA.	DM. A	DM. B
UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"

UTILITY BEDDING MATERIAL DETAIL
NO SCALE



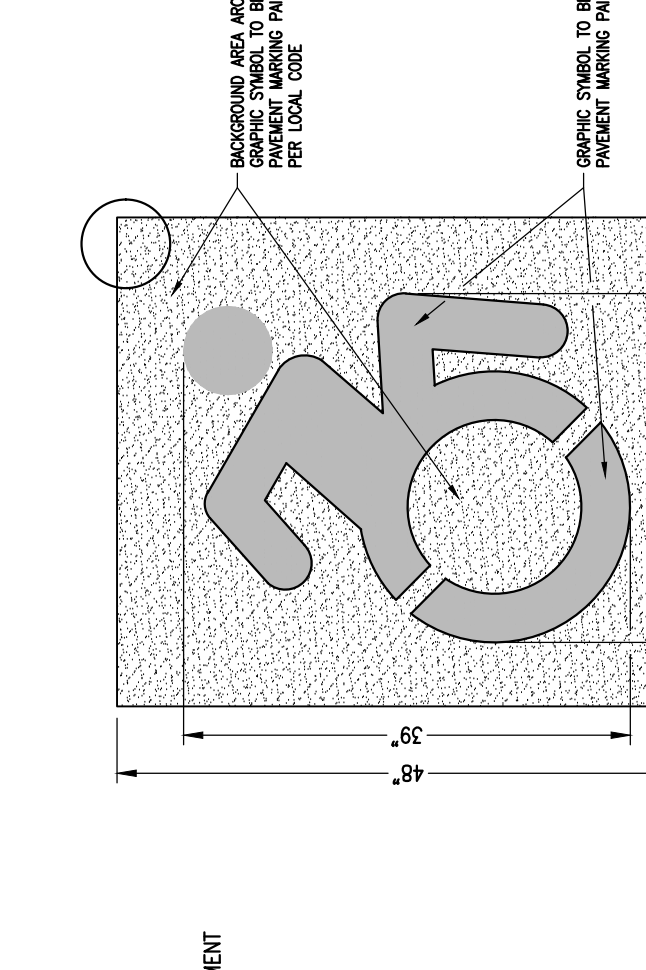
CONCRETE CLASS "A"

CONCRETE CLASS "B"

STONE BEDDING

SPECIAL BEDDING IN UNSTABLE MATERIAL

ACCESSIBLE PARKING PAVEMENT SYMBOL
N.T.S.



BACKGROUND AREA AROUND SYMBOL SHALL BE BLUE GRANULAR MATERIAL TO BE BLUE PER LOCAL CODE. DRIVING SURFACE TO BE WHITE GRANULAR MATERIAL.

CONCRETE CURB DETAIL
N.T.S.



CONTRACTOR TO MATCH TO SURFACE SECTION. CONTRACTOR JOINTS 10' O.C. MAX. EXPANSION JOINTS 100' O.C. MAX.

OAK HILL COTTAGES

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DATE	DESCRIPTION

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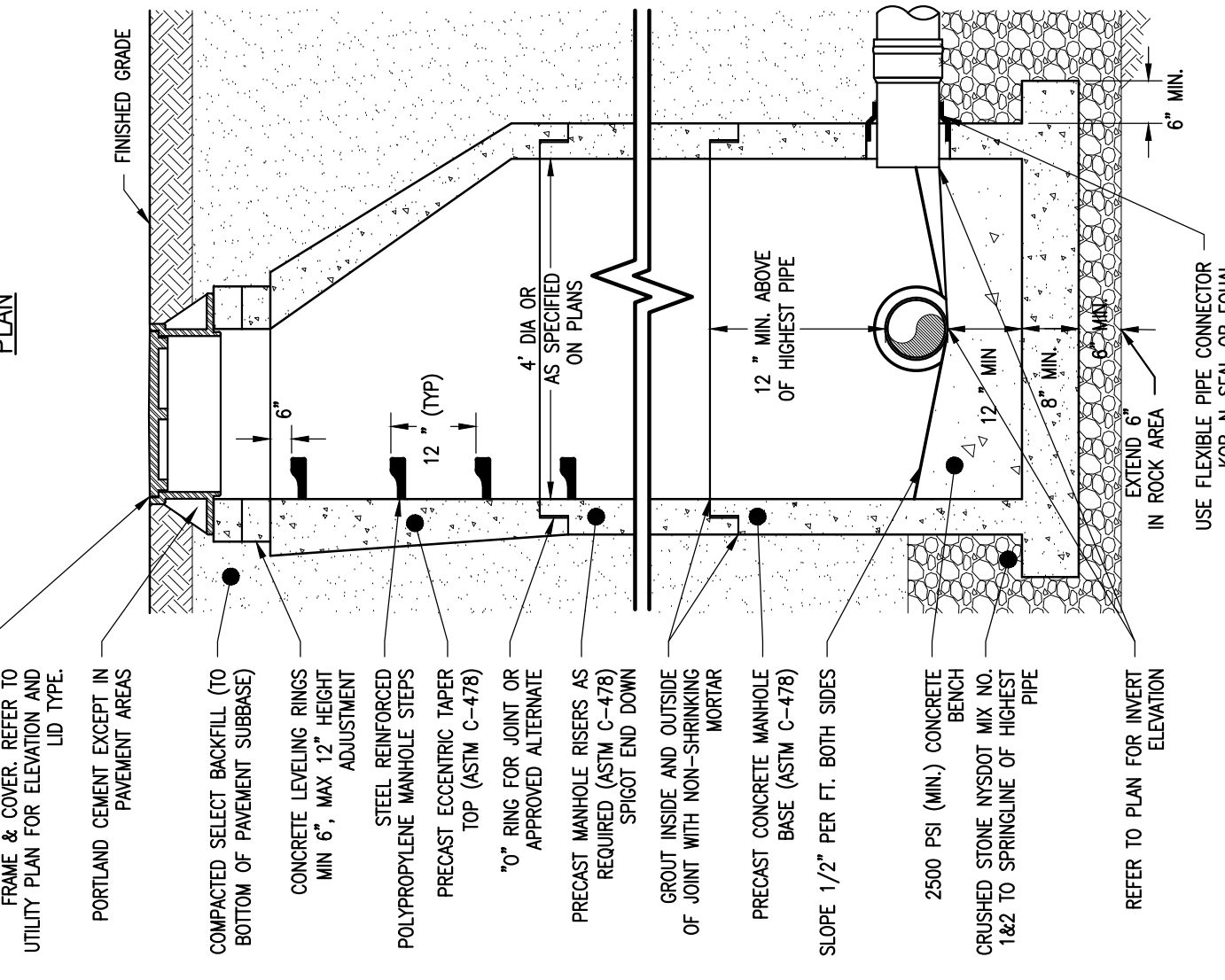
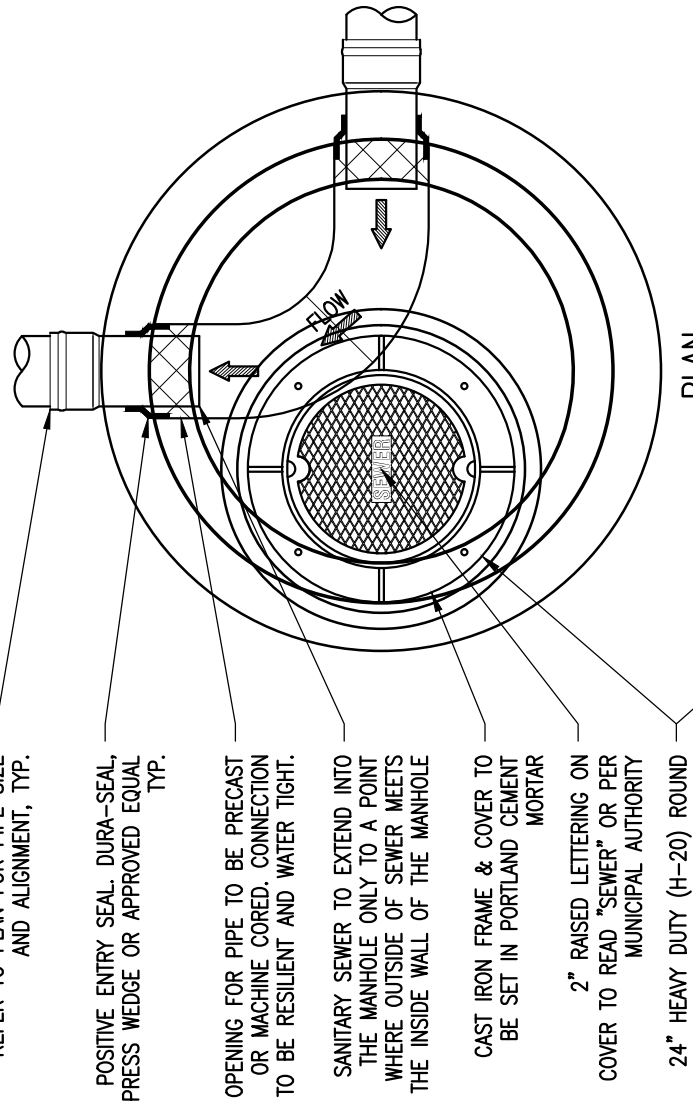
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Project Number	Client No.
B. BURRI	B. BURRI
Designed By	R. JONES, R.L.A.
Drawn By	R. JONES, R.L.A.
Check Number	1082100

