

# Spiegel Community Center Pavilion

35 Lincoln Avenue  
Pittsford, NY 14534



This document was prepared with funding provided by the New York State Community Development Block Grant Program, Coronavirus Aid, Relief and Economic Security Act (CARES).

**CLIENT**  
Town of Pittsford, New York

## BID DOCUMENTS

Issued: Bid Documents 9-12-2022  
Revisions: N/A

### DRAWING INDEX

L-01	Cover Sheet
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L-04	Structural Notes, Special Inspections Program, & Structural Design Criteria
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L-07	Details

### PREPARED BY

Sue  
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PLLC

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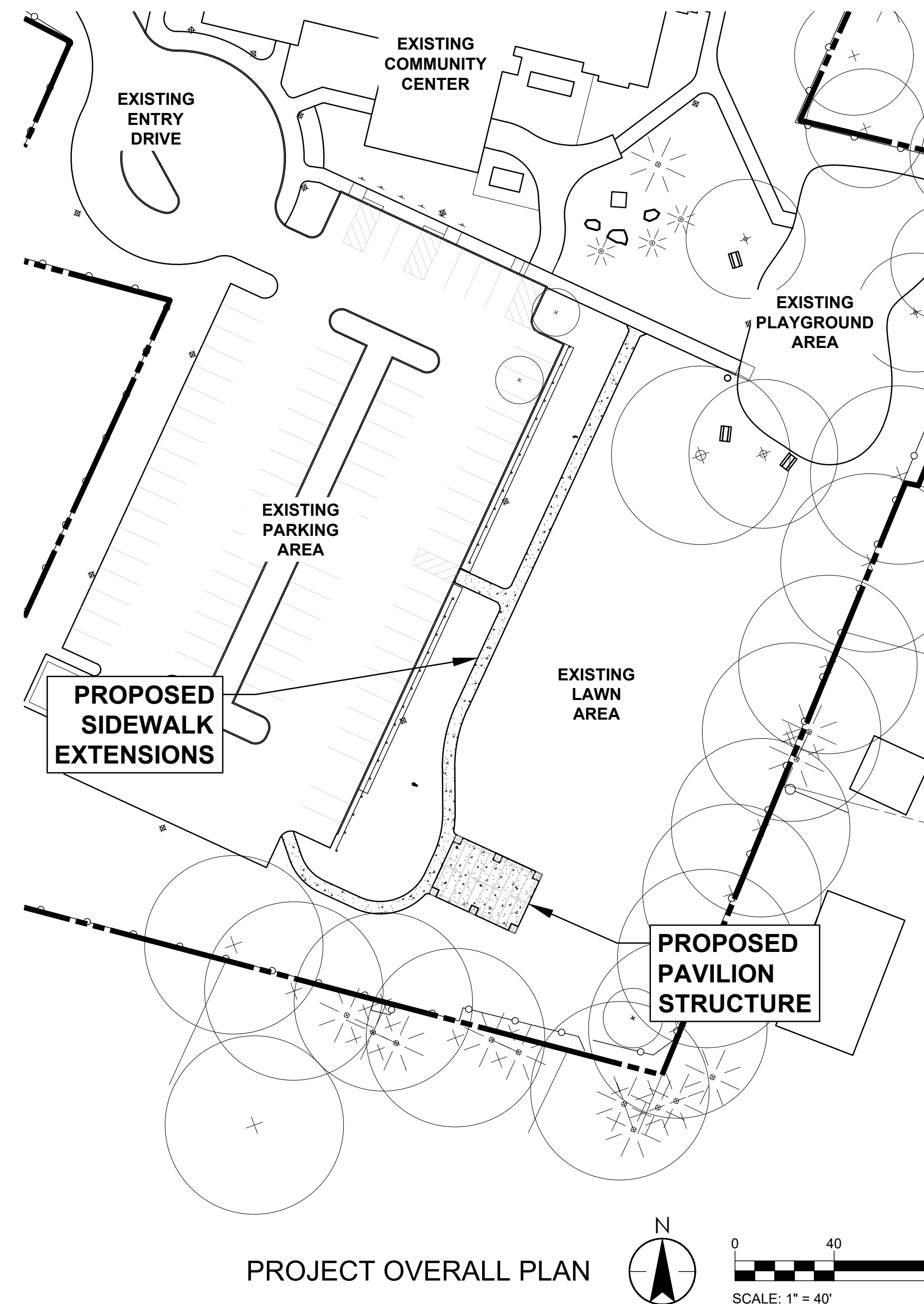
625 Panorama Trail  
Suite 2210  
Rochester, NY 14625  
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Cover Sheet

**L-01**



CONCEPTUAL ILLUSTRATION OF PAVILION (FOR REFERENCE ONLY)



### PROJECT SUBMITTAL CHECKLIST

ALL REQUIRED SUBMITTALS SHALL BE PREPARED BY THE CONTRACTOR AND PROVIDED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO ACQUISITION AND DELIVERY TO THE PROJECT SITE.

#### CONCRETE & SUBBASE MATERIALS

- CONCRETE DESIGN MIXES
- CONCRETE REINFORCING MATERIALS
- CONCRETE ACCESSORIES, GEOTEXTILES, ETC.
- CONCRETE SEALANTS
- EXPANSION JOINT MATERIAL & SEALANTS
- CONCRETE TEST PANEL
- SUBBASE MATERIAL DATA & SIEVE ANALYSIS

#### UTILITIES:

- WATER SERVICE LINE PRODUCT DATA, INCLUDING VALVES, TAPS, AND ALL OTHER MATERIALS NECESSARY TO FURNISH THE FUNCTIONING SERVICE
- DRAINAGE PIPE & FITTINGS
- YARD HYDRANT PRODUCT DATA, INCLUDING MODEL NUMBER, DIMENSIONS, AND FINISHES
- CEILING MOUNTED LIGHT FIXTURES
- ELECTRICAL CONDUIT, BOXES, AND ACCESSORIES
- ELECTRICAL SERVICE / CIRCUITRY DESIGN PLAN BASED ON INVESTIGATION OF EXISTING SERVICE

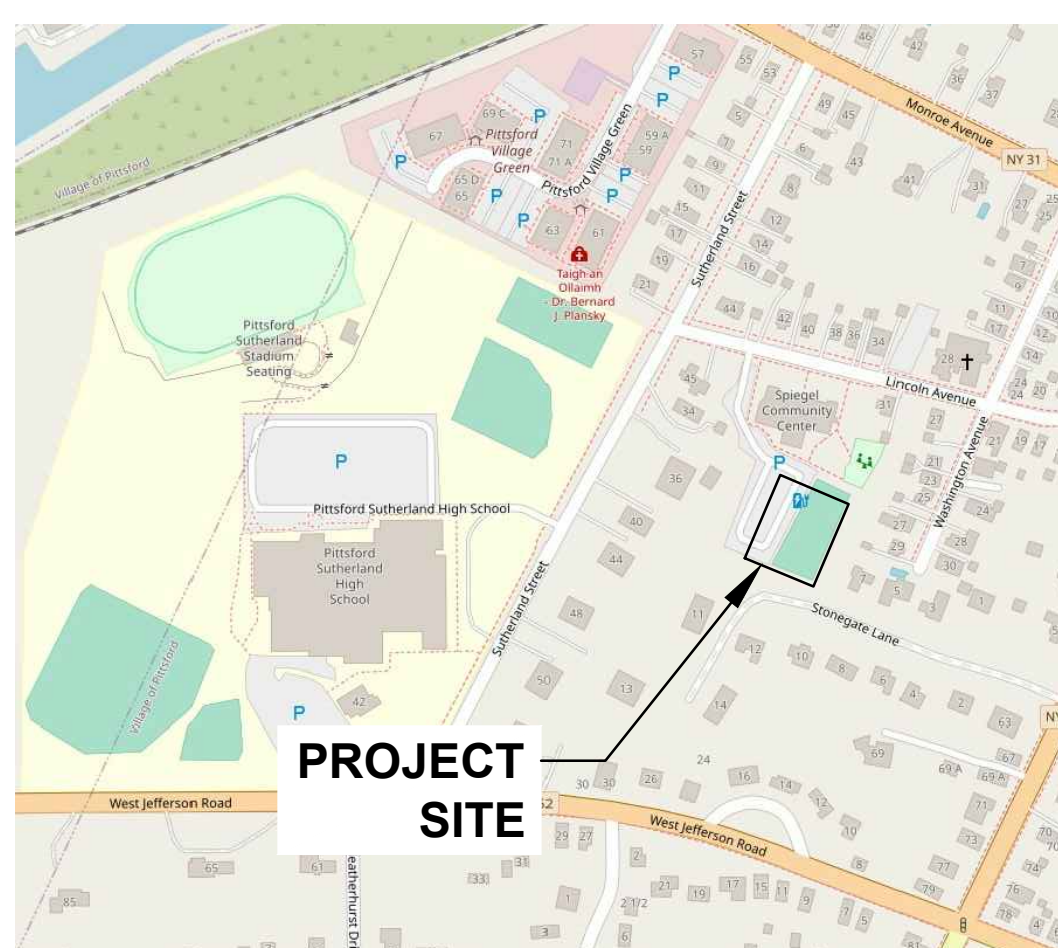
#### PAVILION STRUCTURE

- LUMBER / WOOD MEMBER DATA & CERTIFICATES
- SHOP DRAWINGS & SPECIAL INSPECTIONS AS REQ. BY STRUCTURAL ENGINEER (SEE L-04)
- STANDING SEAM METAL ROOF SYSTEM & ACCESSORIES
- GUTTER & DOWNSPOUT SYSTEM & ACCESSORIES

#### GENERAL / MOBILIZATION:

- PROJECT CONSTRUCTION SCHEDULE
- ALL OTHER REQUIRED MATERIALS AS SPECIFIED WITHIN THE OWNER'S GENERAL CONTRACT CONDITIONS

### PROJECT LOCATION



### PROJECT SCOPE / DESCRIPTION

PROJECT INCLUDES THE CONSTRUCTION OF A PAVILION STRUCTURE AND ASSOCIATED SITE IMPROVEMENTS AT THE SPIEGEL COMMUNITY CENTER IN THE VILLAGE OF PITTSFORD, NEW YORK.

TOWN OF PITTSFORD CONTACT:  
PAUL SCHENKEL  
COMMISSIONER OF PUBLIC WORKS

TOWN OF PITTSFORD  
11 S. MAIN STREET  
PITTSFORD, NY 14534

#### GENERAL PROJECT SCOPE

1. SITE CONSTRUCTION / ASSEMBLY OF A 24' X 36' PARK PAVILION STRUCTURE AS DETAILED AND SPECIFIED WITHIN THIS CONTRACT DRAWING SET.
2. ASSOCIATED SITE CONSTRUCTION, INCLUDING EARTHWORK, GRADING, AND CONSTRUCTION OF A CONCRETE PAD AS DETAILED AND SPECIFIED WITHIN THIS CONTRACT DRAWING SET.
3. MINOR UTILITY IMPROVEMENTS, INCLUDING EXTENSION OF A 1" WATER SERVICE LINE, INSTALLATION OF A YARD HYDRANT, INSTALLATION OF 6" DIA. DRAINAGE PIPING AND CONNECTION TO EXISTING UNDERDRAIN, AND INSTALLATION OF CONNECTION OF SPECIFIED LIGHTING FIXTURES WITHIN THE PAVILION STRUCTURE (INCLUDING NECESSARY CIRCUITRY AND POWER).