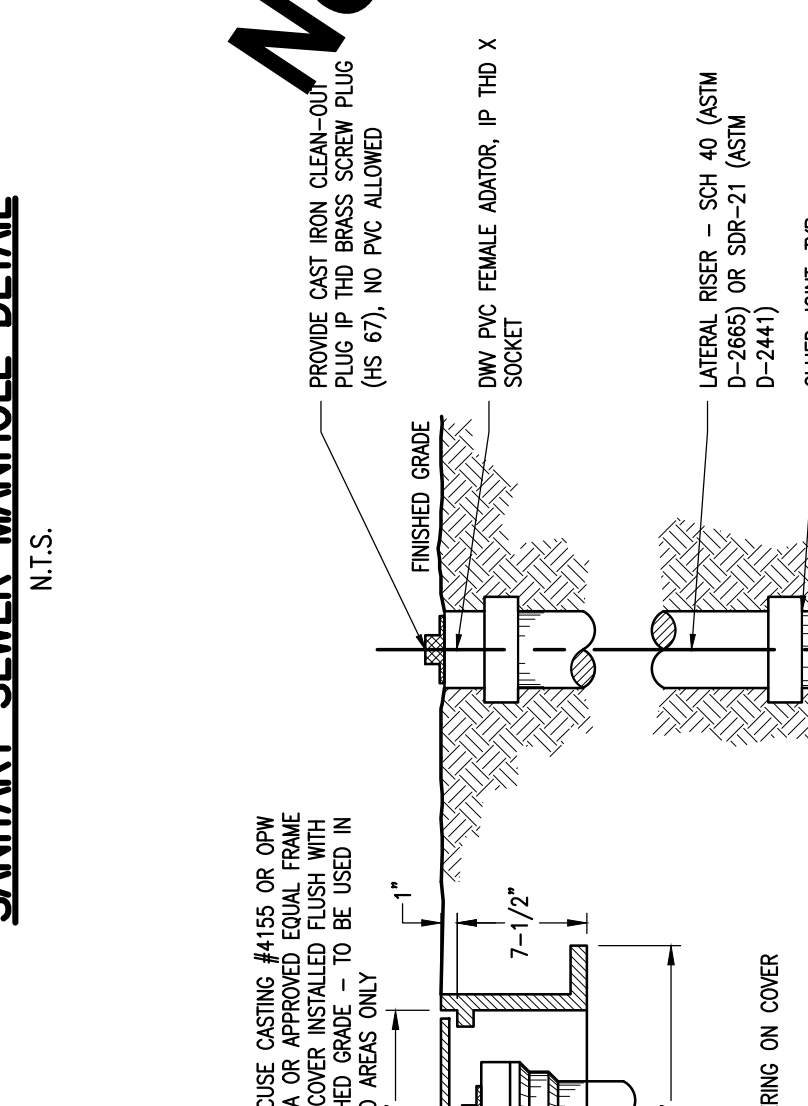
MISCELLANEOUS DETAILS

1. IT IS RECOMMENDED THAT ALL SOLVENT WELD JOINTS BE MADE AS FOLLOWS:
 • CLEAN RY RISERS AND SPOTS
 • PVC SOLVENT WELD COMPLY WITH MFG. INSTRUCTIONS
 • PVC SOLVENT WELD COMPLY WITH MFG. INSTRUCTIONS
 • OTHER PVC TYPE I PIPE MADE TO "STEEL PIPE" OUTSIDE DIMENSIONS
 2. FILL SHALL BE PLACED IN 6" LIFTS AND TAMPED AFTER EACH LIFT.
 3. AVAILABLE LATERAL/CLEANOUT CONNECTIONS:
 • 6" x 6" x 4"
 • 6" x 6" x 4"
 • 6" x 6" x 4"