### ABBREVIATIONS

ADA	AMERICANS W/ DISABILITIES ACT	GALV	GALVANIZED
ALT	ALTERNATE	HDG	HOT-DIPPED GALVANIZED
@	AT	HP	HIGH POINT
BC	BOTTOM OF CURB	L	LENGTH
BLDG	BUILDING	LP	LOW POINT
BS	BOTTOM OF STEP	LT	LIGHT / LIGHT POLE
BTWN	BETWEEN	MAX	MAXIMUM
BW	BOTTOM OF WALL	MIN	MINIMUM
CB	CATCH BASIN	N/A	NOT APPLICABLE
CF	CONSTRUCTION FENCE	NIC	NOT IN CONTRACT
CLL	CONSTRUCTION LIMIT LINE	NTS	NOT TO SCALE
CJ	CONTROL JOINT	OC	ON CENTER
CL	CENTER LINE	PERF	PERFORATED
CLF	CHAIN LINK FENCE	POB	POINT OF BEGINNING
CONC	CONCRETE	POT	POINT OF TANGENCY
CL	CENTER LINE	PT	PRESSURE TREATED
CTR	CENTER	R	RADIUS
DEM	DEMOLITION	RP	RADIUS POINT
DIA	DIAMETER	REINF	REINFORCED
DN	DOWN	REQ	REQUIRED
DWG	DRAWING	SPEC	SPECIFICATION
EA	EACH	SQ	SQUARE
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
ELEV	ELEVATION	TBD	TO BE DETERMINED
ELEC	ELECTRICAL	TC	TOP OF CURB
EQ	EQUAL	TS	TOP OF STEP
EX	EXISTING	TW	TOP OF WALL
FFE	FINISHED FLOOR ELEVATION	TYP	TYPICAL
FT	FOOT / FEET	VIF	VERIFY IN FIELD
GA	GAUGE	W	WIDTH
		W/	WITH

## BASE MAP / SURVEY REFERENCES

### BASE MAP REFERENCE:

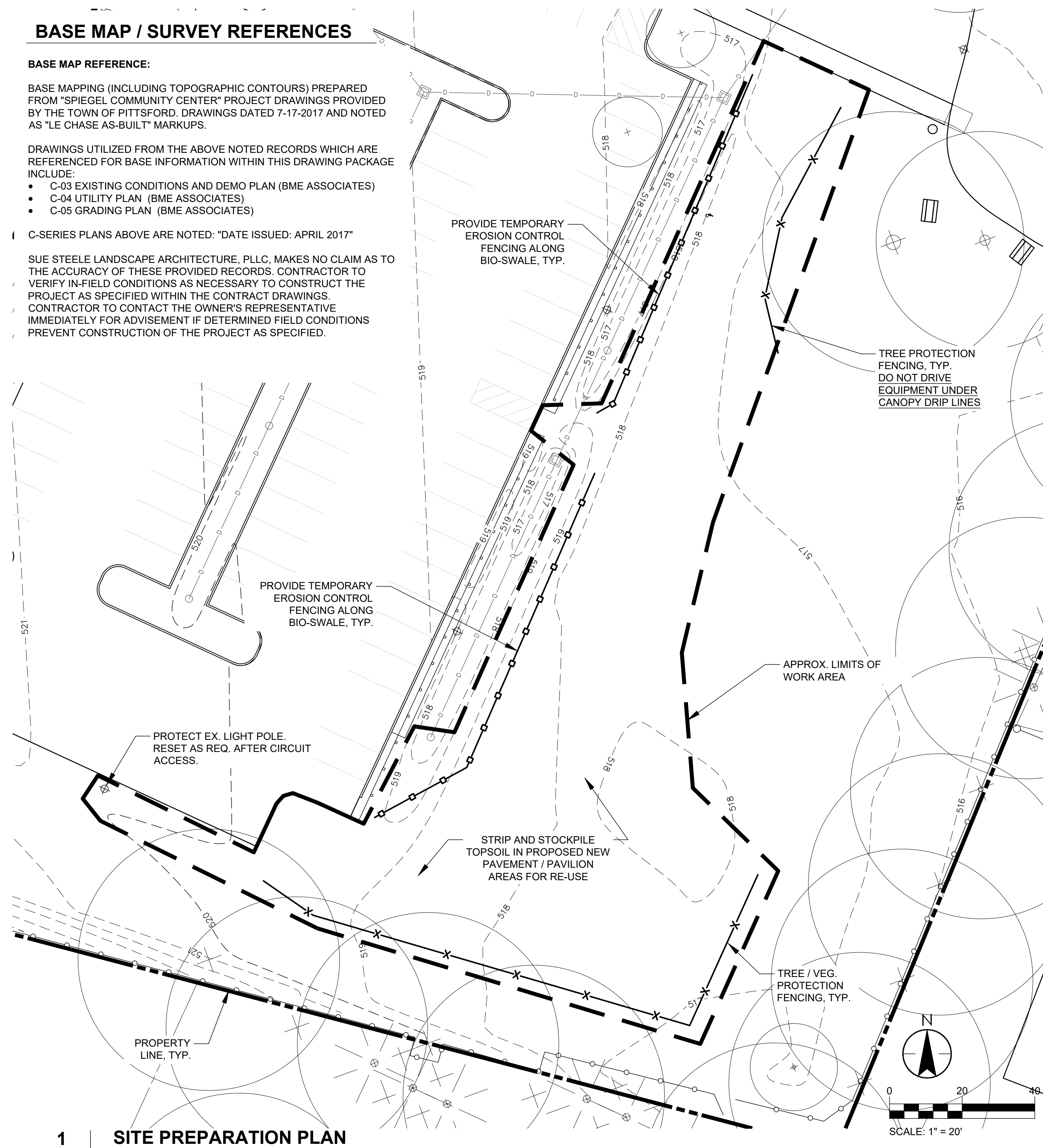
BASE MAPPING (INCLUDING TOPOGRAPHIC CONTOURS) PREPARED FROM "SPIEGEL COMMUNITY CENTER" PROJECT DRAWINGS PROVIDED BY THE TOWN OF PITTSFORD. DRAWINGS DATED 7-17-2017 AND NOTED AS "LE CHASE AS-BUILT" MARKUPS.

DRAWINGS UTILIZED FROM THE ABOVE NOTED RECORDS WHICH ARE REFERENCED FOR BASE INFORMATION WITHIN THIS DRAWING PACKAGE INCLUDE:

- C-03 EXISTING CONDITIONS AND DEMO PLAN (BME ASSOCIATES)
- C-04 UTILITY PLAN (BME ASSOCIATES)
- C-05 GRADING PLAN (BME ASSOCIATES)

C-SERIES PLANS ABOVE ARE NOTED: "DATE ISSUED: APRIL 2017"

SUE STEELE LANDSCAPE ARCHITECTURE, PLLC, MAKES NO CLAIM AS TO THE ACCURACY OF THESE PROVIDED RECORDS. CONTRACTOR TO VERIFY IN-FIELD CONDITIONS AS NECESSARY TO CONSTRUCT THE PROJECT AS SPECIFIED WITHIN THE CONTRACT DRAWINGS. CONTRACTOR TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR ADVISEMENT IF DETERMINED FIELD CONDITIONS PREVENT CONSTRUCTION OF THE PROJECT AS SPECIFIED.

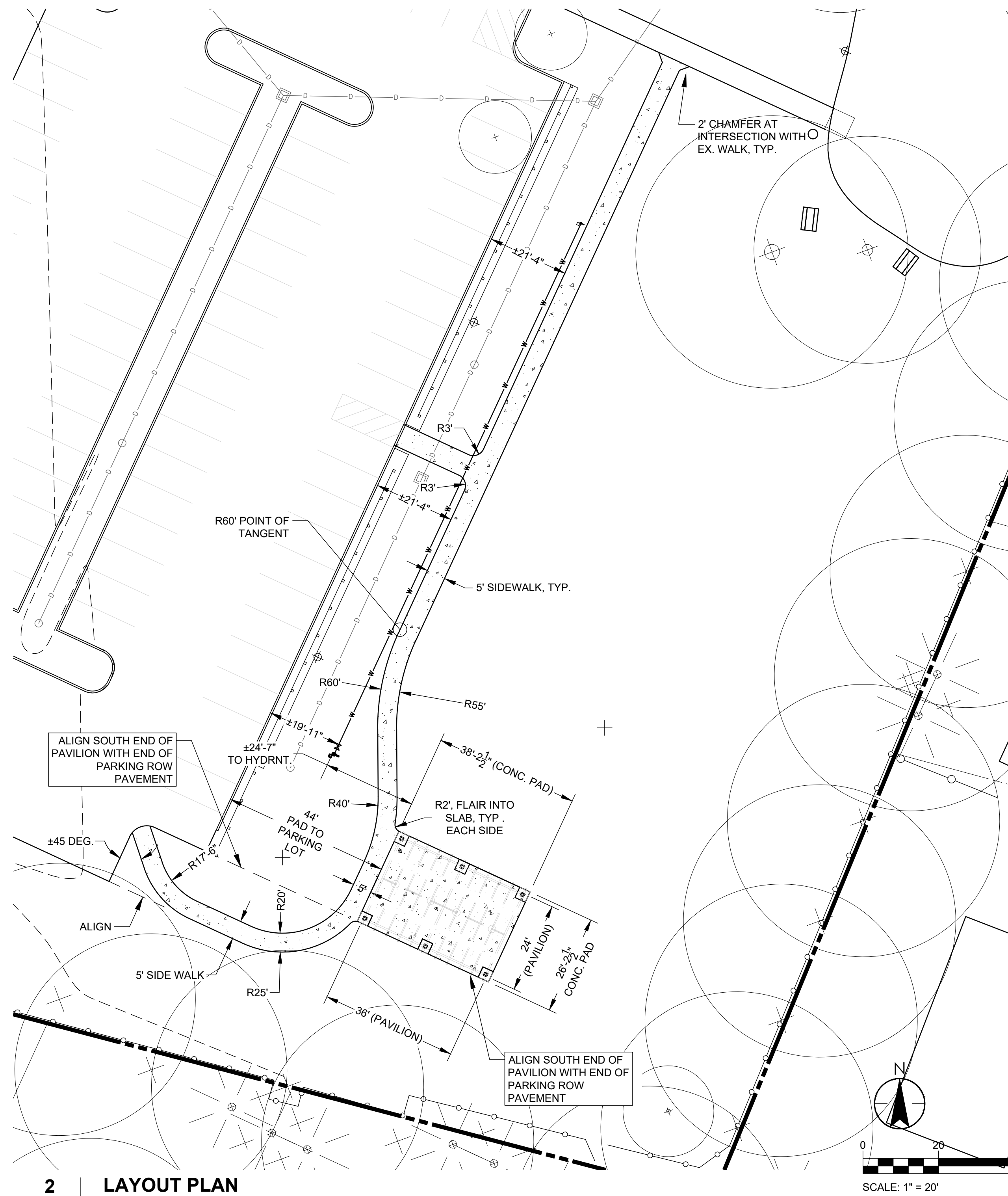


**1 SITE PREPARATION PLAN**

L-02 1" = 20'

### SITE PREPARATION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED CONSTRUCTION PERMITS AND/OR INSPECTIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND STORMWATER MANAGEMENT DURING PROJECT CONSTRUCTION. DO NOT LEAVE EXPOSED SOIL PILES UNCOVERED FOR MORE THAN 24 HOURS OR WHEN PRECIPITATION EVENTS ARE ANTICIPATED. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING UP SOIL ERODED OUT OF THE WORK AREA AND LAWN REPAIR.
3. THE CONTRACTOR'S MATERIAL STAGING AND STORAGE AREA IS TO BE LOCATED WITHIN THE CONSTRUCTION AREA LIMITS OR IN AN AREA APPROVED BY THE OWNER.
4. THE CONTRACTOR SHALL CAREFULLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND FIELD VERIFY THE PRECISE LOCATION AND QUANTITY OF ALL ITEMS THAT MUST BE REMOVED IN ORDER TO CONSTRUCT THIS PROJECT.
5. GREAT CARE SHALL BE TAKEN IN REMOVING MATERIALS AND/OR ITEMS WITHIN THE DRIPLINE OF ANY EXISTING TREES TO MINIMIZE ROOT DISTURBANCE. DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO EXCAVATING WITHIN THE CANOPY OR DRIP LINE OF ANY TREE.
6. THE CONTRACTOR SHALL CHECK WITH THE OWNER'S REPRESENTATIVE REGARDING THE DISPOSITION OF ANY EXISTING SITE FEATURES NOT SHOWN ON THIS PLAN THAT MUST BE REMOVED IN ORDER TO CONSTRUCT THE PROJECT.
7. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PROCESS. OPEN EXCAVATIONS MUST BE COVERED AND/OR FENCED AT THE END OF EACH WORK DAY.
8. ALL MATERIALS REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A LEGAL MANNER.
9. ALL SUITABLE TOPSOIL EXCAVATED FROM THE SITE SHALL BE STOCKPILED, DRIED, AND PROTECTED PRIOR TO PLACEMENT IN AREAS SPECIFIED FOR TOPSOIL USE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL IMPORTED TOPSOIL AS REQUIRED TO COMPLETE THE WORK AS SPECIFIED.
10. PROTECT ALL TREES THAT ARE NOT DESIGNATED FOR REMOVAL WITH TEMPORARY FENCING. THE CONTRACTOR MUST NOT DRIVE OR IDLE CONSTRUCTION EQUIPMENT WITHIN TREE PROTECTION ZONES, OR COMPACT SOIL UNDER THE DRIPLINE OF EXISTING TREES.



**2 LAYOUT PLAN**

L-02 1" = 20'

### LAYOUT NOTES

1. CONTRACTOR SHALL ADHERE TO WRITTEN DIMENSIONS ON ALL PLANS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF THE WRITTEN DIMENSIONS CONFLICT WITH THE FIELD CONDITIONS.
2. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION.
3. THE CONTRACTOR SHALL REFER ANY QUESTIONS REGARDING MATERIALS, FINISHES, LABOR, AND/OR PRODUCTS NOT SPECIFIED HEREIN TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING MATERIALS OR STARTING WORK.
4. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE SHOWN.

# Sue Steele Landscape Architecture PLLC

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steela



Torchia Structural Engineering & Design P.C.

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**WARNING**  
IT IS VIOLATION OF THE LAW (NEW YORK STATE EDUCATION LAW, TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR REPORT TO WHICH THE SEAL OF THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

## Spiegel Community Center Pavilion

35 Lincoln Avenue  
Pittsford, NY 14534

Issue Date: Bid Documents 9-12-2022

No.	Date	Revision

Drawing Title

## Site Preparation & Layout Plans

# L-02

**WARNING**  
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Project Name and Address

**Spiegel  
Community  
Center Pavilion**

35 Lincoln Avenue  
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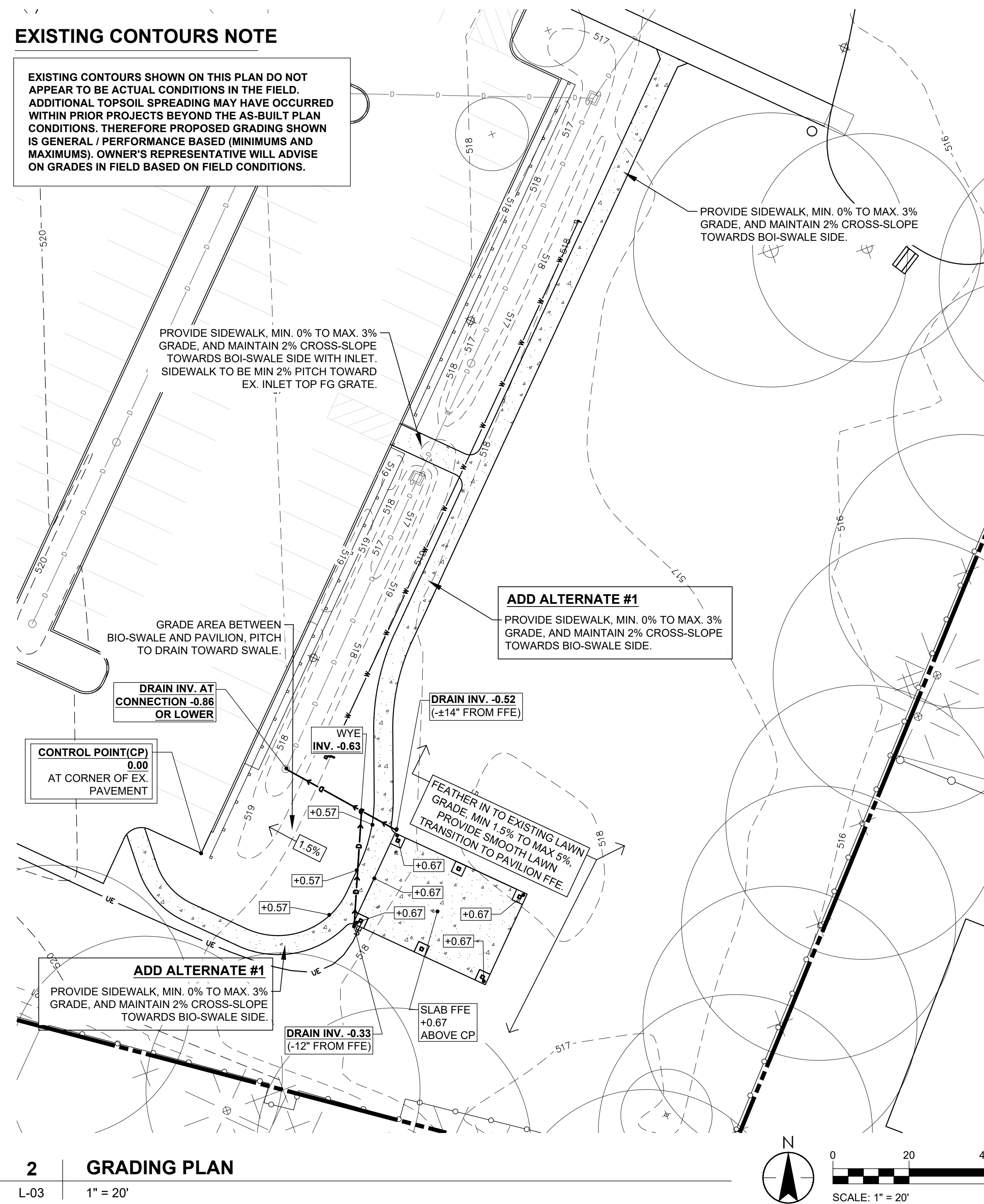
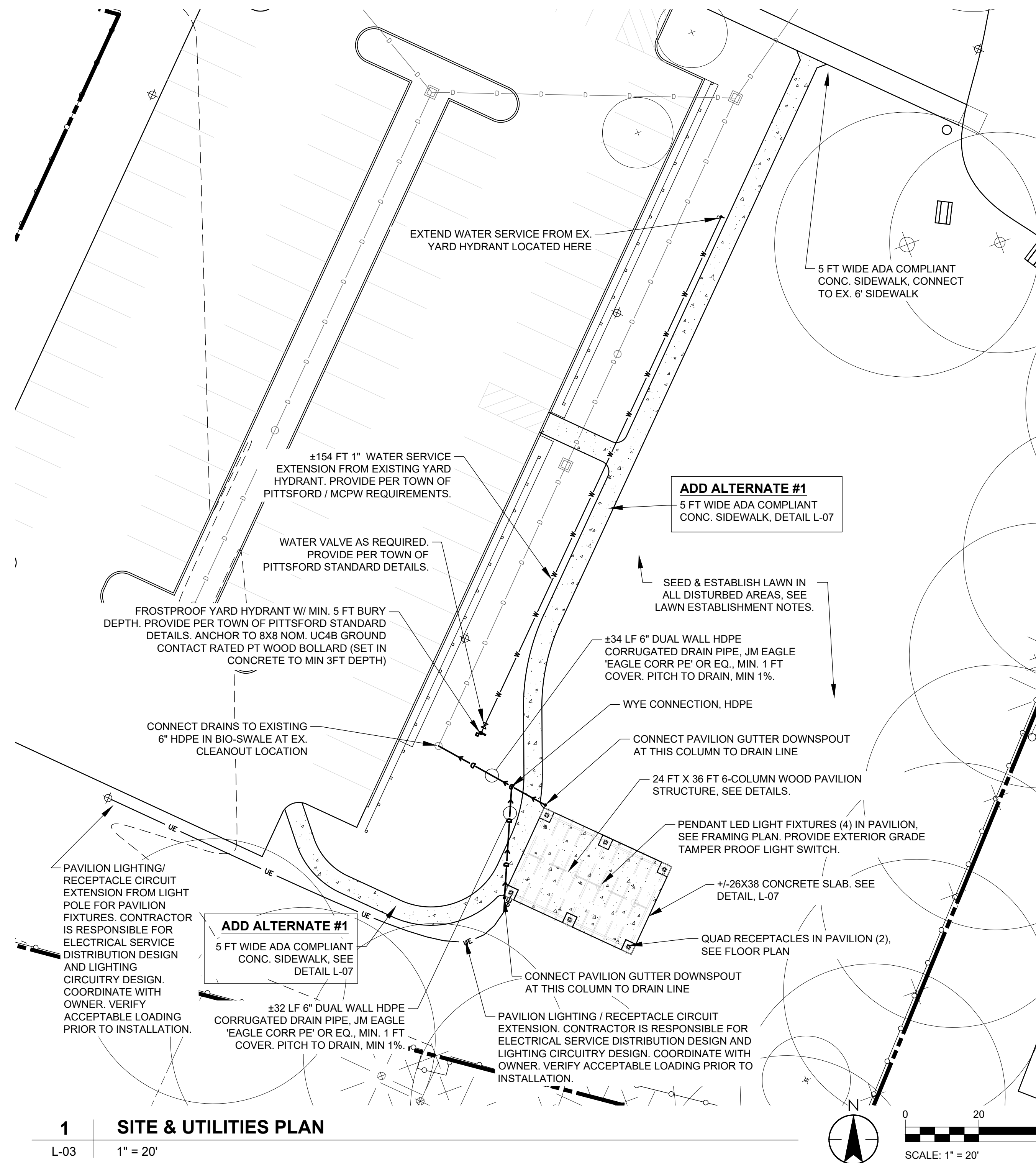
Issue Date: Bid Documents 9-12-2022

No.	Date	Revision

Drawing Title

**Site & Utilities Plan,  
Grading Plan**

**L-03**



## STRUCTURAL NOTES:

### I. GENERAL NOTES

- The building code used is the 2020 Building Code of New York State (2020 BCNYS). All editions of applicable codes and standards shall be those referenced within the 2020 BCNYS.
- The General Contractor shall coordinate all Civil, Architectural, Structural, Mechanical, Electrical and Plumbing drawings and report any discrepancies to the engineer prior to construction.
- The contractor shall verify all dimensions and conditions in the field prior to commencing work. If any discrepancies are found within the Structural Drawings and/or Structural Notes, the strictest shall govern and the engineer shall be notified of any discrepancies which may exist.
- The General Contractor shall provide all necessary temporary shoring and/or bracing during construction to maintain the safety and integrity of all building elements until construction is complete.
- The contractor shall notify the Special Inspections Agency 24 hours in advance prior to scheduling any required inspections.

### II. FOUNDATION WORK

- A. GENERAL**  
The foundations for this pavilion will be individual concrete piers at each column location. All footings are to be placed on firm and clean soil.

- B. DESIGN CAPACITIES**  
The new pavilion foundation design is based on an allowable soil bearing capacity of 1,500 psf per 2020 BCNYS, Chapter 18 – Soils and Foundations

- C. FILL AND BACKFILL**  
Compact each fill layer not less than 95% of maximum density of Modified Proctor per ASTM D 1557.

### III. CONCRETE

#### A. MATERIAL PROPERTIES

- Concrete minimum strength in 28 days to be 4000 psi for slabs and piers.
- Bar reinforcing ASTM A615, Grade 60  
Welded wire fabric ASTM A185.

#### B. INSTALLATION

- Unless otherwise shown, all reinforcing shall be detailed in accordance with ACI 318.
- Unless otherwise noted, reinforcing shall have the following minimum concrete covers: 3" cover where unformed and against earth, 2" where formed and against earth, and 1" where formed and not against earth. See ACI Code.
- Unless otherwise shown, reinforcing splices shall be minimum 36 bar diameters.
- Provide 3/4" chamfer at all exposed concrete corners & edges.
- Concrete exposed to freeze-thaw cycles (including but not limited to exterior slabs) shall have 4% – 6% entrained air.
- Special attention shall be given to concrete placed during hot or cold weather. All special practices prescribed by ACI shall be followed during the placement of concrete during special weather conditions.
- Provide curing of concrete slabs immediately after finishing using a sprayed on dissipating-resin liquid curing compound conforming to ASTM C309. All scuffs or abrasions to the curing membrane shall be recoated daily. Other curing methods may be used with approval by the Structural Engineer.

### IV. MISC. METAL

#### A. MATERIAL PROPERTIES

- Steel angles, channels and plates . . . . . ASTM A36
- Bolts . . . . . ASTM A307
- Welding . . . . . E70XX-AWS D1.1

#### B. INSTALLATION

- Welding by certified welder only.
- All structural steel fabrication, erection, and connections to conform with current edition of AISC handbook. Field measure all steel prior to fabrication.

### V. WOOD

- Wood dimensional lumber (2"-4" thick) to be Douglas Fir-Larch, No. 1 & Better, with minimum NDS reference design values equal to:

Bending  $(F_b) = 1,200$  psi  
 Compression Parallel to Grain  $(F_c) = 1,550$  psi  
 Modulus of Elasticity  $(E) = 1,800,000$  psi  
 Min. Modulus of Elasticity  $(E_{min}) = 550,000$  psi  
 Shear Parallel to Grain  $(F_v) = 180$  psi  
 Tension Parallel to Grain  $(F_t) = 750$  psi

- Wooden Timbers (5"x5" and larger) to be Douglas Fir-Larch, Dense No. 1, with minimum NDS reference design values equal to:

Bending  $(F_b) = 1,400$  psi  
 Compression Parallel to Grain  $(F_c) = 1,100$  psi  
 Modulus of Elasticity  $(E) = 1,700,000$  psi  
 Min. Modulus of Elasticity  $(E_{min}) = 620,000$  psi  
 Shear Parallel to Grain  $(F_v) = 170$  psi  
 Tension Parallel to Grain  $(F_t) = 950$  psi

- Parallam PSL Plus Beams to meet minimum reference design values equal to:

AWPA Use Category = UC3B (Above ground, Exposed)  
 Service Level = 2 (Wet Use)  
 Bending  $(F_b) = 1,827$  psi  
 Compression Parallel to Grain  $(F_c) = 1,508$  psi  
 Modulus of Elasticity  $(E) = 1,460,000$  psi  
 Min. Modulus of Elasticity  $(E_{min}) = 742,070$  psi  
 Shear Parallel to Grain  $(F_v) = 197$  psi

- All lumber to be pressure treated and are nominal sizes.

- The General Contractor shall reject all poor quality lumber that is not suitable for its intended purpose, regardless of grade.

- Wood rafters to have a minimum bearing length of 1-1/2" on wood or metal.

- A metal joist/rafter hanger, etc. shall always be provided at face-mounted members.

- Framing anchors, joist hanger, etc. shall be galvanized steel (16 ga. min.) install in strict accordance with mfr's instructions, including mfr's specified fasteners. Provide products by "Simpson Co." or approved proposed substitute.

### VI. MISCELLANEOUS

- Provide shop drawings for wood framing and connections, and reinforcing for approval before fabrication.
- Submit concrete mix design to arch./eng. for review prior to start of construction.