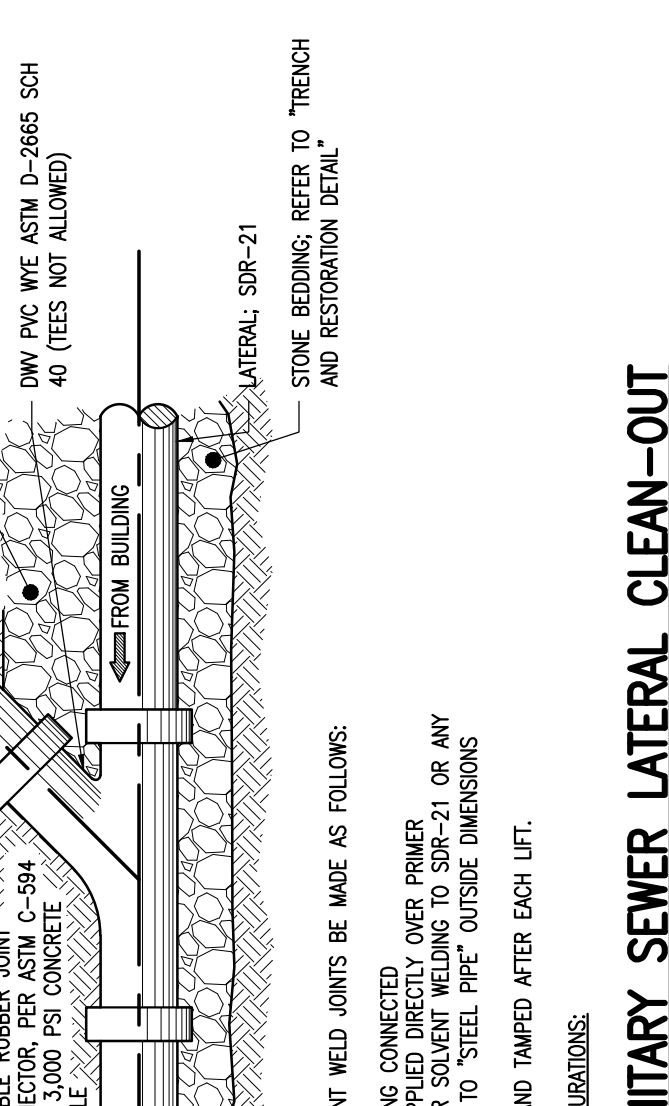
SANITARY SEWER LATERAL CLEAN-OUT
N.T.S.



SANITARY SEWER MANHOLE DETAIL
N.T.S.



SANITARY SEWER LATERAL CLEAN-OUT
N.T.S.



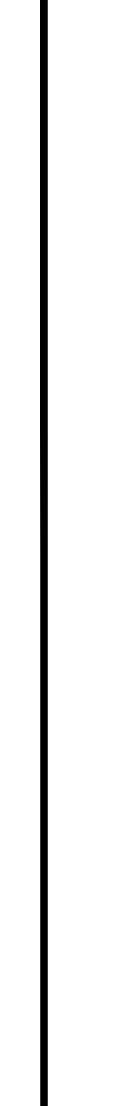
WATERMAIN TRENCH DETAIL
N.T.S.



REFER TO ASPHALT PAVEMENT DETAIL AND ALLOW FOR SETTLING.
 MATCH EXISTING GRADE
 EXISTING GRADE
 6" MIN. TOPSOIL
 BACKFILL WITH SELECT FILL SAND FILL (IN ROCK - USE SAND)
 6" MIN. COVERS
 6" MIN. IN PAVEMENT
 PIPE ZONE
 6" MIN. IN SOIL
 6" MIN. IN SOIL
 TRENCH LIMITS ± 24"
 NOMINAL PIPE DIA. ± 24"

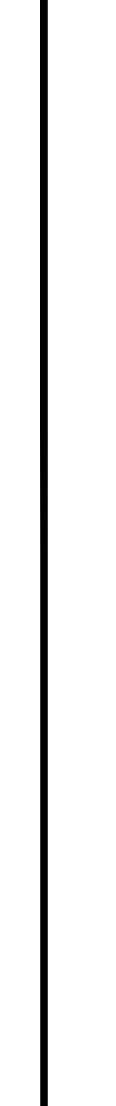
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 2. FILL SHALL BE PLACED IN 6" LIFTS AND TAMPED AFTER EACH LIFT.
 3. AVAILABLE LATERAL/CLEANOUT CONNECTIONS:
 • 6" x 6" x 4"
 • 6" x 6" x 4"
 • 6" x 6" x 4"

STANDARD DUTY ASPHALT PAVEMENT SECTION
N.T.S.



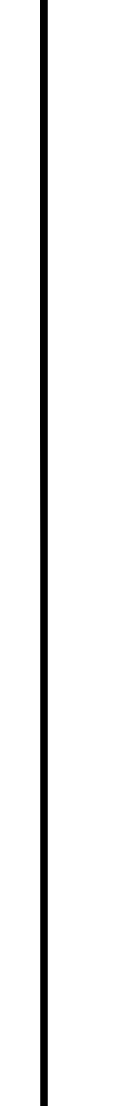
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CONCRETE SIDEWALK DETAIL
N.T.S.



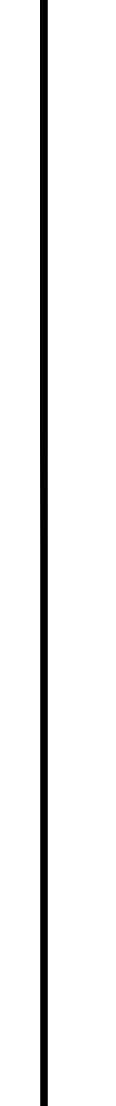
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ACCESSIBLE PARKING PAVEMENT SYMBOL
N.T.S.



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CONCRETE CURB DETAIL
N.T.S.



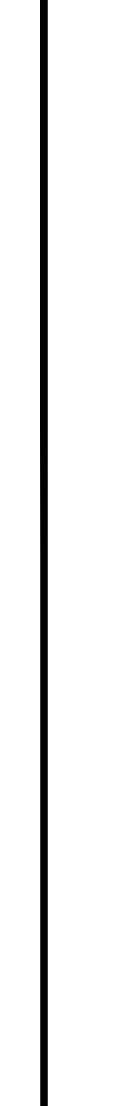
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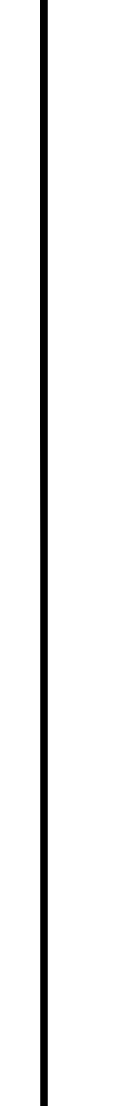
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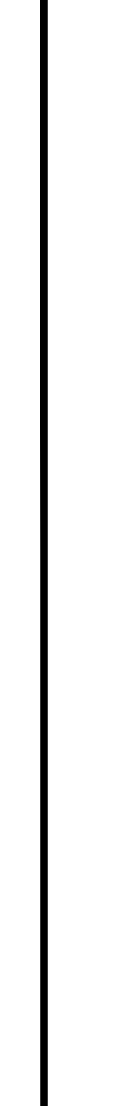
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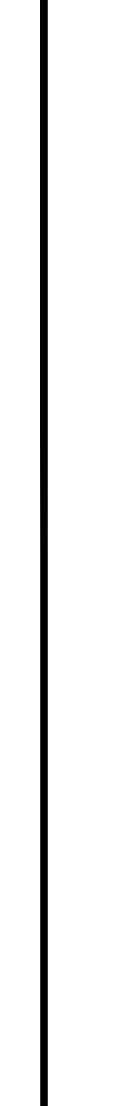
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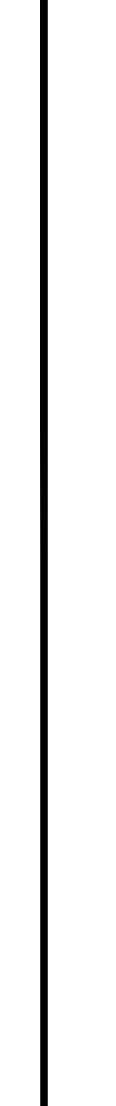
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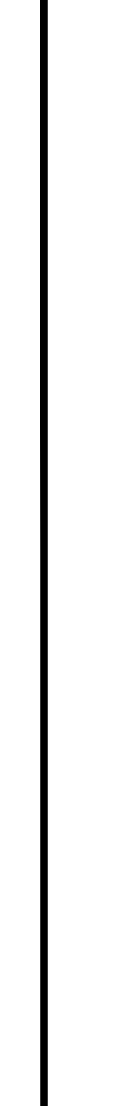
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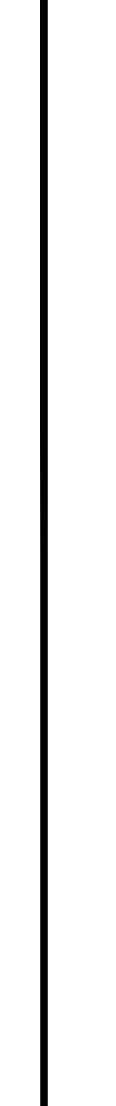
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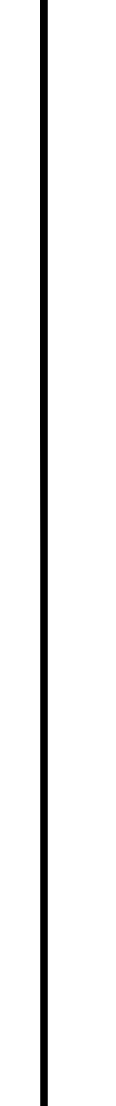
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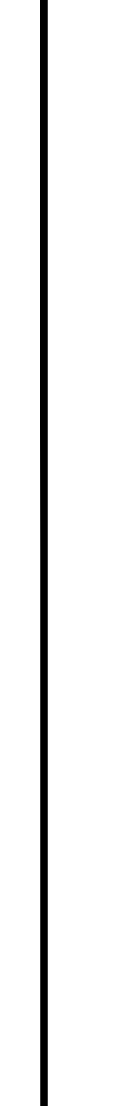