## SCHEDULE OF SPECIAL INSPECTIONS & TESTS (PER 2020 BCNYS)

MATERIAL / ACTIVITY	CONTINUOUS	PERIODIC	SERVICE	REFERENCE / REMARKS
<b>Concrete Construction</b>				2020 BCNYS, 1705.3 & Table 1705.3
1. Inspection of reinforcing steel installation (see 2020 BCNYS, 1705.3.1 for welding of reinf.)		X	Shop and field inspection	
2. Inspection of anchors cast in concrete		X	Field inspection	
3. Inspection of anchors and reinforcing steel post-installed in hardened concrete		X	Field inspection	See anchor research report provided by anchor mfr. for specific special inspection requirements in accordance with 17.8.2 in ACI 318
4. Verify use of approved design mix		X	Shop and field inspection	
5. Fresh concrete sampling, perform slump and air content tests and determine temperature of concrete	X		Shop and field inspection	
6. Inspection of concrete and shotcrete placement for proper application technique	X		Shop and field inspection	
7. Inspection for maintenance of specified curing temperature and techniques		X	Shop and field inspection	
8. Inspection of formwork for shape, lines, location, and dimensions		X	Field inspection	
9. Concrete strength testing and verification of compliance with construction documents		X	Field testing and review of laboratory reports	
<b>Wood Construction</b>				2020 BCNYS, 1705.5
1. Inspection of the fabrication process of wood structural elements and assemblies in accordance with Section 1704.2.5		X	In-plant review	
2. Verify nominal size of framing members at adjoining panel edges, nail or staple diameter and length, number of fastener lines, and that spacing between fasteners in each line and at edge margins agree with approved building plans		X	Field inspection	
<b>Soils</b>				2020 BCNYS, 1705.6 & Table 1705.6
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity		X	Field inspection	
2. Verify excavations are extended to proper depth and have reached proper material		X	Field inspection	
3. Perform classification and testing of controlled fill materials		X	Field inspection	
4. Verify use of proper materials, densities, and lift thicknesses during placement and compaction of controlled fill	X		Field inspection	
5. Prior to placement of controlled fill, observe subgrade and verify that the site has been prepared properly		X	Field inspection	
Notes:				
1. N/A = Not Applicable				
2. The inspection and testing agent(s) shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official prior to commencing work. The qualifications of the Special Inspector(s) and/or testing agencies may be subject to the approval of the Building Official and/or the Design Professional.				

### STRUCTURAL TESTS AND SPECIAL INSPECTIONS

AN INSPECTION, TESTING AND QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE IMPLEMENTED AS OUTLINED ON THIS DRAWING. THE OWNERS CONSTRUCTION REPRESENTATIVE SHALL ENGAGE AN APPROVED TESTING/INSPECTION AGENCY TO PROVIDE SPECIAL INSPECTION AND TESTING AS REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE SCHEDULE WITH THE TESTING/INSPECTION AGENCY. DEFINITIONS AND REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 1704 OF THE BUILDING CODE OF NEW YORK STATE. FAILURE TO COMPLY WILL RESULT IN REMOVAL AND RECONSTRUCTION OF ANY STRUCTURAL ELEMENTS NOT VERIFIED, TESTED, OR INSPECTED. THE ENGINEER OF RECORD SHALL RECEIVE A COPY OF ALL INSPECTION REPORTS. FOR ADDITIONAL INFORMATION REFER TO SPECIAL INSPECTIONS AND STRUCTURAL TESTING PROGRAM, SEE THIS SHEET.

### HARDWARE FINISH / WOOD FINISH NOTES

- ALL EXPOSED / VISIBLE STEEL CONNECTION PLATES, COLUMN BASES, AND RELATED HARDWARE SHALL BE GALVANIZED STEEL WITH BLACK POWDERCOATING. TOUCH UP WITH PAINT AFTER INSTALL AND USE MATCHING TOUCH-UP PAINT FOR EXPOSED BOLT HEADS AND OTHER EXPOSED HARDWARE. STANDARD RAFTER HANGERS AND CONDUIT MAY BE PAINTED RED TO MATCH WOOD SOLID PAINT / STAIN.**
- ALL WOOD SURFACES FINISHED AS FOLLOWS: MINIMUM 2 COATS RED SOLID COLOR #1800 SERIES ACRYLIC STAIN STAIN, "TILE RED" COLOR, AS MANUFACTURED BY CABOT. PREPARE SUBSTRATE AND APPLY PER ALL MANUFACTURER INSTRUCTIONS / RECOMMENDATIONS. APPLY ALL FINISHES WITH HIGH LEVEL OF CRAFTSMANSHIP AND FULLY REMOVE / CLEAN UP ALL PAINT DROPS AND SPILLS.**
- STANDING SEAM ROOF AND GUTTERS TO BE BLACK TO MATCH EXISTING TOWN OF PITTSFORD PAVILION STRUCTURES. TOUCH UP PAINT AFTER INSTALL.**

### STRUCTURAL DESIGN CRITERIA

In accordance with the 2020 Building Code of New York State (2020 BCNYS). All editions of applicable codes and standards shall be those referenced in the 2020 Building Code of New York State.

New Pavilion Construction for:

**SPIEGEL COMMUNITY CENTER**

35 Lincoln Avenue  
Pittsford, NY 14534

Building Risk Category: II

Design Live Loads: Uniform: Concentrated:  
 Floor Live Load(s): Slab-on-Grade: 100 psf -

Roof Live Load: 20 psf min.  
 Live Load Reduction: No roof or floor live load reductions are to be taken

Roof Snow Load Data:  
 Ground Snow Load:  $P_g = 40$  psf  
 Flat-Roof Snow Load:  $P_f = 34$  psf  
 Snow Exposure Factor:  $C_e = 1.0$   
 Snow Load Importance Factor:  $I_s = 1.0$   
 Thermal Factor:  $C_t = 1.2$   
 Slope Factor:  $C_s = 1.0$   
 Snow Drift Surcharge Loading:  $P_d =$  If Applicable, See Roof Framing Plan(s)

Rain Load Data:  
 Rain Intensity:  $i = 2.28$  in/hr (60-min.)

## Program of Structural Tests and Inspections

(For Compliance with the 2020 Building Code of New York State)



Project: New Pavilion Construction for:  
Spiegel Community Center

Location: 35 Lincoln Avenue  
Pittsford, NY 14534

Owner: Spiegel Community Center

Owner's Address: 35 Lincoln Avenue  
Pittsford, NY 14534

Architect of Record: Sue Steele Landscape Architecture P.L.L.C.  
 Structural Engineer of Record (SER): Torchia Structural Engineering & Design, P.C.

This program of structural tests and inspections is submitted as a condition for issuance of the building permit in accordance with Section 1704 of the 2020 Building Code of New York State (2020 BCNYS). Special Inspectors must be employed by the Owner or registered design professional in responsible charge, acting as the Owner's Agent.

The following categories of structural tests and inspections, if checked, are included in the program for structural tests and inspections for this project.

- | Category  | Category  |
|---|---|
| <input type="checkbox"/> Steel Construction   | <input checked="" type="checkbox"/> In-situ Bearing Strata for Footings |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete Construction                                     | <input type="checkbox"/> Pile Foundations                               |
| <input type="checkbox"/> Precast Concrete Construction  | <input type="checkbox"/> Pier Foundations                               |
| <input type="checkbox"/> Masonry Construction   | <input type="checkbox"/> Curtain Walls (wall panels and veneers)        |
| <input checked="" type="checkbox"/> Wood Construction (by fabricator certificate of compliance)             | <input type="checkbox"/> Light Gauge Metal Framing                      |
| <input type="checkbox"/> Controlled Structural Fill (prepared fill) (by supplier certificate of compliance) | <input type="checkbox"/> Special Cases:<br>_____<br>_____<br>_____      |

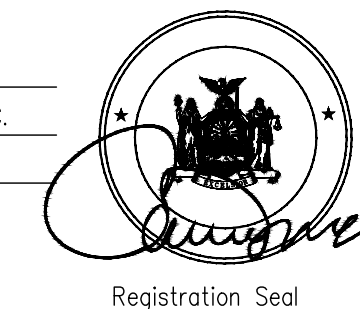
Prepared by the Structural Engineer of Record:

Name: Carmine Torchia, P.E.

Firm: Torchia Structural Engineering & Design, P.C.

Date: August 16, 2022

Signature:



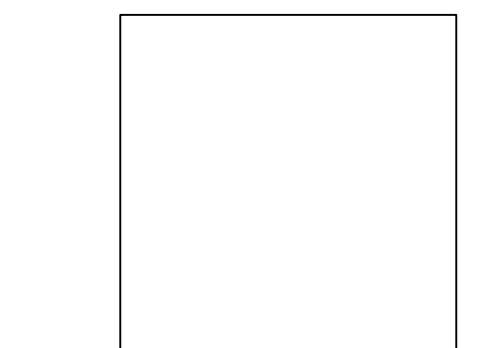
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625 Panorama Trail Suite 2210 Rochester, NY 14625 Phone: 585-385-7630 Fax: 585-385-6386 www.TSE123.com



**WARNING**  
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Project Name and Address

## Spiegel Community Center Pavilion

35 Lincoln Avenue  
Pittsford, NY 14534

Issue Date: Bid Documents 9-12-2022

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Drawing Title

## Structural Notes, Special Inspections Program, & Structural Design Criteria

# L-04



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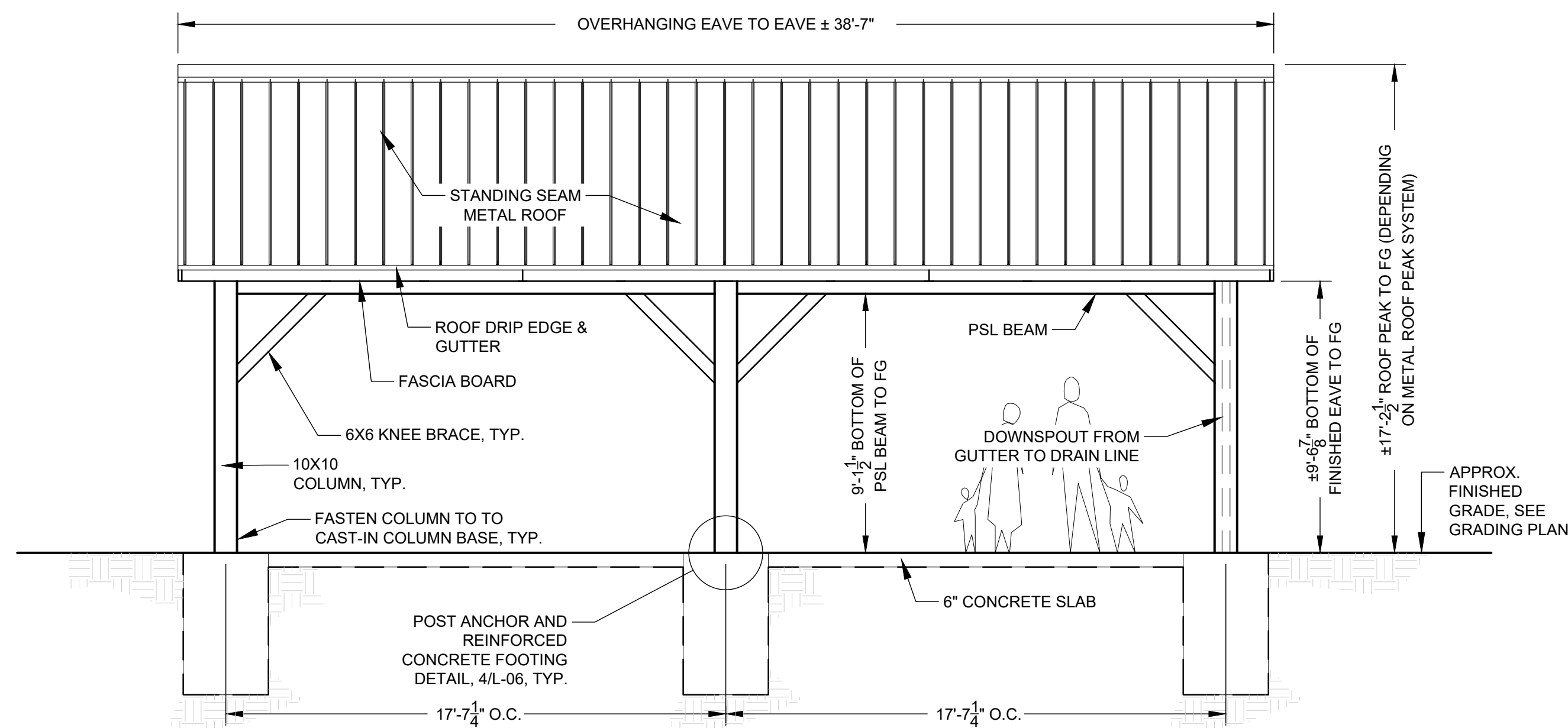
Project Name and Address  
**Spiegel  
Community  
Center Pavilion**  
35 Lincoln Avenue  
Pittsford, NY 14534

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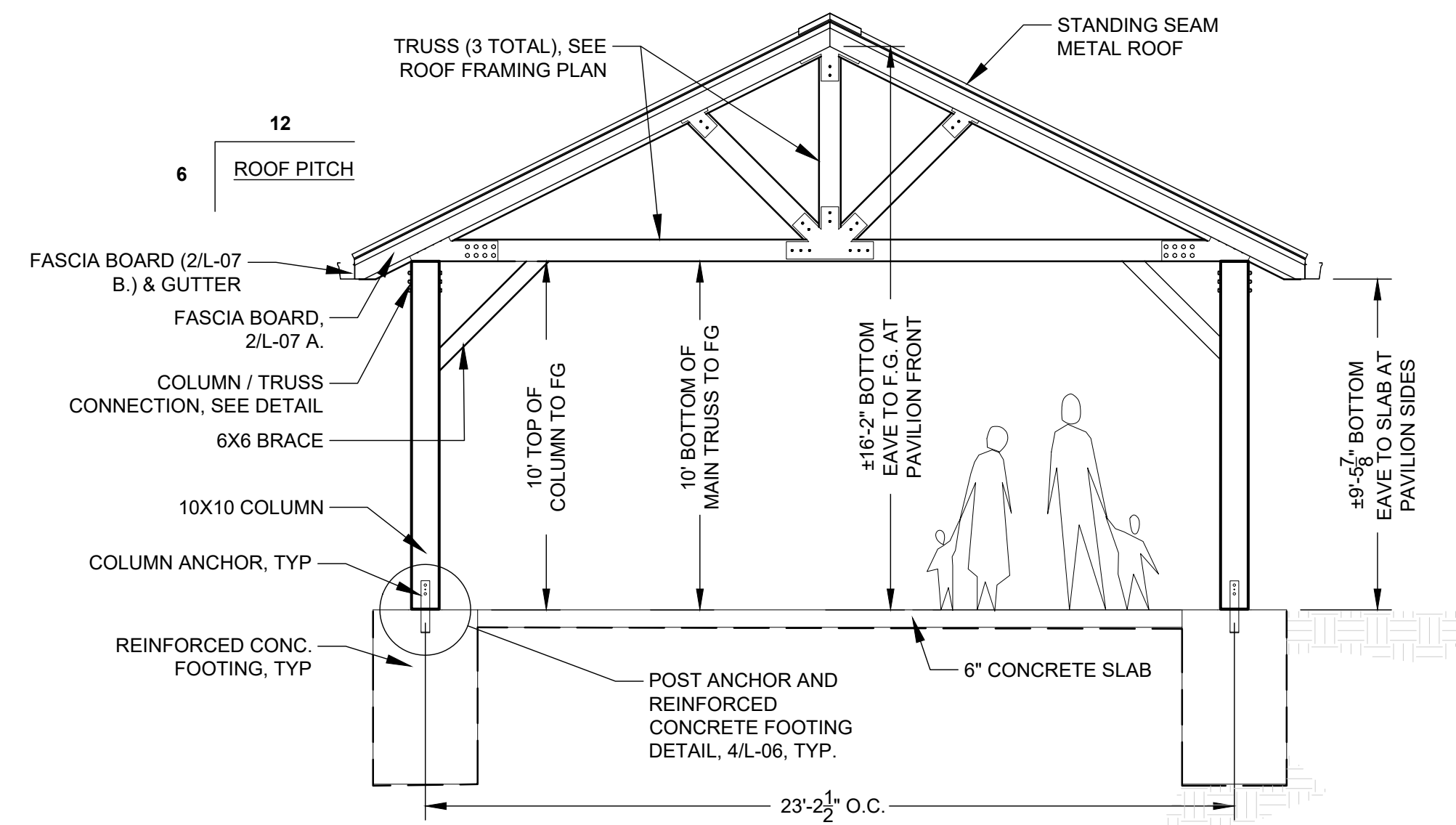
Drawing Title  
**ROOF FRAMING  
PLAN &  
ELEVATIONS**

**L-05**



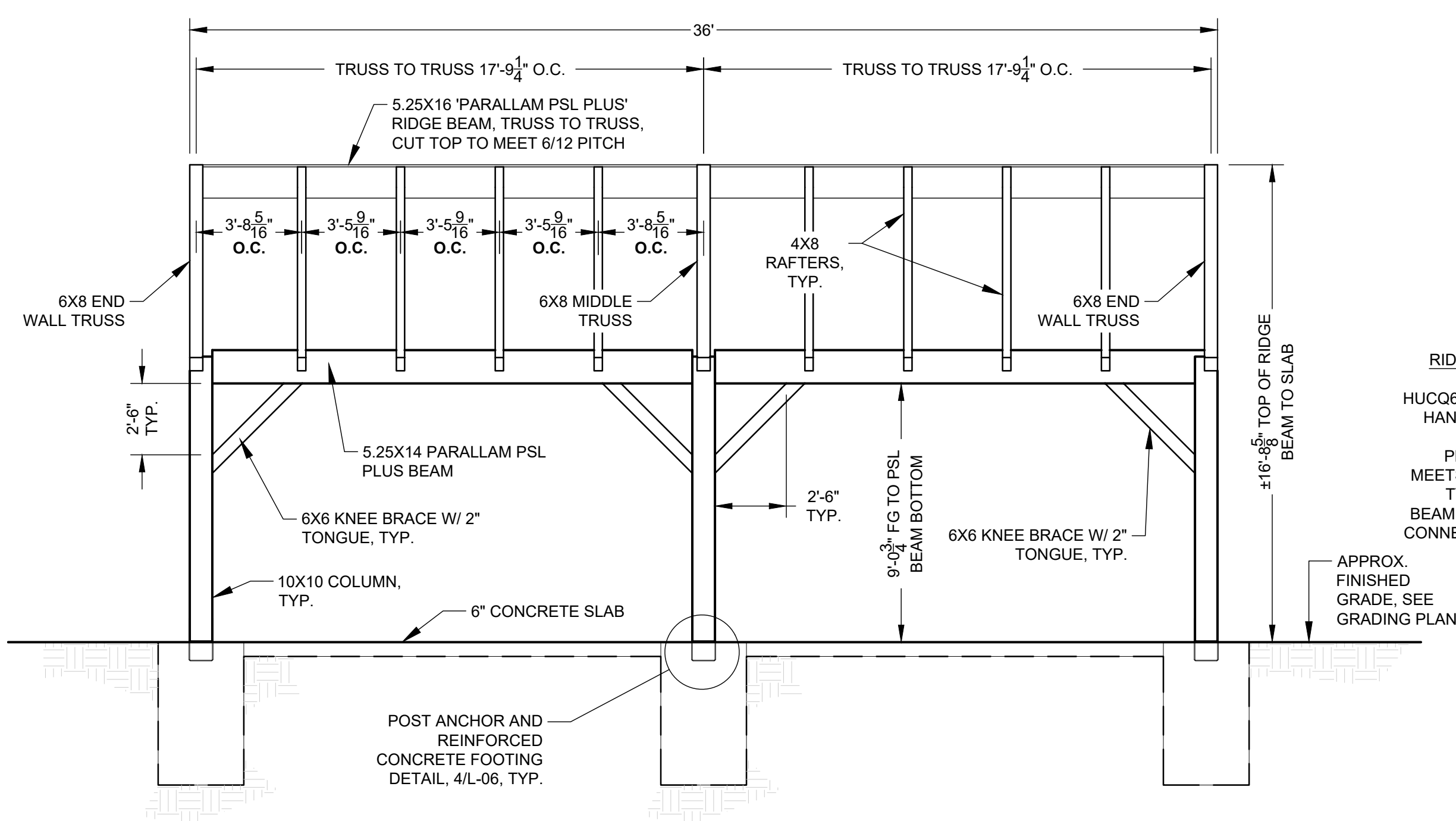
**1 PAVILION - SIDE ELEVATION**

L-05 1/4" = 1'



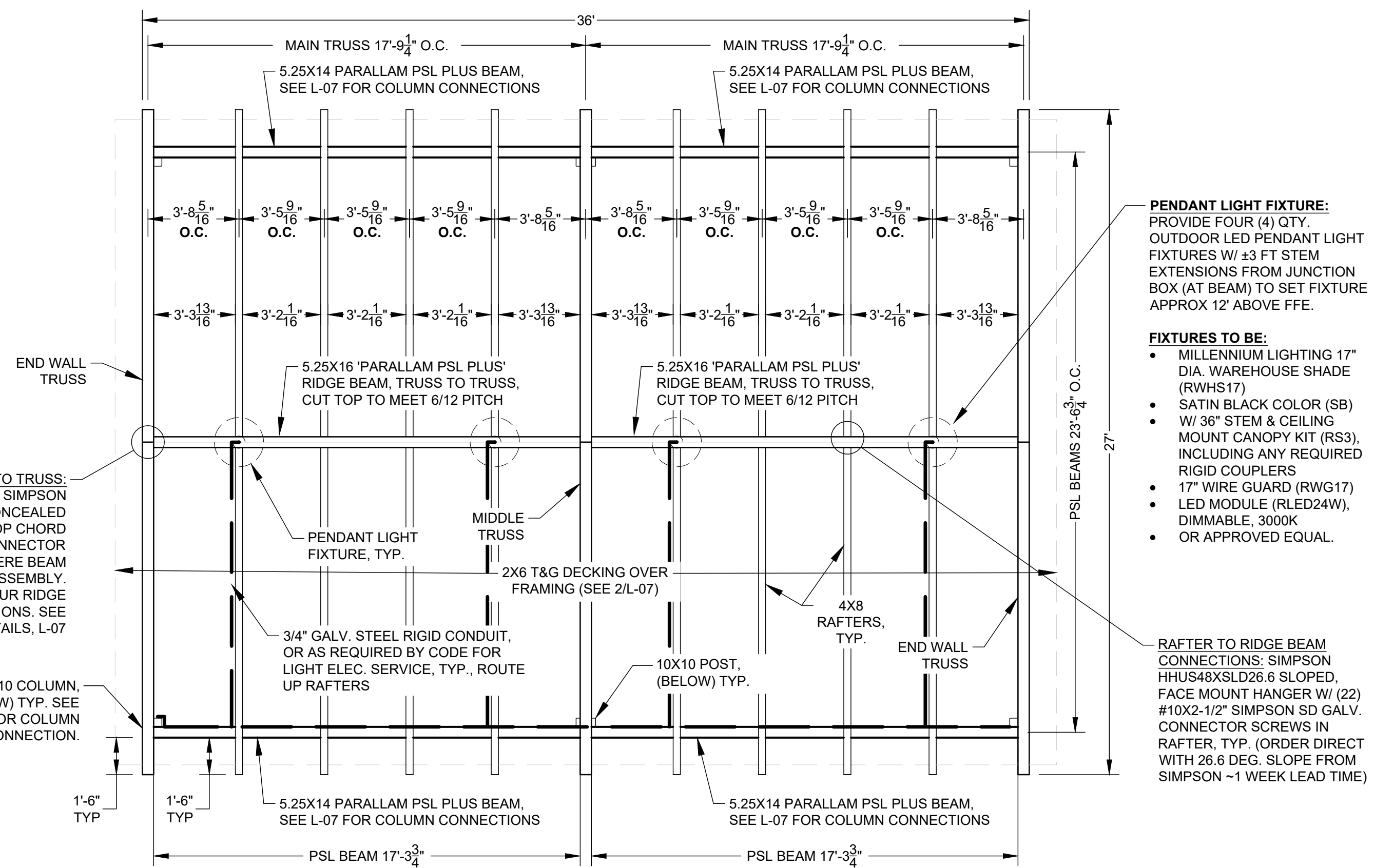
**2 PAVILION - FRONT ELEVATION**

L-05 1/4" = 1'