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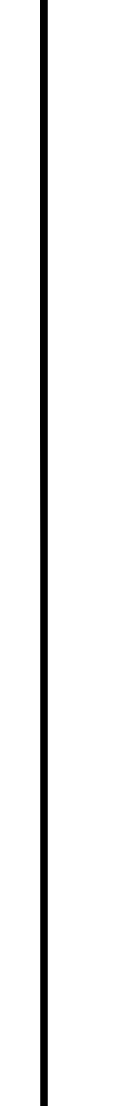
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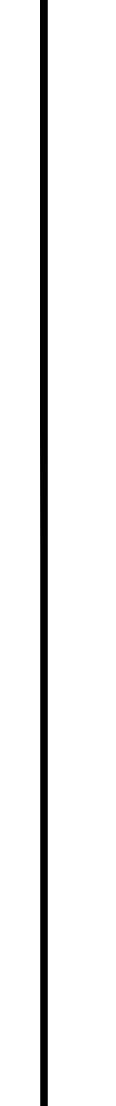
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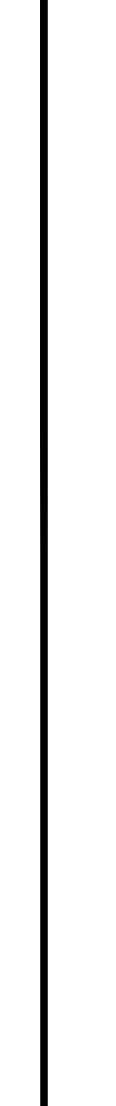
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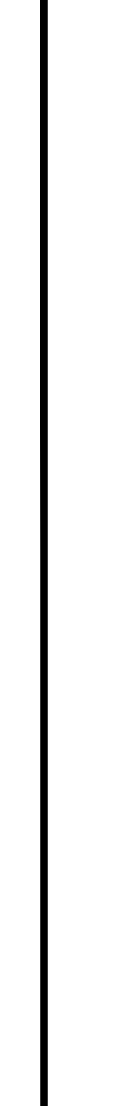
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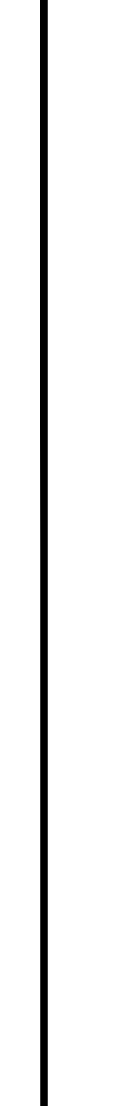
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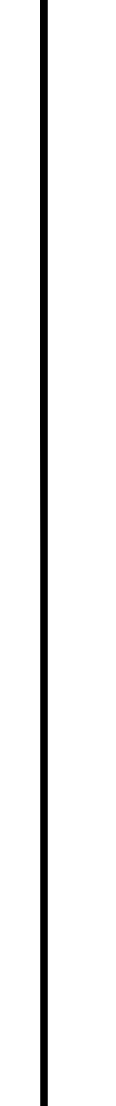
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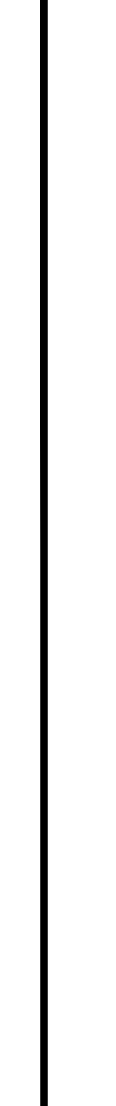
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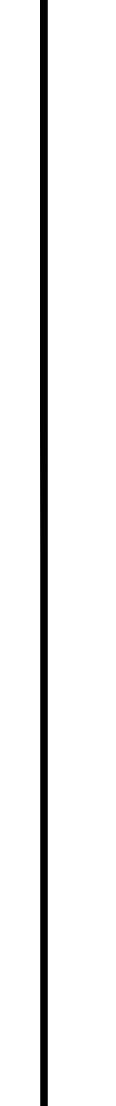
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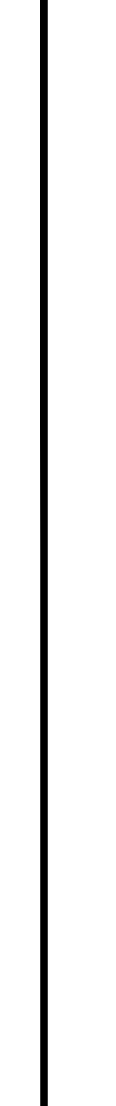