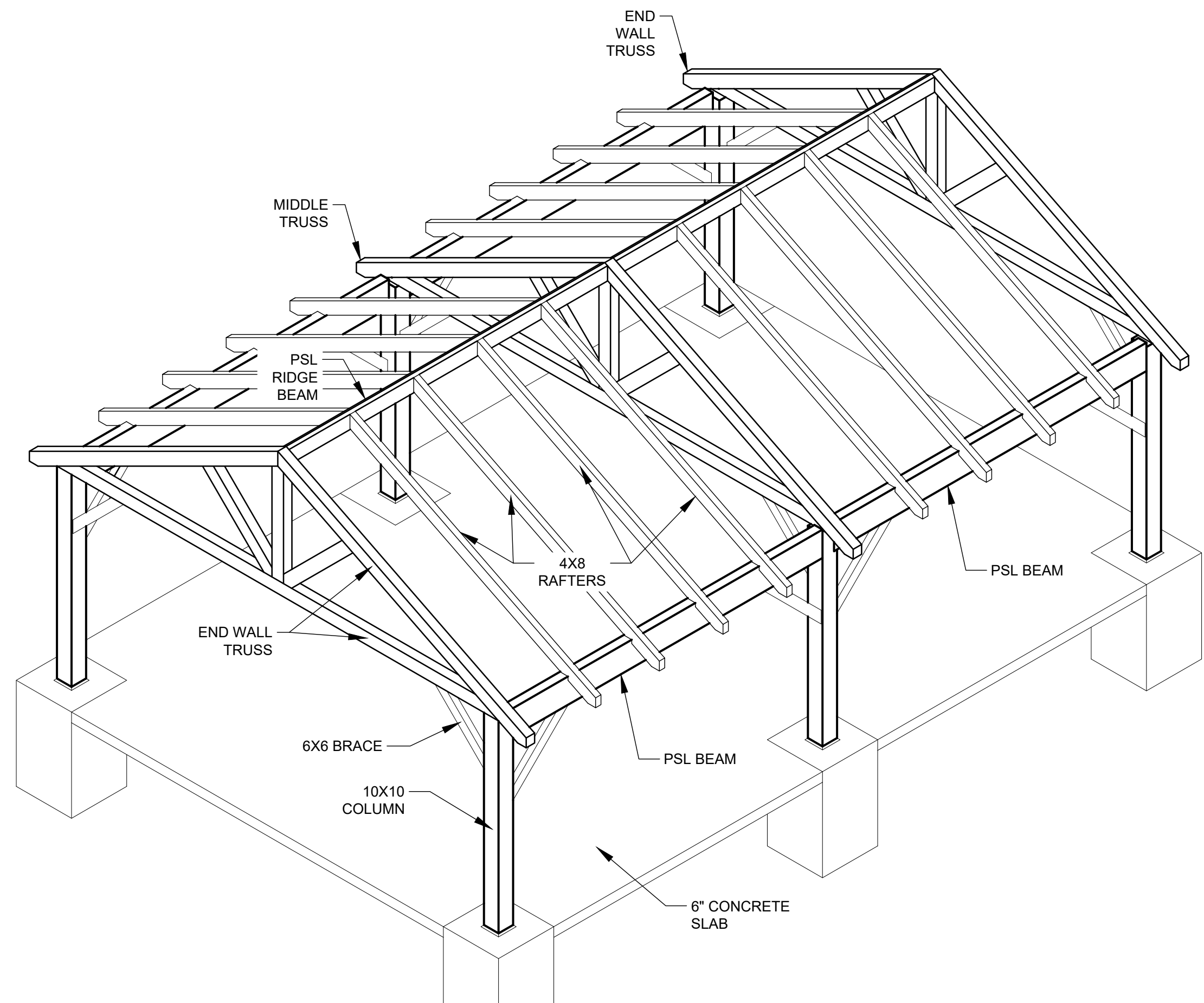
**3 PAVILION - FRAMING SIDE ELEVATION**

L-05 1/4" = 1'



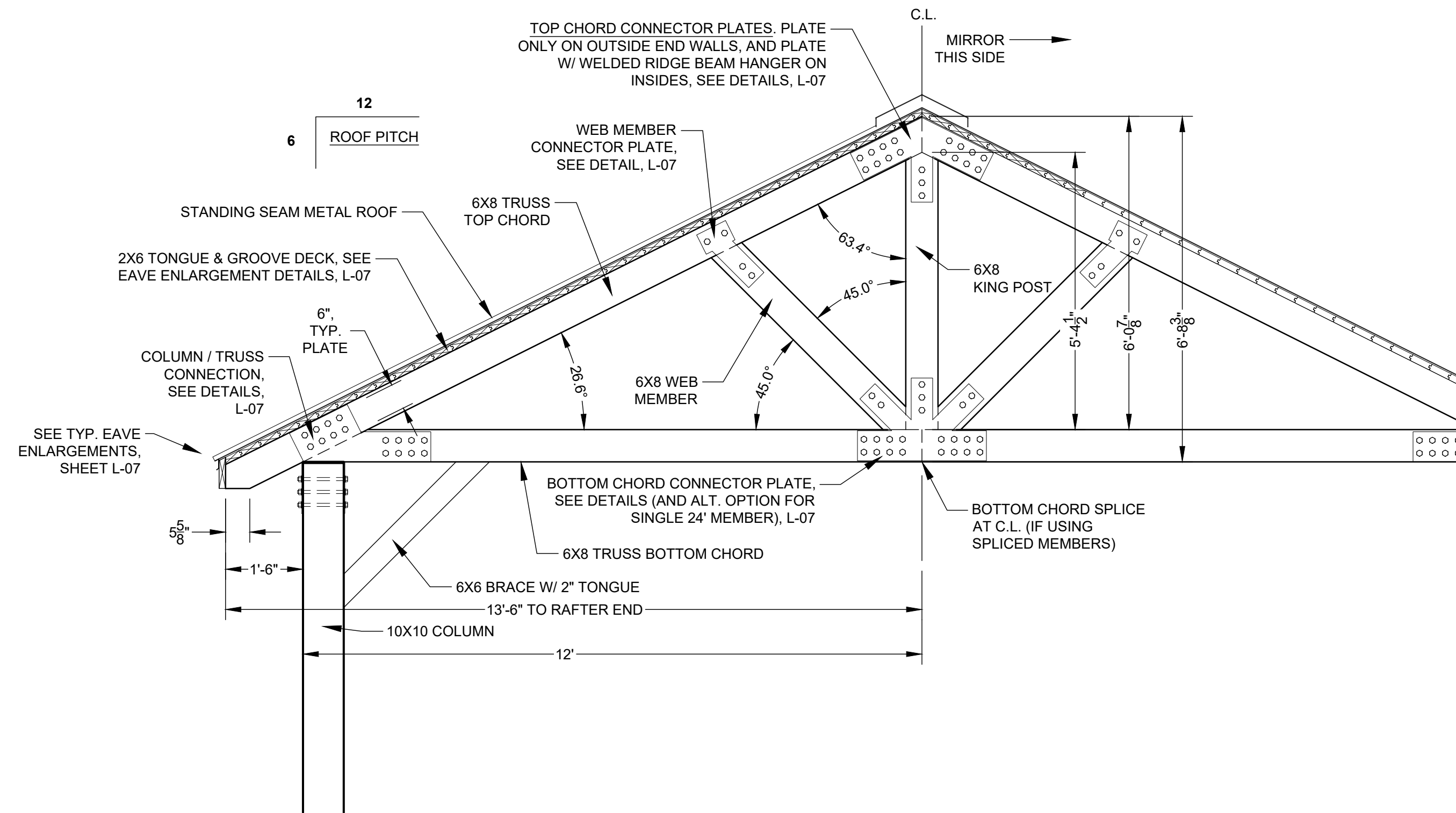
**4 PAVILION - ROOF FRAMING PLAN**

L-05 1/4" = 1'



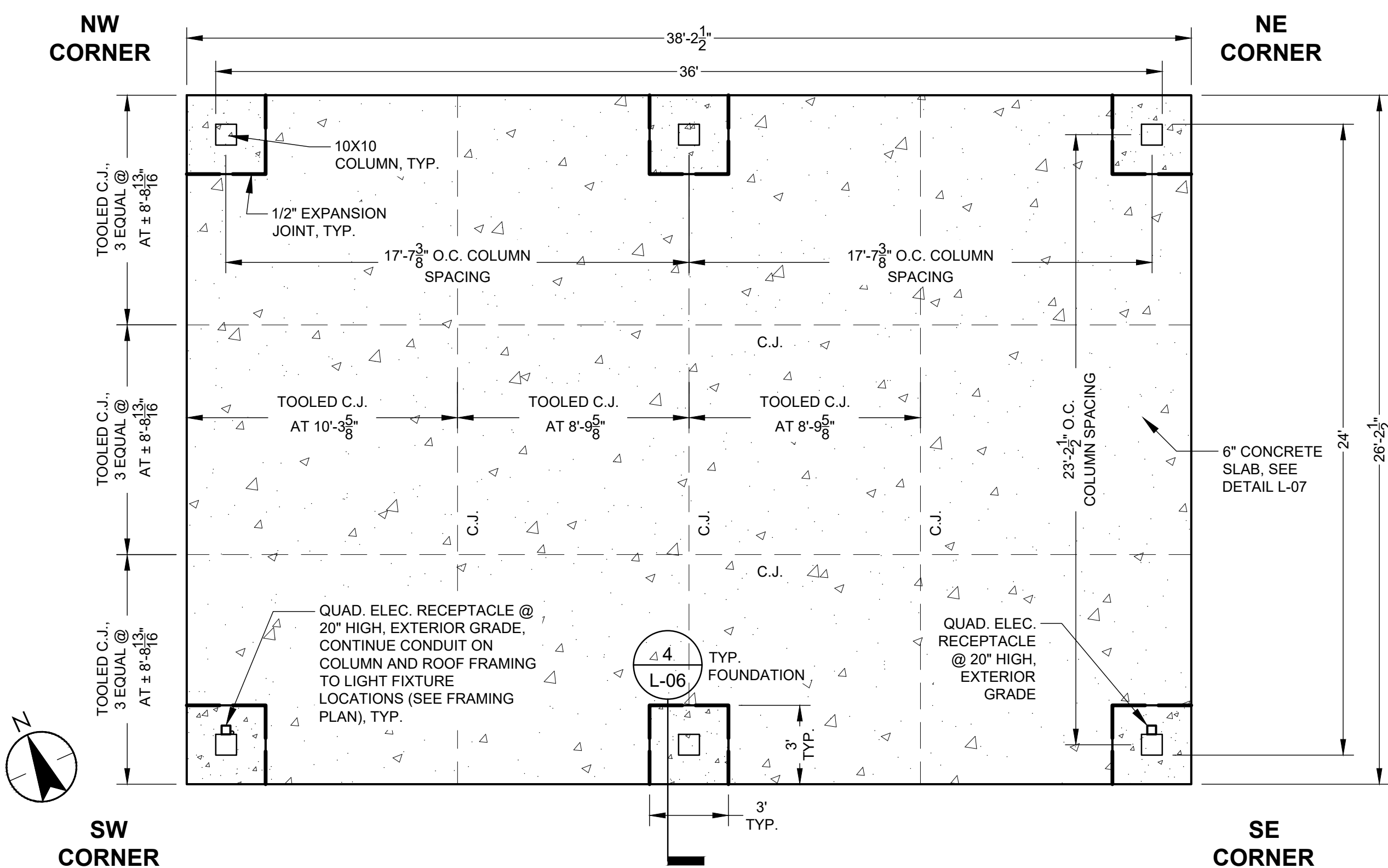
**1 PAVILION - FRAMING AXONOMETRIC VIEW**

L-06 N.T.S.



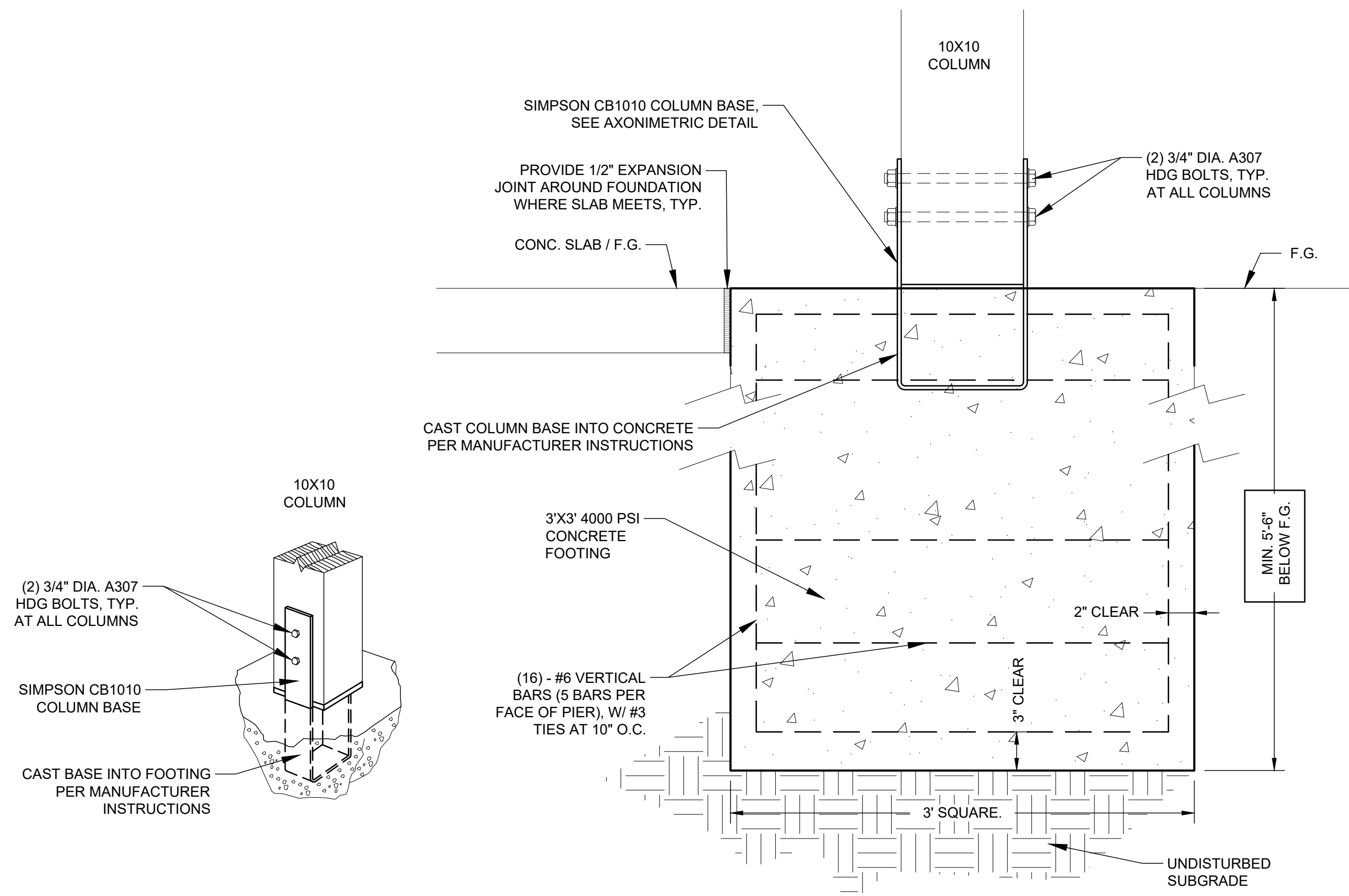
**3 TYPICAL WOOD TRUSS DETAIL**

L-06 1/2" = 1'