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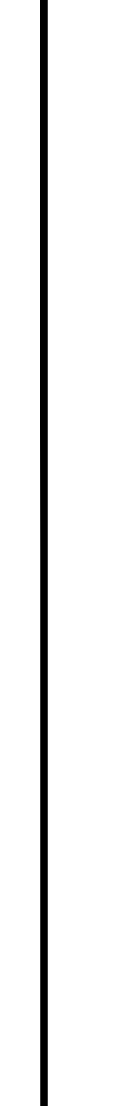
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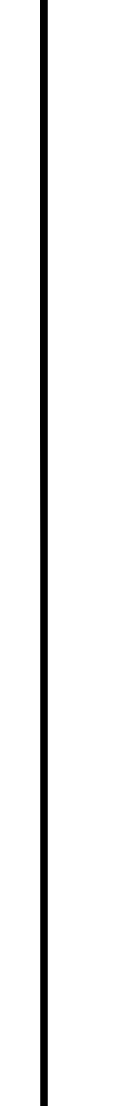
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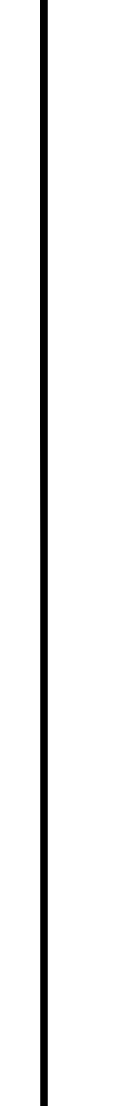
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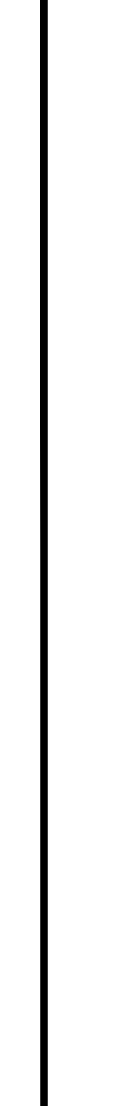
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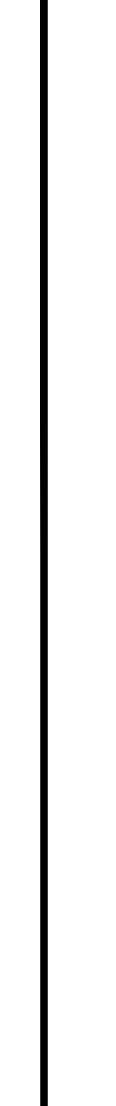
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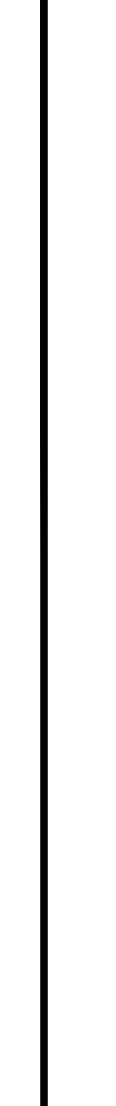
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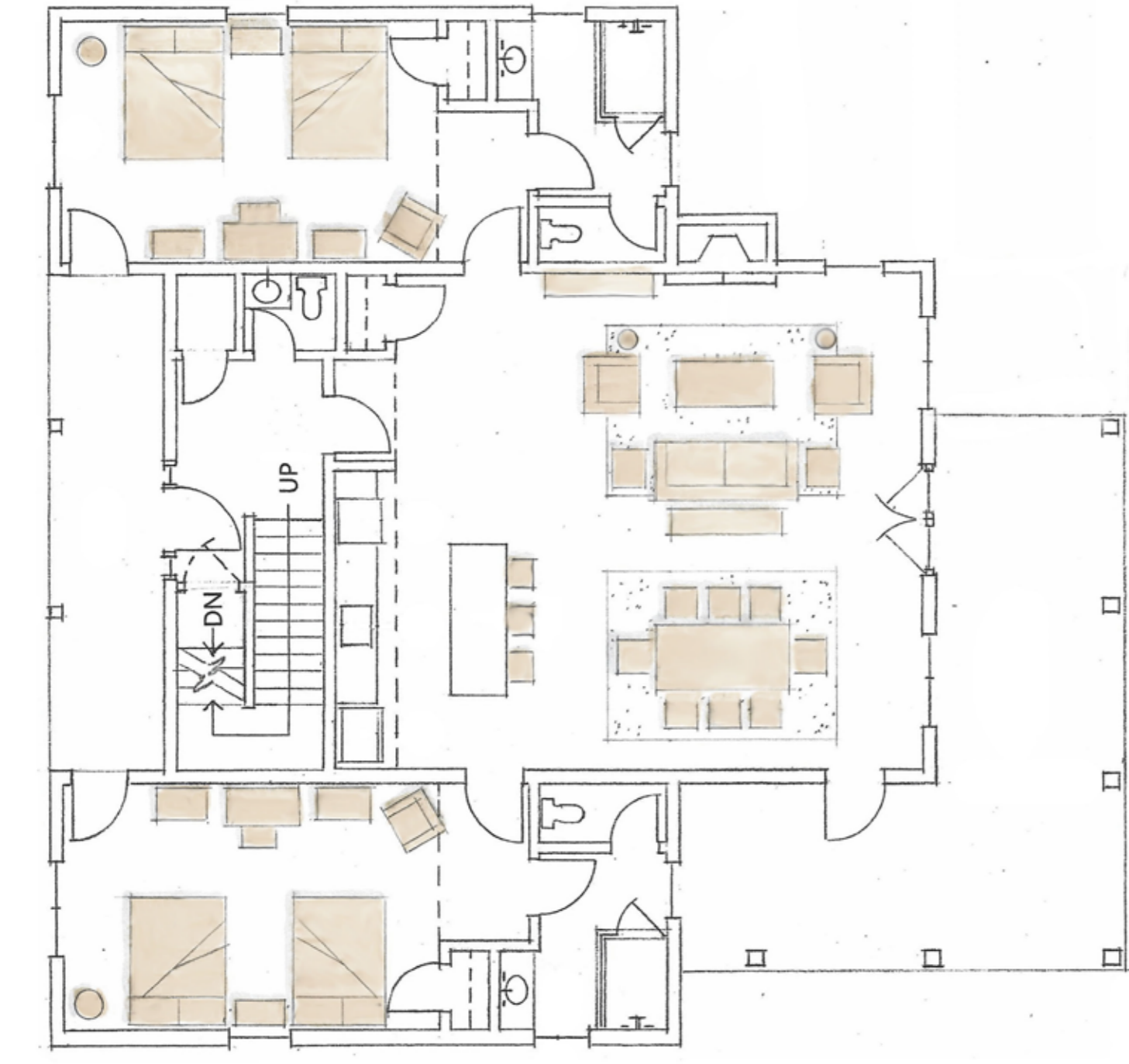
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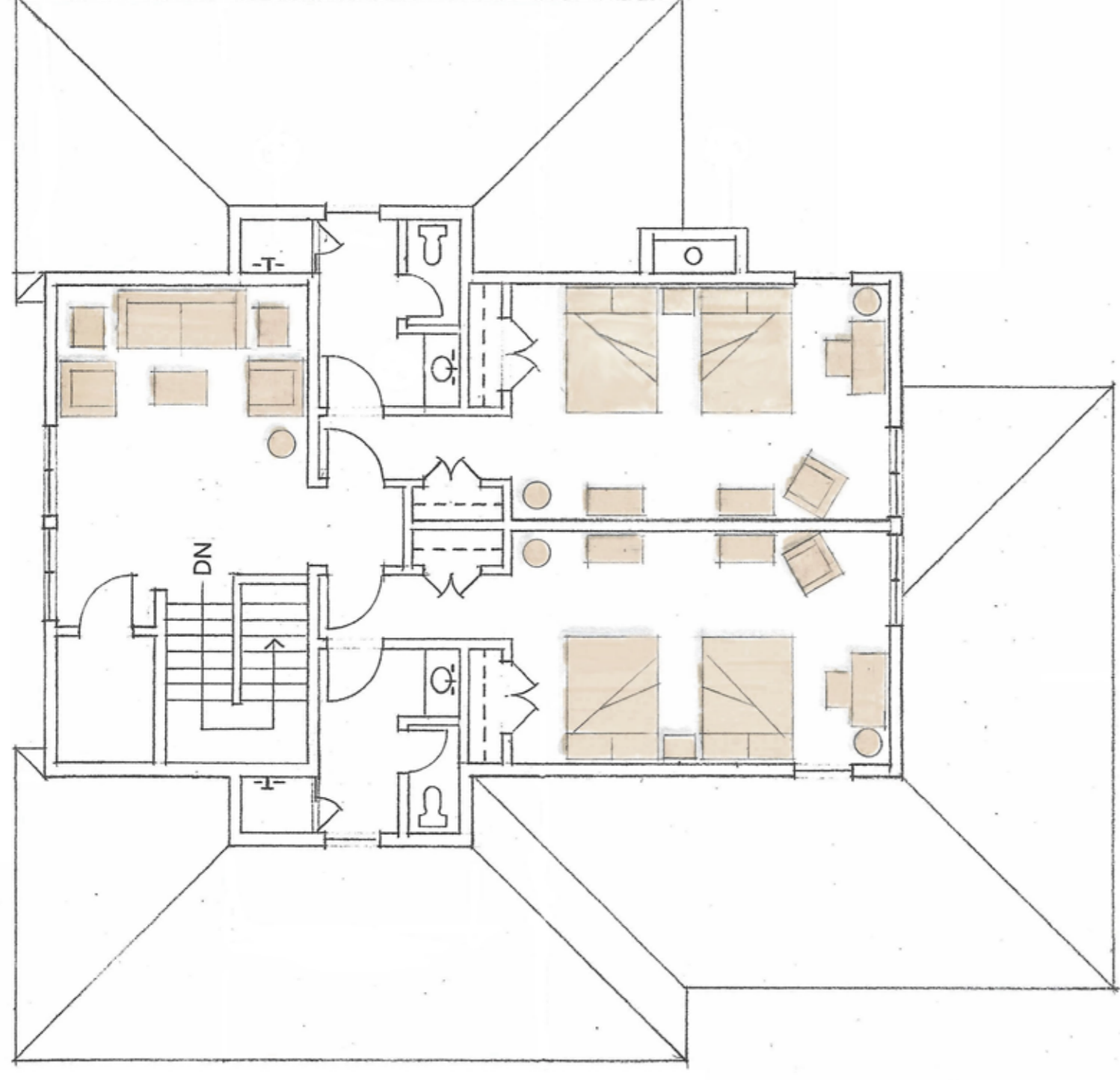
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CONCRETE CURB DETAIL
N.T.S.





First Floor Plan



Second Floor Plan



Site Concept



Elevation View

Zoning Board of Appeals Referral Form Information

Property Address:

597 Mendon Road PITTSFORD, NY 14534

Property Owner:

Rector, Paul T
10820 Broken Brook Cv
Austin, TX 78726

Applicant or Agent:

Rector, Paul T
10820 Broken Brook Cv
Austin, TX 78726

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is: Proposed Conditions: Resulting in the Following Variance:

Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	12	Height:	24	Height:	-12.0
Size:	180	Size:	864	Size:	-684.0

Code Section(s): 185-113 (B) (1) & (2)

Description: Applicant is requesting relief from Town Code to allow the construction of an oversized and overheight accessory structure (garage) located in the rear yard.

November 02, 2020



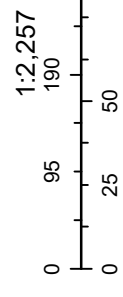
Date

Mark Lenzi - Building Inspector CEO

RN Residential Neighborhood Zoning



Printed November 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



6

4

2

583

597

611

170

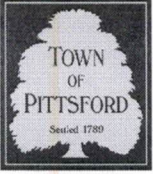
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19



TOWN OF PITTSFORD

AREA VARIANCE APPLICATION FORM CHECK LIST

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

CHECKLIST: Please check your paperwork against the following list prior to submitting it to the Zoning Board of Appeals Secretary. These documents should be collated into packets no larger than 8 ½" by 11" in size so they are readily available.

- 1. Zoning Board of Appeals application form (pg. 5) **12 copies**
- 2. Authorization to make application (pg. 6) **12 copies (when applicable)**
- 3. Instrument survey map, **12 copies**
- 4. Scaled sketch, **12 copies**
- 5. Elevations, **12 copies**
- 6. Any other materials, such as photographs, maps, landscape plans, specifications, details, etc. which would further clarify the application, **12 copies**
- 7. Tests (written response to each) for granting area variances (pg. 7) **12 copies**
- 8. Disclosure Form E (pg. 8) **12 copies**
- 9. Check made out to "Town of Pittsford" for application fee.

GIVEN TO APPLICANT:

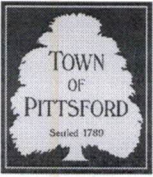
- Referral form
- Applicable Code Sections
- Application Packet

RECEIVED FROM APPLICANT:

- 12 complete sets of application materials
- Fee Payment

Date of Public Hearing: _____

NOTE: All application materials will be available for public review.



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: October 16, 2020 Hearing Date: November 16, 2020

Applicant: Bowering Homes, Inc

Address: 1303 Marsh Road, Pittsford NY 14534

Phone: (585) 721-2005 E-Mail: info@boweringhomes.com

Agent: Gregg Bowering
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Paul and Katie Rector
(if different than Applicant)

Address: 597 Mendon Road, Pittsford, NY 14534

Phone: (512) 422-4206 E-Mail: katierec785@gmail.com

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 597 Mendon Road Current Zoning: Residential

Tax Map Number: 178.03-2-10

Application For: Residential Commercial Other

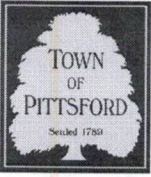
Please describe, in detail, the proposed project:

We would like to remove an existing detached 2 car garage built in the 1970's and replace it with a new 2 car garage with adjoining finished hobby task type room. It is our desire that this new structure take on the aesthetics of some of the old colonial style barns we have seen in the area (see plan elevations), complete with faux sliding barn doors, vertical siding, black metal roof, and a decorative cupola. The existing garage is not only old and ugly, it is in a state of disrepair to the point that we are not comfortable parking our vehicles in it. This new structure would also include a finished, heated/cooled 'hobby' type room which we would be utilized for making various arts/crafts, painting, and as a quiet space for reading.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Gregg A Bowering
(Owner or Applicant Signature)

10/15/20
(Date)



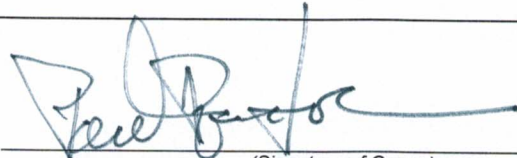
TOWN OF PITTSFORD AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Paul Rector, the owner of the property located at:
597 Mendon Road, Pittsford NY 14534
(Street) (Town) (Zip)

Tax Parcel # 178.03-2-10 do hereby authorize
Gregg R. Bowering of Bowering Homes, Inc to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of Area Variance


(Signature of Owner)

10-15-2020
(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The new structure will be a significant aesthetic improvement to what is current there and will enhance rather than diminish the general character of the neighborhood. Our property is not in a subdivision setting and many of the adjacent properties have outbuildings/barns so ours would not be out of place amongst our neighbors. As a matter of fact, our immediate southern neighbors have an old barn building directly adjacent to our property very close to Mendon Road. Also, our proposed structure would set at a very similar location to the current garage which is some 100+ feet off the road (see photos).

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Our contractor will be Bowering Homes, Inc who is an established builder with a long history of quality construction in the Town. Due to it's current condition, Gregg has told us the old garage cannot be practically salvaged, rehabilitated and made to look and function like we want and that it would be far more practical and financially viable to take it down and build anew.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

We believe this request to be minimal, not substantial. There already is an existing building in approximately the same location as the new one would go. The new structure would be slightly larger (864' vs. 676') and slightly taller (approx. 23'8" (including cupola) vs 18'); both of which are relatively minor changes.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

As explained in question 1 above, we believe this new structure will have a positive effect to the current condition of not only our property but to the surrounding neighborhood as well. It will be a significant improvement, both structurally and especially aesthetically, to what currently exists and we feel it will enhance the neighborhood surrounding us.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

I guess the answer to this is yes in that we are desirous to have both a functional garage, a room for us to do various hobbies, and to construct something that is far better looking than what currently exists here.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

597 Mendon Road, Pittsford, NY 14534

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

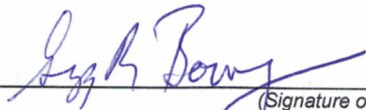
variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