**2 PAVILION - FOUNDATION / FLOOR PLAN**

L-06 1/4" = 1'



**4 TYP. POST ANCHOR & FOOTING DETAIL**

L-06 NTS

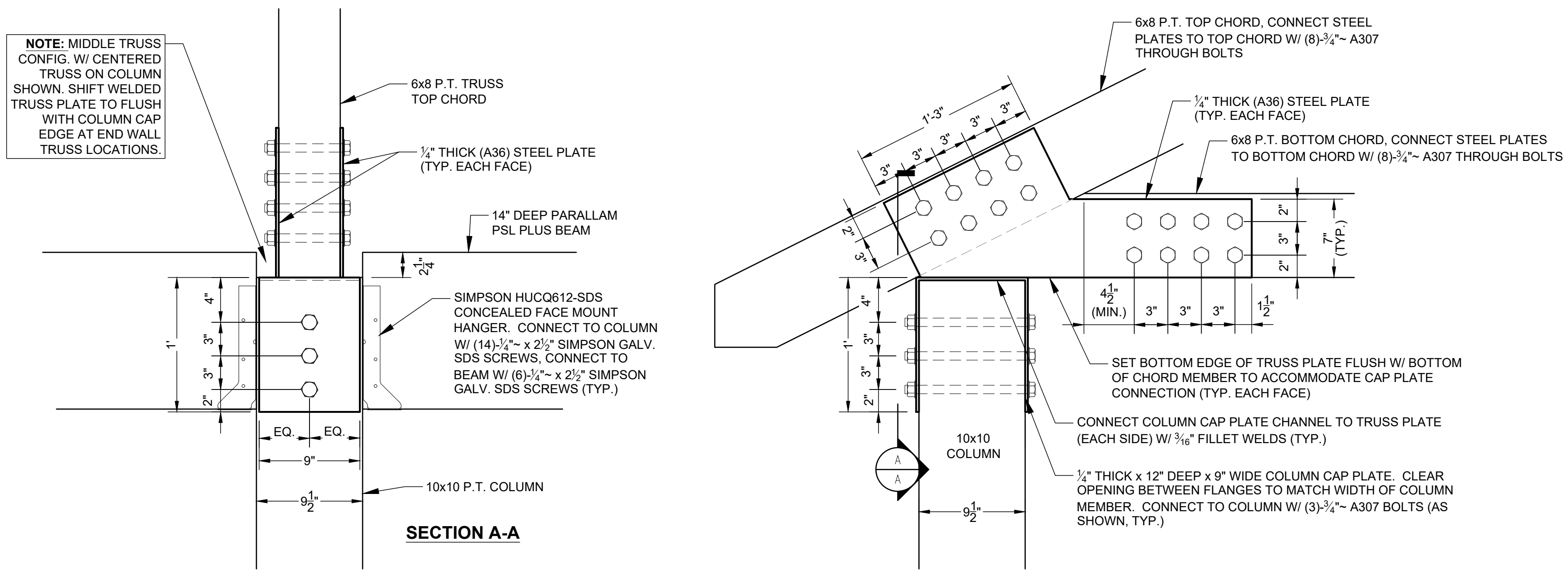
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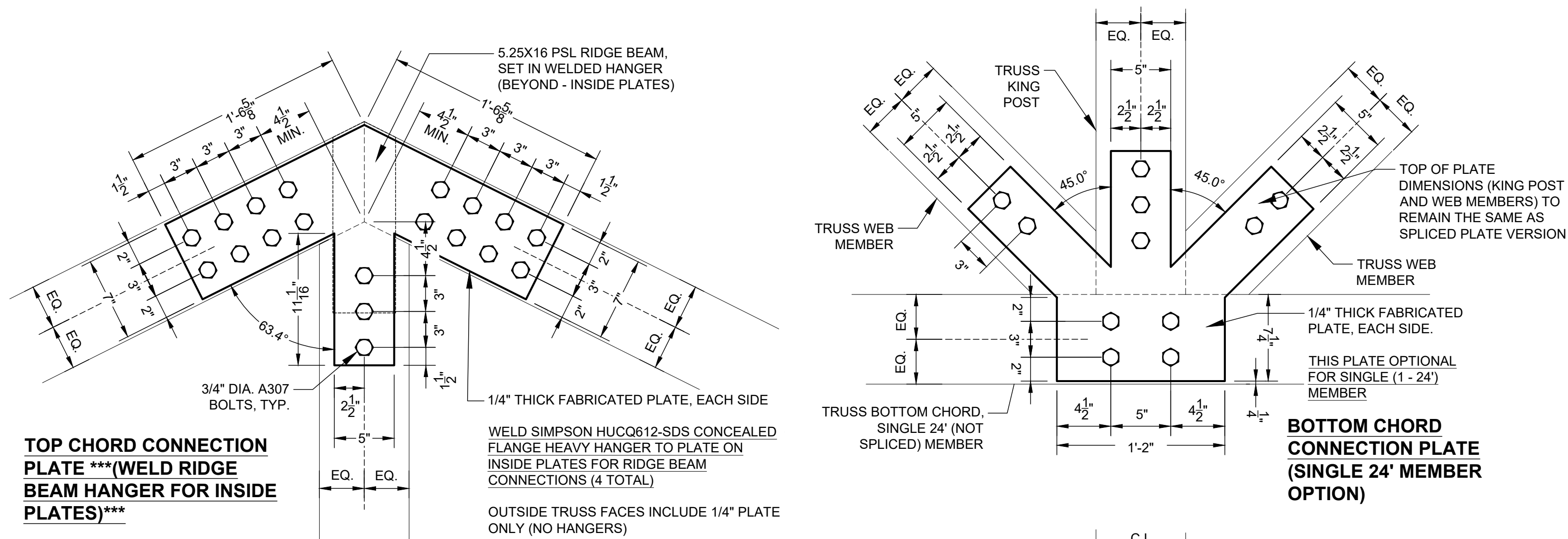
No.	Date	Revision

Drawing Title  
**Framing Axonometric, Foundation Plan & Details**



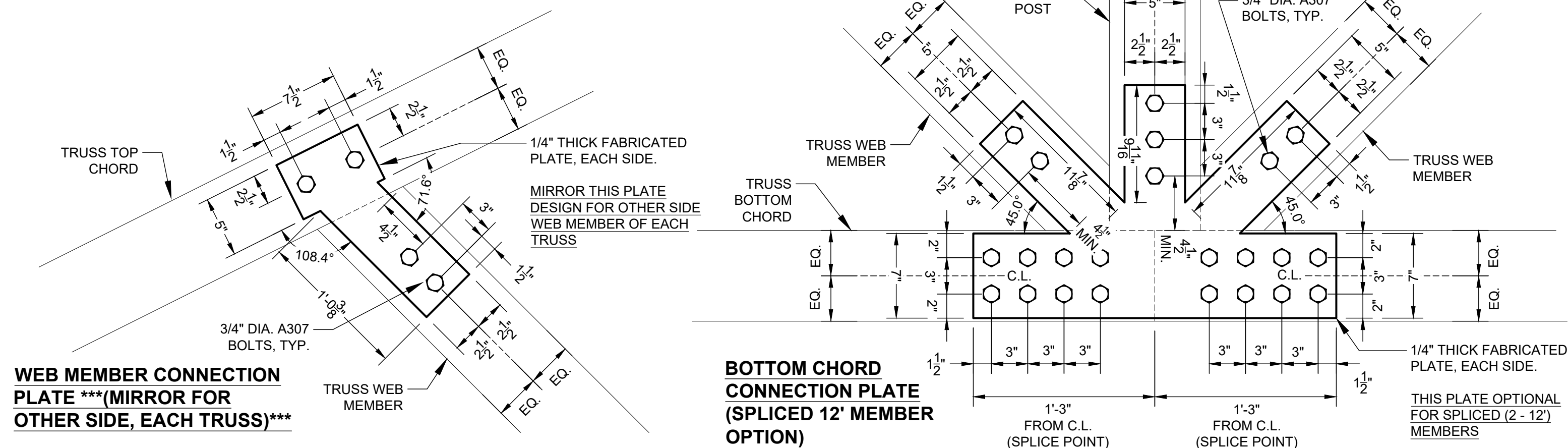
**1 TRUSS TO COLUMN CONNECTION DETAIL**

L-07 N.T.S.



**TOP CHORD CONNECTION PLATE \*\*\* (WELD RIDGE BEAM HANGER FOR INSIDE PLATES) \*\*\***

**BOTTOM CHORD CONNECTION PLATE (SINGLE 24' MEMBER OPTION)**



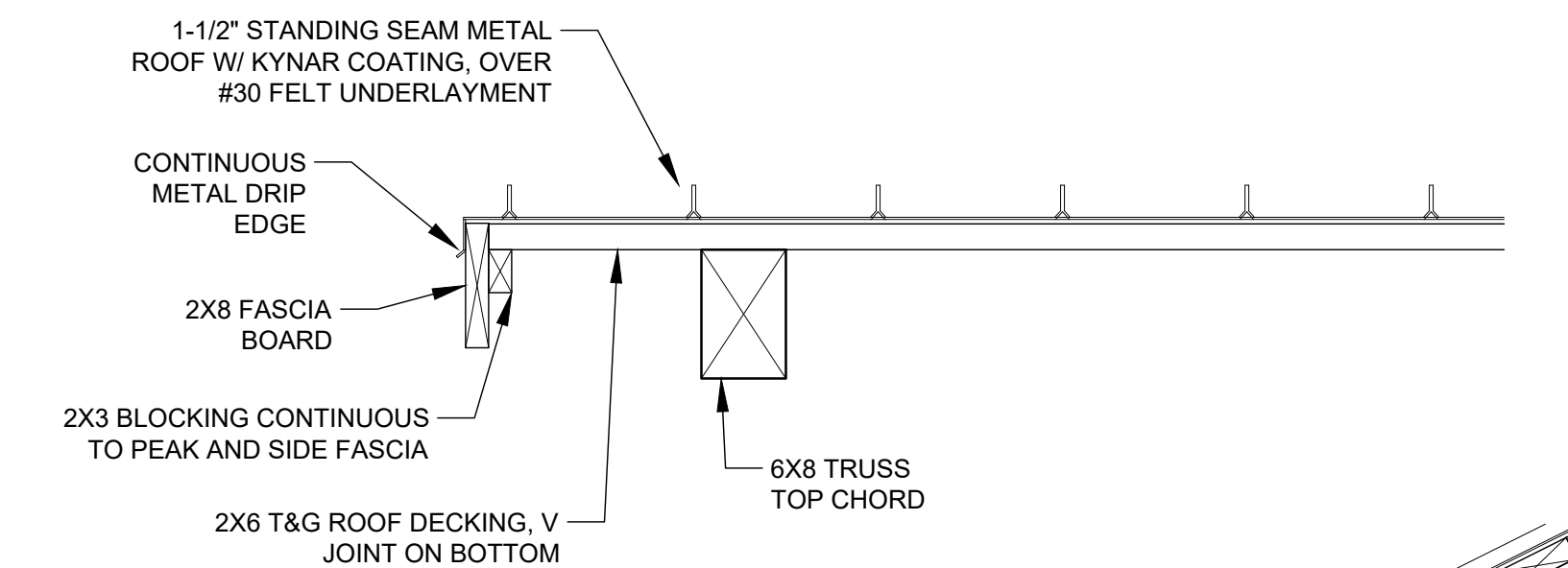
**WEB MEMBER CONNECTION PLATE \*\*\* (MIRROR FOR OTHER SIDE, EACH TRUSS) \*\*\***