10/15/20

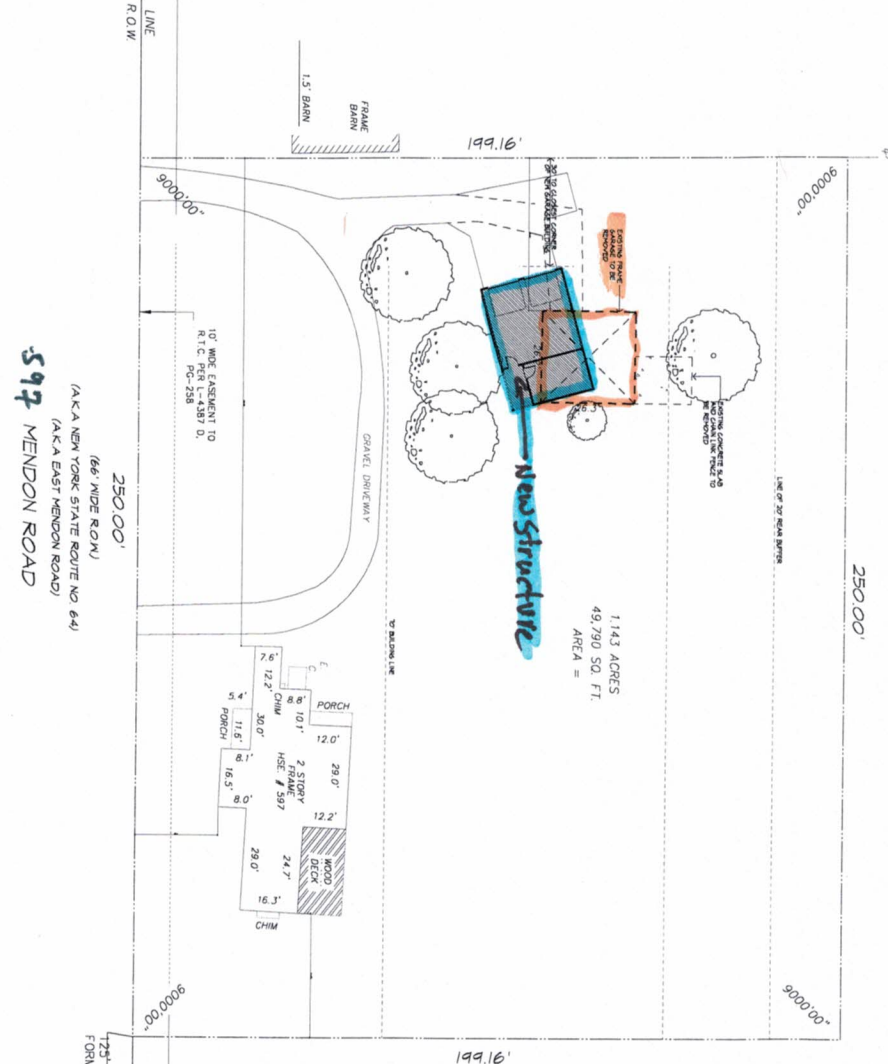
(Dated)

1303 Mansfield Rd

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)

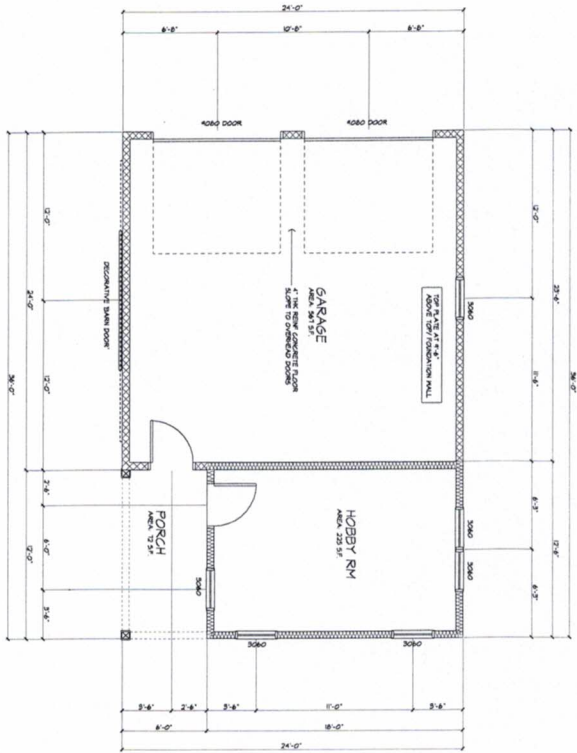


1.143 ACRES
49,290 SQ. FT.
AREA =

PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"

597 MENDON ROAD
(AKA NEW YORK STATE ROUTE NO. 64)
(AKA EAST MENDON ROAD)

125' TO THE NORTHERLY LINE OF LANDS
FORMERLY OF REITZ PER L-5508 D. PG.
202



FIRST FLOOR PLAN
AREA: 844 SF (TOTAL FOOTPRINT)

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DESIGNED BY: J. MORABITO, AIA, ARCHITECT, P.E.
DRAWN BY: J. MORABITO, AIA, ARCHITECT, P.E.
DATE: 10/15/10
SCALE: 1/8"=1'-0"
SHEET: 2

PROJECT: 121 SULLIVAN'S TRAIL	DATE: 10/15/10
CLIENT: J. MORABITO ARCHITECTS	SCALE: 1/8"=1'-0"
CONTRACT NO.:	SHEET: 2
PROJECT LOCATION:	
PROJECT ADDRESS:	
PROJECT PHONE:	
PROJECT FAX:	
PROJECT EMAIL:	
PROJECT WEBSITE:	
PROJECT URL:	
PROJECT CONTACT:	
PROJECT STATUS:	
PROJECT PHASE:	
PROJECT DESCRIPTION:	
PROJECT NOTES:	
PROJECT COMMENTS:	
PROJECT REVISIONS:	
PROJECT APPROVALS:	
PROJECT SIGNATURES:	
PROJECT DATES:	
PROJECT COSTS:	
PROJECT BUDGET:	
PROJECT SCHEDULE:	
PROJECT RISK:	
PROJECT COMPLIANCE:	
PROJECT LEGAL:	
PROJECT ETHICS:	
PROJECT PROFESSIONAL:	
PROJECT SOCIAL:	
PROJECT ENVIRONMENTAL:	
PROJECT ECONOMIC:	
PROJECT POLITICAL:	
PROJECT CULTURAL:	
PROJECT HISTORICAL:	
PROJECT SCIENTIFIC:	
PROJECT TECHNICAL:	
PROJECT ARTS:	
PROJECT RECREATION:	
PROJECT EDUCATION:	
PROJECT HEALTHCARE:	
PROJECT FINANCIAL:	
PROJECT ENERGY:	
PROJECT TRANSPORTATION:	
PROJECT INFRASTRUCTURE:	
PROJECT UTILITIES:	
PROJECT TELECOMMUNICATIONS:	
PROJECT SECURITY:	
PROJECT DEFENSE:	
PROJECT AEROSPACE:	
PROJECT MARITIME:	
PROJECT AVIATION:	
PROJECT SPACE:	
PROJECT NUCLEAR:	
PROJECT WEAPONS:	
PROJECT INTELLIGENCE:	
PROJECT INFORMATION:	
PROJECT MEDIA:	
PROJECT PUBLISHING:	
PROJECT DESIGN:	
PROJECT CONSTRUCTION:	
PROJECT OPERATIONS:	
PROJECT MAINTENANCE:	
PROJECT REPAIRS:	
PROJECT REPLACEMENTS:	
PROJECT DEMOLITION:	
PROJECT DESTRUCTION:	
PROJECT RESTORATION:	
PROJECT PRESERVATION:	
PROJECT PROTECTION:	
PROJECT RESTORATION:	
PROJECT PRESERVATION:	
PROJECT PROTECTION:	
PROJECT RESTORATION:	
PROJECT PRESERVATION:	
PROJECT PROTECTION:	