**BOTTOM CHORD CONNECTION PLATE (SPliced 12' MEMBER OPTION)**

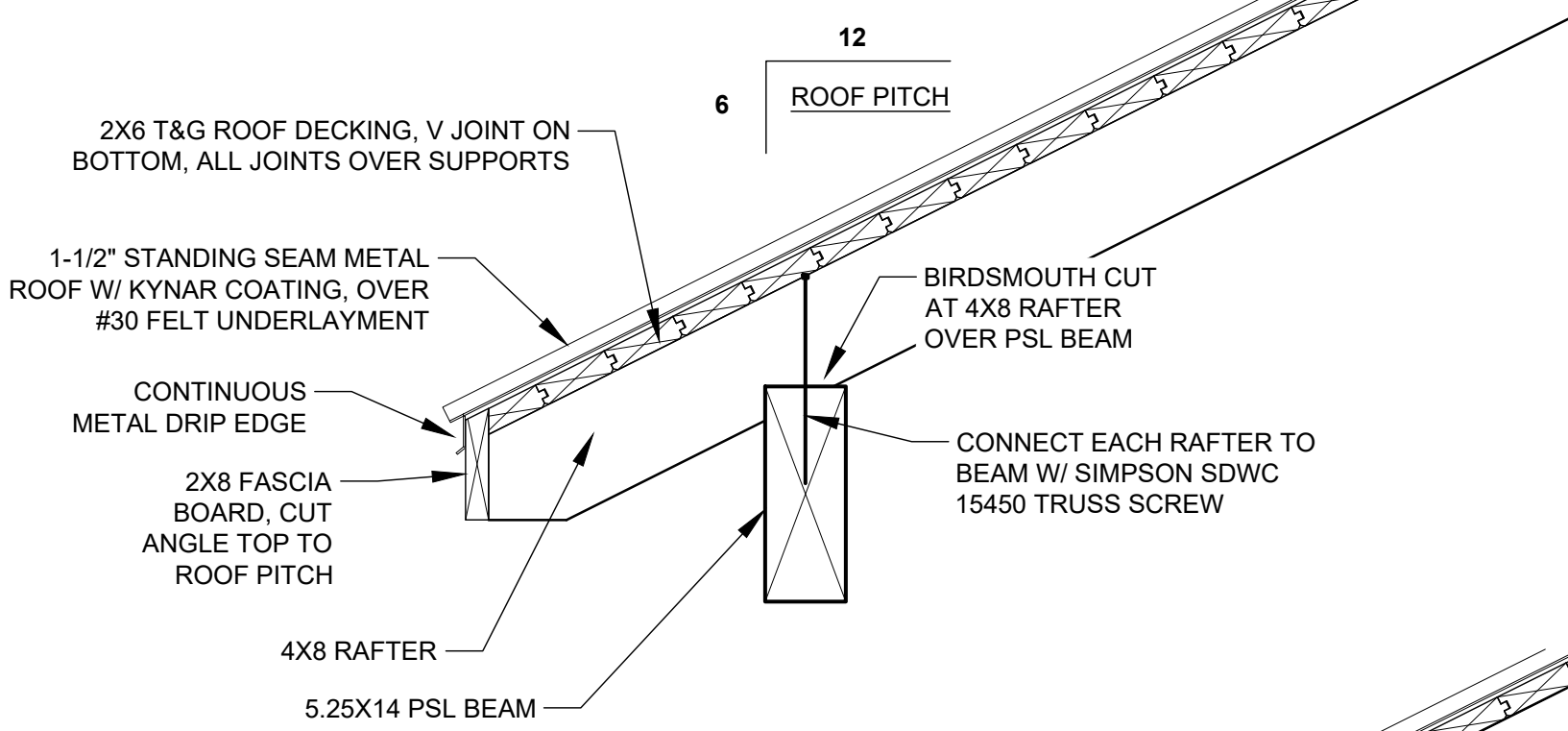
**3 TRUSS CONNECTION DETAILS**

L-07 N.T.S.

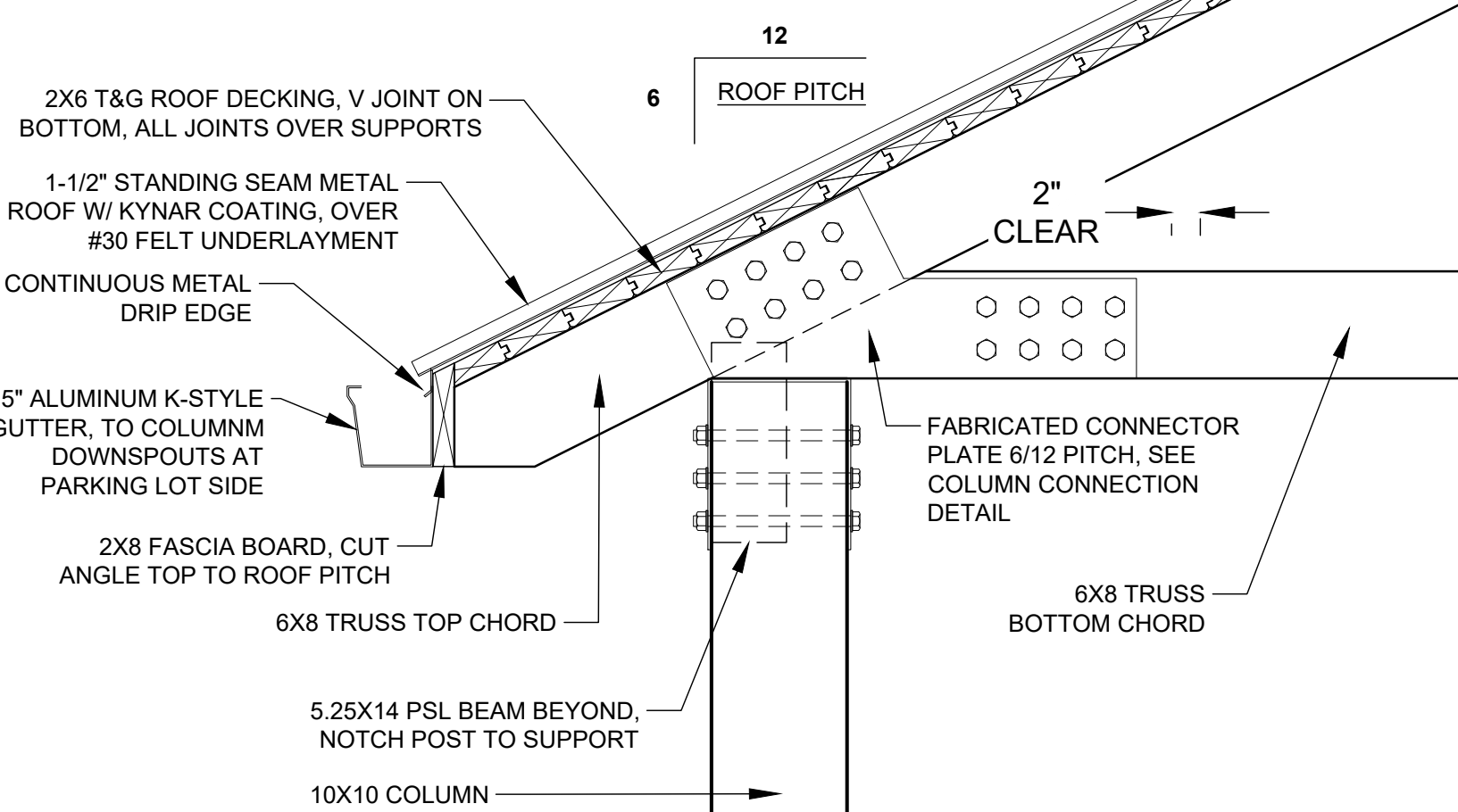
**A. TYP. EAVE AT PAVILION FRONT & REAR**



**B. TYP. EAVE AT RAFTER**



**C. TYP. EAVE TRUSS**

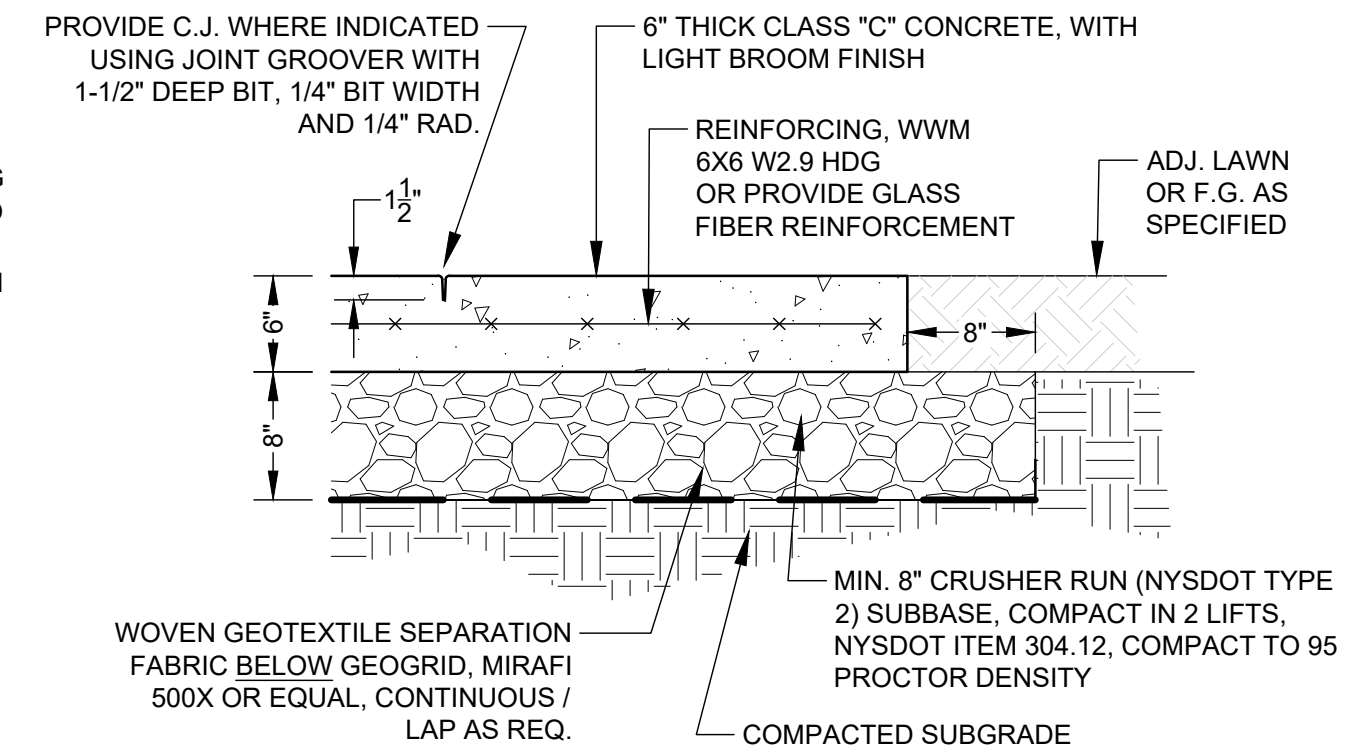


**2 EAVE ENLARGEMENT DETAILS**

L-07 N.T.S.

**CONCRETE PAVING NOTES:**

- CONCRETE DESIGN MIX:** PROVIDE CLASS "C" MIN. 4000 PSI (AT 28 DAYS) CONCRETE W/ #6% AIR ENTRAINMENT. SUBMIT DESIGN MIXTURE FOR REVIEW, W/ ALL AD-MIXTURES, INTEGRAL COLOR ADDITIVES. SEE SPECIFICATIONS FOR ADDITIONAL DESIGN MIX REQUIREMENTS AND REQUIRED TESTING.
- BROOM FINISH:** THE SURFACE FINISH OF ALL CONCRETE PAVING SHALL BE A "LIGHT BROOM" FINISH APPLIED PERPENDICULAR TO THE MAIN DIRECTION OF PEDESTRIAN CIRCULATION. CONTRACTOR SHALL CONSISTENTLY USE APPROPRIATE BROOM W/ SOFT BRISTLE STIFFNESS FOR DESIRED "LIGHT" BROOMING LEVEL.
- CONTROL JOINTS:** C.J.'S SHALL BE TOOLED USING JOINT GROOVER WITH 1.5" DEEP X 1/4" WIDE BIT (JOINT DEPTH MIN. 25% TOTAL SLAB THICKNESS), AND SHALL INCLUDE 1/4" RADIUS. REMOVE TOOL MARKINGS (NO "PICTURE FRAMING").
- EXPANSION JOINTS:** 1/2" WIDE EXPANSION JOINTS SHALL BE PROVIDED BETWEEN ALL NEW CONCRETE CONSTRUCTION AND FACES OF EXISTING BUILDINGS, EXISTING PAVED AREAS, SEAT WALLS, AND OTHER STRUCTURES / APPURTENANCES. USE 1/2" PRE-MOLDED E.J. MATERIAL AND SEAL WITH BASF MASTERSEAL (OR EQUAL) PER MANUFACTURER'S DIRECTIONS.
- SEALANTS:** PROVIDE SILANE BASED PENETRATING SEALER ON ALL CONCRETE PAVING PER MANUFACTURER'S INSTRUCTIONS, BASF MASTERPROTECT H1000 OR EQUAL.



**4 CONCRETE PAVING DETAIL**

L-07 N.T.S.

9 Summit Street, Fairport, New York 14450  
(585) 747-9906  
steela



**Torchia Structural Engineering & Design P.C.**

625 Panorama Trail Suite 2210 Rochester, NY 14625 Phone: 585-385-7630 Fax: 585-385-6386 www.TSE123.com

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